

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

1. Project Information

Address: 760 Regent Street (Requested)

Title: UW Campus Hotel

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 29, 2019

New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name Dave Merrick

Company Mortenson

Street address 17975 Sarah Lane #200

City/State/Zip Brookfield, WI 53045

Telephone 262-879-2563

Email dave.merrick@mortenson.com

Project contact person Glenn Roby

Company Kahler Slater

Street address 111 W Wisconsin, 3rd Floor

City/State/Zip Milwaukee, WI 53203

Telephone 414-290-3770

Email groby@kahlerslater.com

Property owner (if not applicant) _____

City/State/Zip _____

Street address _____

City/State/Zip _____

Telephone _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development plans (Refer to checklist on Page 4 for plan details)

NA **Filing fee**

Electronic Submittal*

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Heather Stouder on 2/13/2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Dave Merrick

Relationship to property Owner

Authorizing signature of property owner 

Date 5/16/2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (*per §35.24(6) MGO*)
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per §33.24(6)(b) MGO*)
- Comprehensive Design Review: \$500 (*per §31.041(3)(d)(1)(a) MGO*)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (*per §31.041(3)(d)(1)(c) MGO*)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (*per §31.041(3)(d)(2) MGO*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

UW CAMPUS HOTEL



760 REGENT STREET | MADISON, WISCONSIN

CONTENTS

- 01 COVER
- 02 SITE DIAGRAMS
- 06 BIKE PATH ENTRY
- 09 EAST CAMPUS MALL ENTRY
- 11 POCKET PARK
- 16 VEHICLE ENTRY
- 18 MATERIAL PALETTE

ATTACHMENTS

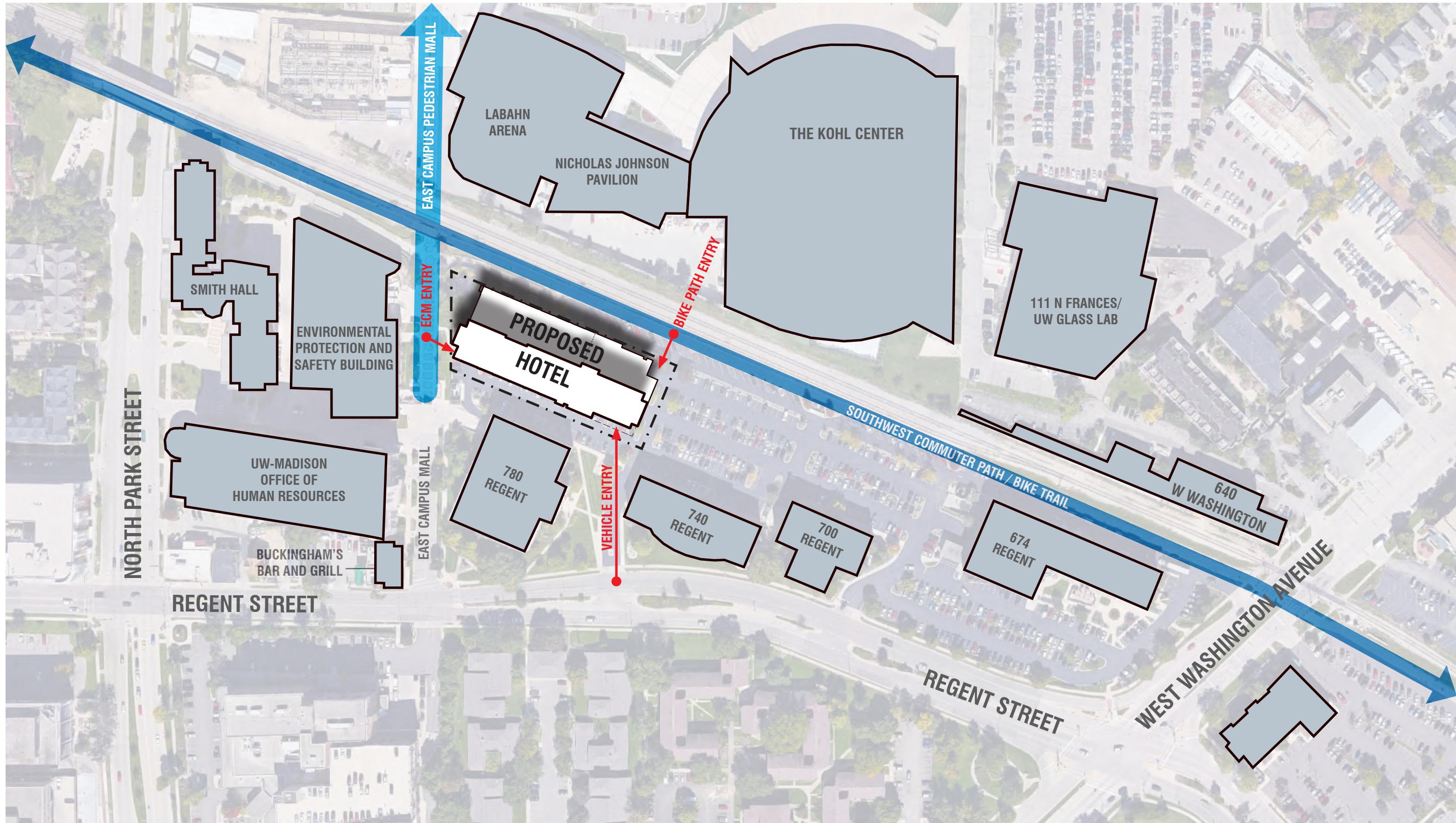
- 11x17 ARCHITECTURAL DRAWINGS
- 11x17 CIVIL DRAWINGS
- 11x17 LANDSCAPE DRAWINGS
- 11x17 SITE LIGHTING DRAWINGS
- 8.5x11 SUPPORTING DOCUMENTS
- 30x42 CIVIL, LANDSCAPE AND SITE LIGHTING DRAWINGS



 NOT TO SCALE

LOCATION PLAN

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1

0' 200'

 Mortenson

UW CAMPUS HOTEL

MADISON, WISCONSIN

SITE CONTEXT PLAN

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Kahler Slater



VIEW NORTH AT EAST CAMPUS MALL



VIEW NORTH FROM REGENT STREET



VIEW WEST TO THE DEVELOPMENT



VIEW WEST ON BIKE TRAIL



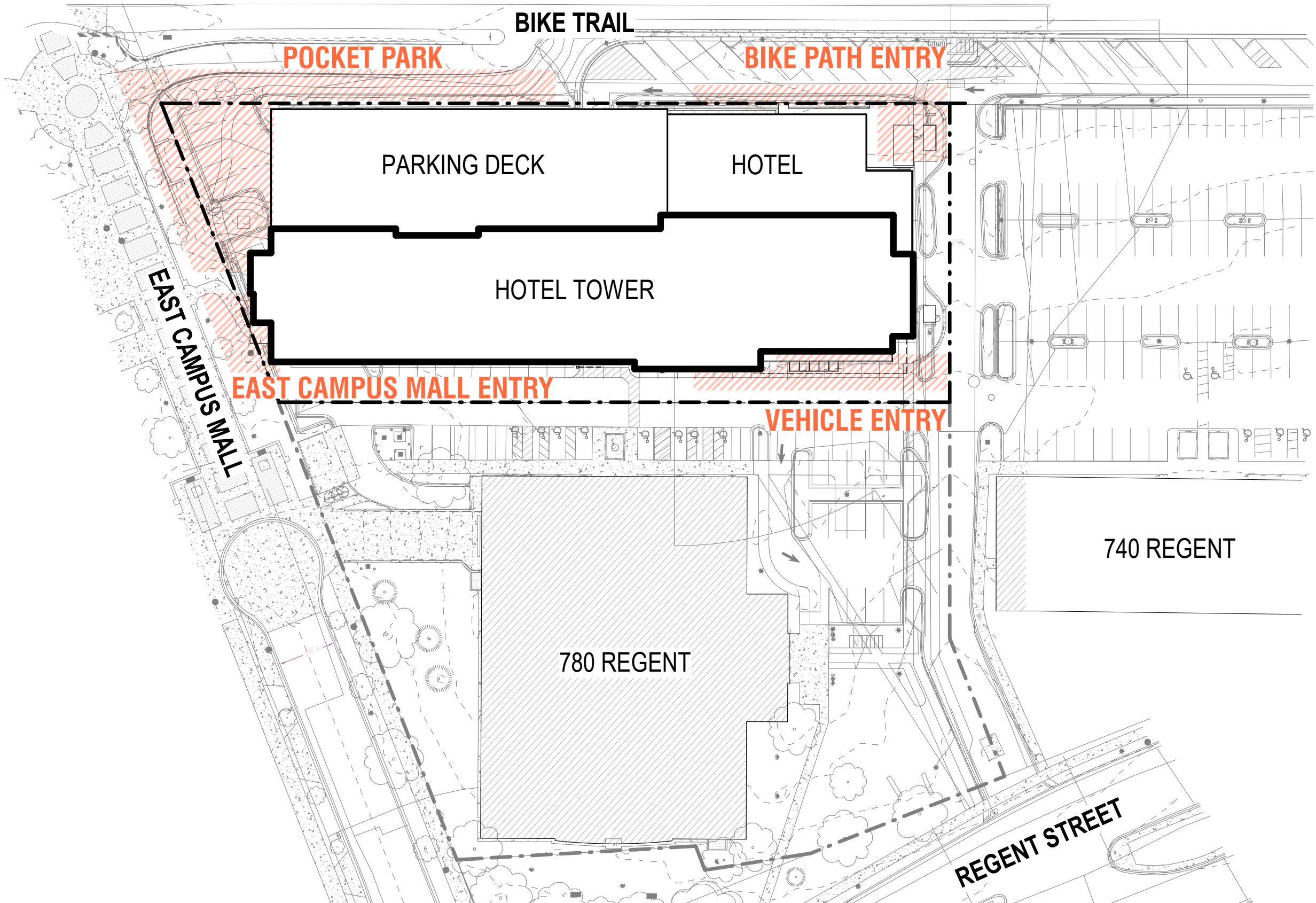
VIEW SOUTH ON EAST CAMPUS MALL AT BIKE TRAIL



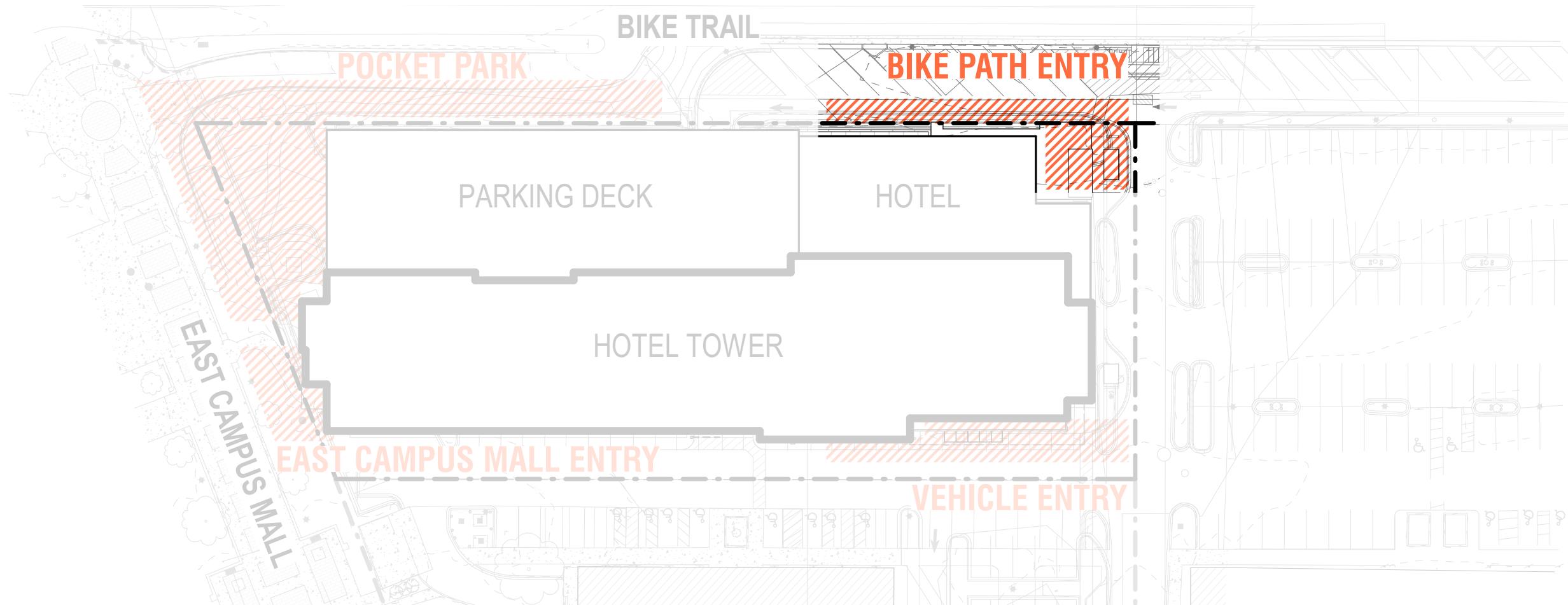
VIEW WEST FROM KOHL CENTER

SITE & CONTEXT VIEWS

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0 12.5 25 50 100
SCALE: 1" = 50' - 0"



