

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>12-10-07</u>	<input checked="" type="checkbox"/> Action Requested
UDC MEETING DATE: <u>12-19-07</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1920 S. PARK STREET

ALDERMANIC DISTRICT: 13

OWNER/DEVELOPER (Partners and/or Principals) YDM BRANOS INC. ARCHITECT/DESIGNER/OR AGENT: PFDA ARCHITECTS
4575 WEAVER PARKWAY 20 N. WACKER DR.
WARRANVILLE, IL 60555 CHICAGO, IL 60606

CONTACT PERSON: JEFFREY BROWNELL
Address: "SEE ARCH ABOVE"

Phone: 312 795-1235
Fax: 312 795-1250
E-mail address: J.BROWNELL@PFDAINC.COM

TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

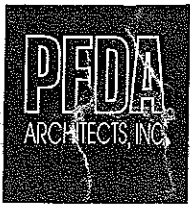
(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



Project Summary;

Proposed Taco Bell Remodel

1920 South Park Street

Madison, WI

We are the Architects hired by Yum Brands Inc. to design and develop a new Taco Bell Restaurant to replace the existing restaurant at 1920 South Park Street in Madison. Yum Brands Inc. is the corporate owner of Taco Bell Restaurants. They own the property at this location and the building was originally constructed in 1991. This project was in the Town of Madison until it was recently annexed into the City of Madison.

Yum Brands would like to construct a new single story Taco Bell restaurant with approximately 51 seats and drive-through facilities. The main building size is approximately 75' long x 27' wide and it has a gross area of 2,160 S.F. The existing site is only about a third of an acre however the proposed site layout shows 21 parking spaces, which include 1 accessible space for people with disabilities and enough drive-through stacking to accommodate a minimum of 6 vehicles.

Yum Brands has proposed to modify their prototype building design to incorporate many of the City of Madison's Urban Design Guidelines. The façade will have a mix of masonry materials on all four faces of the building. The building height has been raised, a stone beltline added, and high windows included giving the appearance of a 2-story building. Although this is a small building, a change in materials has been incorporated to break-up the long walls of the building. Lastly, a large cornice has been added to cap the perimeter of the building.

The building will prepare Taco Bell Brand menu items on site. Customers may either walk-in, order, and eat in the 51-seat dining room or they may order and pick-up their food by using the drive-thru facilities provided. The dining room will have a self-service soda machine and central condiment station for customer's use. A variety of seating such as booths, banquettes, and individual tables will be provided. Food products will continue to be delivered to the site in the morning before the store opens and these products will be brought into the kitchen through the rear kitchen door. There is a walk-in cooler and freezer located near the rear service door and most of the products will go directly into this unit. The kitchen will be set-up for product movement from rear to front. There is a double sided central work station in the kitchen for assembly of food orders prior to either going up to front counter or to the drive-thru window area.

The subject property is currently zone as C-2 and the properties to the north and south are also zoned C-2. The rear of this site abuts a residential zoning district of R2 which is still located in the Town of Madison. A single story retail building is located to the north and a 2-story commercial building with restaurant is located to the south.

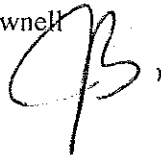
There should be no environmental concerns with this establishment. It is a new building, which will have state of the art equipment and new mechanical systems. Noise from drive-thru speakers will be minimized because the drive-thru employees wear headsets and the volume of the speakers is adjustable. Yum Brands would like to maintain the current traffic patterns that exist on the site. This current layout positions the parking area directly in front of the main entrance of the restaurant.

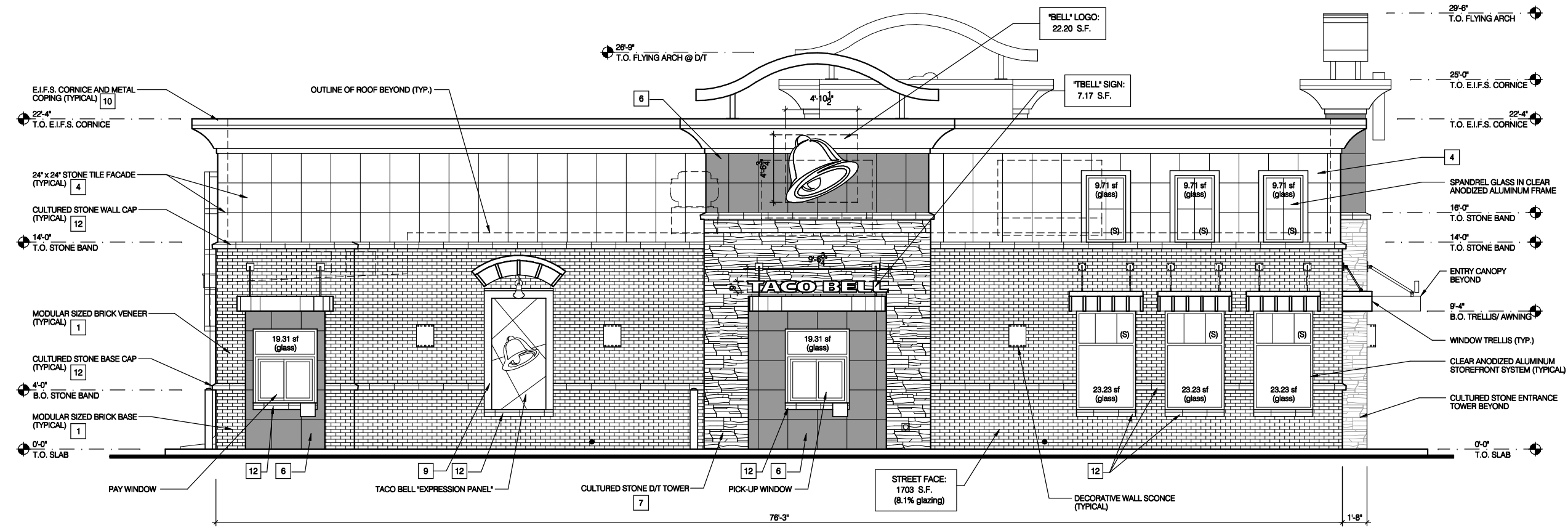
Yum Brands Inc. will maintain their existing 35 employees to operate this facility. They have a maximum of 12 employees per shift. The typical store hours will remain 10am to 10pm for the dining room and 10am to 12am for the drive-through. The hours may be adjusted by the operator based on the needs of the community. As noted above, product deliveries are typically scheduled for mornings before the 10am scheduled opening and deliveries are typically made by a straight body truck. This facility will typically only receive one delivery per day.

