



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 116 E. Dayton Street

Name of Owner: Dewey & Sandy Bredeson

Address of Owner (if different than above): 6420 Clovernook Road, Middleton, WI 53562

Daytime Phone: 608-575-0990 Evening Phone: 608-575-0990

Email Address: baytree@chorus.net

Name of Applicant (Owner's Representative): _____

Address of Applicant: _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Description of Requested Variance: _____

We are requesting a side yard variance for a rear 2-story addition with third floor deck at the location of

the existing rear open first floor porch, second floor finished space with third floor roof-deck bump-out

location for the conversion of this office space to multi-family space on the existing non-conforming lot.

With the addition being slightly larger with a 28" cantilevered floor to the north (out of the setback), we

create functional space at the three floor levels. If the addition was held back off the side yard setback,

we'd create spaces that wouldn't function as well in addition to creating structural conflicts with the existing construction.

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: \$300
Receipt: 043612-0008
Filing Date: 4-25-18
Received By: JEM
Parcel Number: 0709-144-1418-4
Zoning District: UOR
Alder District: 2- Zellers

Hearing Date: 6-21-18
Published Date: 6-14-18
Appeal Number: LNO VAR-2018-00007
GQ: _____
Code Section(s): _____

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

In order to preserve the historic nature of the existing first floor, the intent is to capture the

covered but not enclosed, area at the existing rear porch. If the addition is held back off side yard setback, we'd get a second floor bedroom that isn't very functional in addition to creating structural conflicts with the existing basement entry door that is to remain. When using the footprint indicated for the addition, we can use the existing foundation to support the new addition.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

This addition is not contrary to the spirit, purpose, and intent of the regulations for the fact that

the addition will basically match what is there currently except have finished space and not an open porch at the first floor level as well as a third floor deck that is currently a roof. We are recapturing the third floor deck as part of this design to return it to the outdoor amenity space it once was as seen by the existing door provided on the third floor. With a similar footprint and design, the addition will have no impact on any neighboring properties.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

Due to the location of the existing basement garage as well as the basement stair/ entrance door, the proposed addition needs to go in the location of the existing rear porch so the existing foundation can be used to support the new structure. If the addition was held back off the side yard setback, the existing basement entrance door, its concrete stair-well and the existing concrete piers would need to be demolished. When demolishing those items, there is a chance the existing basement garage door retaining wall would be compromised too. Due to the structural consequences, it would be best to use the existing foundation already in place, therefor creating the need for the variance.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

Due to the location of the existing basement garage as well as the basement stair/ entrance

door, the proposed addition needs to go in the location of the existing rear porch to function properly as well as provide adequate structural support of the addition while using the existing foundation.

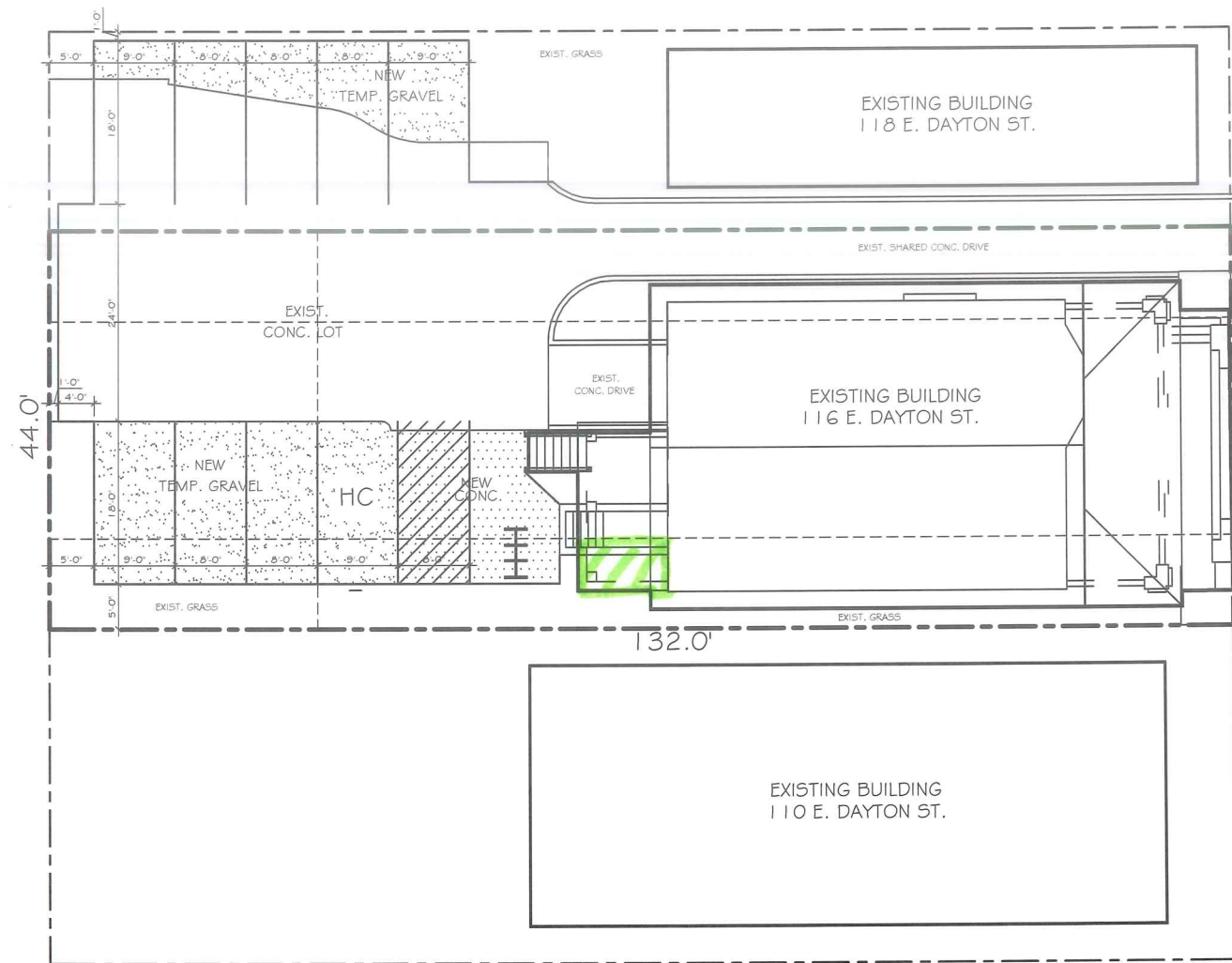
5. The proposed variance shall not create substantial detriment to adjacent property.

With the proposed addition being very similar in size to the existing bump-out addition and

adding finished space to the first floor level and recapturing the third floor deck, there should not be any detriment to the adjacent property.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

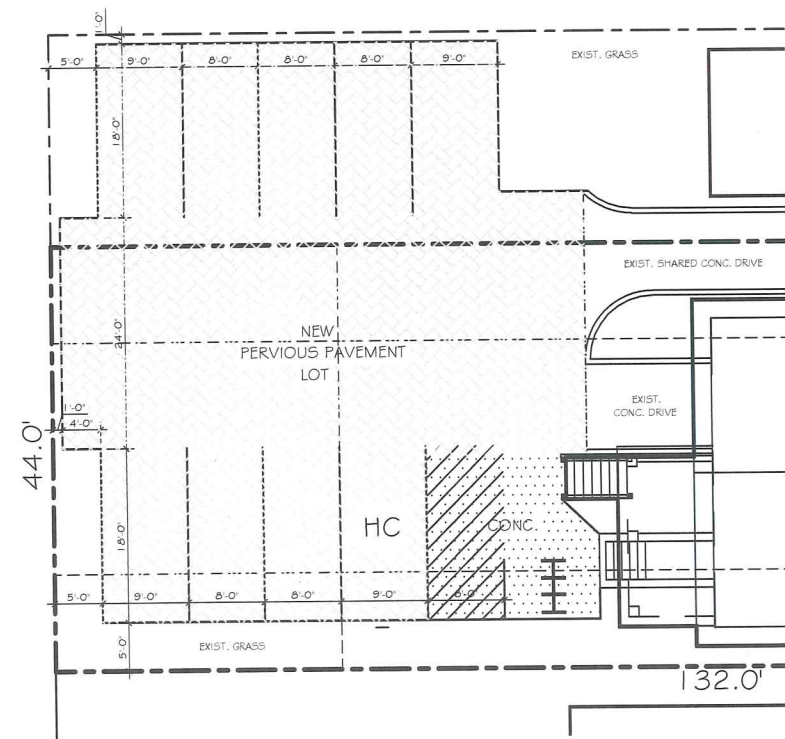
Since we can't match the existing brick masonry, we are proposing to match the architectural characteristics of the existing gable end in order to keep the aesthetic character of the existing building. We believe the addition will match the existing character better than the existing bump-out addition where there is painted wood siding. We will also be removing the existing metal fire escape from the rear of the building since we are now sprinklering the building. The removal of the fire escape will also enhance the original character of the existing building.



TRUE NORTH
 ① TEMPORARY SITE PLAN
 1" = 20'-0"

Two-story four-unit Apartment Building
 Remove and reconstruct rear 2-story porch addition with 3rd level Deck
 side yard
 10.0' Required
 5.0' provided
 5.0' variance

E. DAYTON ST.



TRUE NORTH
 ② SITE PLAN
 1" = 20'-0"

SITE INFORMATION BLOCK

PROJECT DESCRIPTION: A JOINT DRIVEWAY/PARKING LOT EASEMENT AGREEMENT WILL BE PROVIDED FOR SITES 116 & 118 EAST DAYTON STREET. DUE TO THE DEMOLITION OF 118 IN THE NEAR FUTURE, THE PROPOSED PERVIOUS PAVEMENT LOT WILL BE COMPLETED AFTER AT A LATER DATE.

WORK FOR 118 EAST DAYTON STREET WILL BE SUBMITTED UNDER A SEPARATE COVER.

SITE ADDRESS: 116 EAST DAYTON STREET
 SITE ACREAGE: (TOTAL) 0.13 ACRES
 SITE ZONING: UOR - URBAN OFFICE-RESIDENTIAL DISTRICT
 EXISTING NON-CONFORMING LOT (LOT WIDTH)

NUMBER OF BUILDING STORIES (ABOVE GRADE): 2 - EXISTING
 BUILDING HEIGHT: EXISTING

DILHR TYPE OF CONSTRUCTION: TYPE III-B EXISTING
 TOTAL SQUARE FOOTAGE OF BUILDING: 3,996 SF.

