

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>10.10.11</u>	Action Requested
UDC MEETING DATE: <u>11.2.11</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 525 W. Johnson St.

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>Double Tree</u>	<u>Grant Signs</u>
<u>525 W. Johnson St.</u>	<u>519 Terminal Dr.</u>
<u>Madison, WI</u>	<u>McFarland, WI 53558</u>

CONTACT PERSON: Eric Marty

Address: 519 Terminal Dr.
McFarland, WI 53558

Phone: 608.838.7794

Fax: 608.838.7798

E-mail address: emarty@signproductions.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

PROPERTY SEARCH RESULTS: PROPERTY DETAILS

OWNER(S)

HOWARD JOHNSON MTR
 LODGE
 % NEVIASER
 INVESTMENTS
 222 W WASHINGTON AVE
 #430
 MADISON, WI 53703

PROPERTY ADDRESS: 525 W Johnson St
Parcel Number: 070923115062
Information current as of 10/8/11 02:00AM

PROPERTY VALUE

Assessment Year	Land	Improvements	Total
2010	\$4,237,000	\$283,000	\$4,520,000
2011	\$4,237,000	\$283,000	\$4,520,000

2010 TAX INFORMATION [2010 Tax Details](#) [Pay Property Taxes](#)

Net Taxes:	\$100,489.59
Special Assessment:	\$530.53
Other:	\$0.00
Total:	\$101,020.12

RELATED DETAILS

- [Pay Taxes Online](#)
- [Sales for this Area](#)
- **Refuse Collection**
 - District: 07A
 - [Schedule](#)

PROPERTY INFORMATION

Property Use:	Hotel	Property Class:	Commercial
Zoning:	DDZ2 DDZ2T OR	Lot Size:	70,611 sq ft
Frontage:	117 - W Johnson St	Water Frontage:	NO
TIF District:	0	Assessment Area:	9936

SCHOOL DETAILS

District: [Madison](#)

- Franklin-Randall
- Hamilton
- West

COMMERCIAL BUILDING INFORMATION

[Commercial Property Record \(PDF\)](#)

CITY HALL

Aldermanic District: 4
 Ald. Michael Verveer

- [Who are my elected officials?](#)
- [Where do I vote?](#)

October 10, 2011

Urban Design Committee
City of Madison

RE: DoubleTree by Hilton – New Signage Comprehensive Design Review

Dear committee,

Attached is the proposed reimaging sign package for DoubleTree Hotel at 525 W. Johnson St.

Wall Signs

Illuminated Channel Letters – North elevation

According to the city sign code, we are allowed to cover up to 30% of this fascia with signage. The proposed channel letters are well within these restrictions.

Illuminated Cabinet – West elevation

According to the city sign code, we are allowed to cover up to 30% of this fascia with signage, and are allowed only one sign per business, per elevation. Badgerland Bar & Grill currently has an entrance sign & a street side sign on the west elevation of the building. We are requesting to allow these two existing signs for the same business on the same elevation. We are also requesting to allow new DoubleTree street side wall signage on the west elevation that will be crossing an architectural element.

Dimensional Letters – Entrance

According to the city sign code, we are allowed to cover up to 30% of this fascia with signage. The proposed entrance dimensional letters are within these restrictions.