We hope that this information is helpful and please contact us if you should need anything else.

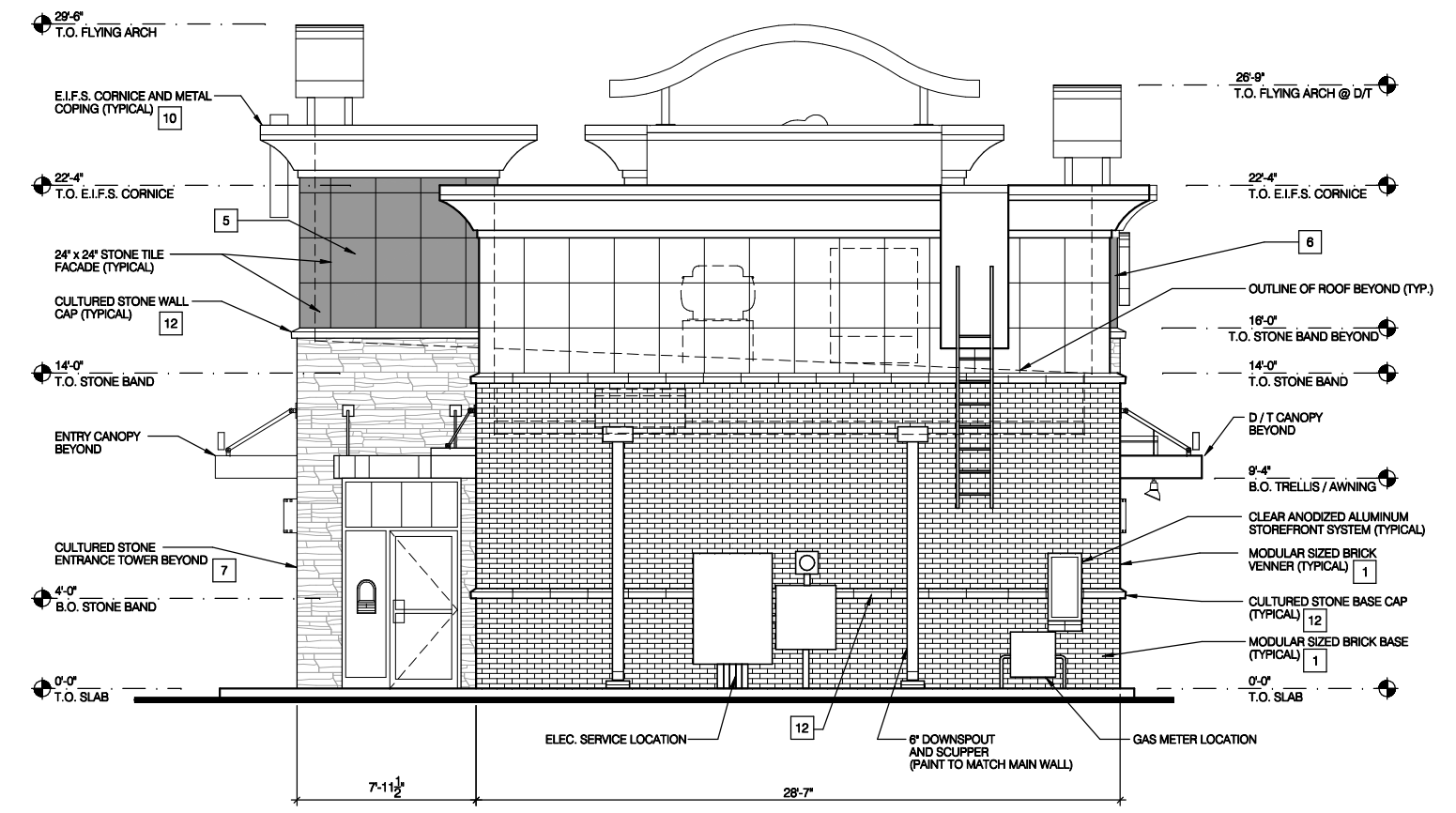
PFDA ARCHITECTS, INC.