USE OF PROPERTY: GROUP R-2 - 4-UNIT MULTI-FAMILY
 1ST FLR: 1 BEDROOM UNIT
 2ND FLR: (2) 1 BEDROOM UNITS
 2ND FLR: 2 BEDROOM UNIT

NUMBER OF BICYCLE STALLS SHOWN: 6 STALLS

NUMBER OF PARKING STALLS:

SMALL CARS	2
LARGE CARS	1
ACCESSIBLE	1
TOTAL PROVIDED	4

SITE AREA CALCS:

TOTAL LOT AREA: 5,808 SQ. FT.
 HOUSE FOOTPRINT AREA: 2,464 SQ. FT.
 EXISTING CONCRETE DRIVES: 553 SQ. FT.
 NEW CONCRETE ISLE/WALKS: 282 SQ. FT.
 NEW PERVIOUS PAVEMENT LOT: 1,779 SQ. FT.
 TOTAL LOT COVERAGE: 57%

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Zoning Submittal

Bouril Design Studio, LLC
 600 East Capitol Street, Suite 2, Madison, WI 53703
 Phone: (608) 253-2400



Remodel for
 Sandy & Dewey Bredeson
 116 East Dayton Street, Madison, WI 53703

REVISIONS

DATE	ISSUE

PROJECT NO
 18011

DATE
 4/16/2016

DRAWN BY
 BB

SWI

GENERAL NOTES - LANDSCAPE PLAN:

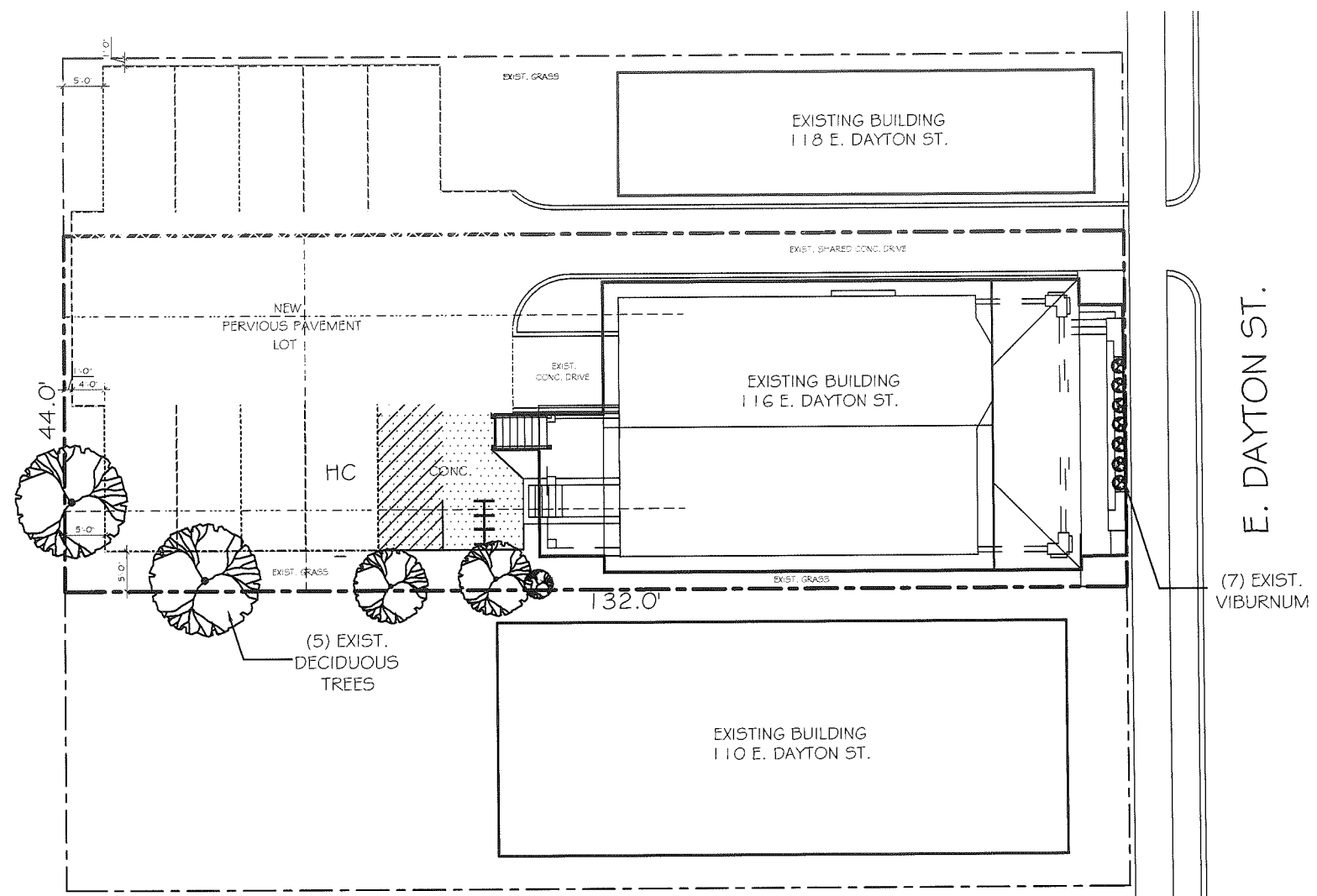
1. REFER TO CITY OF MADISON LANDSCAPE WORKSHEET FOR LANDSCAPE POINT TOTAL CONFORMANCE.
2. PROVIDE EROSION CONTROL DEVICES AROUND PERIMETER OF CONSTRUCTION SITE DOWNHILL FROM EXCAVATIONS. EROSION CONTROL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
3. CONTRACTOR TO REPAIR ALL DISTURBED AREAS WITH TOPSOIL TO FINISH GRADE, SEED & MULCH.

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Zoning Submittal



Remodel for
Sandy & Dewey Bredeson
 116 East Dayton Street, Madison, WI 53703



TRUE NORTH

 LANDSCAPE PLAN
 1" = 20'-0"