BIKE PATH ENTRY

- Identify entry ► Glass canopy + signage
- Activate facade ► Windows + outdoor space
- Animate corner ► Restaurant program
- Engage bike path ► Bike parking + access
- Connect to south entry ► Canvas canopies + landscape





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- Engage bike path ► Bike parking + access
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VIEW OF BIKE PATH ENTRY

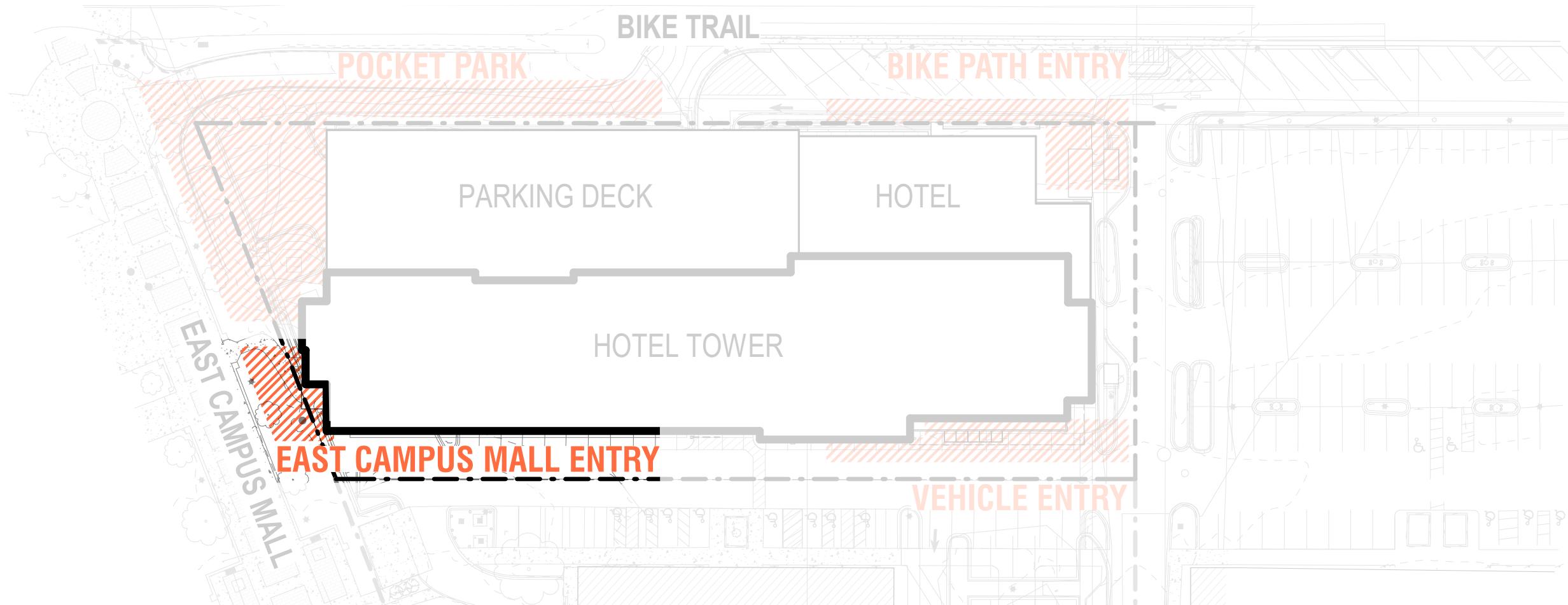
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PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS



ENLARGED 1ST FLOOR PLAN

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EAST CAMPUS MALL ENTRY

- Identify entry ► Steel + glass canopy
- Enliven corner ► Unique signage + connectivity
- Enhance safety ► Windows + transparency

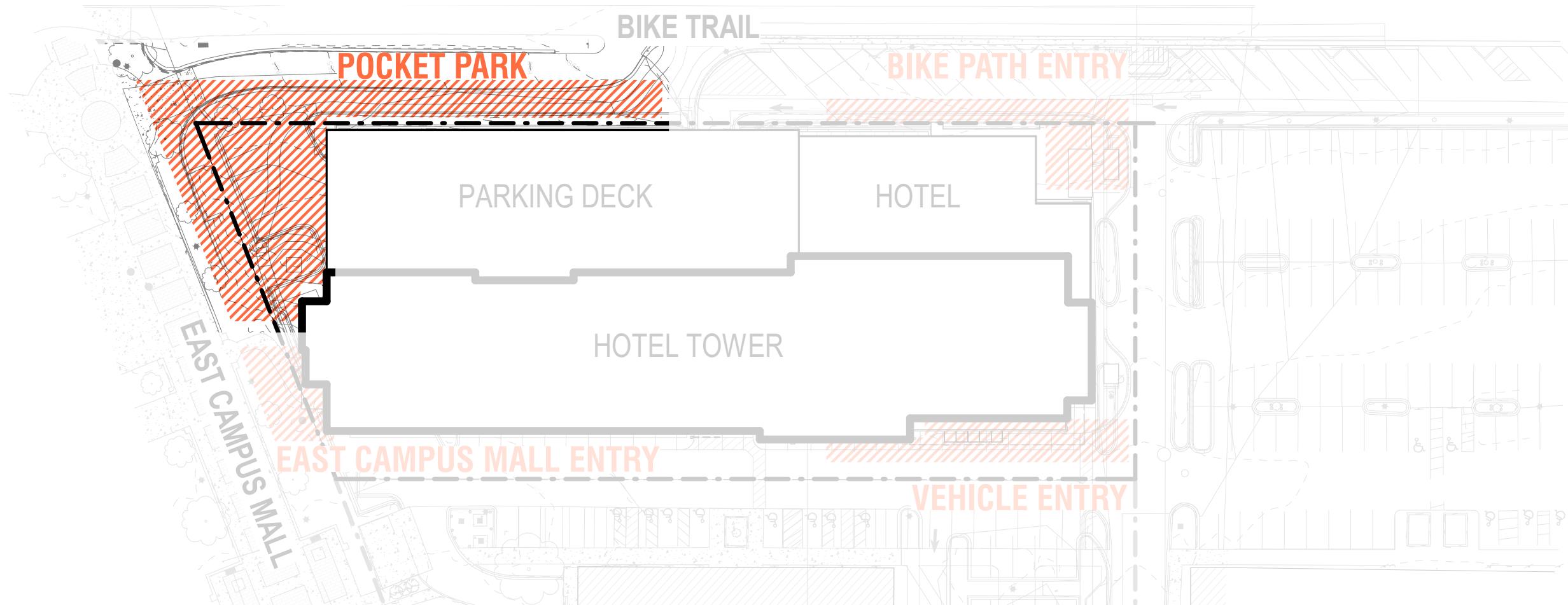


EAST CAMPUS MALL ENTRY

- Identify entry ► Steel + glass canopy
- Enliven corner ► Unique signage + connectivity
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VIEW OF EAST CAMPUS MALL ENTRY



POCKET PARK AND GALLERY WALK

- Screen facade ► Unique local artwork
- Create a gallery experience ► Rhythm of art + plantings
- Activate corner ► Pocket park overlook + playful landscape
- Illuminate the walk ► Bollards + accent lighting



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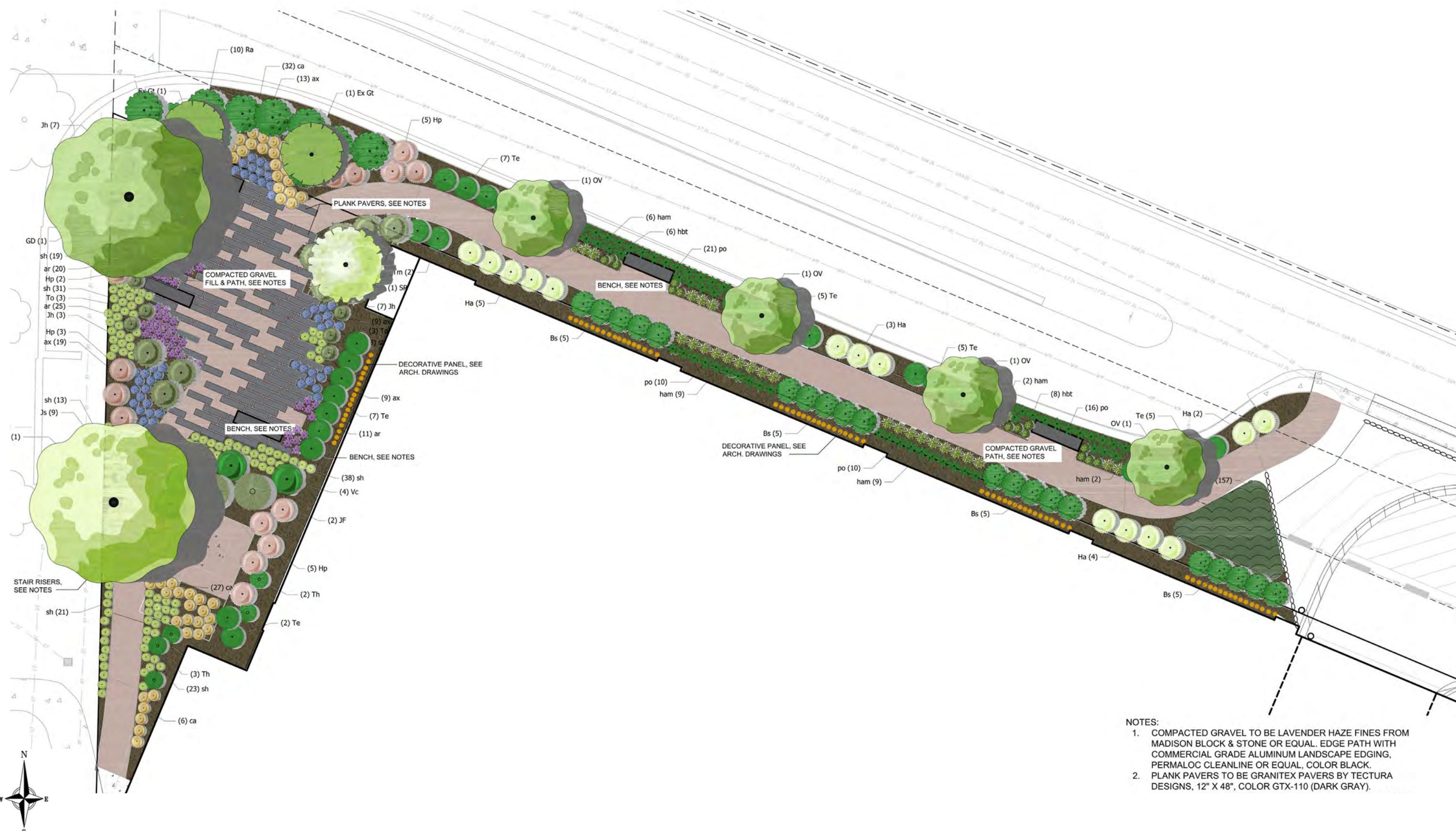
VIEW OF POCKET PARK

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VIEW OF POCKET PARK FROM BIKE TRAIL

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ENLARGED LANDSCAPE PLAN

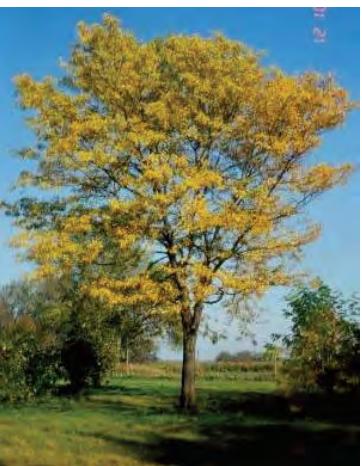
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DECIDUOUS TREES