Jeffrey Brownell





LEFT SIDE ELEVATION 1/4" = 1'-0" **A**



REAR ELEVATION 1/4" = 1'-0" **B**

DATE	DESCRIPTION
11-30-07	FEASIBILITY

CONTRACT DATE:	11-01-07
BUILDING TYPE:	T38-B07
PLAN VERSION:	AUG 07
SITE NUMBER:	28-7303
STORE NUMBER:	32-5624

TACO BELL
1920 SOUTH PARK
STREET
MADISON, WI 53718



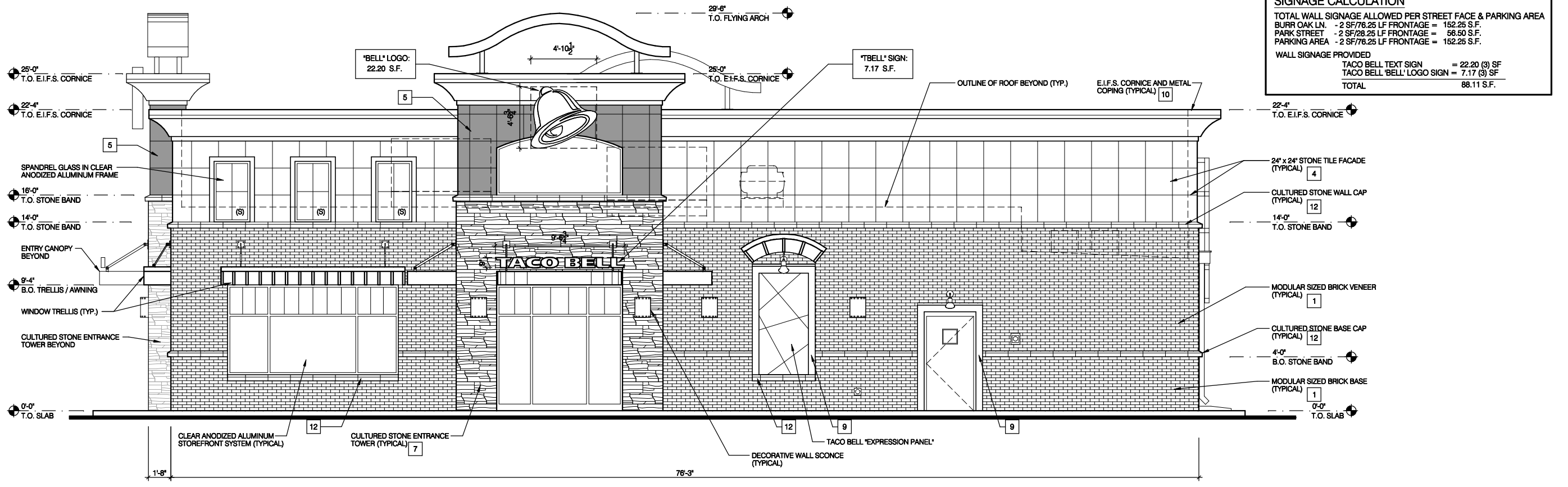
EXTERIOR ELEVATIONS

A4.1

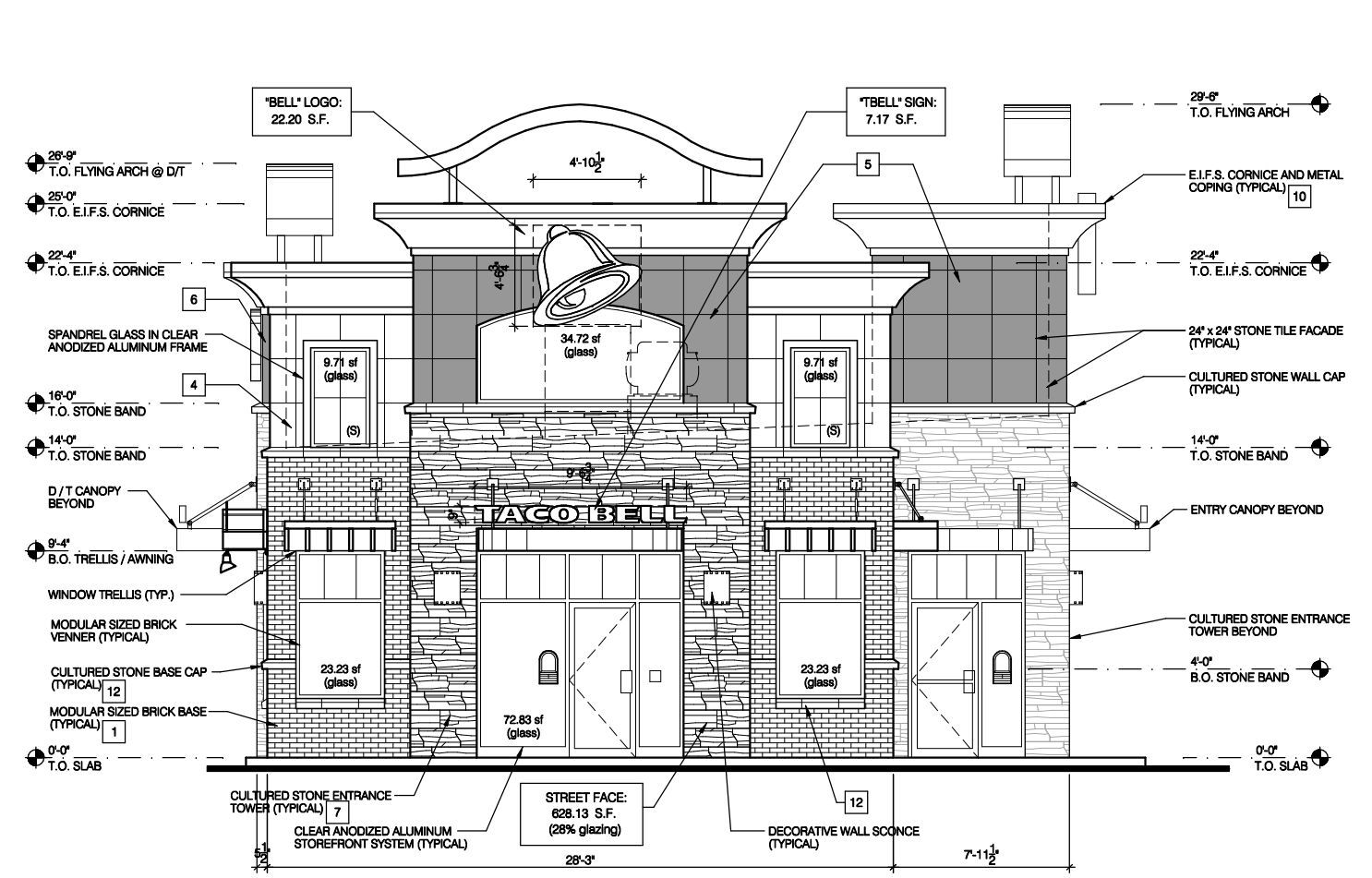
SIGNAGE CALCULATION

TOTAL WALL SIGNAGE ALLOWED PER STREET FACE & PARKING AREA
 BURR OAK LN. - 2 SF/76.25 LF FRONTAGE = 152.25 S.F.
 PARK STREET - 2 SF/28.25 LF FRONTAGE = 56.50 S.F.
 PARKING AREA - 2 SF/76.25 LF FRONTAGE = 152.25 S.F.

WALL SIGNAGE PROVIDED
 TACO BELL TEXT SIGN = 22.20 (3) SF
 TACO BELL 'BELL' LOGO SIGN = 7.17 (3) SF
TOTAL = 88.11 S.F.



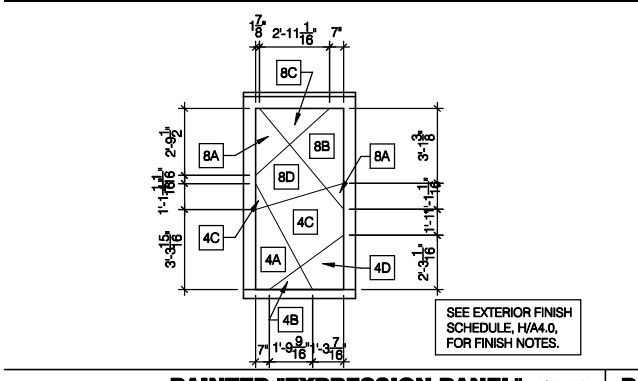
RIGHT SIDE ELEVATION 1/4" = 1'-0" **A**



FRONT ELEVATION 1/4" = 1'-0" **E**

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	REMARKS
1	TACO BELL BUILDING FIELD BRICK	CORONADO	PALOMINO			