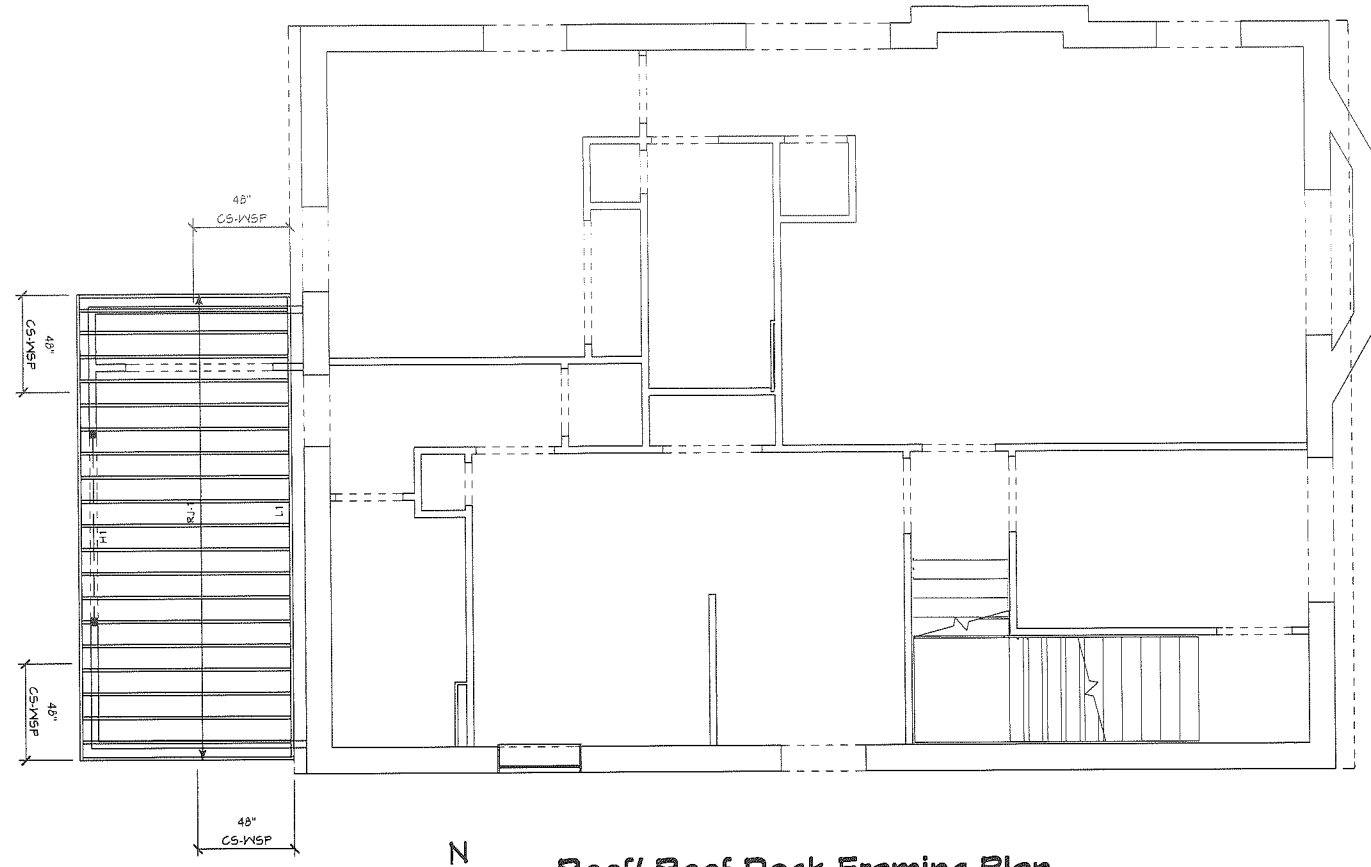
REVISIONS		
DATE	ISSUE	

PROJECT NO
18011

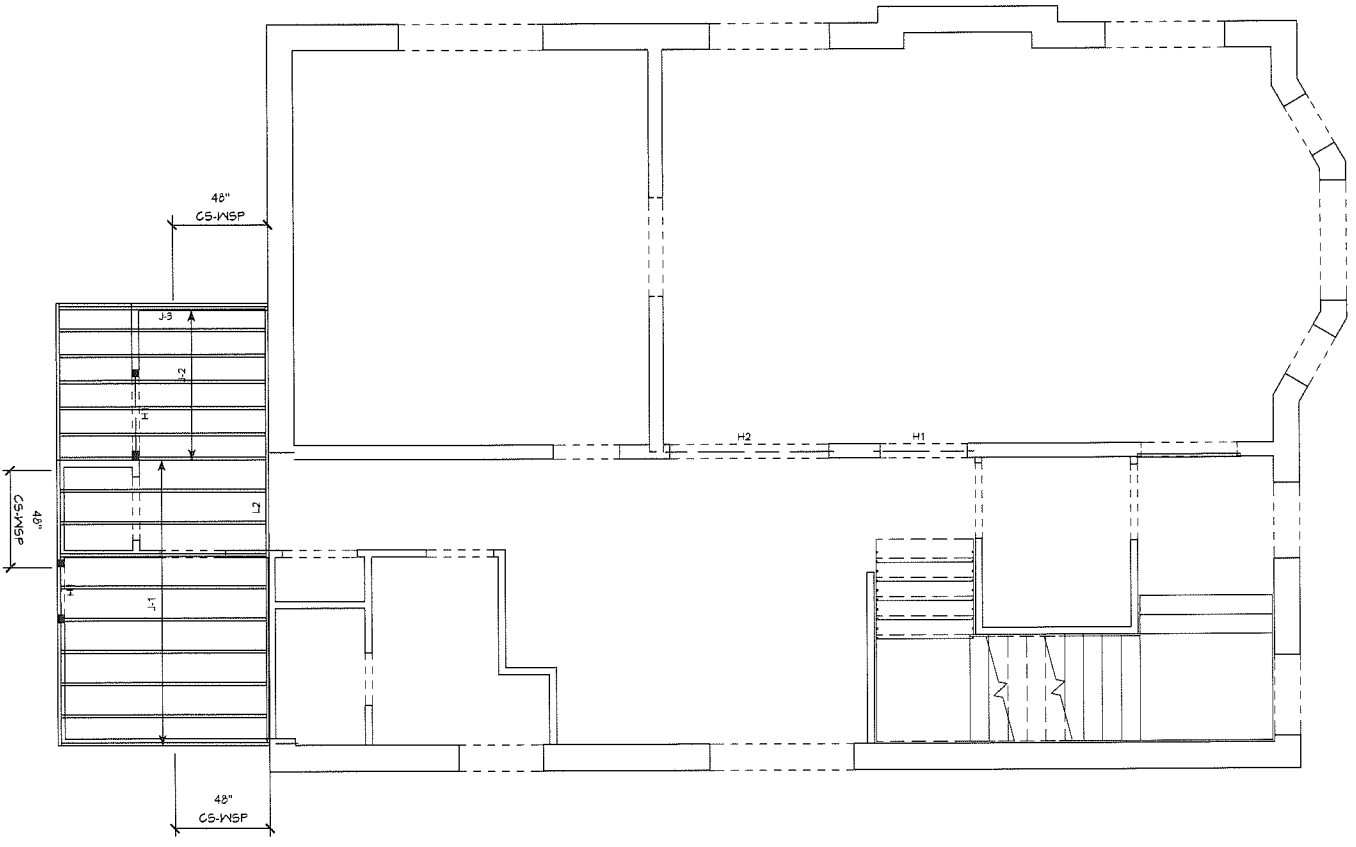
DATE
4/16/2016

DRAWN BY
BB

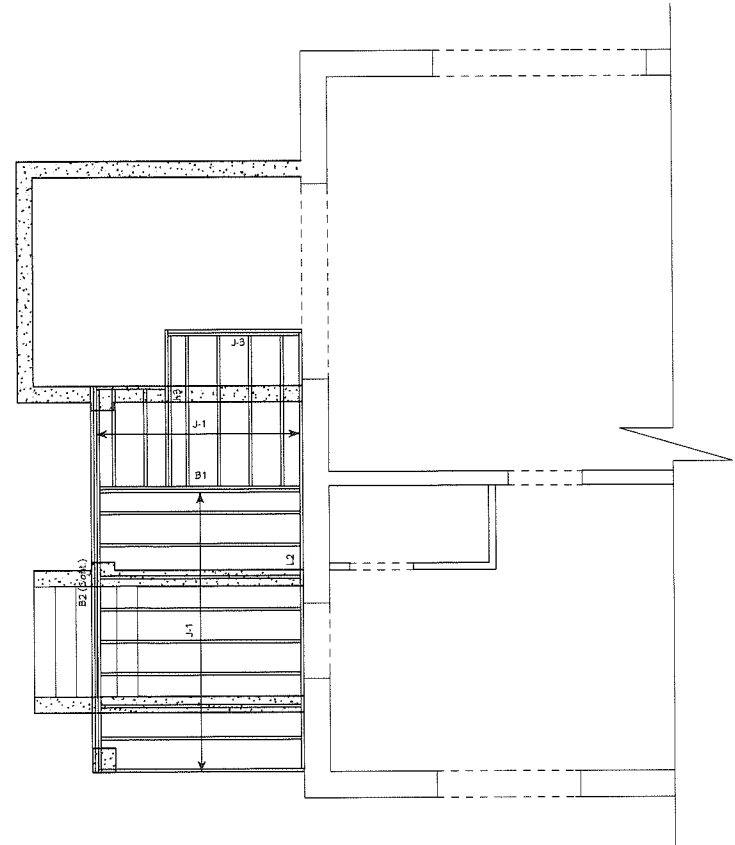
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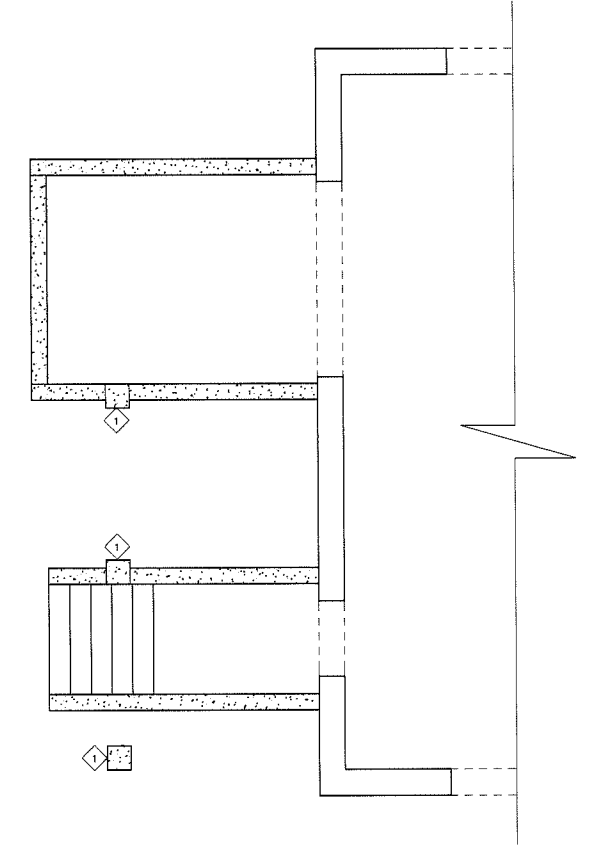
1 Roof/ Roof Deck Framing Plan
SCALE: 1/8" = 1'-0"



2 Second Floor Framing Plan
SCALE: 1/8" = 1'-0"



3 First Floor Framing Plan
SCALE: 1/8" = 1'-0"



4 Existing Foundation Plan
SCALE: 1/8" = 1'-0"

General Notes - Structural Plans

- All dimensions reference the face of concrete, or the face or centerline of a framing member (column, beam, joist, etc).
- All wood framing members in contact with concrete, metal, or the elements shall be pressure treated. All connectors and fasteners in contact with concrete, metal, or the elements shall be stainless steel, galvanized finish or equal.
- Connections not specified will be in accordance with applicable codes and best engineering practices, including fastener type and spacing. All multi-ply structural members shall be stitched together.
- All specified engineered wood products shall be Kleinfelder. All specified metal connectors shall be Simpson Strong-Tie. Unless specified in the drawings all installations, connections, bracing, blocking, and reinforcement of structural engineered lumber shall follow the manufacturer's printed instructions.
- Supported member bearing shall be the full depth of the supporting member or connector seat.
- Provide solid wood blocking at all connections to ensure installations are secure and tied to adjacent framing. Provide solid wood blocking at all joist spaces below supporting members to transfer loads through to the structure below. Solid wood blocking shall be equal to or greater than the bearing area and capacity of the supporting member above. Fasteners through blocking shall be of sufficient length to provide full embedment in connected members as specified by the manufacturer or as required by the installation.

Joist and Ledger Schedule

Tag	Description	Spacing	Connections	Details	Notes
L1	2x12 PT Ledger Beams	-	SDWS	-	1
L2	2x12 SPP #2 Ledger Beams	-	SDWS	-	1
RJ1	2x12 PT Roof Deck Joist (Tapered)	12' OC (min)	Joist Hanger	-	2, 3
J1	2x12 SPP #2 Floor Joist	16' OC (min)	Joist Hanger	-	2, 4
J2	2x12 SPP #2 Floor Joist	12' OC (min)	Joist Hanger	-	2, 4
J3	2x12 SPP #2 Floor Joist	12' OC (min)	Joist Hanger	-	2, 4

- Fasten deck ledger through sheathing to rim joist using two staggered rows of SDWS22400DB structural wood screws at 12" OC, 1-1/2" clear of edges and 6" clear of ends.
- Fasten joist at ledger with face mount joist hanger.
- Cut top of joist for taper of 1/4" per 1'-0".
- Fasten joist at flush beam with top range hanger.

Header/ Beam Schedule

Tag	Description	Type	Connections	Details	Notes
H1	2x8 SPP #2	Dropped	-	-	1
H2	3x2x10 SPP #2	Dropped	-	-	1
B1	2x12 SPP #2	Flush	-	-	1
B2	3x2x12 SPP #2	Flush	-	-	1

- Support header at each end with (1) trimmer (shoulder stud) stitched to an adjacent king stud. End nail the solid portion of the header to the king stud using 4-10d with an edge distance of 1" all around.

Wall Bracing Schedule

Wall bracing is in accordance with one of the following: the Wisconsin Uniform Dwelling Code, current edition; or the International Residential Code, 2012 edition.

- GB braced panel construction: apply gypsum wall board to both sides of wall. All panel edges to be supported by framing or blocking. Fasten panels using Type N or Type S screws at T' edge spacing and T' field spacing; screws to provide a 5/8" (min) penetration into the framing.
- VNSP and CS-VNSP braced panel construction: apply 7/16" x 24/16 span rated wood structural sheathing to one side of wall. All panel edges to be supported by framing or blocking. Fasten panels using 8d commons at 6" edge spacing and 12" field spacing.
- See the relevant detail for all other methods of braced panel or portal frame construction.

