

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # 3
Project # 5-37-09
14911

DATE SUBMITTED: <u>10/14/09</u>	Action Requested
UDC MEETING DATE: <u>11-4-09</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 115-117 S. BASSETT

ALDERMANIC DISTRICT: MIKE VERVEER

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
BRANDON COOK ARO EBERLE ARCHITECTS
P.O. Box 694 116 KING STREET, SUITE 202
MADISON WI 53711 MADISON WI 53703

CONTACT PERSON: JOSH JOHNSON
Address: 116 KING STREET
MADISON WI 53703
Phone: 608-204-7464
Fax: 608-467-1403
E-mail address: JOHNSON@AROEBERLE.COM



TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Zoning Text: Specific Implementation Plan
Project Name: Bassett Street Flats
Project Address: 115 & 117 S Bassett Street

Legal Description: NW ¼ OF LOT 17 & NW1/4 OF LOT 18
SE ½ OF NW ½ OF LOT 17 & SE ½ OF NW ½ OF LOT 18 Original Plat of city
of Madison in the city of Madison, Dane County, Wisconsin.

A. Statement of Purpose: This zoning district is established to allow for construction of two additional basement apartments, the addition of half a second floor of 115 S Bassett, also the construction of a multi family apartment. This will bring the total number of apartments to 12.

B. Permitted uses; to allow up to 12 rental units on the entire property.

C. Lot Area; 8749 square feet as shown on enclosed survey attachment.

D. Height Regulations; as shown on approved plans.

E. Yard Requirements; yard areas will be provided as shown on approved plans.

F. Landscaping; Site landscaping will be provided as shown on approved plans.

G. Accessory off-street parking and loading; parking and loading shall be provided on approved plans.

H. Lighting; Lighting will be provided as shown on approved plans.

I. Signage: signage will be provided as per chapter 31 of the Madison General ordinances as compared to the R-6 zoning district of limited to one wood sign not more than 14'' by 36'' attached to the front of the house or porch.

J. Family definition: The family definition shall coincide with the definition giving in M.G.O 23>03 for the R-6 Zoning definition.

K. Alterations and Revisions; No alteration or revision of this planned unit development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations of additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

L. Architectural Review: no building of foundation permit shall be issued with the approval of the Zoning Administrator.

October 13, 2009

Mr. Matt Tucker
Zoning Administrator
City Of Madison
215 Martin Luther King, Jr. Blvd

Re: Letter Of Intent
115/117 S. Bassett
NW ¼ OF LOT 17 & NW¼ OF LOT 18
SE ½ OF NW ½ OF LOT 17 & SE ½ OF NW ½ OF LOT 18

Dear Mr. Tucker,

The following is submitted with the plans, application and zoning text for staff, plan commission and council consideration for approval of the proposed development.

Project:

Name: 115 & 117 S Bassett Street
NW ¼ OF LOT 17 & NW¼ OF LOT 18
SE ½ OF NW ½ OF LOT 17 & SE ½ OF NW ½ OF LOT 18

Owner:

Brandon Cook
PO BOX 694
Madison WI 53701
Ph (608)279-7962

Residence
117 S Bassett St #3
Madison WI 53701

Project Submitter

Owner

Architect:

Matthew Aro AIA & Josh Johnson AIA
Aro Eberle Architects
116 King Street Suite 202
Madison WI 53703
Ph (608)204-7464

Background – Existing Use:

The existing use for the property at 115 & 117 S Bassett is for student housing. This is under Multi-Family Housing. The current configuration on these two properties is the main buildings towards the front of each lot. 115 S Bassett is currently a single family home with 4 bedrooms, and 117 S Bassett is currently a 3 story 3 unit building with each unit containing 2 bedrooms. The site is currently zoned R6. The two driveways and rear of the lot are all gravel; the rear yard is used for parking and has a 3 car garage structure.

Proposed Uses of Buildings:

115 S Bassett will be a 2 unit building when completed. The basement unit will get an additional 2 bedroom unit added; the first and second floor will get a 5th bedroom and living room added.

117 S Bassett will be a 4 unit building. The new unit will be added in the basement and will have 3 bedrooms.

A new rear apartment building will be constructed in the back of the lot. It will have 4-2 bedroom units, 1-4 bedroom unit, and 1-3 bedroom unit. It will also house an indoor storage area for bicycles.

This property will also have a location for trash, 3 parking stalls, and a good amount of the graveled area turned into landscaped areas.