2	NOT USED	-	-			
3	NOT USED	-	-			
4	TACO BELL BUILDING FIELD STONE TILE	TBD	TBD			
5	TACO BELL ENTRY TOWER STONE TILE	TBD	TO MATCH AMBER WAVE			
6	TACO BELL DRIVE-THRU TOWER & DRIVE-THRU WINDOWS STONE TILE	TBD	TO MATCH ROCKWOOD CLAY			
7	TACO BELL TOWERS STONE (DRYSTACK)	CORONADO	IDAHO DRYSTACK - CARMEL MOUNTAIN, CULTURED STONE	OWENS CORNING JEFF BYERS 948-347-6904		CULTURED STONE 'BROWN STONE LEDGERROCK'
8A	TACO BELL EXPRESSION PANEL COLOR	SHERWIN WILLIAMS	6383 'GOLDEN RULE'			
8B	TACO BELL EXPRESSION PANEL COLOR	SHERWIN WILLIAMS	2861 'AVOCADO'			
8C	TACO BELL EXPRESSION PANEL COLOR	SHERWIN WILLIAMS	2803 'ROCKWOOD TERRA COTTA'			
8D	TACO BELL EXPRESSION PANEL COLOR	SHERWIN WILLIAMS	6558 'PLUMMY'			
9	EXPRESSION PANELS & DOOR BAND COLOR	SHERWIN WILLIAMS	2823 'ROCKWOOD CLAY'			
10	E.I.F.S. CORNICE	SHERWIN WILLIAMS	WHITE			METAL COPING TO MATCH CORNICE
11	PIPE BOLLARDS	-	DOT YELLOW			
12	SILL, BASE CAP & WALL CAP STONE	CORONADO	CHABLIS, CHISELED CULTURED STONE SILL			