Key Notes - Structural Plans

- Field verify condition of existing solid masonry pilasters, if req'd, demo and replace w/ new solid masonry pilasters for support of new floor beam

J:\2018\Projects\18011_Bredeson_Sandy & Dewey\3 - Technical\18011_Bredeson\Layout - 28x10 PM

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Zoning Submittal

Bouril Design Studio, LLC
6425 Odano Road, Suite #2
Madison, WI 53719
(608) 833-3400 www.bourilstudio.com

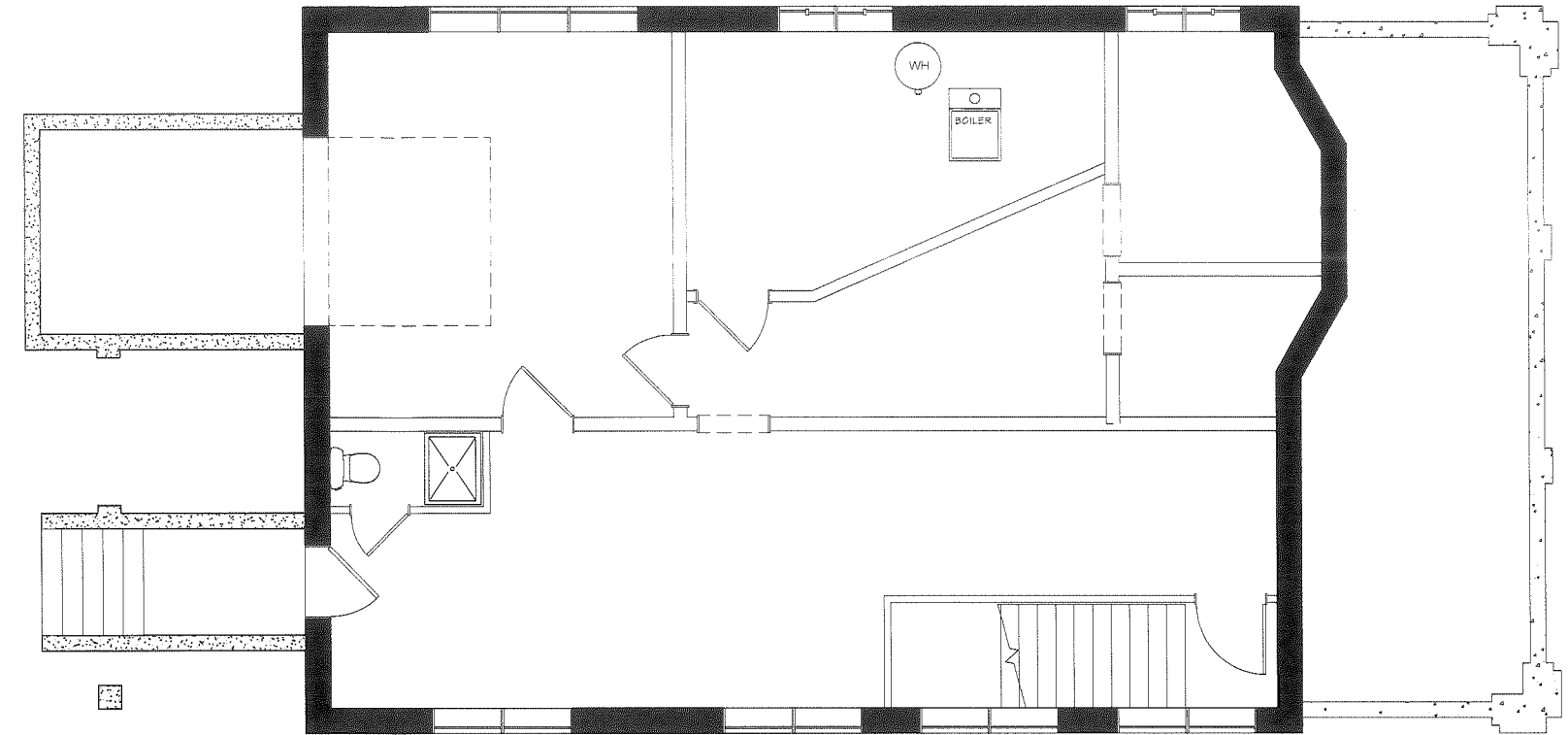
Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

Revision Index		
#	date	reference

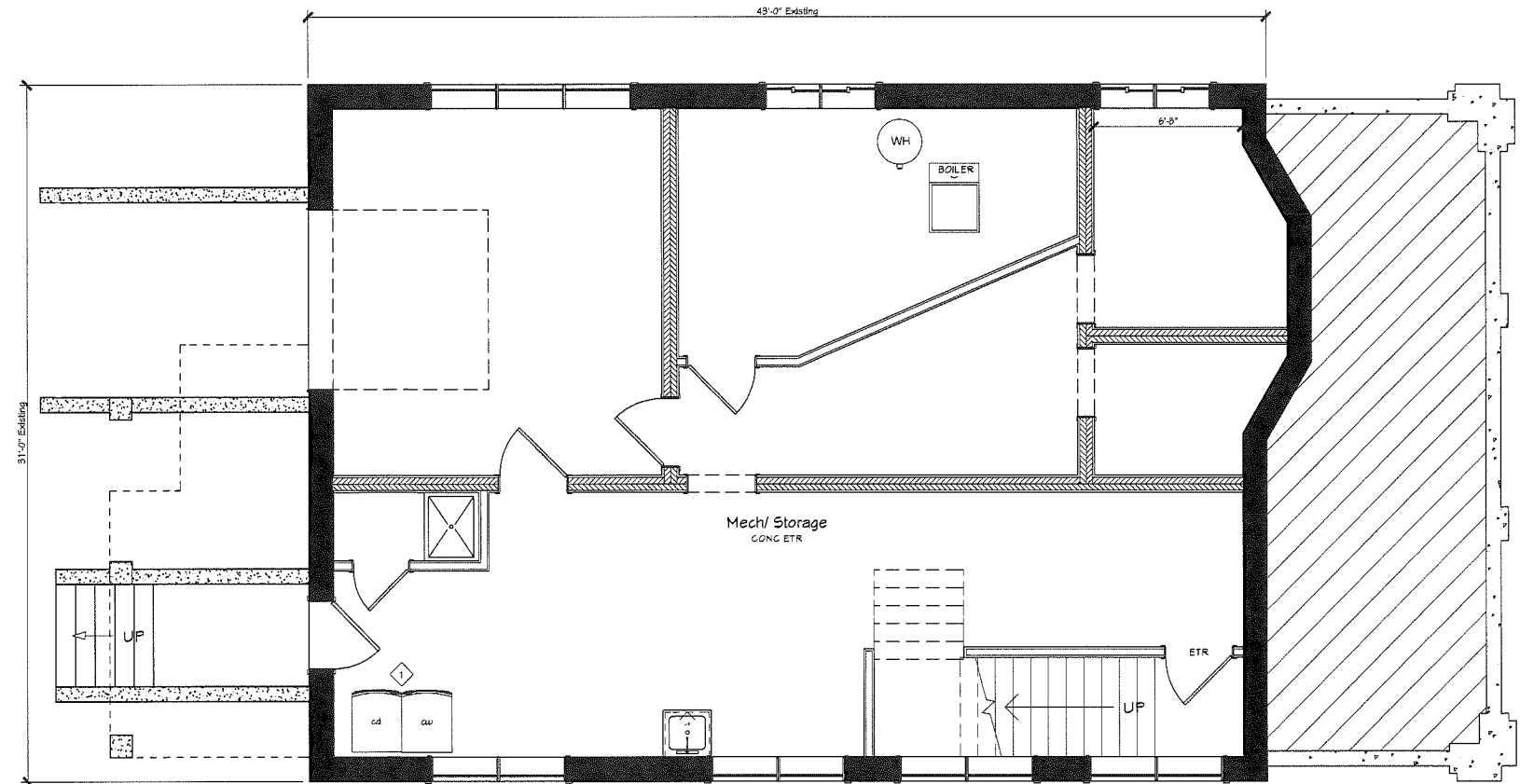
project: 18011
date: 4/16/2018
drawn by: BB

S1

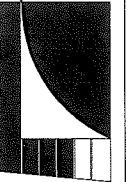
General Notes - Basement Plan	
1.	Existing basement items are to remain as they are. Update MEP equipment as needed for new work on other floors.
Key Notes - Basement Plan	
1	Washer/dryer by owner at existing connections



1 Existing Basement Floor Plan
SCALE: 1/8" = 1'-0"



2 Proposed Basement Floor Plan
SCALE: 1/8" = 1'-0"



revision index		
#	date	reference

project: 18011
date: 4/16/2018
drawn by: BB

General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity, including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, hardware, etc. slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use; all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc. (typ).

General Notes - First Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc.). Dimensions do not reference sheathing, wall board or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling-mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- All wood in contact with concrete shall be preservative treated.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinetry, countertops, appliances & fixtures are for general reference only. Installation & roughing shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Entry, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- Master Closet to receive modular closet storage & hanging system as an allowance. Supplier to coordinate directly with Owner for design & finishes. All other Bedroom Closets, Entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 10" above the finished floor; rod to be mounted at 65" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a louvered wall cap or dampered & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a dampered wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide ducted range hood & vent fan with automatic backdraft damper, Energy Star rated. Exhaust directly to the exterior through a single 4" min 28ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened & dampered wall cap or roof jack.

Partition Type Legend

Existing Exterior Wall:	
Existing Masonry Load Bearing Wall:	
Existing 2x Interior Wall:	
Existing 2x Interior Wall w/ sound batt insulation:	
New 2x Exterior Stud Wall w/ foam-in-place insulation:	
New 2x Interior Stud Wall w/ sound batt insulation:	

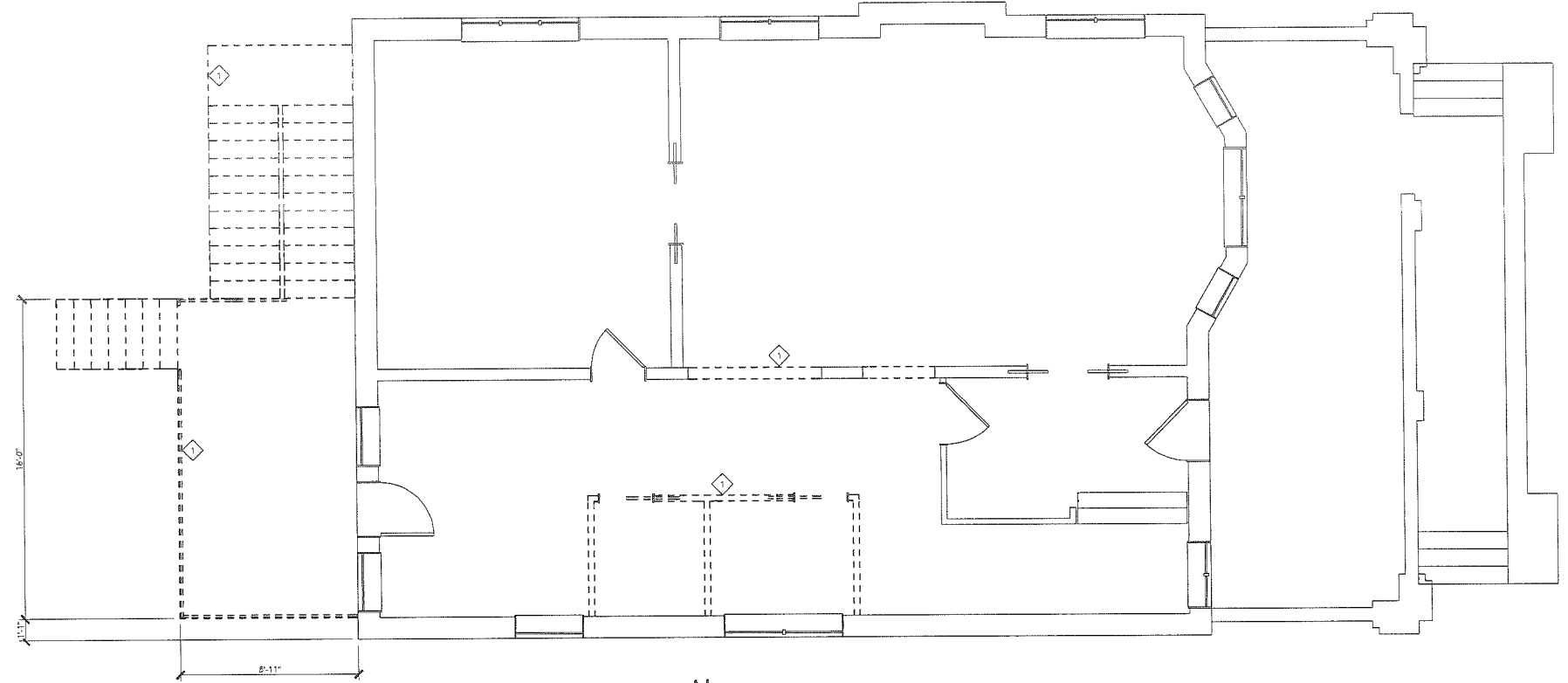
*Note - Provide plaster finish to match existing.