COMMON HACKBERRY



NORTHERN ACCLAIM HONEYLOCUST

UNDERSTORY TREES



PRairie Maid CRABAPPLE



IVORY SILK TREE LILAC

DECIDUOUS SHRUBS



LITTLE LIME HYDRANGEA



FINE LINE BUCKTHORN



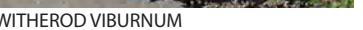
FAIRVIEW JUNIPER



DWARF BUSH HONEYSUCKLE



PINK-A-LICIOUS SPIREA



WITHEROD VIBURNUM

EVERGREEN SHRUBS



WINTERGREEN BOXWOOD



HICKS YEW



BLUE CHIP JUNIPER



BLUE FOREST JUNIPER

EVERGREEN SHRUBS



EVERLOW YEW



HETZ MIDGET ARBORVITAE



HOLMSTRUP ARBORVITAE



ZAGREB COREOPSIS



CORAL BELLS

PERENNIALS



CHOCOLATE CHIP CARPET BUGLE



BLUE ICE STAR FLOWER



KARL FOERSTER FEATHER REED GRASS



NORTHERN SEA OATS



ZAGREB COREOPSIS



CORAL BELLS

PERENNIALS



AUGUST MOON HOSTA



CHRISTMAS FERN



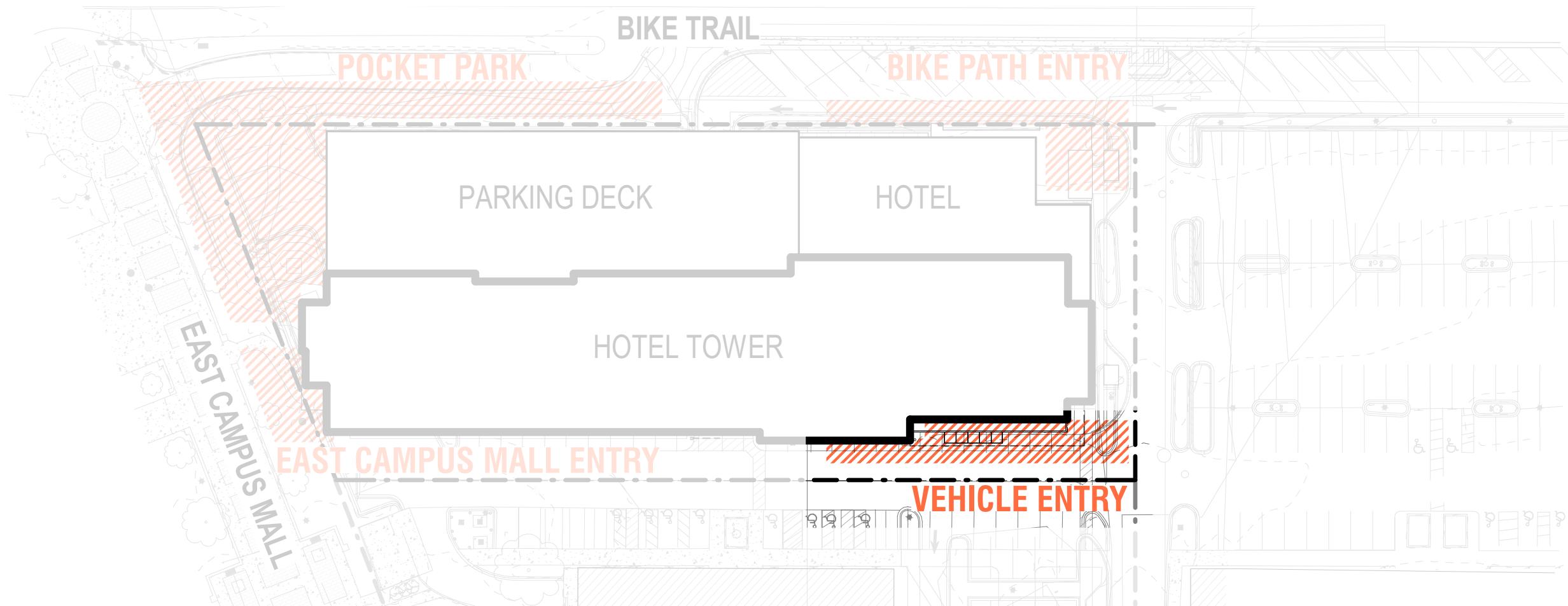
PRairie DROPSSEED



VINCA

PLANT SELECTION

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VEHICLE ENTRY

- Provide shelter ► Steel + glass canopy
- Emphasize openness ► Double story vertical glazing
- Activate facade ► Lounge, gym and prefunction spaces
- Illuminate the building ► Pedestrian scale sconces
- Balance building appeal ► Simple material palette



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VIEW OF VEHICLE ENTRY

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DARK CORRUGATED METAL

EIFS

WARM CORRUGATED METAL

STOREFRONT GLAZING

WHITE METAL PANEL



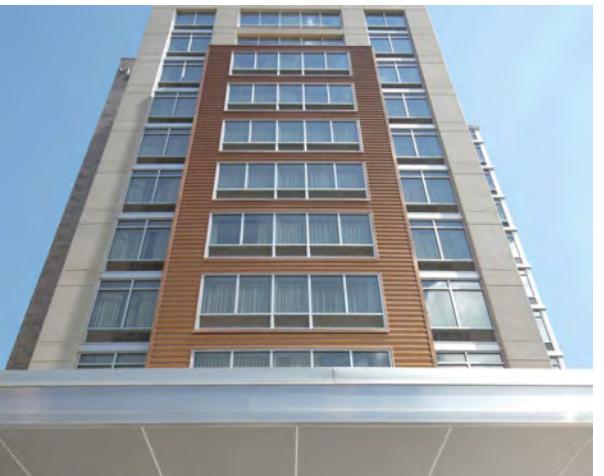
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SCALE: 3/64" = 1' - 0"

SOUTH ELEVATION - MATERIALS

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GLASS CANOPY/STEEL FRAME



WINDOW



SCREENING



ARCHITECTURAL PRECAST



0 4 8 16 32
SCALE: 3/64" = 1' - 0"

NORTH ELEVATION - MATERIALS

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EAST ELEVATION



0 4 8 16 32
SCALE: 3/64" = 1' - 0"

WEST ELEVATION

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EAST CAMPUS MALL LANDMARKS



LOCALLY SOURCED ART

CONCEPTS FOR ART PANELS

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ATTACHMENTS



LANDSCAPE PLAN

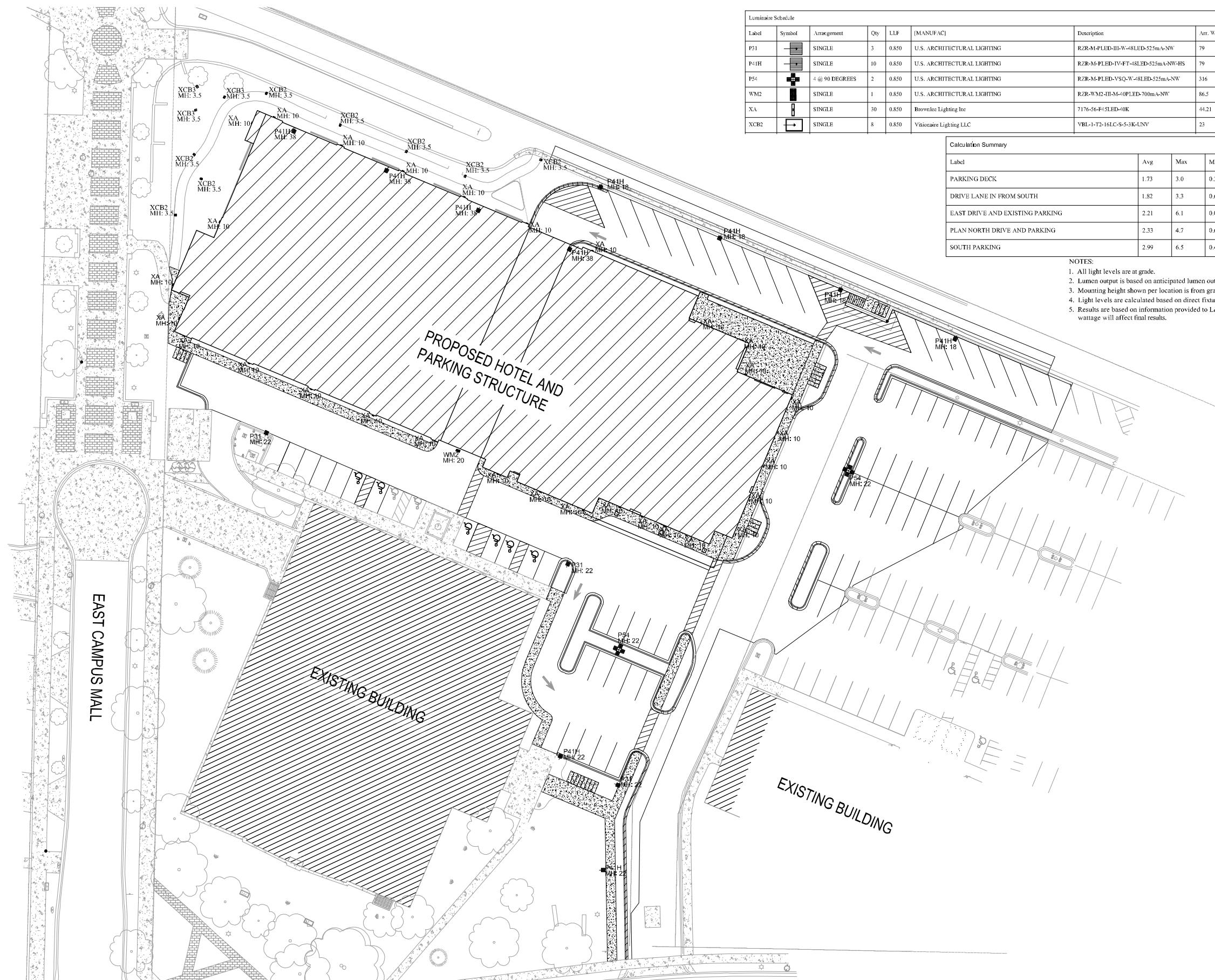
CITY OF MADISON UDC | 05-29-2019 | PAGE 23

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UW CAMPUS HOTEL

MADISON, WISCONSIN



Luminaire Schedule									
Label	Symbol	Arrangement	Qty	LLF	[MANUFACTURER]	Description	Arr. Watts	Lum. Watts	Lum. Lumens
P31		SINGLE	3	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-III-W-8LED-525mA-NW	79	79	9582
P41H		SINGLE	10	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-IV-FT-4LED-525mA-NW-HS	79	79	7325
P56		4 @ 90 DEGREES	2	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLED-VSQ-W-8LED-525mA-NW	316	79	10247
WM2		SINGLE	1	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-III-M-0PLED-700mA-NW	86.5	86.5	8845
XA		SINGLB	30	0.850	Brownlee Lighting Inc	7176-56-F-5LED-40K	44.21	44.21	4286
XCB2		SINGLB	8	0.850	Visionaire Lighting LLC	VBL-1-T2-161LC-S-5-3K-UNV	23	23	2957

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING DECK	1.73	3.0	0.3	5.77	10.00
DRIVE LANE IN FROM SOUTH	1.82	3.3	0.6	3.03	5.50
EAST DRIVE AND EXISTING PARKING	2.21	6.1	0.0	N.A.	N.A.
PLAN NORTH DRIVE AND PARKING	2.33	4.7	0.6	3.88	7.83
SOUTH PARKING	2.99	6.5	0.4	7.48	16.25

NOTES:

1. All light levels are at grade.
2. Lumen output is based on anticipated lumen output at half of the rated life of the LED?
3. Mounting height shown per location is from grade to fixture aperture.
4. Light levels are calculated based on direct fixture contribution only.
5. Results are based on information provided to L& M. Changes to location, fixture, wattage will affect final results.

LIGHTING PLAN

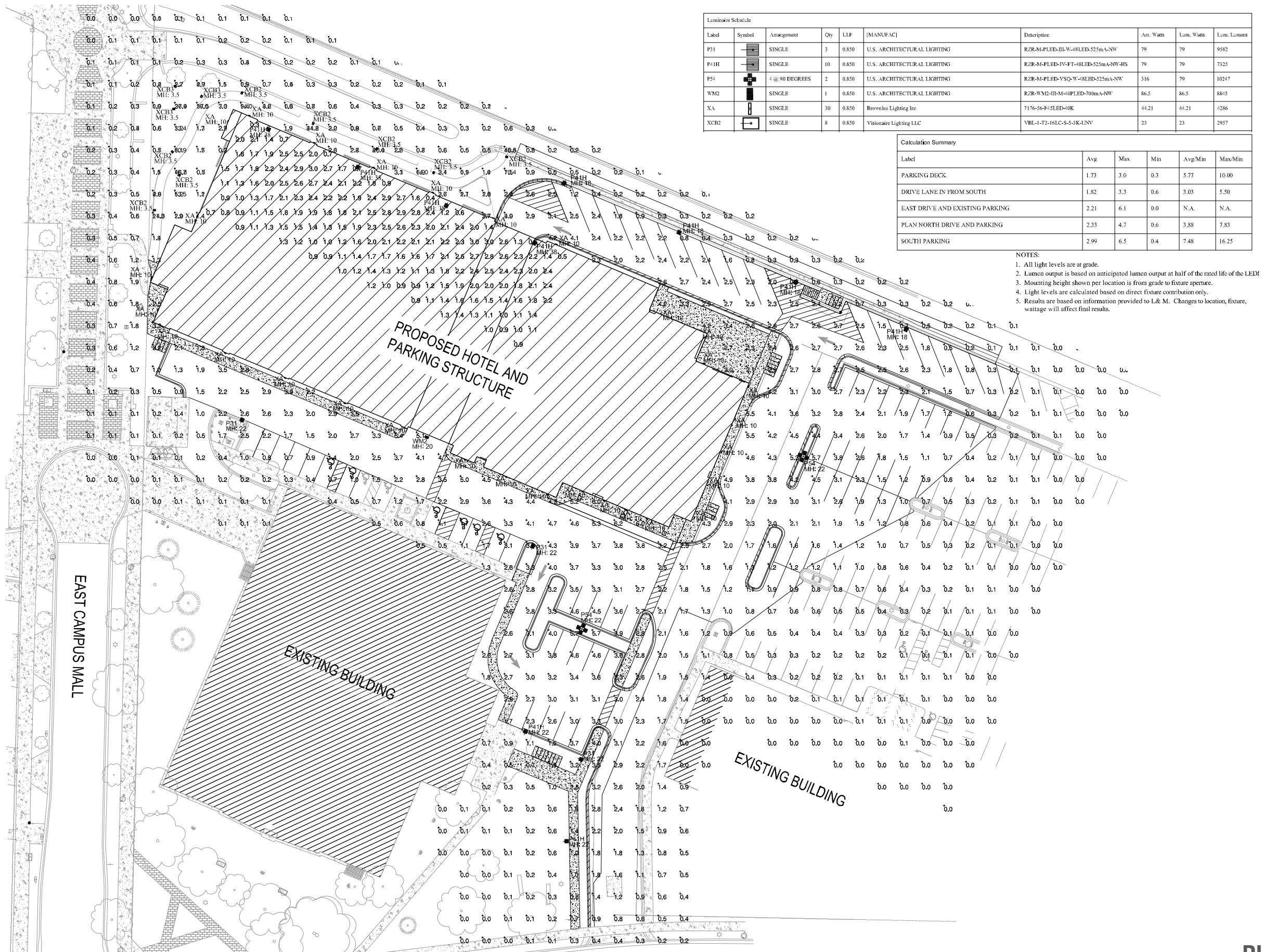
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MADISON, WISCONSIN