EXTERIOR FINISH SCHEDULE **B**



PAINTED 'EXPRESSION PANEL' 1/4" = 1'-0" **D**

QTY	ITEM DESCRIPTION	ELEC
1	TACO BELL D/T CANOPY 6'-6"W x 12'H x 4'-6"D	X
2	TACO BELL TOWER CANOPY 8'-2"W x 6'-6"D x 1'-0" 1/4"H	X
1	TACO BELL TOWER CANOPY 8'-2"W x 4'-6"D x 1'-0"H	X
3	TACO BELL FLYING ARCH 16'-5"W x 3'-3" + 1'-3"H x 3'-0"D	*
3	TACO BELL 'BELL' SIGN 4'-10" 1/2"W x 4'-6" 1/4"H	X
1	TACO BELL METAL CUT OUT BELL SIGN	
3	'TACO BELL' SIGN 9'-2"W x 9' 1/8"H	X
5	TACO BELL TRELIS CANOPY 5'-0"W x 1'-0"H x 2'-0"D	
1	TACO BELL TRELIS CANOPY 13'-8"W x 1'-0"H x 2'-0"D	
2	TACO BELL ARCHED TRELIS CANOPY	*
9	TACO BELL LIGHT FIXTURE	X

* REQUIRES LIGHT FIXTURE(S). SEE ELECTRICAL.

SIGN/AWNING/CANOPY SCHEDULE N.T.S. **C**

DATE	DESCRIPTION
11-30-07	FEASIBILITY

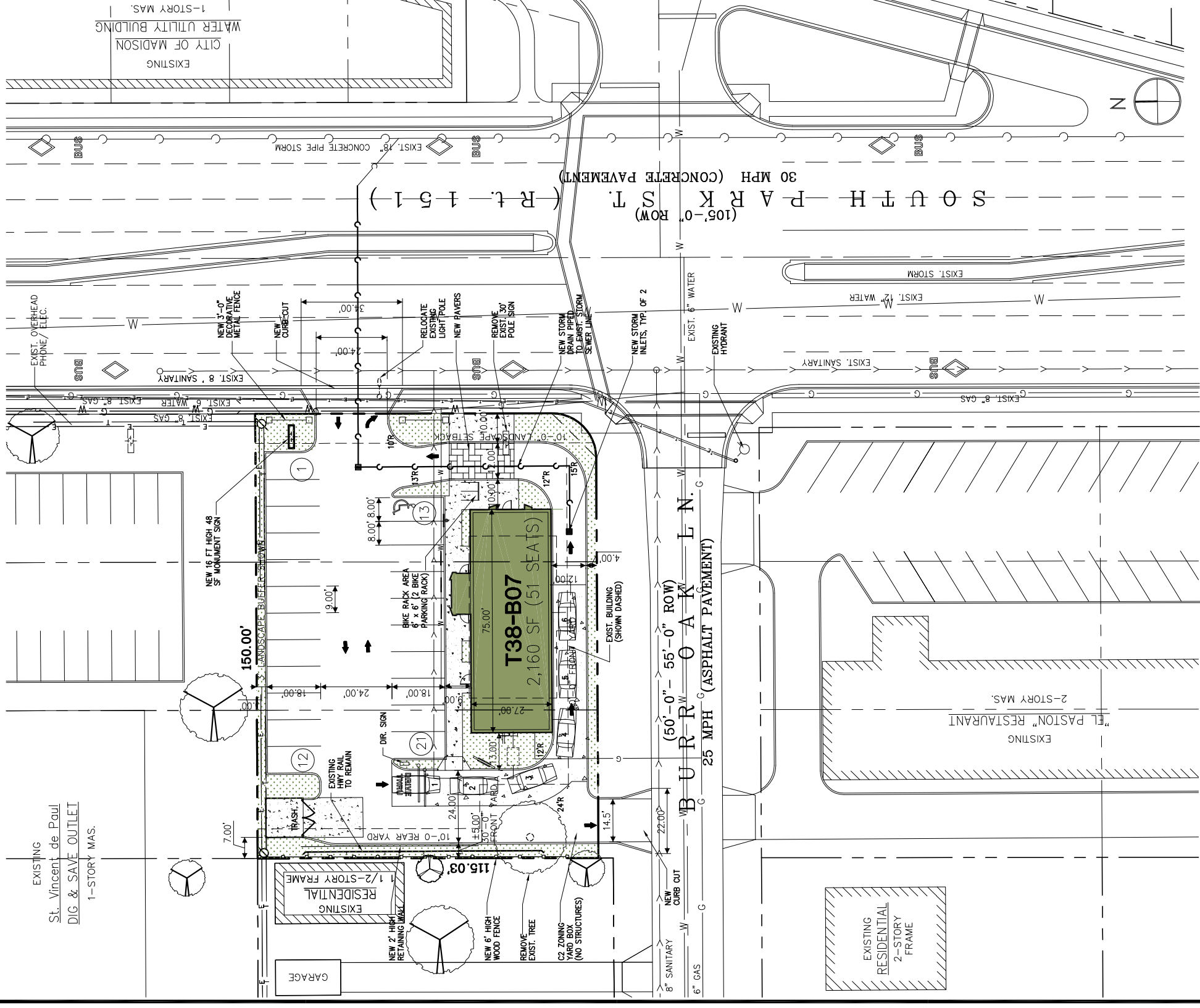
CONTRACT DATE: 11-01-07
 BUILDING TYPE: T38-B07
 PLAN VERSION: AUG 07
 SITE NUMBER: 28-7303
 STORE NUMBER: 32-5624