Finish Info - First Floor Plan

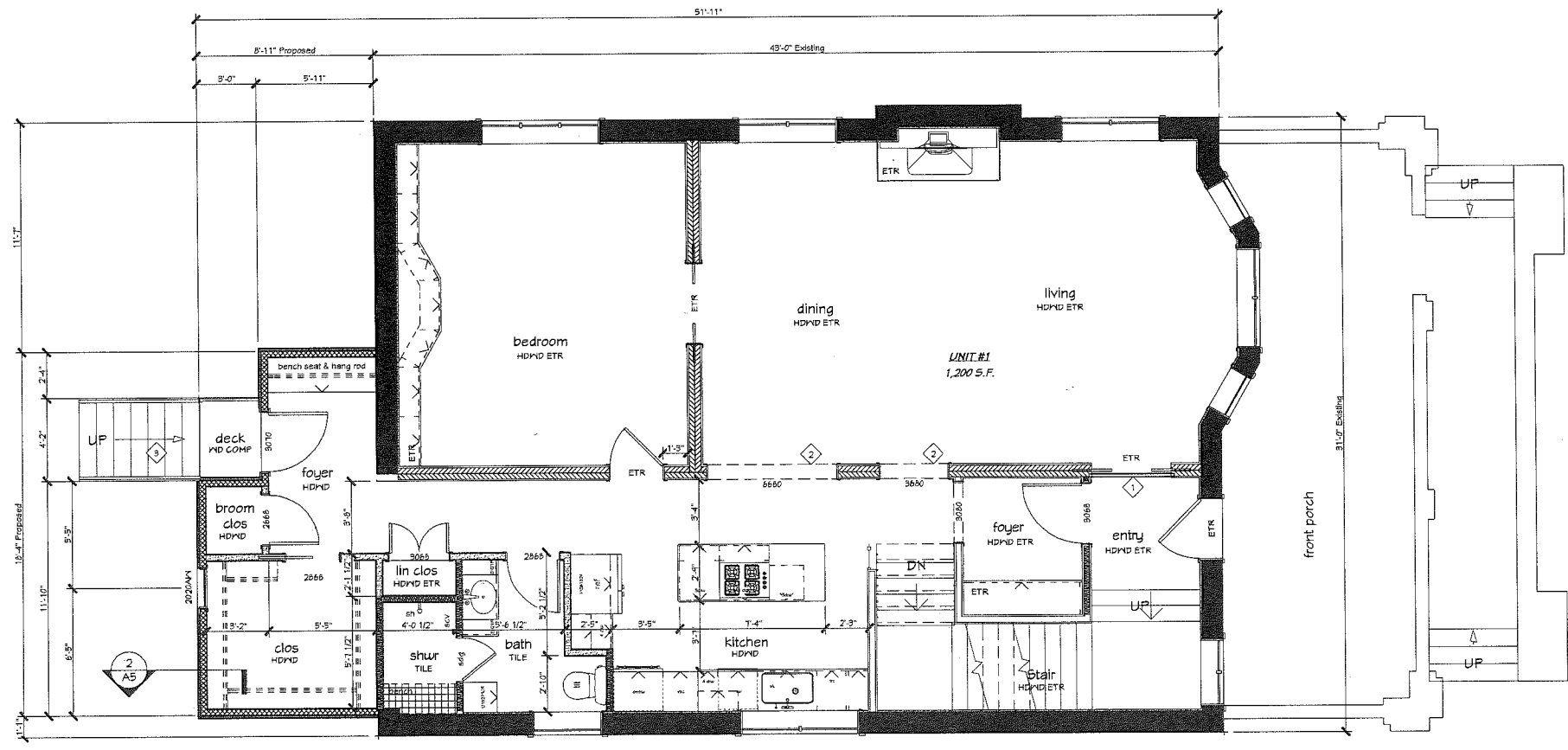
- Trim - Base & Casing: New base and casing to match existing in material, profile & finish. Reuse existing where possible.
- Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.
- Windows: New windows are to match existing in material, profile & finish. Re-glaze existing windows as required.
- Cabinetry: New kitchen and bath cabinets are to match existing btm material & finish, verify door style. Countertops are to be granite for the kitchen and quartz for the bath.
- Shower Doors & Mirrors: New swinging glass door @ shower & mirror @ vanity.
- Appliances: Provide an allowance for appliances as shown.
- Flooring:**
 HDWD ETR - Existing hardwood to remain, patch and refinish as required
 HDWD - New hardwood to match existing
 CPT - New carpet & pad
 VNL PLANK - New vinyl plank flooring
 VNL W/P DECKING - New vinyl waterproof decking
 TILE - New tile & underlayment
 MD COMP - New composite wood decking
 *Note - Provide soundproof floor underlayment @ all new flooring locations as required.

Key Notes - First Floor Plan

- 2x Infil @ existing pocket door location on front side, door is to remain on back side
- New header @ existing load bearing wall
- New railing system



Existing/Demo First Floor Plan
SCALE: 1/8" = 1'-0"



Proposed First Floor Plan
SCALE: 1/8" = 1'-0"

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Zoning Submittal

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Madison, WI 53719
(608) 833-1800 www.bourjidesign.com

Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

revision index		
#	date	reference

project: 18011
date: 5/24/2016
drawn by: BB

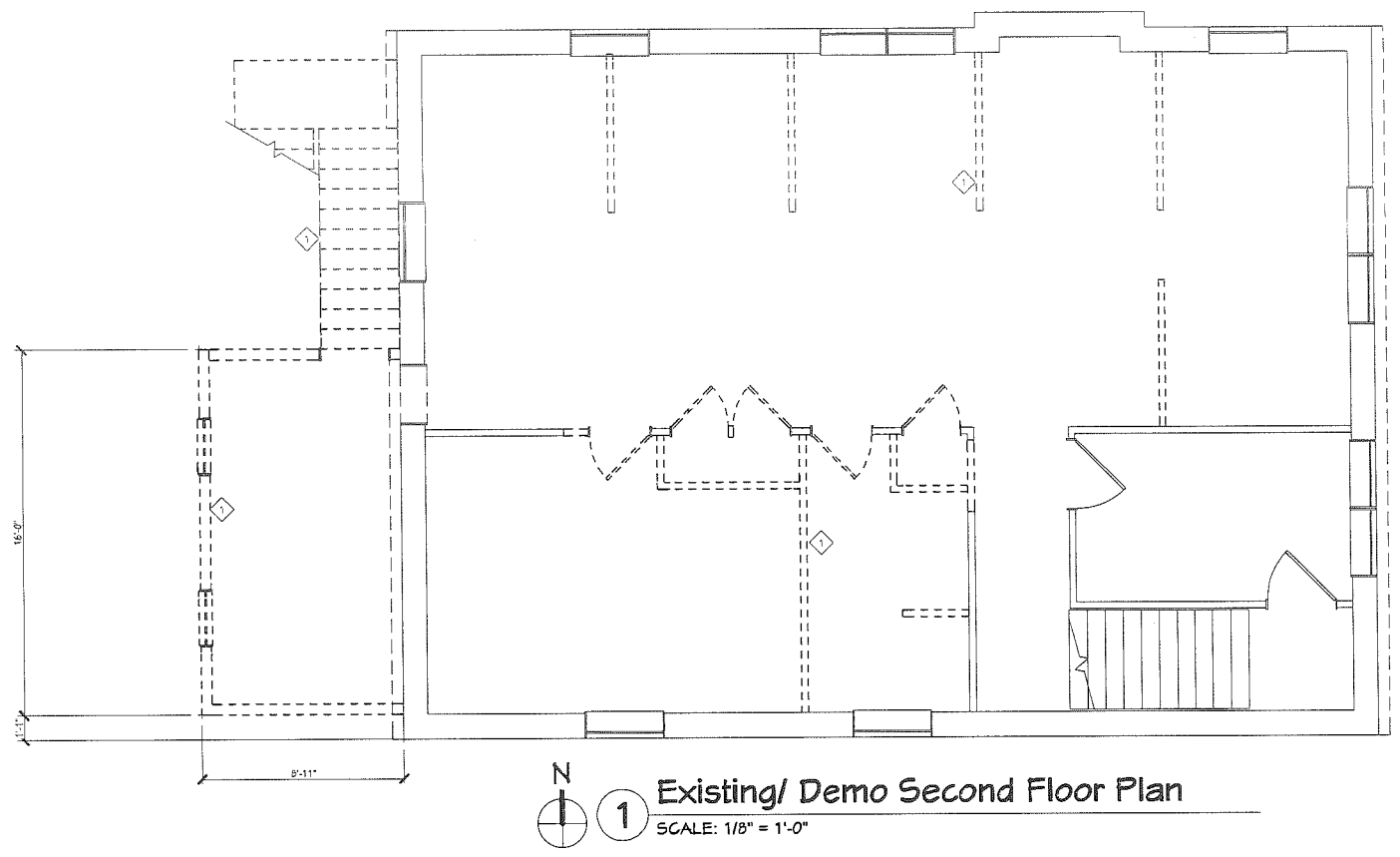
A2

General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity, including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shores, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, hardware, etc. slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use; all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc. (typ).



General Notes - Second Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc.). Dimensions do not reference sheathing, wall board or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinetry, countertops, appliances & fixtures are for general reference only. Installation & rough-ins shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Pantry, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- All Bedroom Closets, entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 10" above the finished floor; rod to be mounted at 66" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 28-ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a louvered wall cap or dampered & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min 28-ga min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a dampered wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide ducted range hood & vent fan with automatic backdraft damper, Energy Star rated. Exhaust directly to the exterior through a single 4" min, 28-ga min, smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened & dampered wall cap or roof jack.