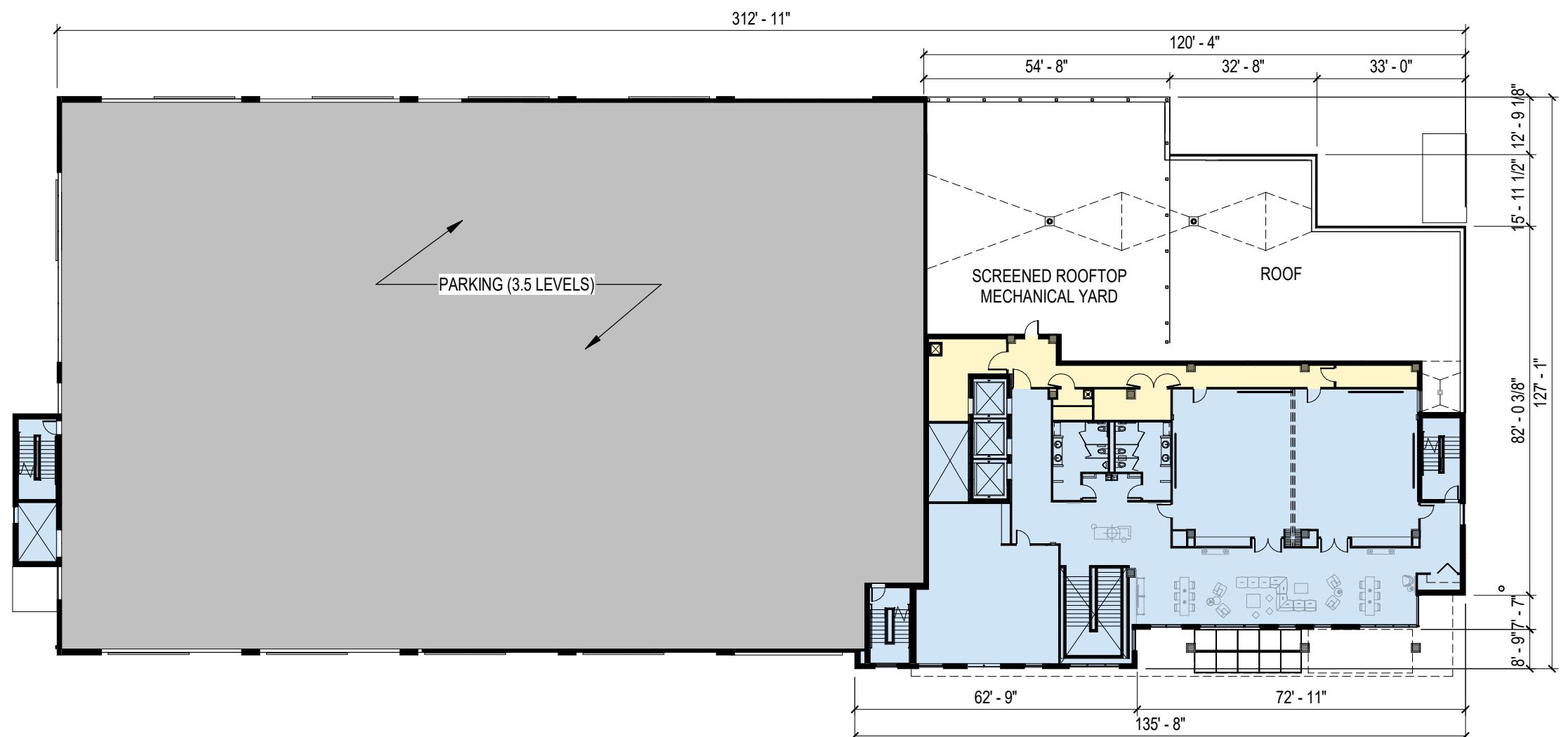
PHOTOMETRIC PLAN

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PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS



PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS

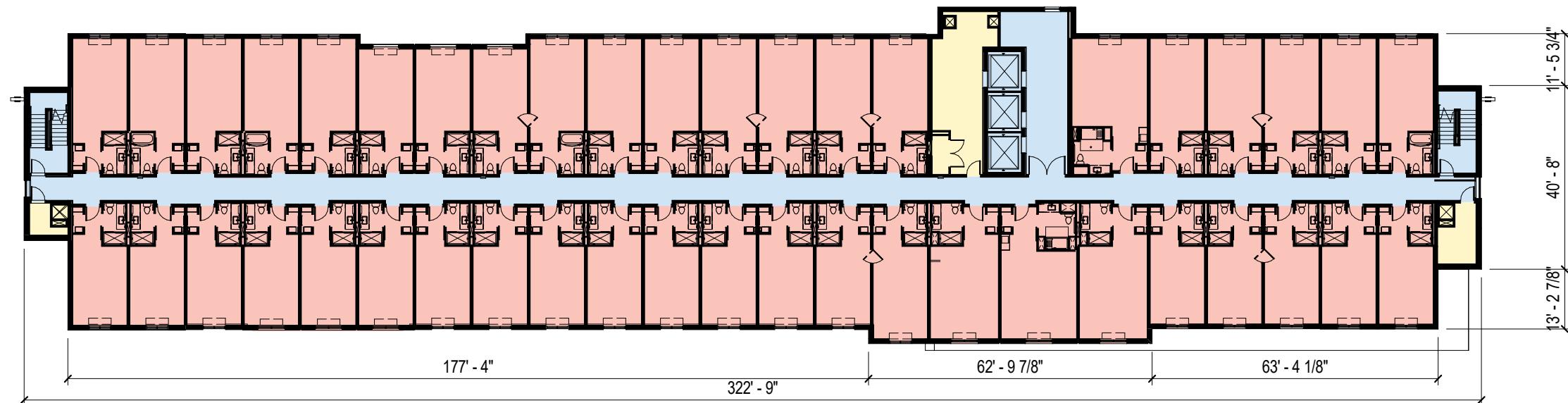



 SCALE: 1" = 30' - 0"

2ND FLOOR PLAN

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PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS



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 SCALE: 1" = 30' - 0"

Mortenson

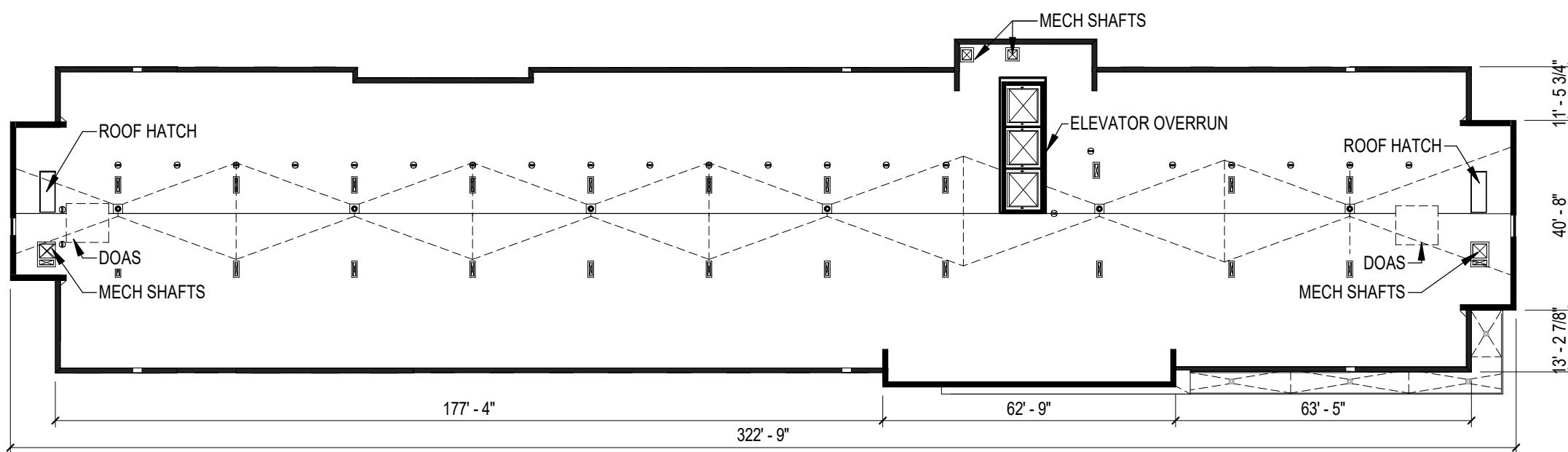
UW CAMPUS HOTEL
MADISON, WISCONSIN

3RD-6TH FLOOR PLAN

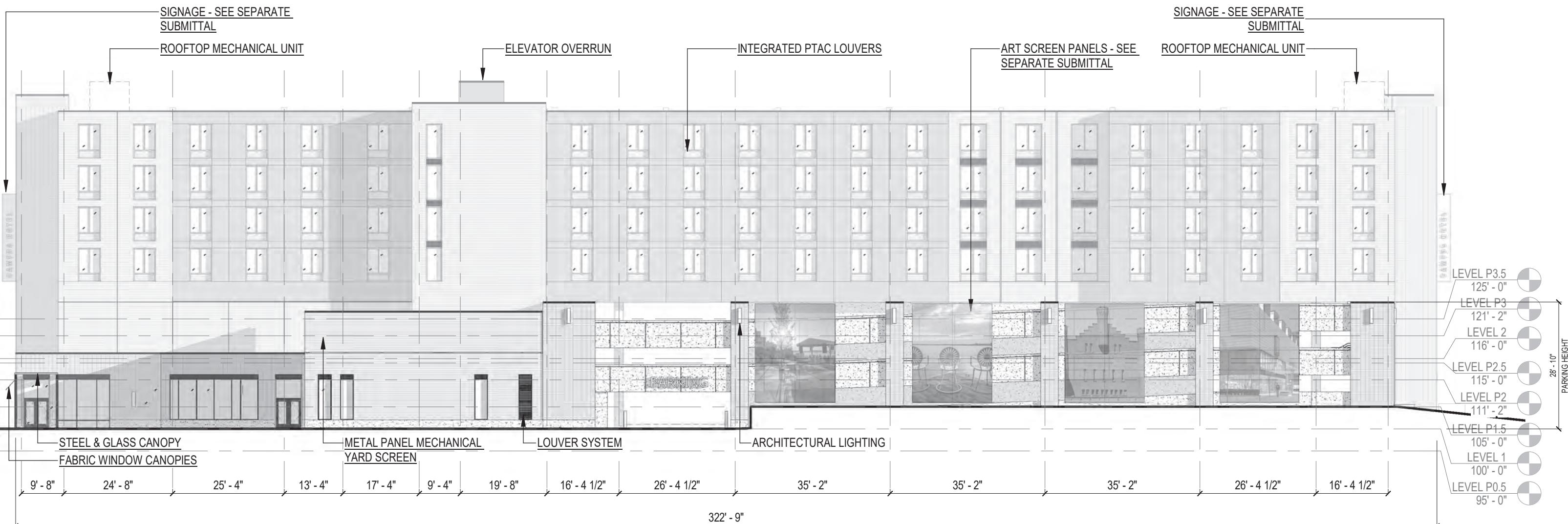
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- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



0 7.5 15 30 60
SCALE: 1" = 30' - 0"



0 4 8 16 32
SCALE: 3/64" = 1' - 0"