Ground Signs

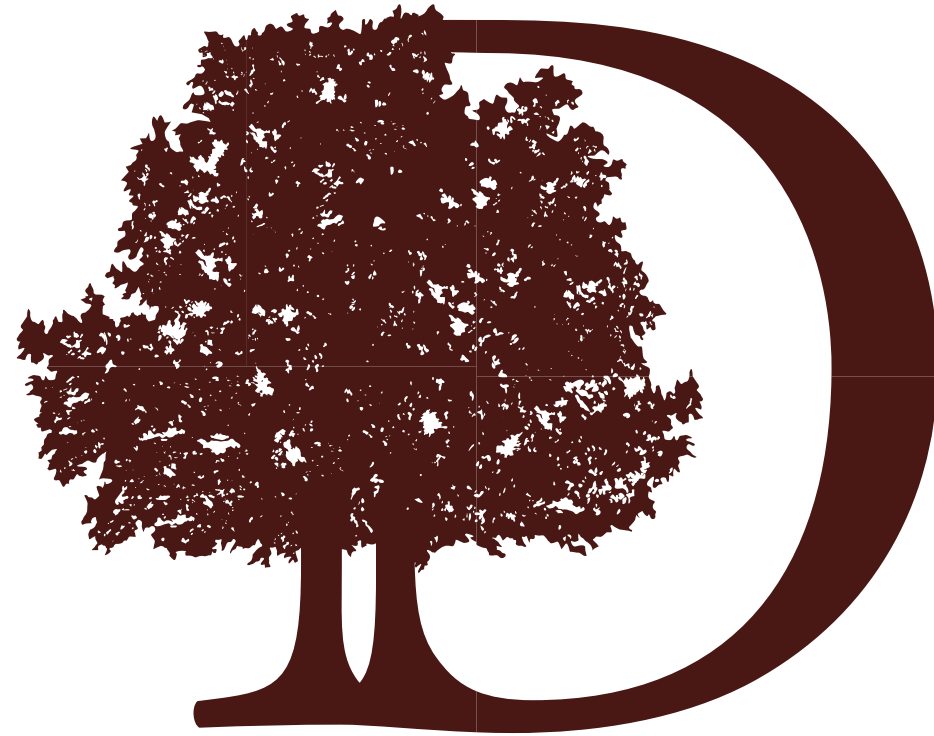
Illuminated Pole Sign – Southwest corner

According to the city sign code, a pole sign on this property is allowed a maximum height of 12' and a signable area of 32 sq.ft. Also, the setback must be within the 10' vision triangle. This existing pole sign is currently 16' tall and has 29 sq.ft. of signable area. Our plan is to chop the pole to meet the 12' maximum height and replace the cabinet with a new one with 29 sq.ft. of signable area. We are requesting to allow the sign at its current location, which does not fit within the vision triangle. The sign is currently setback 5' from the sidewalk.

We are seeking final approval on this sign package. Thank you for your consideration.