TACO BELL
 1920 SOUTH PARK STREET
 MADISON, WI 53718



EXTERIOR ELEVATIONS

A4.0



SITE PLAN
SCALE: 1"=20'-0"

SIGN SCHEDULE

KEY NOTE	TYPE	SIZE	NO.	NON STD.
26	FREESTANDING POLE	AREA= 48 S.F. HGT= 16' O.A.H.	1	
27	FREESTANDING MONUMENT	AREA= 16 S.F. HGT= 10' O.A.H.		
28	BUILDING WALL MOUNTED	REFER TO EXTERIOR ELEV'S.		
29	MENU BOARD AND SPEAKER	AREA= 16 S.F. HGT= 10' O.A.H.	1	
30	CLEARANCE BAR	TEXT= "CLEARANCE = 9'-10"	1	
31	PREVIEW BOARD		1	
32	DIRECTIONAL SIGN	AREA= 16 S.F. W/ WITHOUT LOGO HGT= 10' O.A.H.		
33	ENTER	/ ENTER		
34	DO NOT ENTER	/ THANK-YOU		
35	DRIVE THRU	/ THANK YOU	1	

SIGNAGE NOTES:
 1. ALL SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.
 2. GC TO PROVIDE ROUGH-IN ELECTRICAL TO ALL SIGNAGE.
 3. SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.
 4. GC TO PROVIDE ROUGH-IN ELECTRICAL TO ALL SIGNAGE.

SITE AREA BREAKDOWN

DESCRIPTION	AREA	%
SITE (GROSS)	17,213 S.F.	100%
SITE (NET)	17,213 S.F.	100%
PAVING, SIDEWALKS, TRASH	- S.F.	XX%
LANDSCAPE	2,421 S.F.	XX%
BUILDING	2,160 S.F.	XX%
OTHER	---	XX%

KEY NOTES

1. A.C. PAVING AND BASE
2. CONSTRUCT 6" P.C.C. CURB AND GUTTER
3. 12" CONCRETE CURB (ENTIRE BUILDING LENGTH)
4. CURB TO MEET EXISTING CURB ELEVATION.
5. HEAVY DUTY PAVEMENT
6. CONSTRUCT P.C.C. SIDEWALK
7. CONSTRUCT P.C.C. DEPRESSED CURB RAMP - MAX. SLOPE 1:12
8. NEW CURB, GUTTER, AND/OR SIDEWALK AND DRIVEWAYS PER CITY STANDARDS.
9. CONSTRUCT 6" THK. P.C.C. PAD W/ #3'S @ 18" O.C. OVER 6" CRUSHED AGG. OR GRAVEL BASE.
10. CONSTRUCT TRASH ENCLOSURE ON 6" PCC PAD
11. NOT USED.
12. DOUBLE FACED ILLUMINATED DIRECTIONAL SIGN (SIGN FACE AS NOTED) BY SIGN SUPPLIER. ROUGH ELECTRICAL BY G.C. (1.2 AMPS). UNDER SEPARATE PERMIT, IF REQUIRED BY TRAFFIC FLOW. ONE (1) DIRECTIONAL SIGN IS STANDARD.
13. MENU BOARD, SENSOR LOOP & SPEAKER PEDESTAL BY SIGN SUPPLIER. FOUNDATION AND ROUGH ELECTRICAL BY G.C. (4.0 AMPS). INSTALL 80' FROM DRIVE-THRU WINDOW.
14. 1000 WATT (208) VOLT YAROLIGHT TOTAL OF (8) NINE PROVIDE CUT-OFF SHIELDS WHERE NOTED ON PLAN. LIGHT FIXTURES SUPPLIED BY OWNER, INSTALLED BY G.C. MAX. OVERALL STANDARD HEIGHT = 18'-0".
15. INSTALL GUARD POST PER DETAILS (TYP. OF 5).
16. NOT USED
17. PAINT 24" HIGH LETTERS - WHITE
18. PAINT TRAFFIC ARROWS - WHITE
19. PAINT HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND.
20. PAINT 4" WIDE SOLID STRIPE - YELLOW. (BLUE @ DIAGONAL DISABLED STRIPING)
21. LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS.
22. NOT USED.
23. GREASE TRAP LOCATION.
24. ACCESSIBLE PARKING SIGN
25. INTERNAL ROOF DRAIN
26. CATCH BASIN LOCATIONS.
27. ELECTRICAL MAIN SWITCHBOARD.
28. GAS METER PER P.G.&E. REQUIREMENTS.
29. NOT USED.



20 N. WACKER DRIVE
CHICAGO, IL 60606
TEL: (312) 795-1235
FAX: (312) 795-1250

SITE PLAN NOTES

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PERMITS AND ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS ETC....
3. DEMOLITION/SITE CLEARING: SEE CIVIL DWG'S AND GEOTECHNICAL REPORT FOR EXTENT OF SITE DEMOLITION. THIS WORK SHALL INCLUDE REMOVAL OF ALL EXISTING PAVEMENTS, CURBS (U.O.N.), LIGHT POLES (INCLUDING FTG'S), VEGETATION (INCLUDING STUMPS), UTILITIES (NOT OTHERWISE REUSED), ETC. AS REQUIRED FOR NEW CONSTRUCTION.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED AS SPECIFIED IN THE SOILS REPORT. CONTRACTOR SHALL SUBMIT A FINAL PROPOSED GRADING PLAN TO THE ENGINEER AND SOILS ENGINEER WITHIN THE THREE (3) DAY PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS WITHIN THE THREE (3) DAY PERIOD. ALL AREAS TO BE PAVED HAVE BEEN RECOMMENDED IN ACCORDANCE WITH THESE PLANS AND SPECS, AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. THE A.L.T.A. SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE LOCAL UTILITY COMPANIES TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
7. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY WORK OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
8. SEE CIVIL PLANS FOR ALL WORK IN STREET RIGHT OF WAY. HIGHWAY (IF APPLICABLE) AND CITY ENCROACHMENT PERMITS TO BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.