Project Schedule:

Construction of phase 1 will begin within 30 days of the approval of all permits. Phase 1 will be to replace both foundations and add the units, add the story on 115, re-landscape the property, and refinish the exterior of 115.

Construction of phase 2 will begin within 180 days of the approval of all permits. Phase 2 will be refinishing the exterior of 117, construction of the apartment structure in the rear and all landscaping.

Social and Economic Impacts:

The desire of this project is to upgrade the current buildings to make for better housing and for a more desirable neighborhood. It is unlikely in the short term children would be present, but with the increase in desirability attracting some professional residents would be preferable.

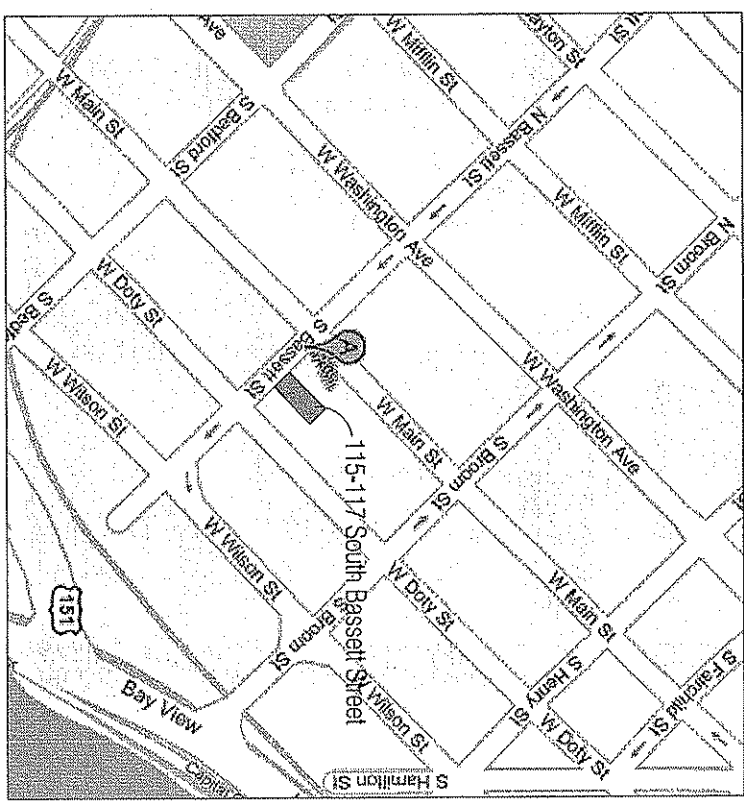
The goal is to make this a well managed property where problems do not occur. The types of finishes that will be used will make these properties nice for years to come.

Sincerely,

Brandon Cook
Owner

UDC Submittal for October 21, 2009 Meeting
 Renovation of 115 and 117 South Bassett Street and the Proposed
 Construction of a 6 Unit Apartment Building.
 The Property owner is Brandon Cook, Lot Size 8749 Square Feet (.20 acre)

Sheet Index	115 Bassett Street
S-1 Site Plan	2 Units
S-2 Site Utilities	7 Bedrooms
S-3 Grading Plan	117 Bassett Street
L-1 Landscape Plan	4 Units
P-0 Perspectives	9 Bedrooms
P-1 View from Bassett	Proposed Building
P-2 Northwest Elevation	6 Units
P-3 Southeast Elevation	16 Bedrooms
P-4 Northeast Elevation	Totals
P-5 Southwest Elevation	12 Units
P-6 Photographs	32 Bedrooms
P-7 Area Plan	
P-8 View from Above	
E-1 Existing Elevations (115-117)	
E-2 Proposed Elevations (115-117)	
E-3 Existing and Proposed Elevation (115)	
E-4 Proposed Elevations (117)	
Photometric Lighting Plan	



Location Plan

ARD EBERLE ARCHITECTS

Brandon Cook
 115-117 South Bassett

Title Sheet

Date 8/12/2009

N 42° 04' 18" E 132.21'

Existing Driveway to Remain

New Fill Out of Wall Pack

115 South Bassett

117 South Bassett

4 Base Stairs

Slope Tiles

Slope Tiles
Concrete Park

6 Base Stairs

New Fill Out of Wall Pack

4 Base Stairs

Indoor Blue Storage, Stairs
4 Base wall units, 12 Base wall
Units with Wall Actor