NORTH ELEVATION

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MADISON, WISCONSIN

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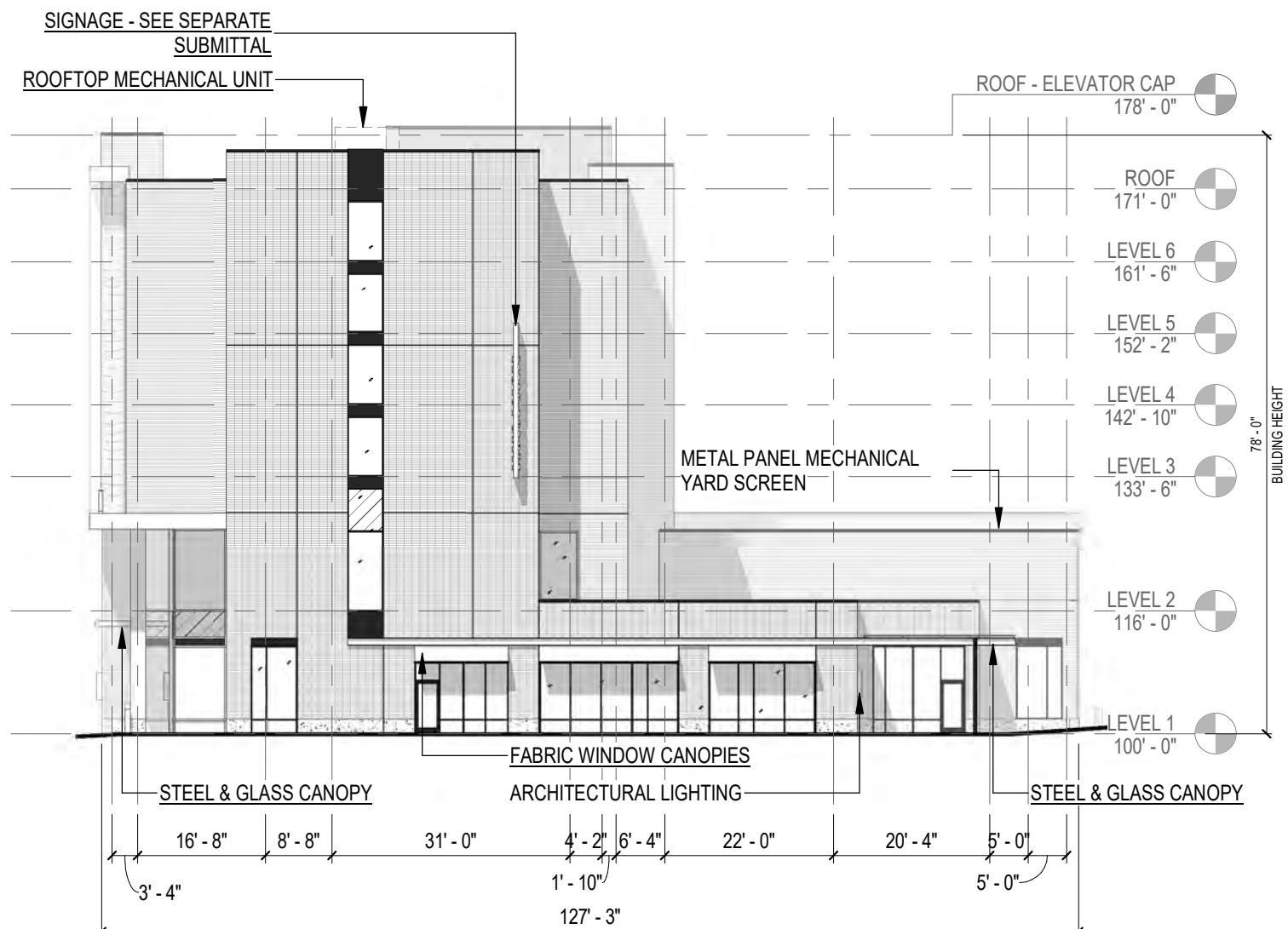
SOUTH ELEVATION

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UW CAMPUS HOTEL
MADISON, WISCONSIN

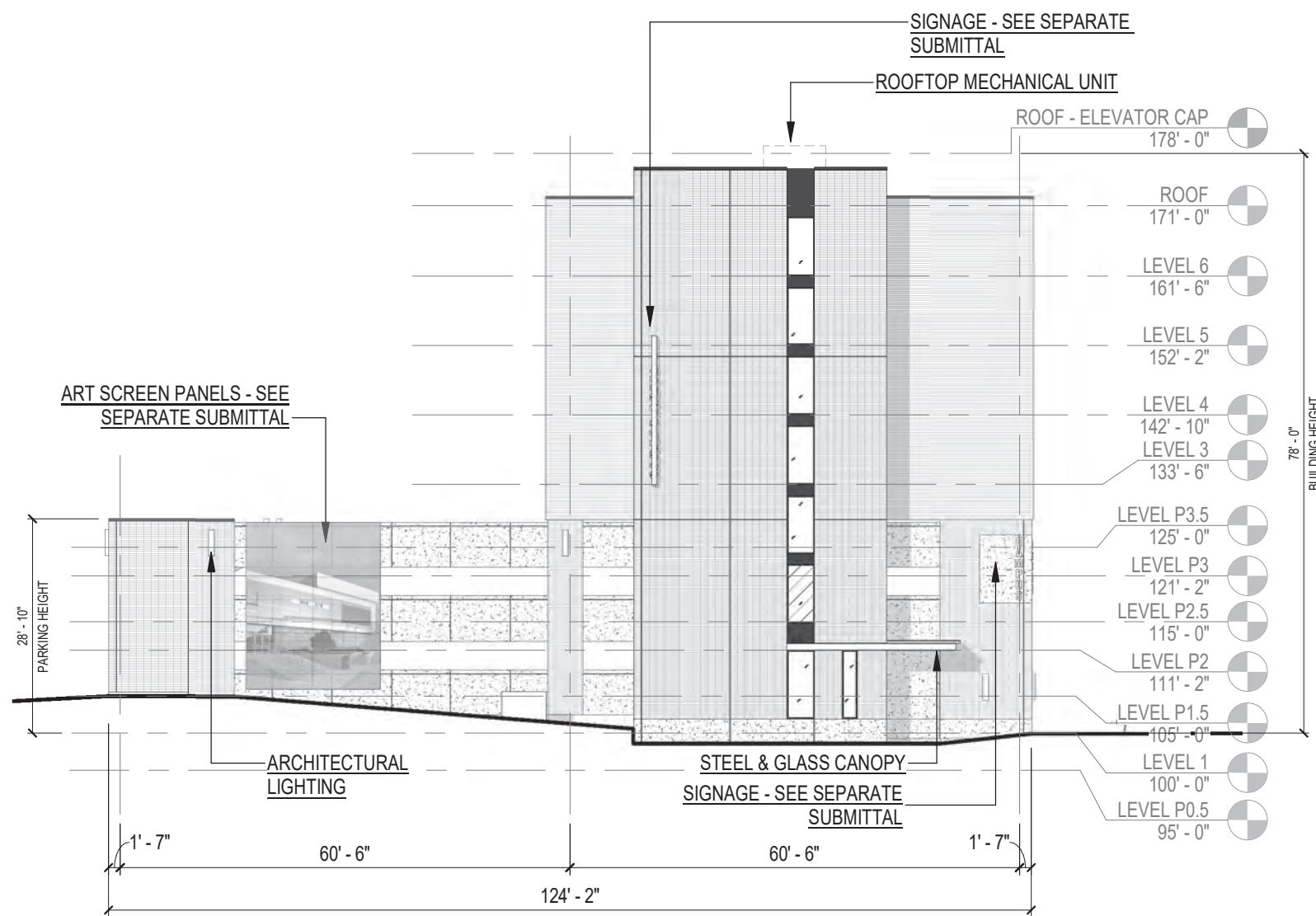
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0 4 8 16 32
SCALE: 3/64" = 1' - 0"

EAST ELEVATION

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0 4 8 16 32
SCALE: 3/64" = 1' - 0"

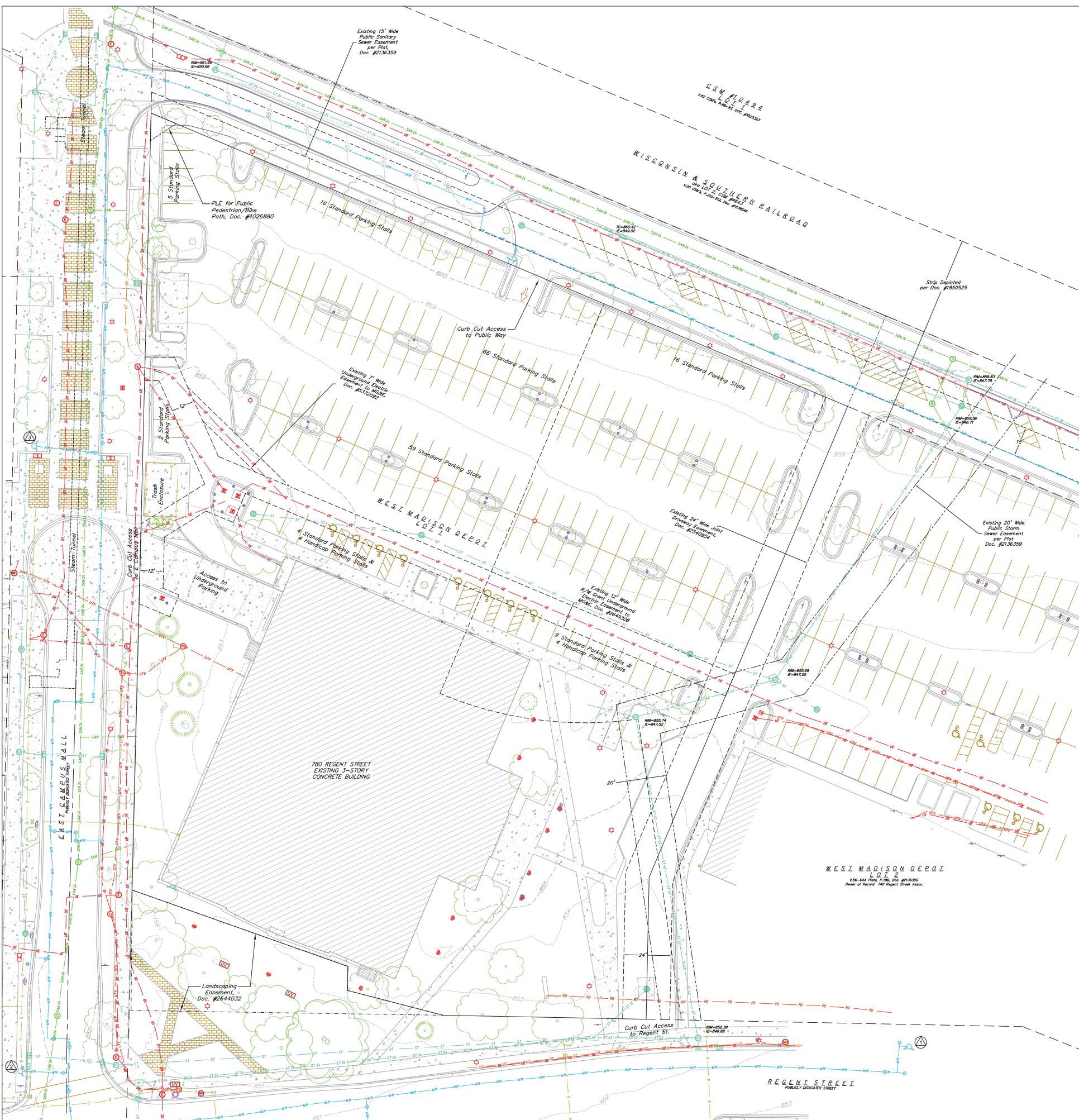
WEST ELEVATION

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UW CAMPUS HOTEL
MADISON, WISCONSIN

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NOTES:

1. THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2019. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2019, NOT DETECTED DURING FIELD SURVEY WORK, ADDITIONAL FIELD SURVEY WORK WILL BE PERFORMED ON FEBRUARY 22, 2019.
2. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF NEW UTILITIES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR, REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLAN.
4. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGER'S HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.