CIVIL ENGINEER
 SIGMA DEVELOPMENT
 CONTACT: JAMES (GHIE) LEEDOM
 PHONE: 414.643.4169

LANDSCAPE ARCHITECT
 DANIEL WEINBACH & PARTNERS LTD.
 CONTACT: WENDY SCHULENBERG
 PHONE: 312.427.2888

KEY NOTES

29. 1-1/2" WATER POINT OF ENTRY. (BRING UP IN STUD WALL). PROVIDE SHUT OFF VALVE AT POINT OF ENTRY.
30. COYG FOR BUILDING SEWERS.
31. NOT USED.
32. NOT USED
33. NOT SHOWN
34. NOT USED.
35. MONUMENT SIGN. ROUGH IN BY G.C.
36. NOT USED.
37. NOT USED.
38. NOT USED.
39. HANDICAP "SWING-SIDE" MANEUVERING SPACE AT ALL EXTERIOR DOORS. 2% MAX. SIDEWALK SLOPE, 2' TO STRIKE SIDE OF DOOR, 5' OUT FROM DOOR.
40. NOT USED.
41. NOT USED.
42. NOT USED.
43. NOT USED.
44. NOT USED
45. IRRIGATION CONTROLLER REFER TO SHEET LANDSCAPE DRAWINGS.
46. SOFFIT CLEARANCE SIGN SUPPLIED BY OWNER.
47. PREVIEW BOARD, INSTALL 30'-0" FROM SPEAKER
48. NOT USED.
49. NOT USED.
50. NOT USED.
51. NOT USED.
52. NOT USED.

SITE DATA

REQUIRED PARKING =	30% OF BLDG. OCCUPANCY - 26 CARS
PROVIDED PARKING =	20 REGULAR SPACES
	01 HANDICAP SPACES
TOTAL PARKING =	21 SPACES



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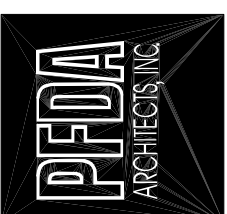
T38-B07