Eric Marty
Grant Signs



DOUBLE TREE

BY HILTON

BRAND APPROVED

FINAL

525 W. Johnson
Madison, WI

Design #

OQ: 22715 LINE 2

Client

DOUBLE TREE

Address

525 W. JOHNSON
MADISON, WI

Account Rep. ML/AC

Designer BE

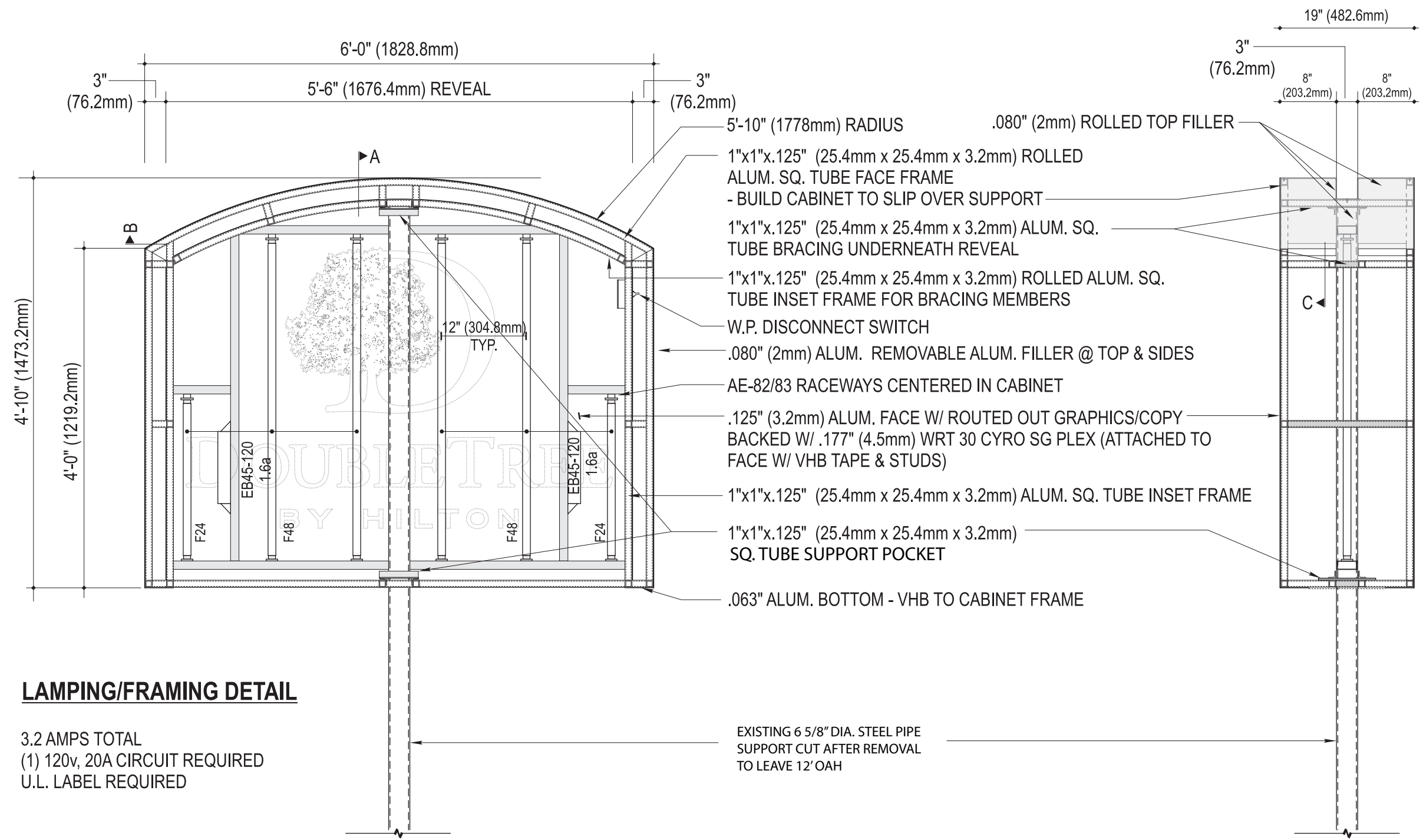
Date 4/6/11

Approval / Date

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date

3067BE	4/6/11
3067BE-2	5/16/11
show saddle mount	
3067BE-3	9/9/11
night view	
3067BR-4	10/7/11