SITE BENCHMARKS

(1) ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83

(2) ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHEAST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.43

(3) TAG BOLT ON FIRE HYDRANT LOCATED ON WEST SIDE OF EAST CAMPUS MALL APPROXIMATELY 65' NORTH OF THE OUL-DE-SAC. ELEV = 854.77

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDICATED AT EXACT LOCATIONS. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT ON THIS DRAWING. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

CITY OF MADISON UDC SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

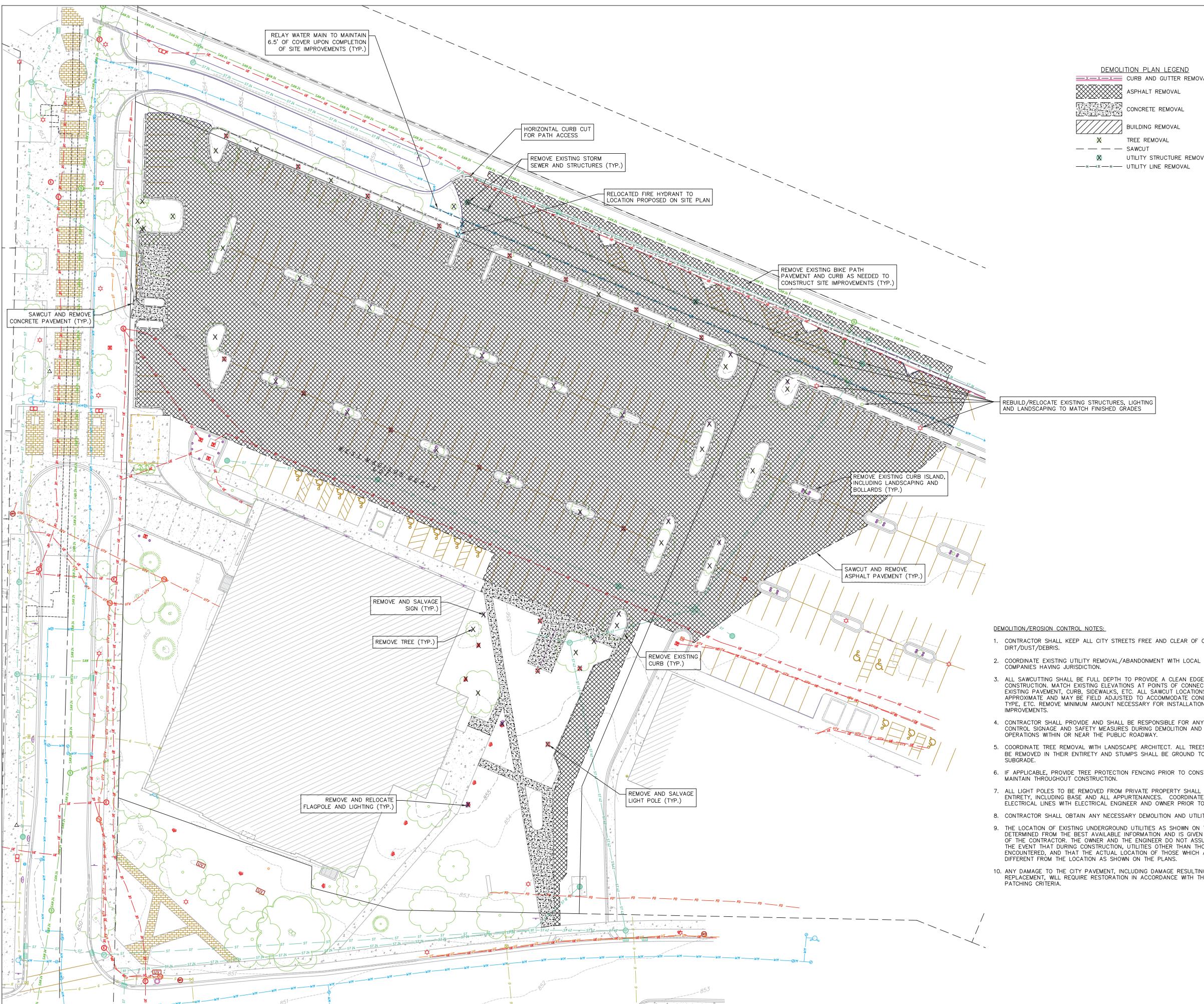
Project No.
218051

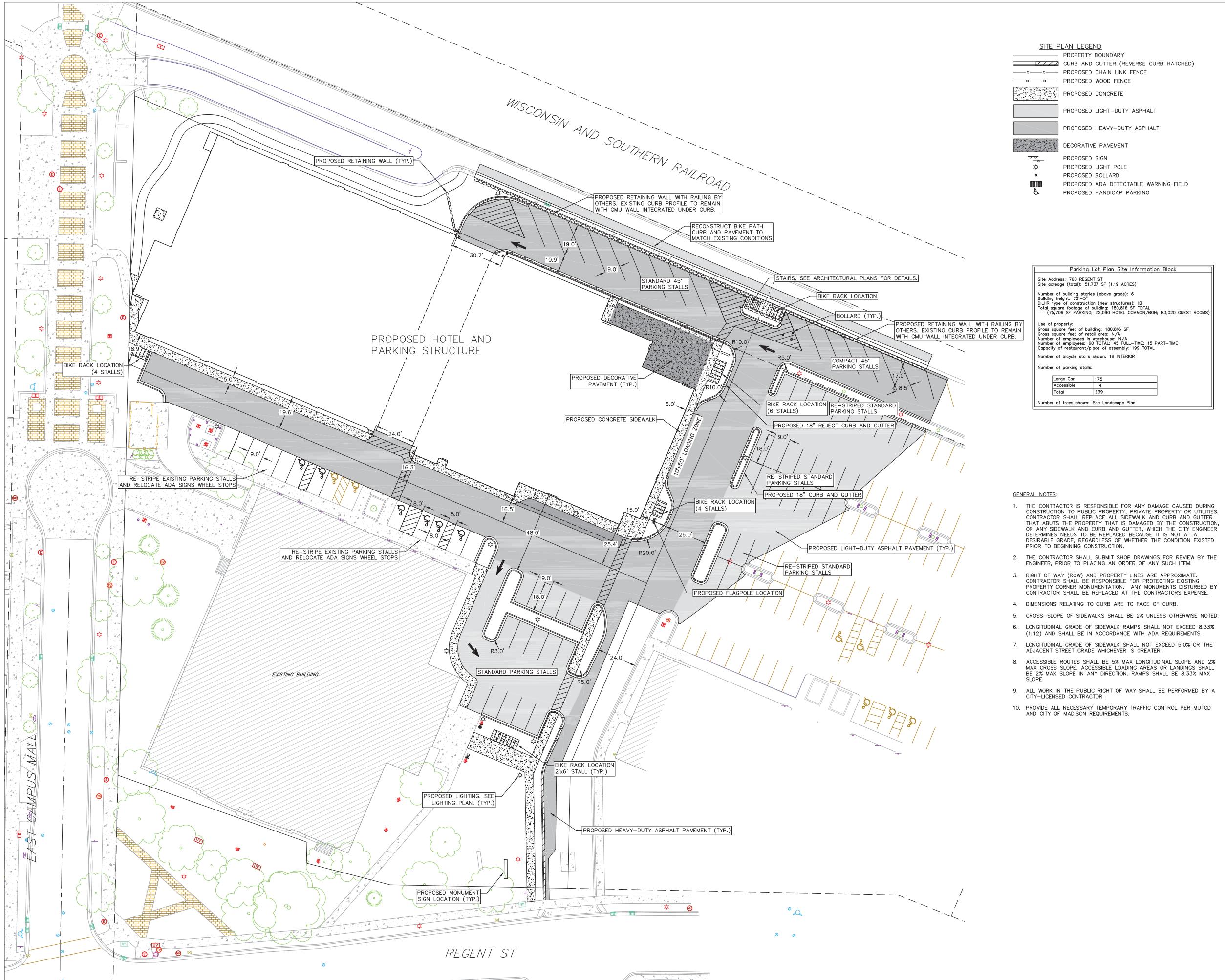
Sheet Title

EXISTING CONDITIONS PLAN

Copyright © 2018 Kahler Slater, Inc. All rights reserved.
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2013
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.233.6300 Fax 608.233.6311

Sheet No.
C100





CITY OF MADISON UDC
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

LW CAMPUS HOTEL

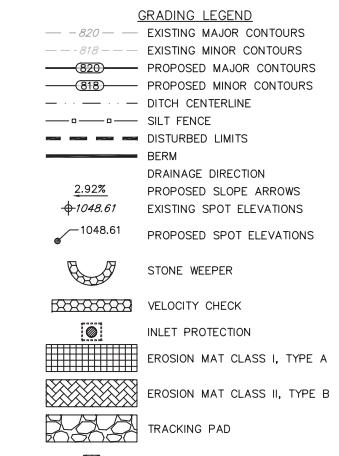
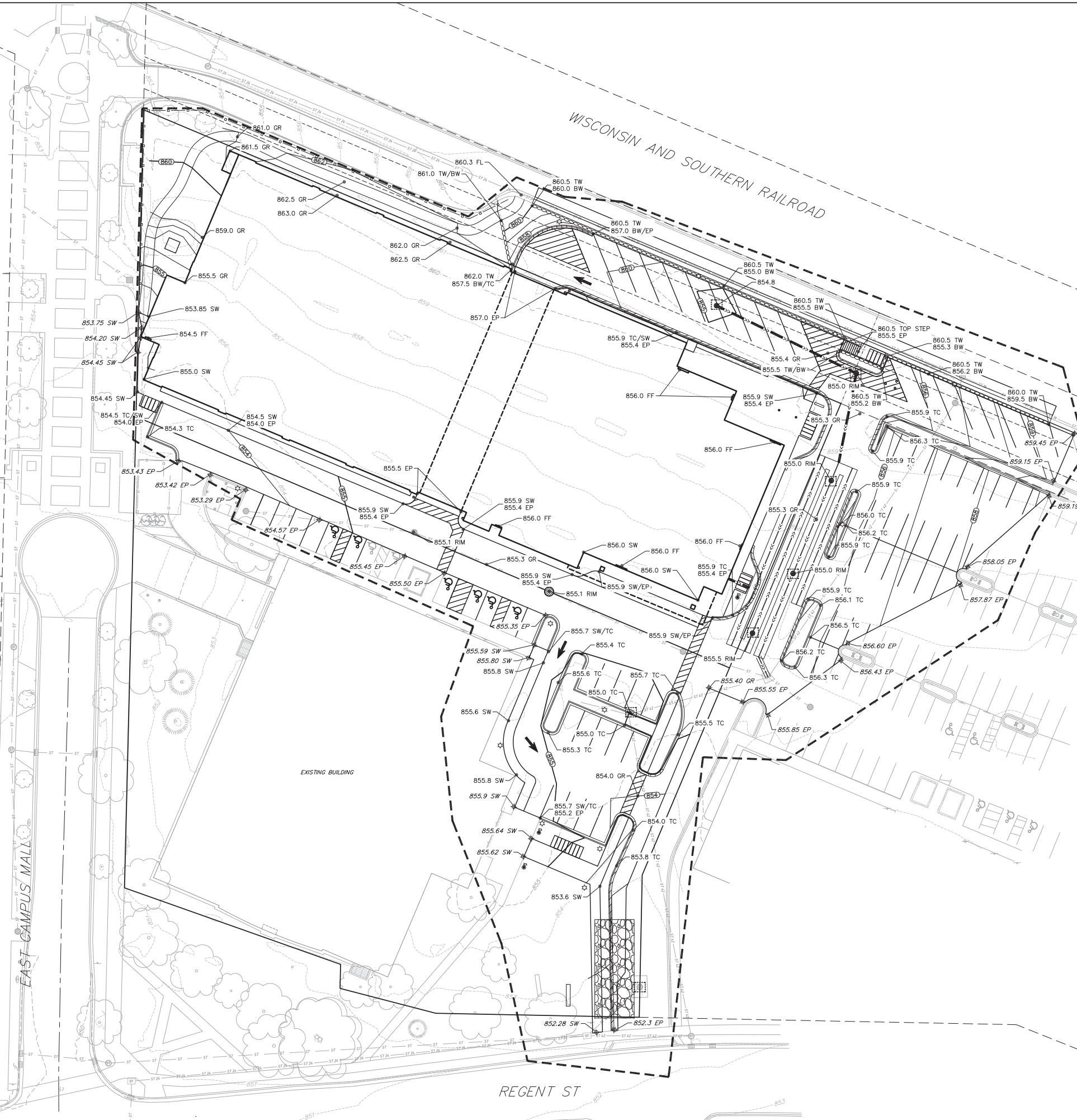
UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

Project No. Mortenson

218051

SHEET TITLE



ABBREVIATIONS

TC	TOP OF CURB
FF	FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
EP	EDGE OF PAVEMENT
GR	GRADE

GRADING NOTES:

1. ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
3. INSTALL A 50' X 20' X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPARED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. INSTALL WI DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WI DOT TYPE A IN FIELD INLETS.
6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