Partition Type Legend

- Existing Exterior Wall: [Symbol]
- Existing Masonry Load Bearing Wall: [Symbol]
- Existing 2x Interior Wall: [Symbol]
- Existing 2x Interior Wall w/ sound batt insulation: [Symbol]
- New 2x Exterior Stud Wall w/ foam-in-place insulation: [Symbol]
- New 2x Interior Stud Wall w/ sound batt insulation: [Symbol]

*Note - Provide plaster finish to match existing.

Finish Info - Second Floor Plan

Trim - Base & Casing: New base and casing is to match existing in material, profile & finish. Reuse existing where possible.

Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.

Windows: New windows are to match existing in material, profile & finish. Re-finish painted windows as needed to match existing. Re-glaze existing windows as required.

Cabinetry: New kitchen and bath cabinets are to match existing trim material & finish, verify door style. Countertops are to be laminate for the kitchens and the baths.

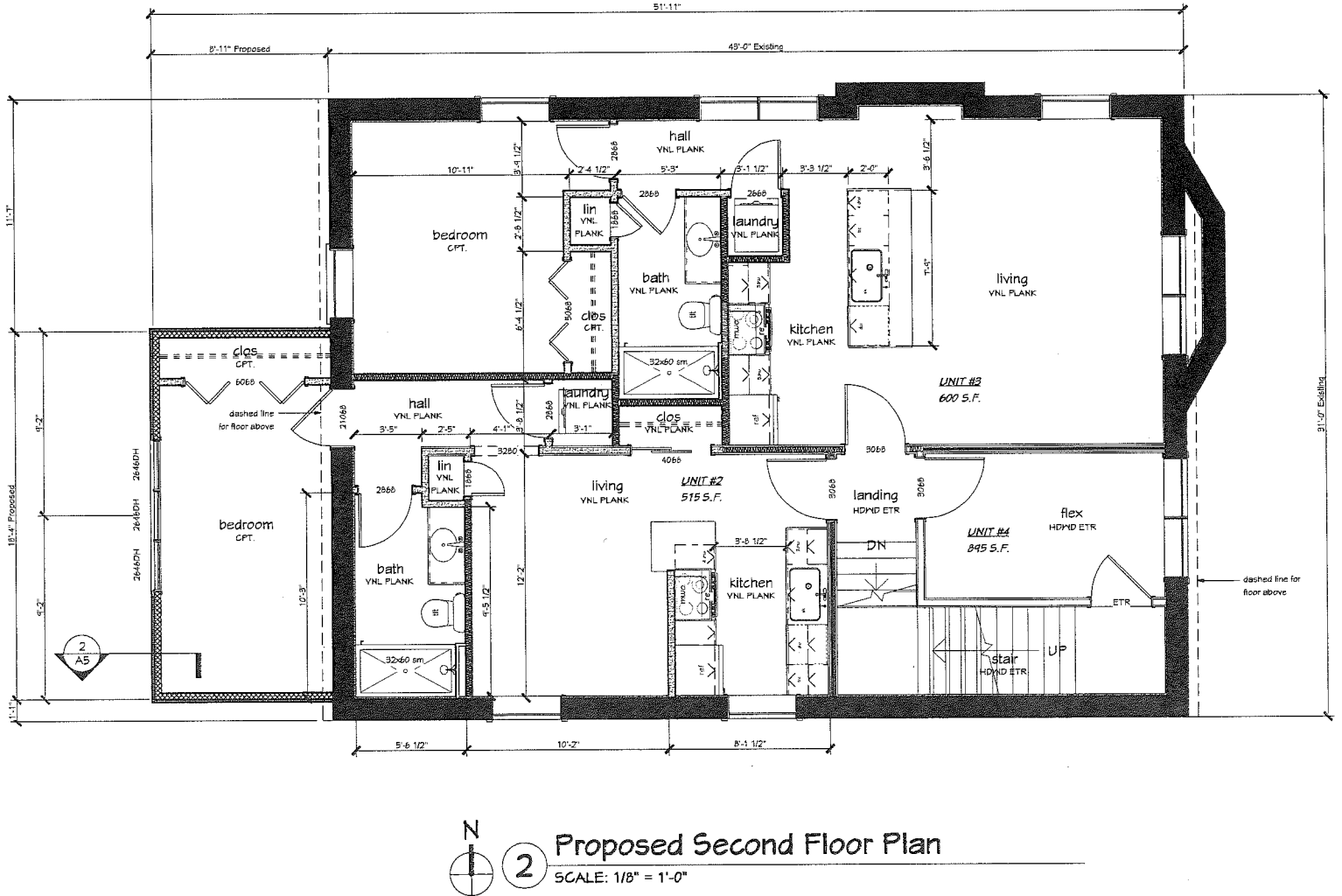
Showers: Doors & Mirrors: New sliding glass door @ showers & mirrors @ vanities.

Appliances: Provide an allowance for appliances as shown.

Flooring:

- HDWD ETR - Existing hardwood to remain, patch and refinish as required
- HDWD - New hardwood to match existing
- CPT - New carpet & pad
- VNL PLANK - New vinyl plank flooring
- VNL W/P DECKING - New vinyl waterproof decking
- TILE - New tile & underlayment
- PD CDMF - New composite wood decking

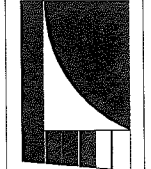
*Note - Provide soundproof floor underlayment @ all new flooring locations as required.



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Zoning Submittal

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Remodel for
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revision index		
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date: 5/29/2016
drawn by: BB

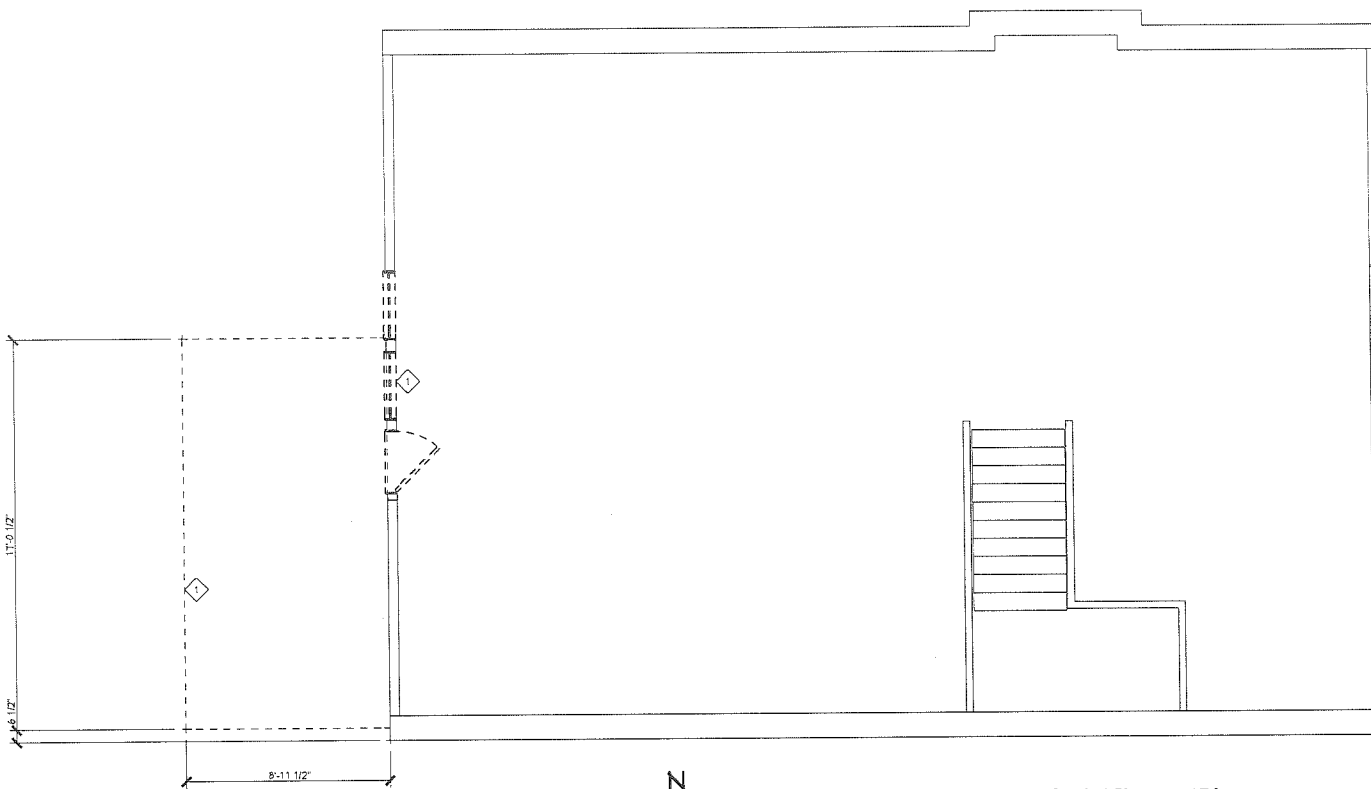
A3

General Notes - Demolition Plan

- The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity, including demolition and new construction.
- The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
- All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
- The disposition of all equipment, fixtures, doors, windows, hardware, etc. slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use; all other salvaged items shall be turned over to the owner.
- Extent of demolition of openings must be coordinated with the new construction.

Key Notes - Demolition Plan

- Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc. (typ).



Existing/ Demo Third Floor Plan
SCALE: 1/8" = 1'-0"

General Notes - Third Floor Plan

- See Title Sheets for Abbreviations & Product & Material Specifications.
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall boards or other finish items unless noted otherwise.
- Provide solid wood blocking & bracing for all wall-mounted & ceiling mounted equipment according to the equipment manufacturer's instructions or as required by the equipment supplier or installer.
- Verify rough opening requirements for all framed openings.
- Position & layout of cabinetry, countertops, appliances & fixtures are for general reference only. Installation & rough-ins shall be per owner approved shop drawings.
- Unless noted otherwise, Linen, Pantry, Storage & Utility Closets to receive five adjustable white low pressure laminate shelves on pre-finished steel or aluminum shelf standards of sufficient strength to support loads. Shelf depth shall allow clearance for changing shelf heights.
- All Bedroom Closets, entry Coat Closets & Mudroom Closets to receive one white low pressure laminate fixed shelf with pre-finished steel, aluminum or wood hanging rod. Shelf to be 1/2 the depth of the closet, mounted at 10" above the finished floor; rod to be mounted at 66" above the finished floor & centered in the closet depth.
- Bathrooms to receive an Energy Star rated venting fan with built-in adjustable delay timer & automatic backdraft damper. If installed within a shower enclosure, select a unit that is UL listed for this use & wire to a GFCI protected circuit. Exhaust directly to the exterior through a single 4" diameter min 20gpa min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a covered wall cap or dampened & screened roof jack.
- Exhaust clothes dryer directly to the exterior through a single 4" diameter min. 20gpa min smooth-bore rigid duct, minimum elbows, minimum run, terminating with a dampened wall cap or screened roof jack. If the vent is routed through a framed wall provide a recessed dryer vent box or manifold. In all cases the vent must exhaust 3' (min) from any other opening into the building.
- Provide ducted range hood & vent fan with automatic backdraft damper, Energy Star rated. Exhaust directly to the exterior through a single 4" min, 20gpa min, smooth-bore rigid duct, minimum elbows, minimum run, terminating with a screened & dampened wall cap or roof jack.