LAMPING/FRAMING DETAIL

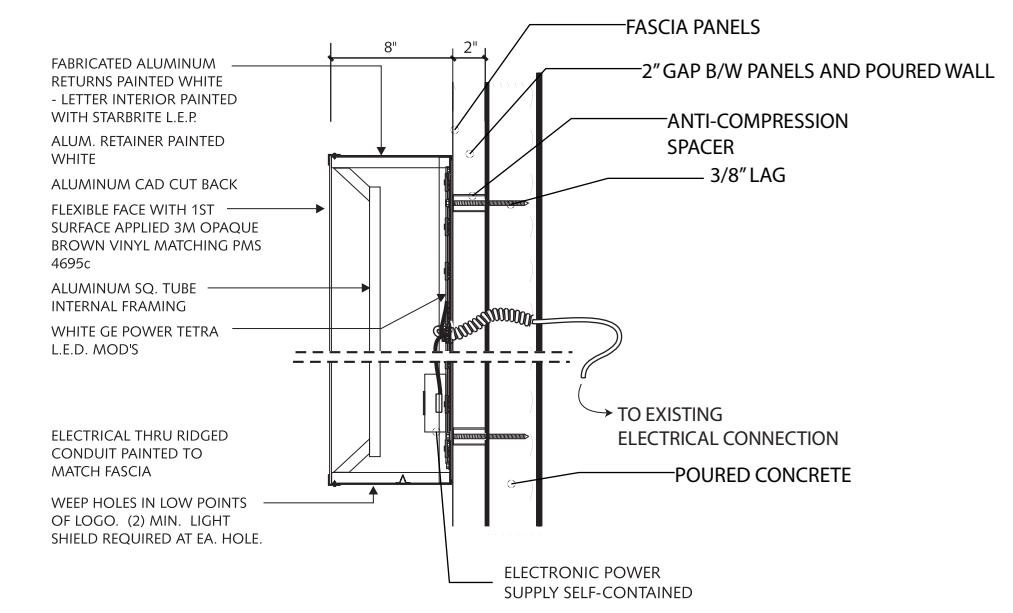
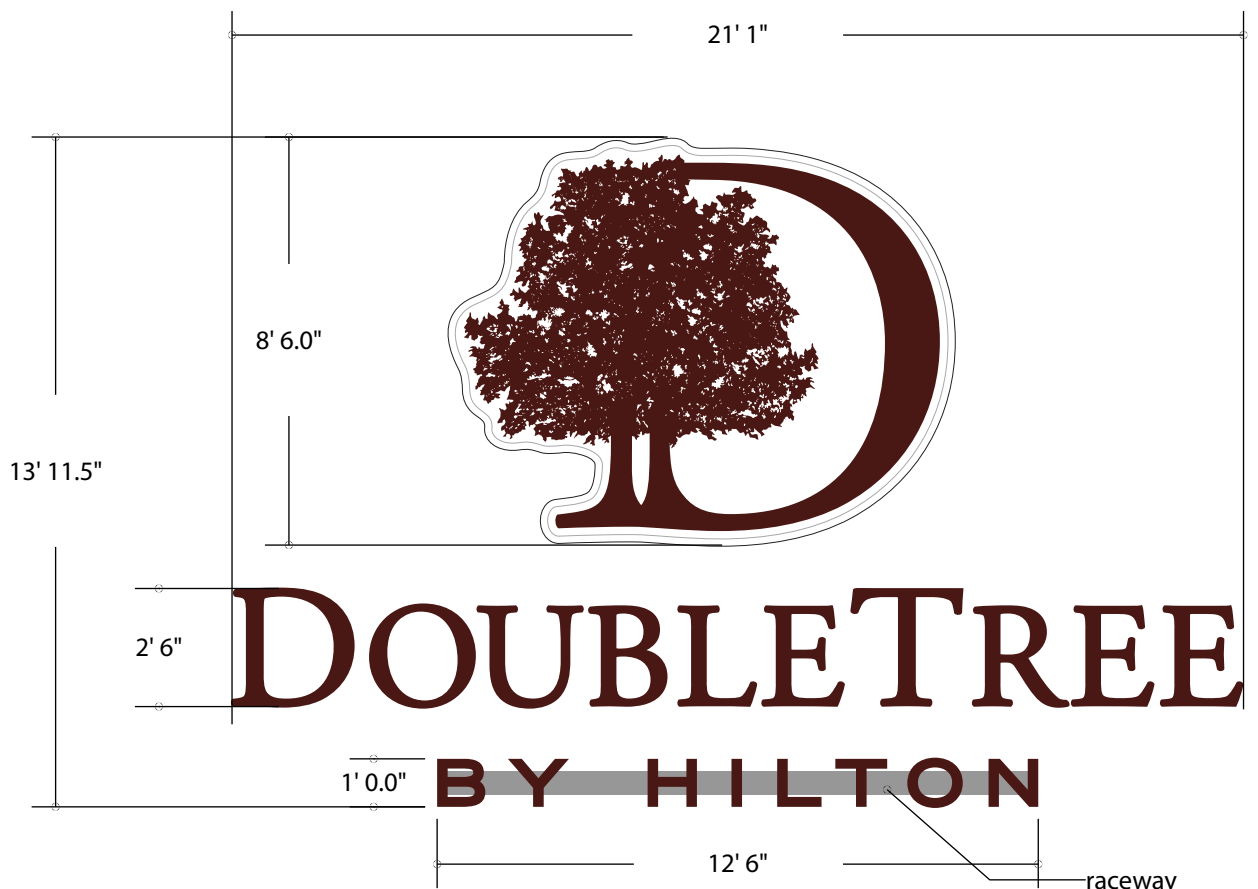
3.2 AMPS TOTAL
(1) 120v, 20A CIRCUIT REQUIRED
U.L. LABEL REQUIRED

EXISTING 6 5/8" DIA. STEEL PIPE
SUPPORT CUT AFTER REMOVAL
TO LEAVE 12' OAH

ALL ILLUMINATED SIGNAGE REQUIRE THE CLIENT'S ELECTRICIAN
TO FURNISH & INSTALL A COMPLETE PHOTOCELL AND/OR TIME CLOCK
TO ALLOW SIGNS TO OPERATE AT DESIGNATED INTERVALS. HOWEVER,
SIGN SHALL NEVER OPERATE ON A 24/7 BASIS.