Revisions

**CITY OF MADISON UDC
SUBMITTAL**

SCOPE DOCUMENTS
Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

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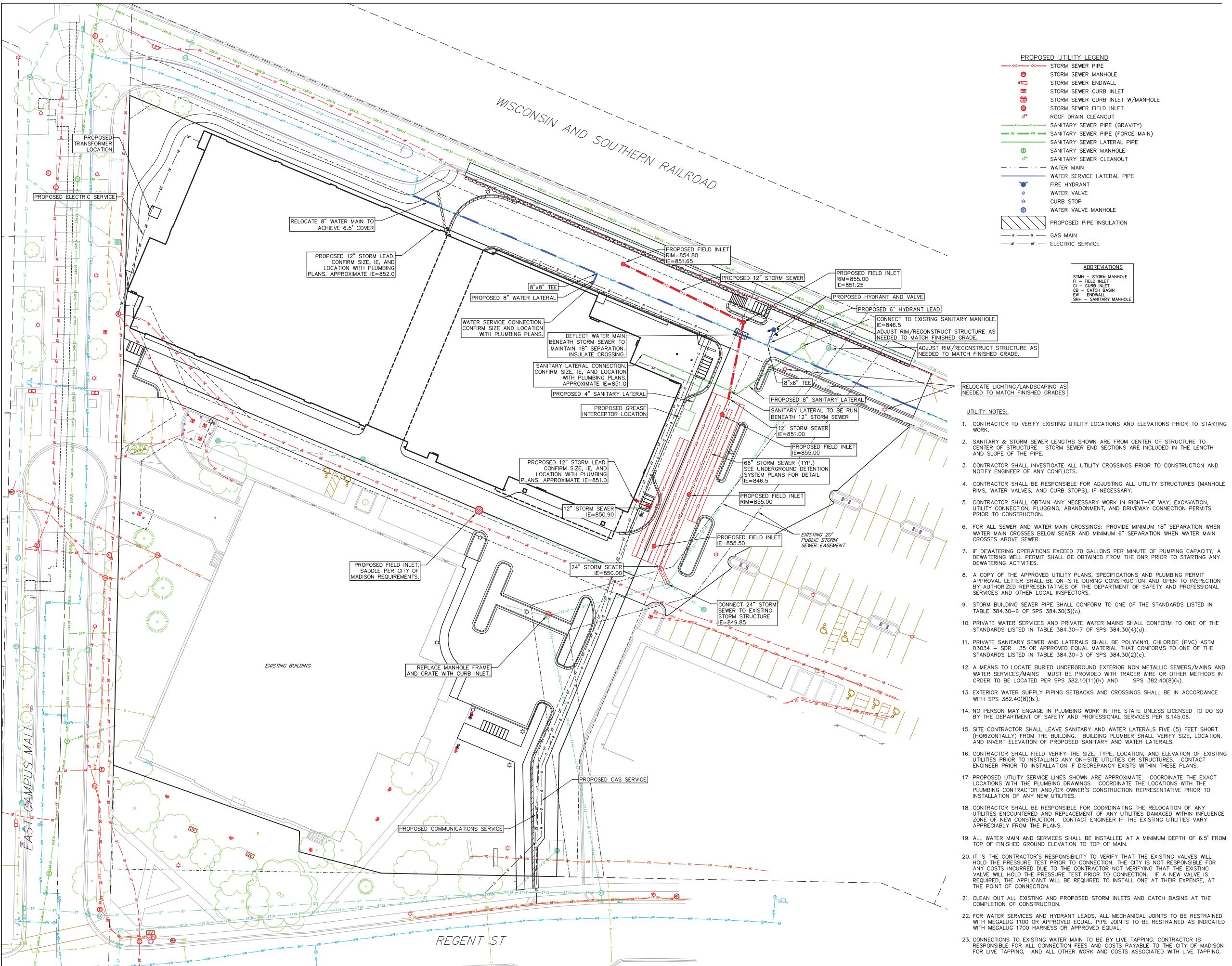
**GRADING & EROSION
CONTROL PLAN**

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Sheet No.

C300



EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/unoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL—DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL—STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

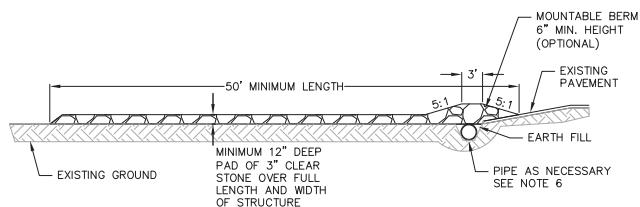
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

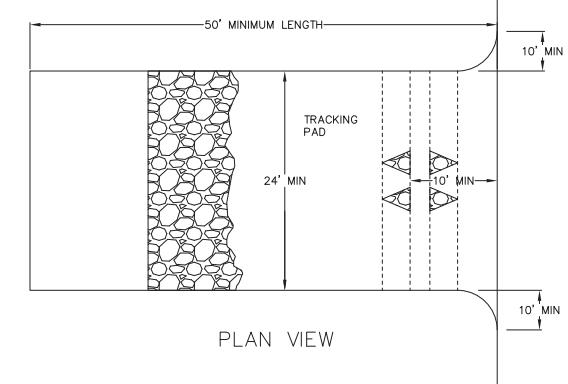
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE $\frac{1}{2}$ " TO $1\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

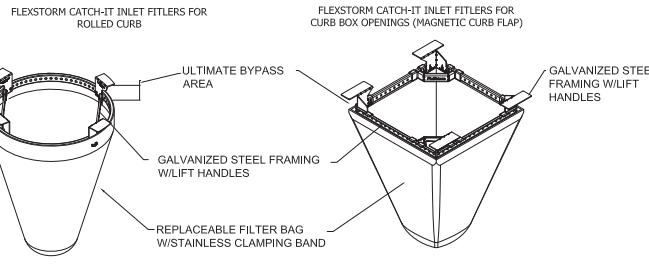
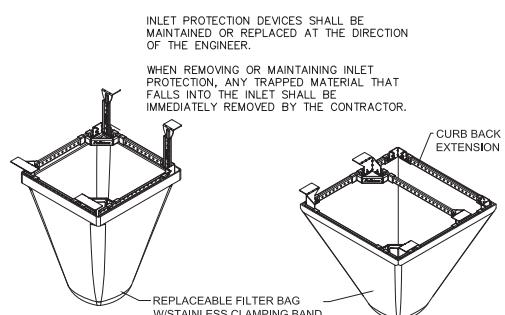


PROFILE VIEW



PLAN VIEW

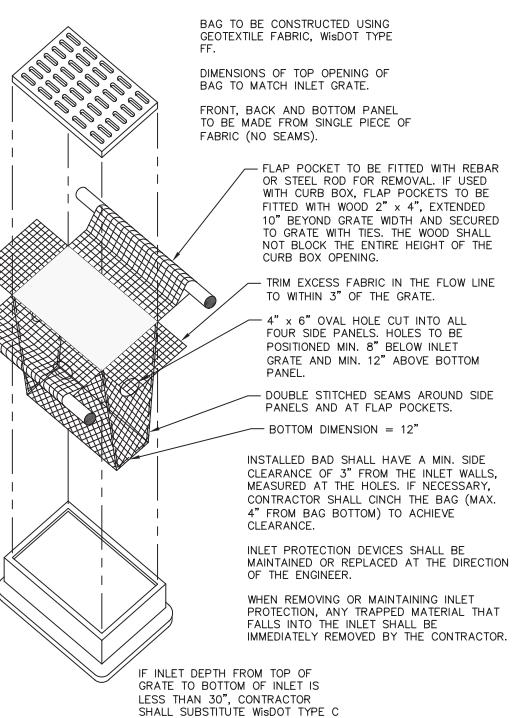
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH — MINIMUM OF 50'
3. WIDTH — 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE — CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER — ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION — A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

FLEXSTORM INLET PROTECTION
NOT TO SCALE

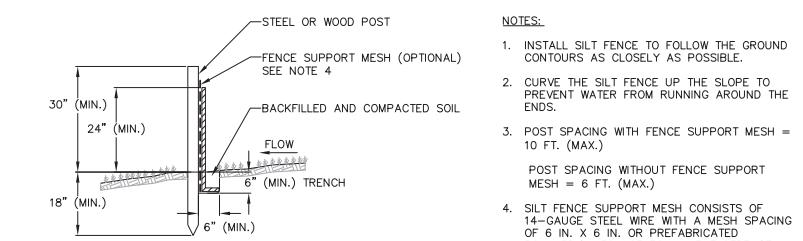
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INLET PROTECTION TYPE D
NOT TO SCALE

11

1

1



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

CITY OF MADISON UDC
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MAY 29, 2019

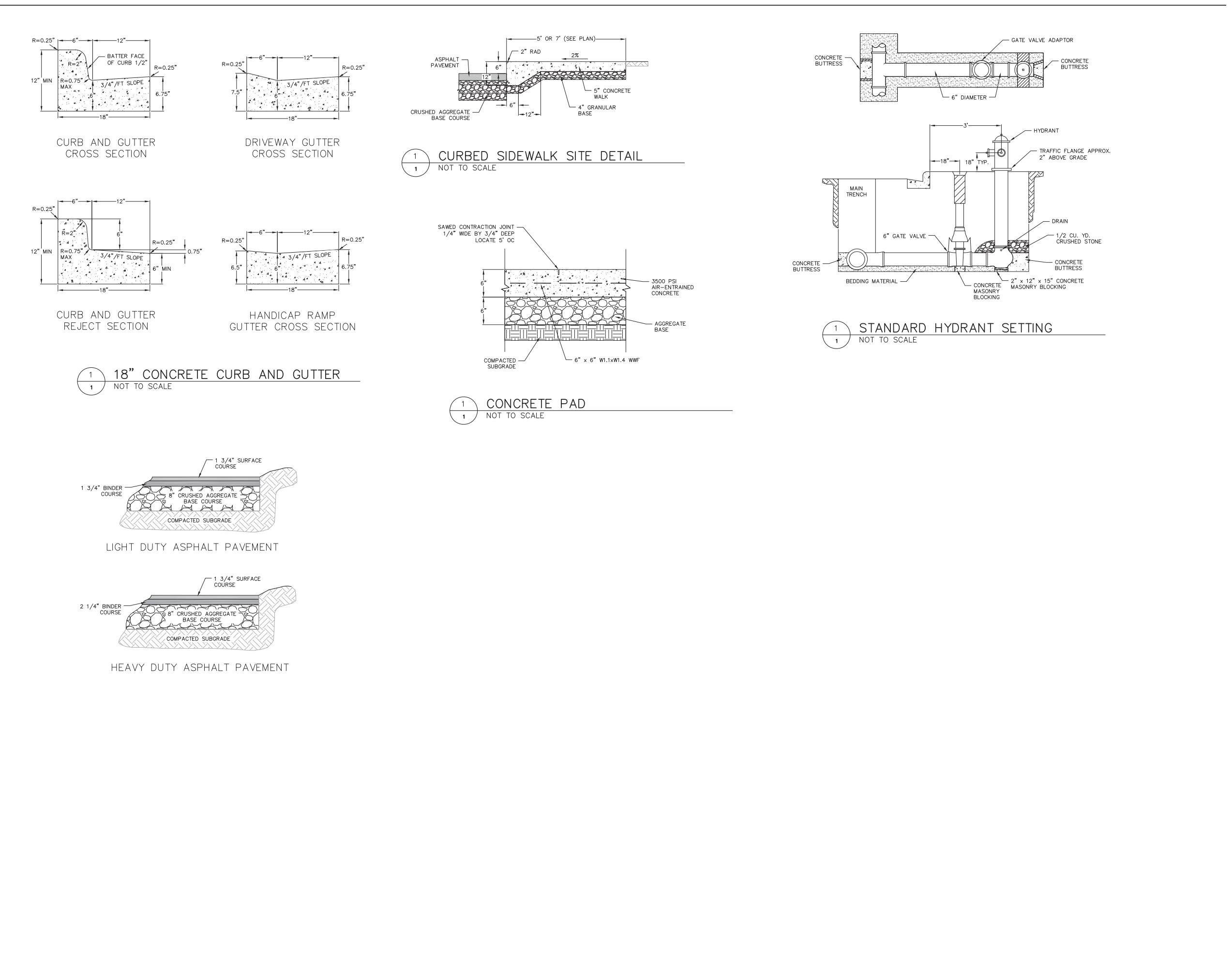
UW CAMPUS HOTEL

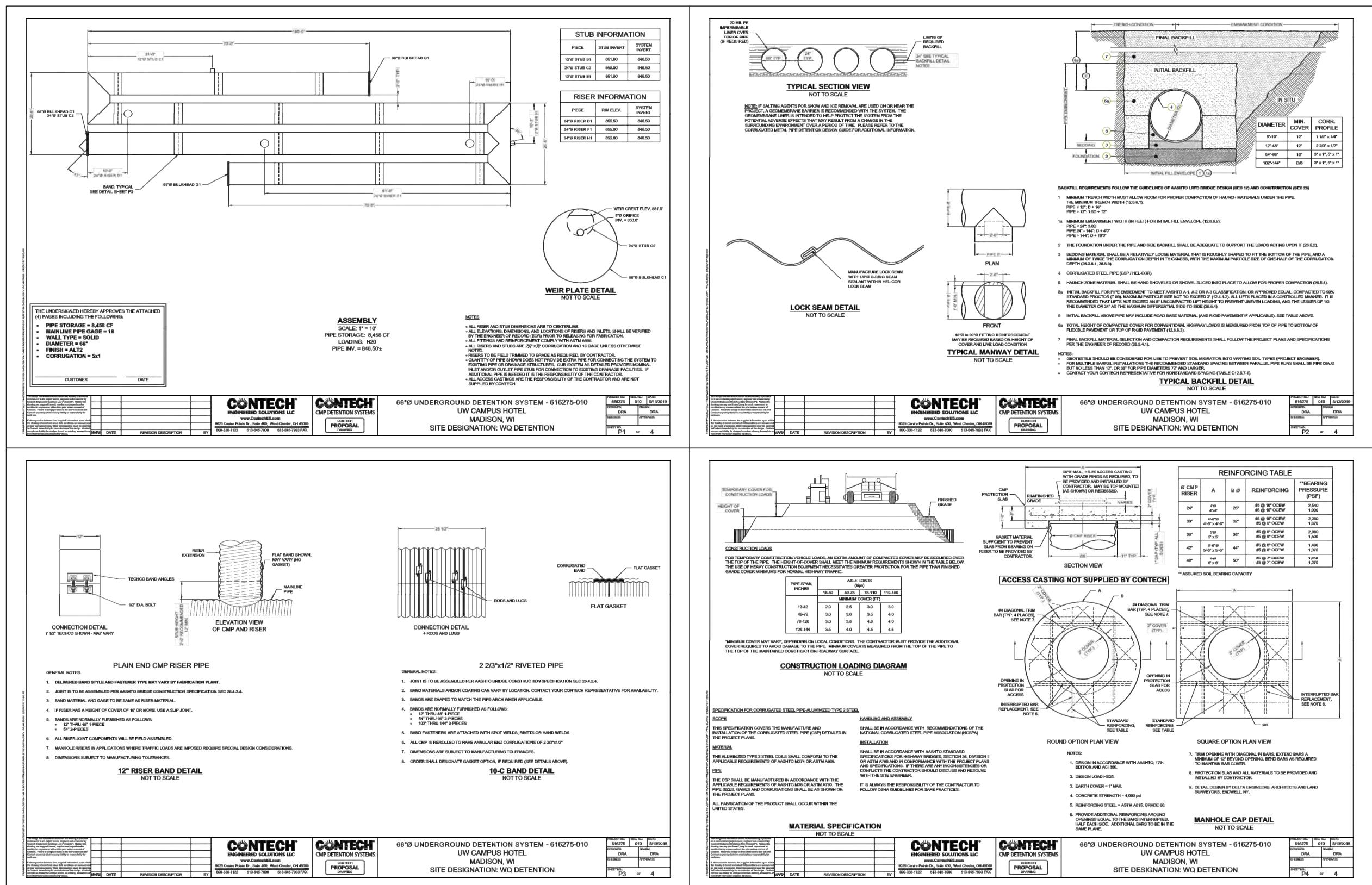
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Project No. Mortenson
218051