Partition Type Legend

Existing Exterior Wall:	
Existing Masonry Load Bearing Wall:	
Existing 2x Interior Wall:	
Existing 2x Interior Wall w/ sound batt insulation:	
New 2x Exterior Stud Wall w/ foam-in-place insulation:	
New 2x Interior Stud Wall w/ sound batt insulation:	

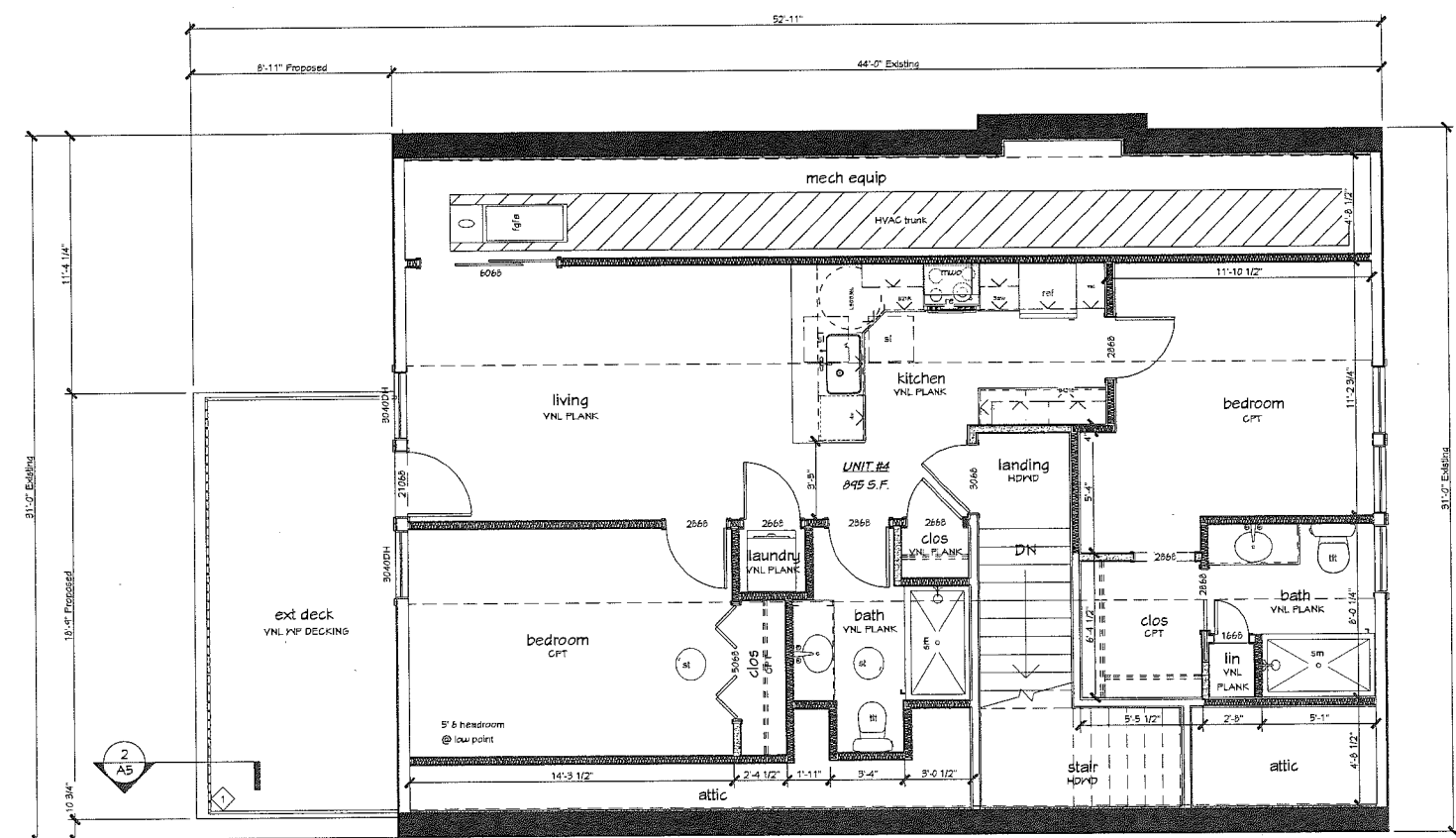
*Note - Provide plaster finish to match existing.

Finish Info - Third Floor Plan

- Trim - Base & Casing: New base and casing to match existing in material, profile & finish. Reuse existing where possible.
- Doors: New doors are to match existing in material, profile & finish. Reuse existing doors where possible.
- Windows: New windows are to match existing in material, profile & finish. Re-glaze existing windows as required.
- Cabinetry: New kitchen and bath cabinets are to match existing trim material & finish, verify door style. Countertops are to be laminate for the kitchen and bath.
- Shower Doors & Mirrors: New sliding glass door @ showers & mirrors @ vanities.
- Appliances: Provide an allowance for appliances as shown.
- Flooring:
 HDND ETR - Existing hardwood to remain, patch and refinish as required
 HDND - New hardwood to match existing
 CPT - New carpet & pad
 VNL PLANK - New vinyl plank flooring
 VNL IMP DECKING - New vinyl waterproof decking
 TILE - New tile & underlayment
 FND CONFP - New composite wood decking
 *Note - Provide soundproof floor underlayment @ all new flooring locations as required.

Key Notes - Third Floor Plan

- New guardrail system

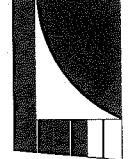


Proposed Third Floor Plan
SCALE: 1/8" = 1'-0"

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Zoning Submittal

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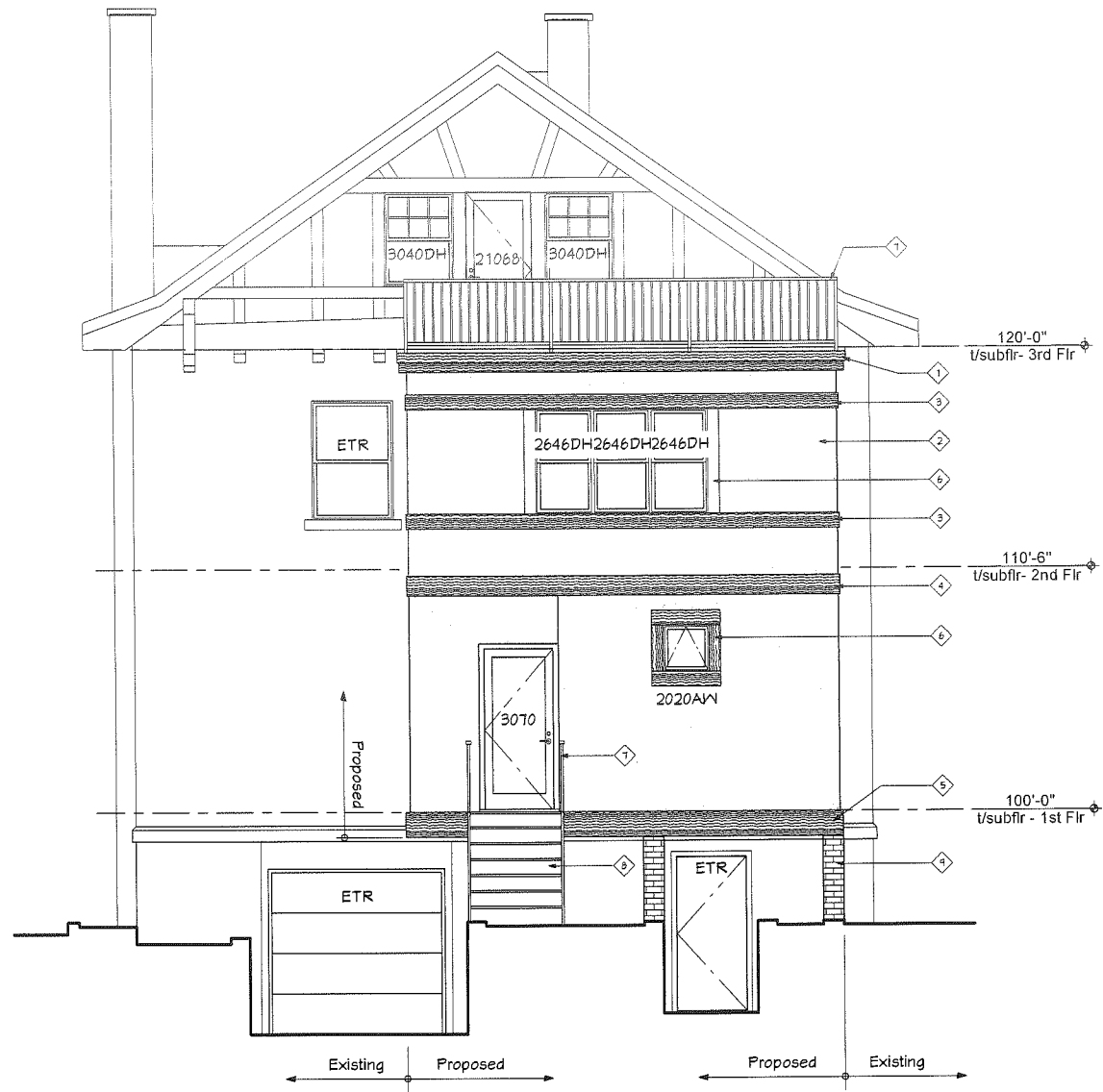