ENDVIEW

OWNERSHIP REPRESENTATIVE		BRAND REPRESENTATIVE	
SIGNATURE	DATE	SIGNATURE	DATE



LOGO SECTION (OVER 6' HIGH) NOT TO SCALE



LETTER DETAIL

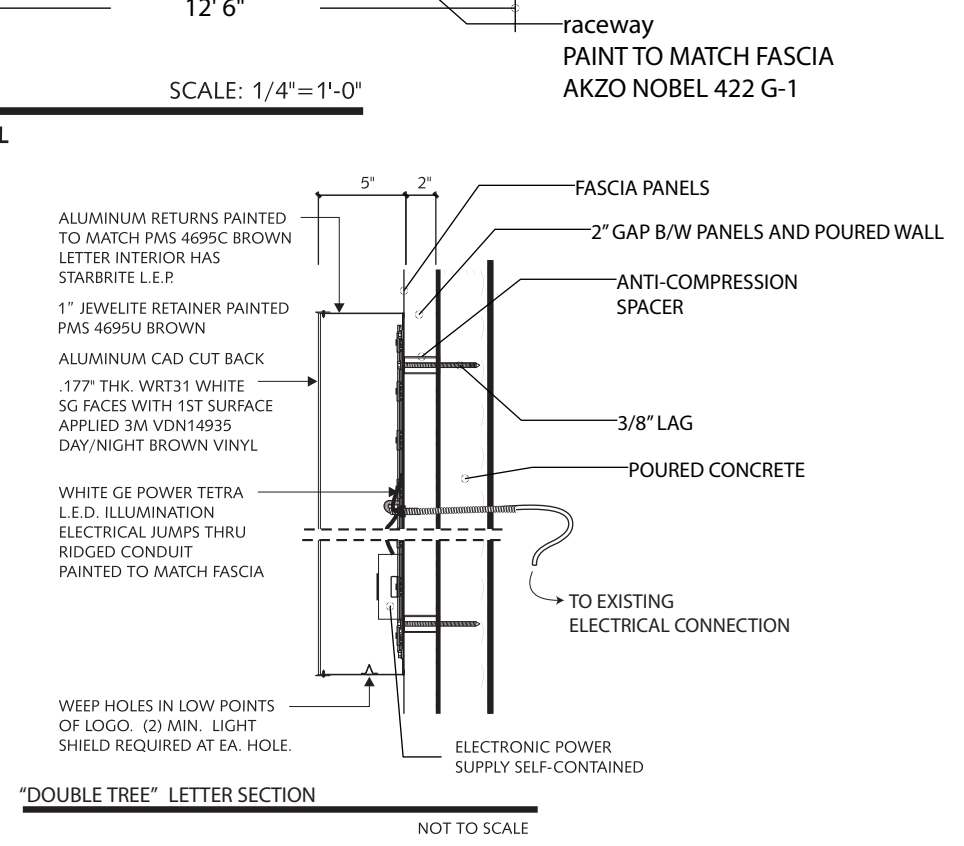
SCALE: 1/4"=1'-0"

(1) SET REQUIRED - MFR. AND INSTALL

LOGO / DT LETTERS / "BY HILTON"
RATIO NOT TO MANUAL SPEC

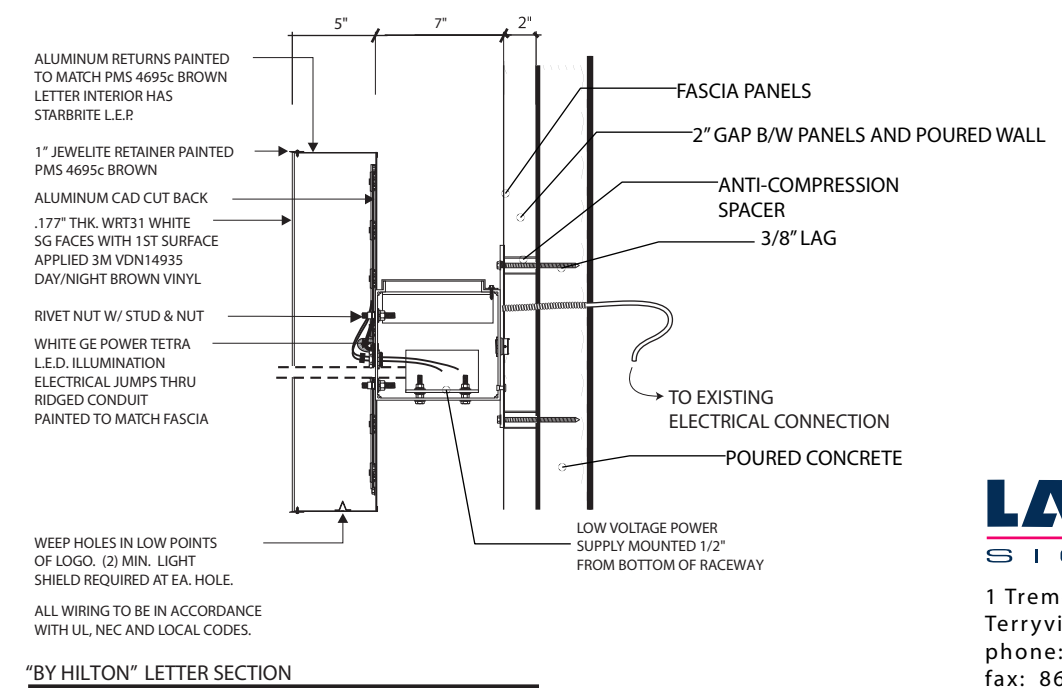
WALL PANELS WILL BE REPLACED
BY ORIGINAL MANUFACTURER.
PANELS ARE UNLIKELY TO MATCH
ORIGINALS IN COLOR.