SITE PLAN

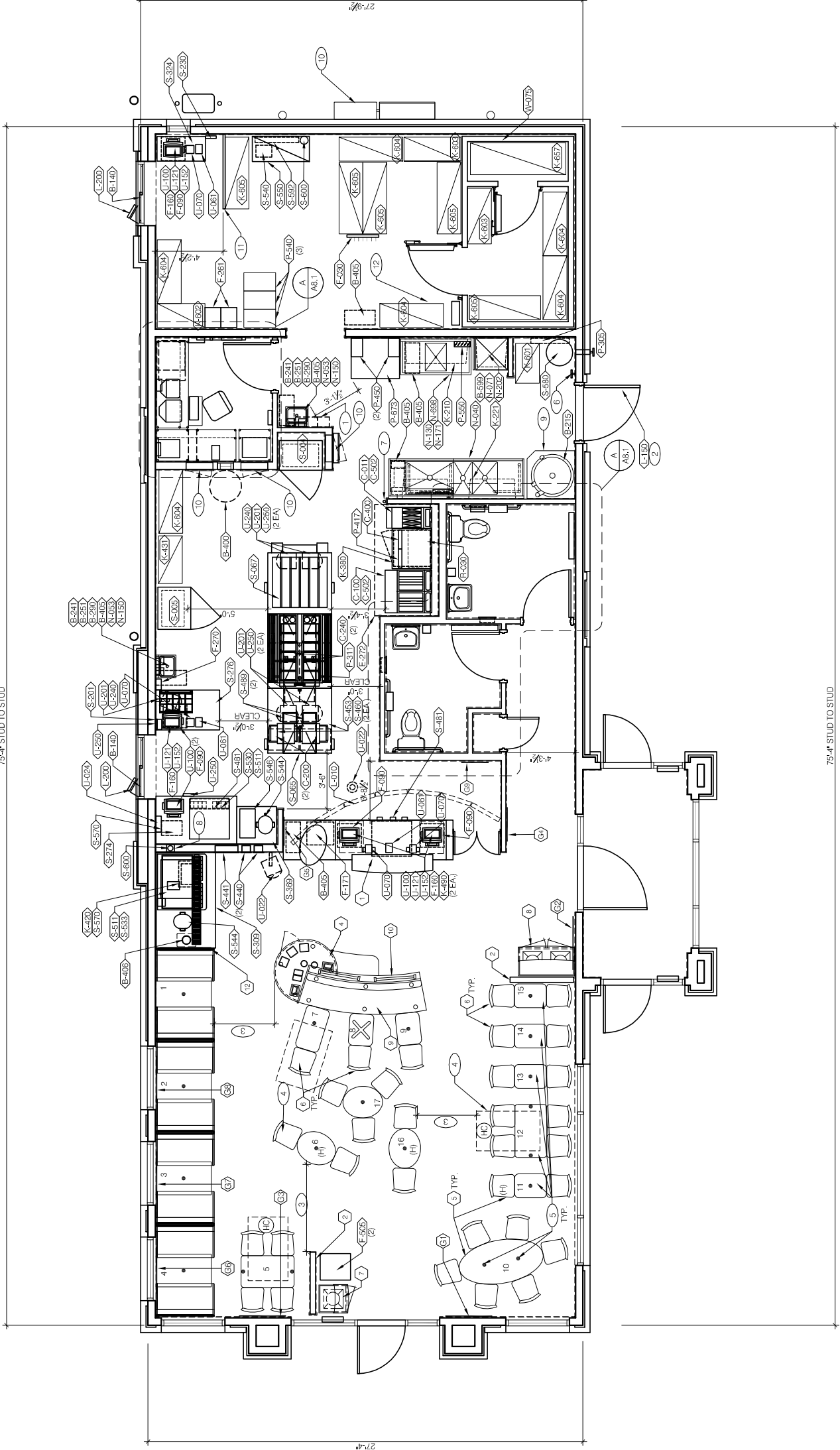
C2



1920 S Park St, Madison, WI 53713



20 N. WACKER DRIVE
CHICAGO, IL 60606
TEL: (312) 795-1235
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75'-4" STUD TO STUD

75'-4" STUD TO STUD

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11-30-07		

CONTRACT DATE: 11-01-07
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TACO BELL
1920 SOUTH PARK STREET
MADISON, WI 53713



T38-B07 EQUIPMENT AND SEATING PLAN

A2.0

JOB NO. 0737A

EQUIPMENT/SEATING PLAN 1/4"=1'-0"

QTY.	ITEM	REMARKS	QTY.	ITEM	REMARKS
1	SERVING COUNTER	INCLUDES KNEE WALL	1	"OPEN LATE" (40'-1/2" W X 48" H)	SEE A8.0 FOR LOCATION
2	DINING SCREEN	--	1	"DRIVE-THRU MAN" (40' 1/2" W X 48" H)	SEE A8.0 FOR LOCATION
3	NOT USED	--	1	"EMPTY STOMACH" (40' 1/2" W X 48" H)	SEE A8.0 FOR LOCATION
4	CONDIMENT COUNTER	--	1	TR QUALITY STATEMENT (28" W X 52" H)	SEE A8.0 FOR LOCATION
5	1 SET TABLE PACKAGE	INCLUDES TABLES, FRAMES, BOOTHS (MIN. 5% (3 SEATS)) SHALL BE ACCESSIBLE.	1	NUTRITION POSTER *	SEE A8.0 FOR LOCATION
6	1 SET CHAIR PACKAGE	--	1	"OPEN LATE" (30'-1/2" W X 48" H)	SEE A8.0 FOR LOCATION
7	1 TRASH RECEPTACLE/TRAY RETURN-SINGLE	--	1	"DRIVE-THRU MAN" (30' 1/2" W X 48" H)	SEE A8.0 FOR LOCATION
8	1 TRASH RECEPTACLE/TRAY RETURN-DOUBLE	--	1	"EMPTY STOMACH" (30' 1/2" W X 48" H)	SEE A8.0 FOR LOCATION
9	1 SETTEE	--	1	"KID'S MEAL DISPLAY" (21" W X 30" H)	SEE A8.0 FOR LOCATION
10	1 DIVIDER WALL	REFER TO PLAN AND SCHEDULE (THIS SHEET) AND INTERIOR ELEVATIONS SHEETS A8.0 & A8.1 FOR LOCATIONS			
11	1 SET ARTWORK PACKAGE				
12	1 BENCH MOUNTED DINING SCREEN				

GENERAL NOTES		C1	
1	HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102)	LINEAR FT.	
2	SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.		
3	MAINTAIN 38" MIN CLEAR AISLE EGRESS PATHS TO EXIT DOORS.		
4	30" X 48" CLEAR FLOOR SPACE FOR HANDICAP ACCESS.		
5	DOT INDICATES CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY THE SEATING VENDOR. SEE DETAIL 7/A8.5 AND SCOPE OF WORK.		
6	PULL STATION @ 3'-8" A.F.F.		
7	GAS LINE DOWN TO EQUIPMENT.		
8	CORRODATE LOCATION OF HORIZ PVC STRIP CHASE THROUGH WALL TO COUNTER.		
9	6" HIGH CONCRETE WATER HEATER PLATFORM		
10	SWITCHGEAR / ELECTRIC PANELS.		
11	22 GA S.S. PANEL W/ EASED EDGES. SCREWED TO SHELVING.		
12	8' LADDER		

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 51)		ARTWORK SCHEDULE		D	

KEYNOTES

SHELVING QUANTITIES REQUIRED	C2

* THE NUTRITION MATERIALS (ACRYLIC HOLDER, NUTRITION POSTER AND BRAND NUTRITION BROCHURES) ARE PART OF A NEW RESTAURANT'S GRAND OPENING KIT AND ARE PROVIDED BY "YUM" FORMS.

DECOR
1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
2. (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
3. (C) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.