Remodel for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

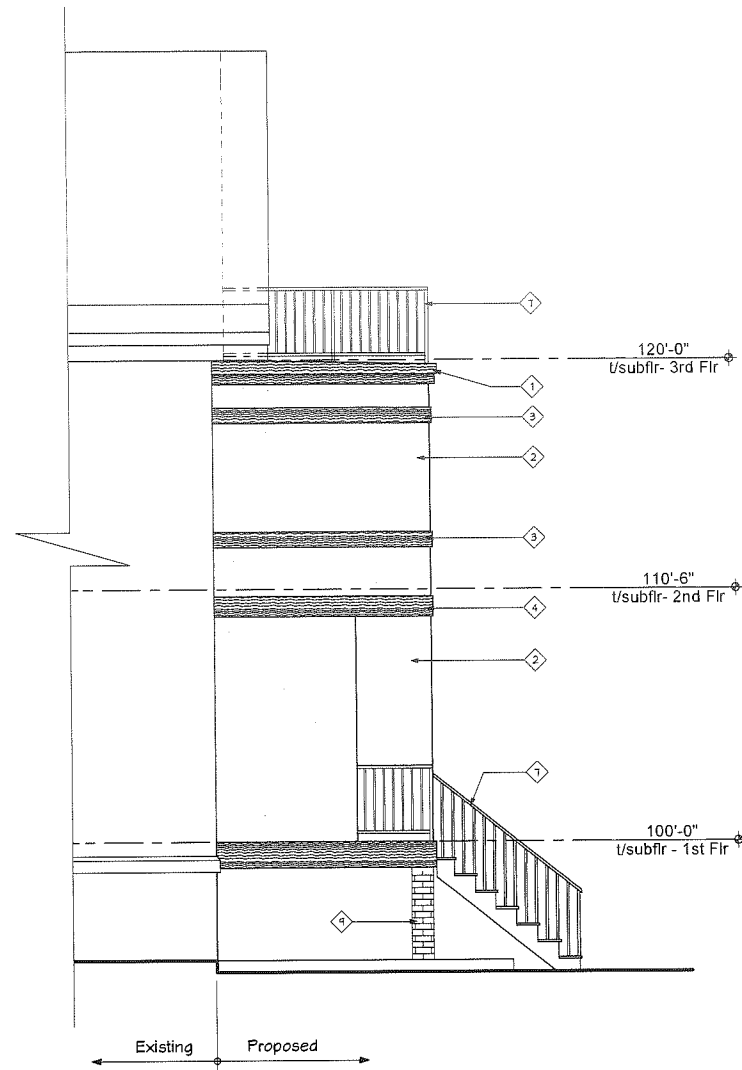
Revision Index		
#	date	reference

project: 18011
date: 5/24/2016
drawn by: BB

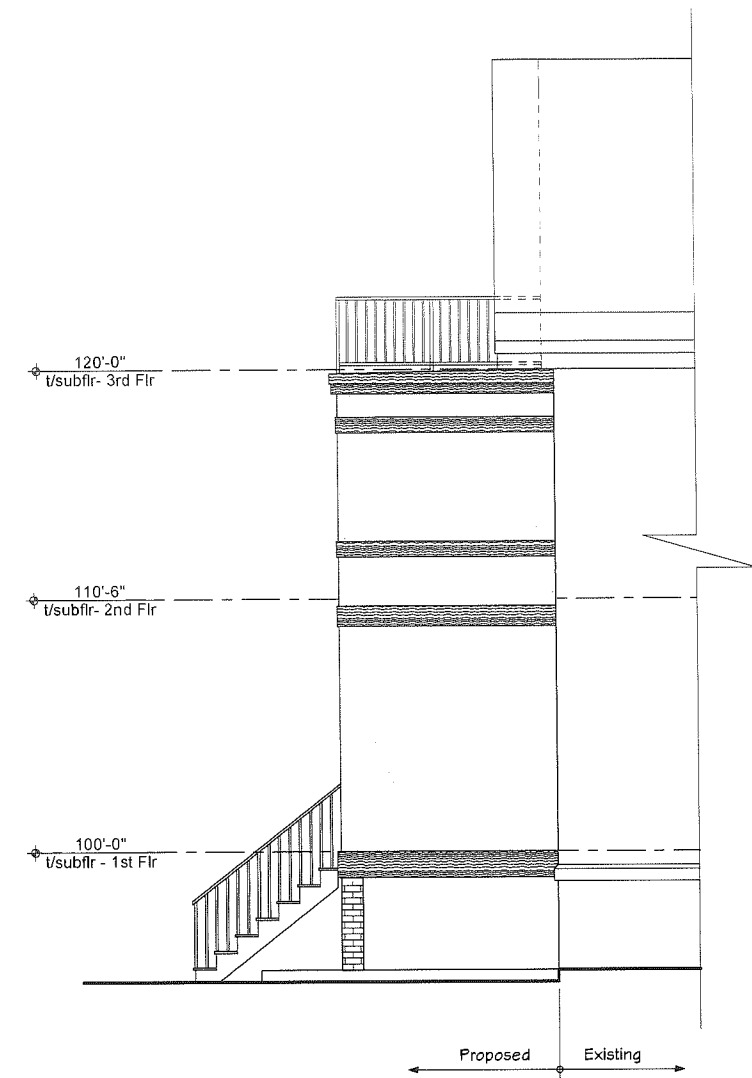
A4



1 West Elevation
SCALE: 1/8" = 1'-0"



2 North Elevation
SCALE: 1/8" = 1'-0"



3 South Elevation
SCALE: 1/8" = 1'-0"

General Notes - Exterior Elevations

1. See Title Sheet for Abbreviations.
2. See Typical Exterior Wall Sections for additional material information, sizes & dimensions.
3. Provide physical samples of all exterior materials, colors & finishes for owner approval prior to installation.
4. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.

Key Notes - Exterior Elevations

1. LP Smartside 1x6 fascia over 1x12 fessica
2. EIFS - texture to match existing
3. LP Smartside 440 series trim (1 1/4")
4. LP Smartside 440 series trim (1 1/4")
5. LP Smartside 440 series trim (1 1/2")
6. LP Smartside 440 series trim (5 1/2")
7. Aluminum railing system
8. Wood composite deck/ stair system
9. Existing masonry pier to remain

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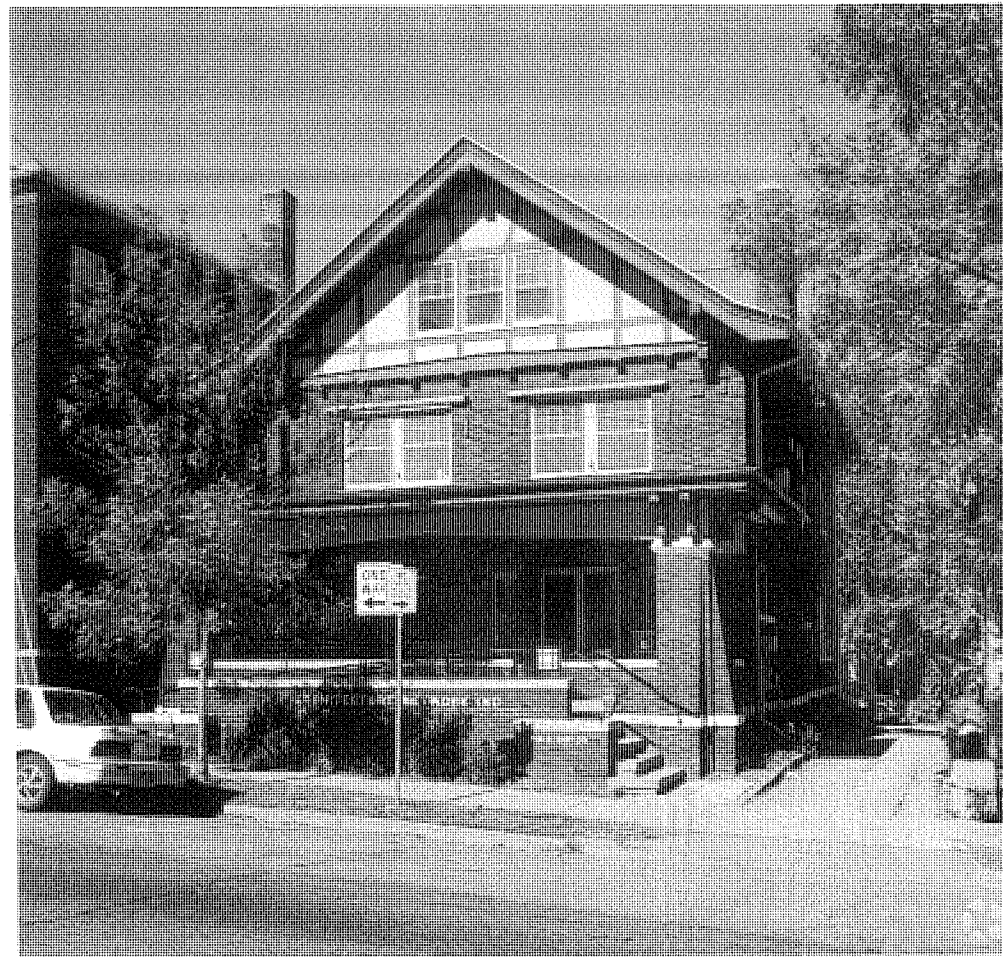
Remodel for
Sandy & Dewey Bredeson
 116 East Dayton Street, Madison, WI, 53703

revision index		
#	date	reference

project: 18011
 date: 4/16/2018
 drawn by: BB



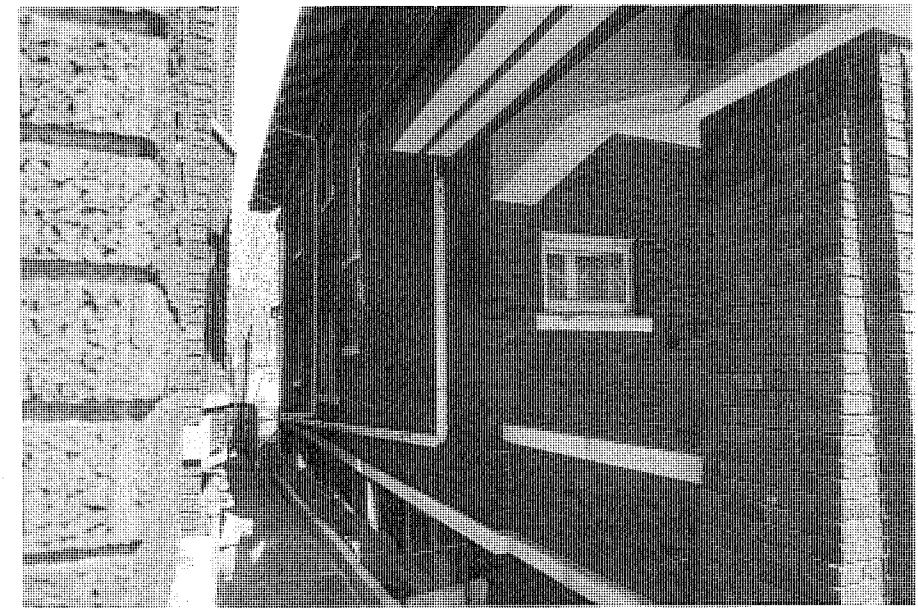
1 Existing West Elevation [△]
SCALE: 1/8" = 1'-0"



2 Existing East Elevation [△]
NTS



3 Existing North Elevation [△]
NTS

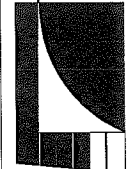


4 Existing South Elevation [△]
NTS

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Zoning Submittal

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Interior Alteration for
Sandy & Dewey Bredeson
116 East Dayton Street, Madison, WI, 53703

#	date	reference
1	4/28/18	SDS1
2	4/30/18	SDS2
3	5/1/18	SDS3
4	5/2/18	SDS4

project: 18011
date: 5/8/2018
drawn by: BA

A7