U.L. LABELS REQUIRED
INSTALL IN ACCORDANCE W/NEC



"DOUBLE TREE" LETTER SECTION

NOT TO SCALE



"BY HILTON" LETTER SECTION

NOT TO SCALE

Design #
OQ: 22715 LINE 3 & 4

Client
DOUBLE TREE

Address
525 W. JOHNSON
MADISON, WI

Account Rep. ML/AC

Designer BE

Date 4/6/11

Approval / Date

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date

3068BE	4/6/11
3068BE-2	5/4/11
3068BE-3	5/10/11
	self-cont. p/s
3068BE-4	5/16/11
	align acc. pnls. / rev. backer pnls.
3068BE-5	6/8/11
3068BE-6	9/9/11
	night view



1 Tremco Drive,
Terryville, CT 06786
phone: 860.582.0233
fax: 860.583.0949
signs@lauretano.com
www.lauretano.com



OWNERSHIP REPRESENTATIVE		BRAND REPRESENTATIVE	
SIGNATURE	DATE	SIGNATURE	DATE

Design #
OQ: 22715 LINE 18

Client
DOUBLETREE
Address
525 W. JOHNSON
MADISON, WI

Account Rep. ML/AC
Designer BE
Date 4/6/11

Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date	
3069BE	4/6/11
3069BE-2	5/16/11
3069BE-3	8/22/11
	add installation notes
	fabricated NuGold



D EXISTING NOT TO SCALE



D PROPOSED NOT TO SCALE

D FABRICATED LOGOSET SCALE: 3/4"=1'-0"
(1) SET REQUIRED - MFR. AND INSTALL

3/8" THK. FABRICATED NUGOLD LETTERS & LOGO
BLACK 'SKY HOLE' DETAILS PRINTED ON CLARER VINYL CARRIER

LETTERS & LOGO TO BE MOUNTED FLUSH
TO WALL w/ STUDS AND SILICONE (VERIFY)

**SUPPLY ALUMINUM MOUNTING PATTERN FOR INSTALLATION
MOUNTING STUDS TO BE 4" MIN.**

LAURETANO
SIGN GROUP

1 Tremco Drive,
Terryville, CT 06786
phone: 860.582.0233
fax: 860.583.0949
signs@lauretano.com
www.lauretano.com



OWNERSHIP REPRESENTATIVE	
SIGNATURE	DATE

BRAND REPRESENTATIVE	
SIGNATURE	DATE

Design #

OQ: 22715

Client

DOUBLE TREE

Address
525 W. JOHNSON
MADISON, WI

Account Rep. ML/AC

Designer BE

Date 4/6/11

Approval / Date

Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	

Revision / Date

3070BE 4/6/11



E **EXISTING** NOT TO SCALE
EXISTING UNDER-CANOOPY SIGN - LEAVE AS IS



F **EXISTING** NOT TO SCALE
EXISTING CHANNEL LETTERS - LEAVE AS IS

LAURETANO
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www.lauretano.com



OWNERSHIP REPRESENTATIVE	
SIGNATURE	DATE

BRAND REPRESENTATIVE	
SIGNATURE	DATE