Sheet Title

CONSTRUCTION
DETAILS

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Sheet No. C500







PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
		B & B	2.5' Cal	1	
CO	Gelcis occidentalis / Common Hackberry				
GT	Gleditsia triacanthos 'Northern Acclaim' / Northern Acclaim Honeylocust	B & B	2.5' Cal	5	
GD	Gymnocladus dioica 'McBranched' / Decaf Kentucky Coffeetree	B & B	2.5' Cal	1	
OV	Ostrya virginiana / American Hop hornbeam	B & B	2.5' Cal	4	
	25' x 15'				
EXISTING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
Ex Gt	Gleditsia triacanthos / Honey Locust	Existing	6"	2	
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
MP	Maianthemum canadense 'Prairie Maid' / Prairie Maid Crabapple	B & B	2' Cal	2	
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2' Cal	3	
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
DI	Dwarf Alberta / Dwarf Bush Honeyuckle	5 gal	Cont	5	
Ha	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	24" ht.	14	
Hp	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	Cont	20	
Rf	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal	Cont	64	
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Cont	15	
Sf	Spiraea x fruticosa 'Pink-a-licious' / Pink-a-licious Fitch Spirea	3 gal	Cont	13	
Vc	Viburnum x 'Bassano' / Withered Viburnum	5 gal	Cont	8	
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
Bs	Buxus sempervirens 'Wintergreen' / Wintergreen Korean Littleleaf Boxwood	5 gal	Cont	20	
JF	Juniperus chinensis 'Fairview' / Fairview Juniper	3'-4' x 3'-4'	6" ht.	2	
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont	52	
Js	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	3 gal	Cont	20	
Te	Taxus x media 'Everblo' / Everlow Yew	5 gal	Cont	31	
Tm	Taxus x media 'Hicksii' / Hicks Yew	10 gal	Cont	2	
To	Thuya occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	5 gal	24" ht.	11	
Th	Thuya occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal	6" ht.	10	
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
ar	Ajuga reptans 'Chocolate Chip' / Chocolate Chip Carpet Bugle	4"-10" x 18"	4" pot	56	
ax	Amsinckia x 'Blue Ice' / Blue Ice Star Flower	18" x 20"	4" pot	84	
ca	Calystegia soldanella 'Karl Foerster' / Feather Reed Grass	3'-5' x 2'	1 gal	Cont	247
d	Chasmanthium latifolium / Northern Sea Oats	30"-36" x 12"-18"	1 gal	Cont	103
cv	Coreopsis verticillata 'Zagreb' / Zagreb Thread Leaf Coreopsis	4" pot	Cont	17	
hbt	Heuchera x 'Berry Timeless' / Coral Bells	8"-10" x 20"	4" pot	21	
ham	Hosta x 'August Moon' / Plantain Lily	20" x 24"-30"	1 gal	Cont	28
po	Polystichum acrostichoides / Christmas Fern	1'-3'	1 gal	Cont	57
sh	Sporobolus heterolepis / Prairie Dropseed	2" x 18"	1 gal	Cont	305
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	SPACING	QTY
	Vinca minor 'Bowles' / Bowles' Common Periwinkle	flat	2" pot	12" o.c.	151 sf



SEEDING/DECORATIVE PAVING SCHEDULE

DECORATIVE PAVING	1,848 sf
COMPACTED CRUSHED GRANITE	2,214 sf

Revisions

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI 260.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging. Permaloc CleanLine 3/8" x 4" or equal, color black anodized.

CITY OF MADISON UDC SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
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Project No.
218051

Sheet Title
LANDSCAPE PLAN

City of Madison Landscape Worksheet		Date:			
Address:	760 Regent St	5/03/2019			
Total Square Footage of Developed Area:	(Site Area)	51737	(Building Footprint at Grade) 38023		
Total Landscape Points Required:		13,714	/ 300 =	46	x 5 = 229
			Credits/ Existing Landscaping		New/ Proposed Landscaping
Plant Type/ Element	Min. Site at Installation	Points	Quantity	Points Achieved	Quantity
Ostrya virginiana	2.5' cal	35	0	2	70
Tall Evergreen Tree	5-6 foot tall	35	0	0	0
Ornamental tree	1.5' cal	15	0	3	45
Upright evergreen shrub	3-4 foot tall	10	0	7	70
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	0	82	246
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	0	53	212
Ornamental grasses/ perennials	#1 gallon container size, Min. 6"-18"	2	0	254	508
Ornamental/ decorative fencing or wall	4 per 10 LF		0	0	0
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be 2.5" cal. or larger and canopy coverage more than 30% of total required points	200	14 per caliper inch, Max. points per tree: 200	0	0
Landscape furniture for public seating and/or transit connections	Furniture must be within development area, publicly accessible, and not comprise more than 5% of total required points	5 points per "seat"	0	30	
Sub Totals			0	6	1181
					Total Points Provided: 1181

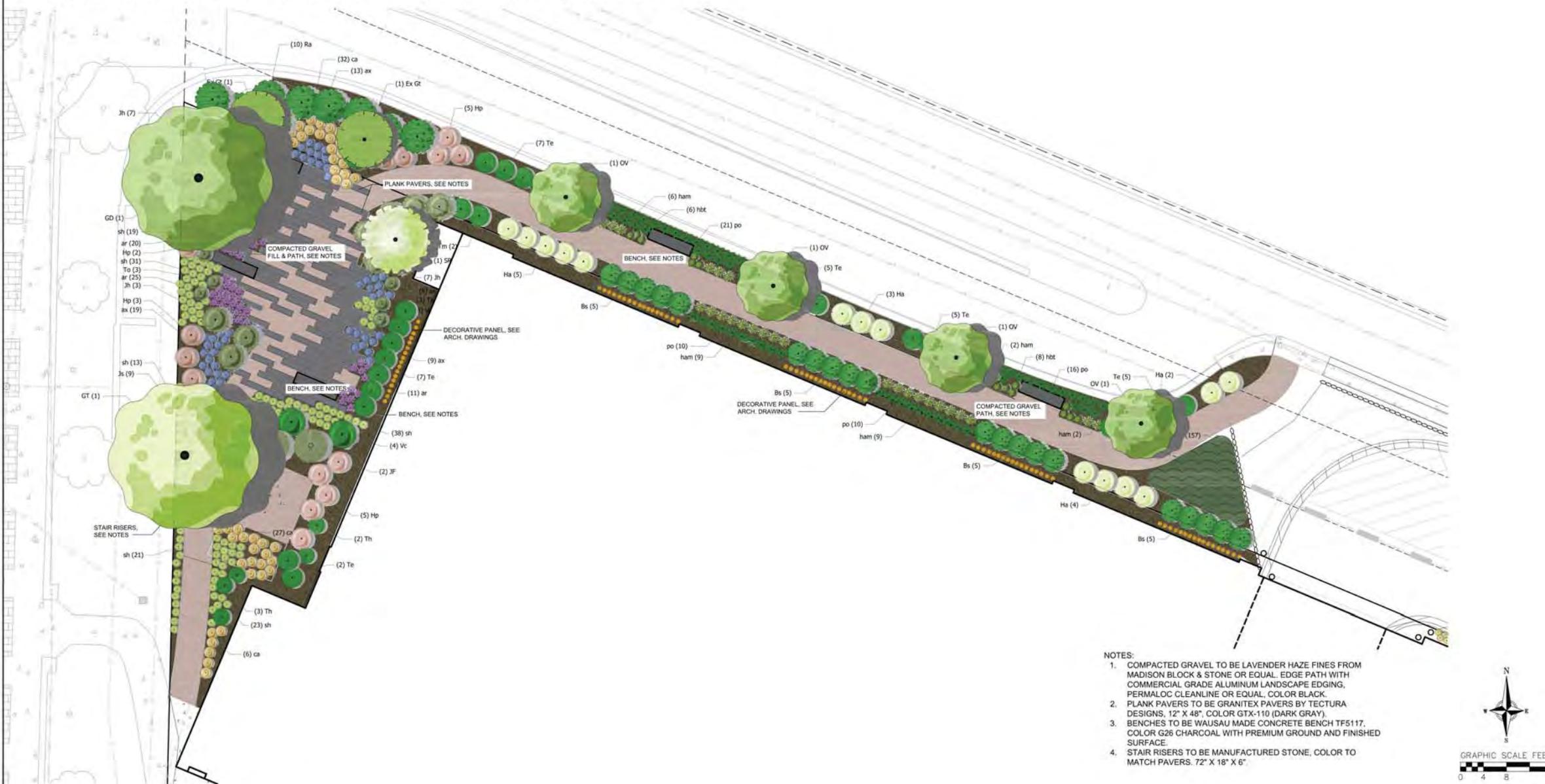
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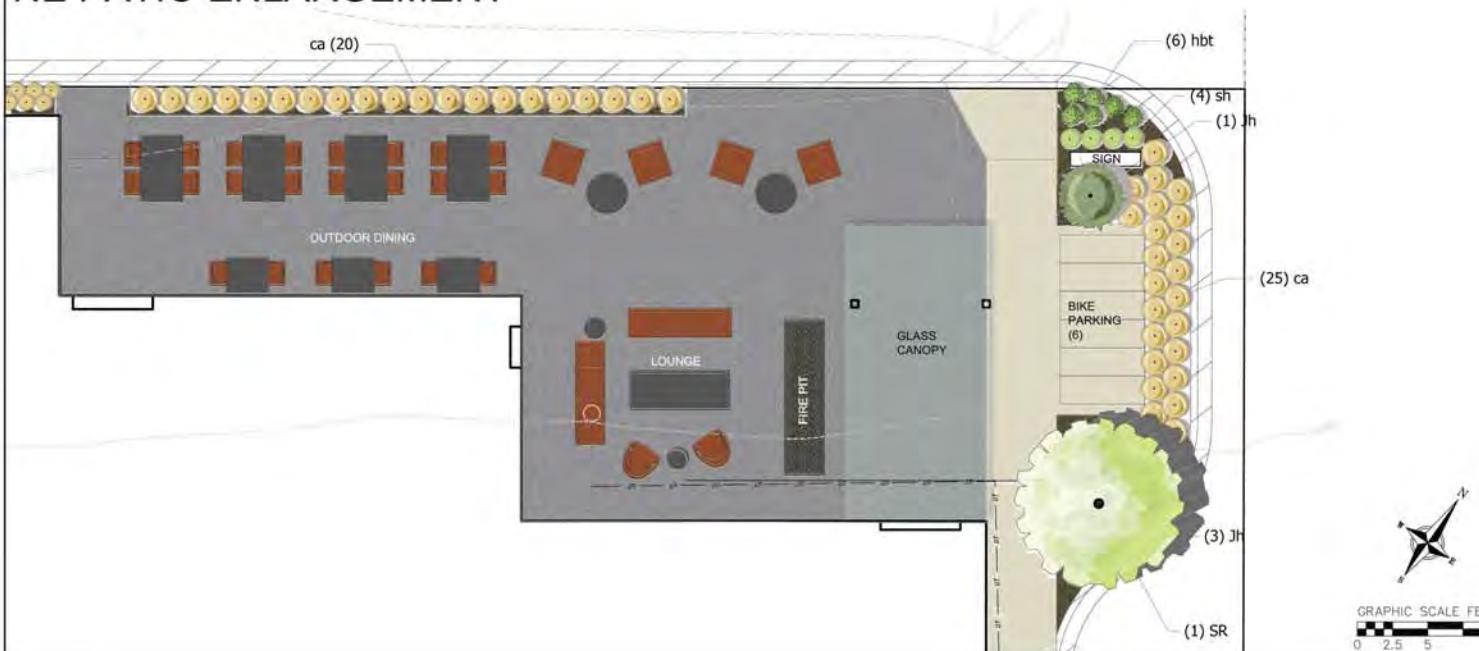
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L101

NW CORNER PLAZA & NORTH PATH ENLARGEMENT



NE PATIO ENLARGEMENT



CITY OF MADISON UDC
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SCOPE DOCUMENTS

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LANDSCAPE DETAIL

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Sheet No.
L102