Electric Vent from light
Panel into Wall Pack

Trash Recycling Area

Alleyway

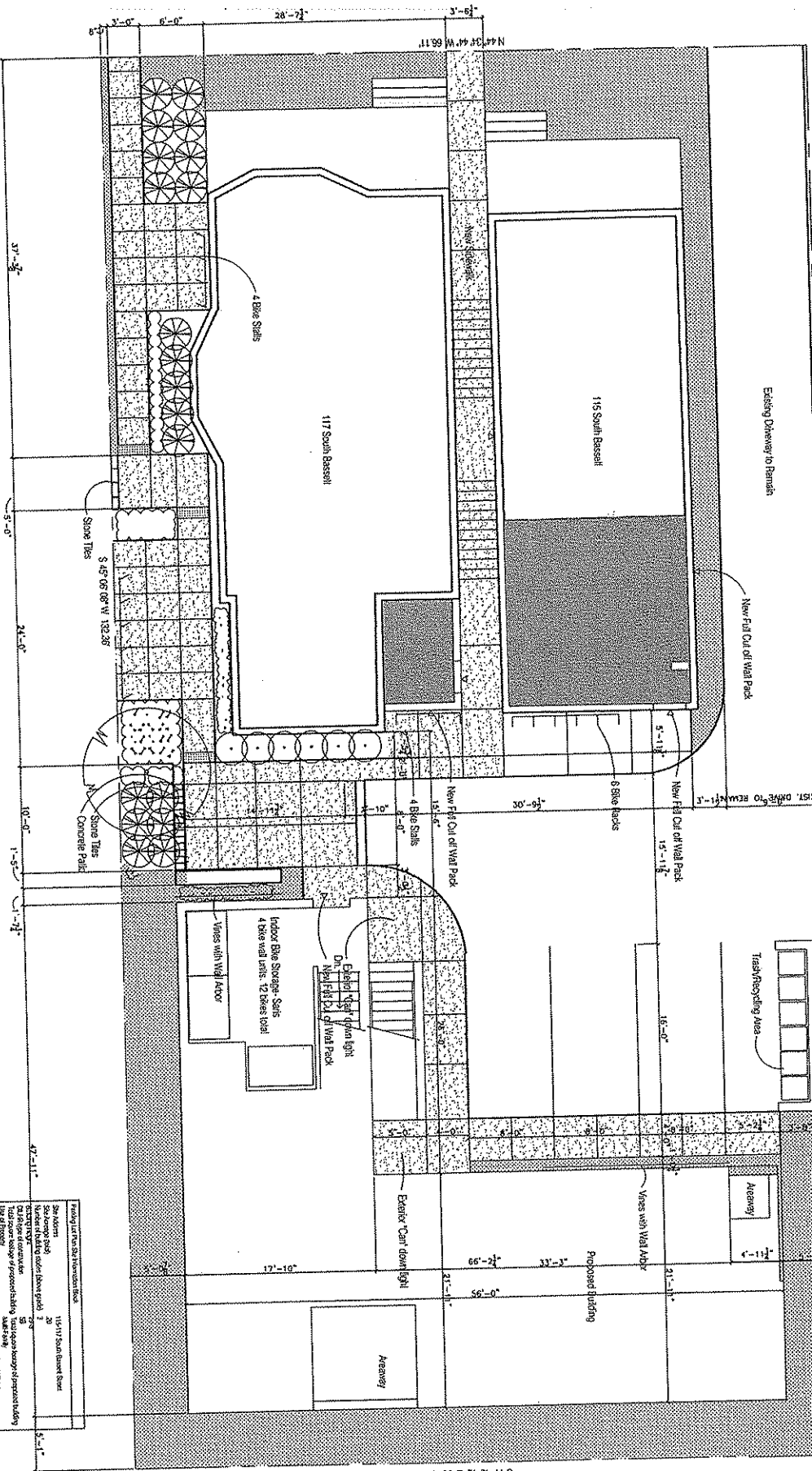
View with Wall Actor

Proposed Building

Exterior "Can" down light

Alleyway

S 44° 43' 12" E 68.18'



Existing just west of the intersection	115-117 South Bassett Street
Site Address	
Site Name	
Number of Units	20
Number of Units per Floor	2
Number of Units per Block	20
Number of Units per Lot	20
Number of Units per Parcel	20
Number of Units per Block	20
Number of Units per Parcel	20
Number of Units per Parcel	20
Number of Units per Parcel	20



ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

Site Plan

Date 10/22/2009

S 1

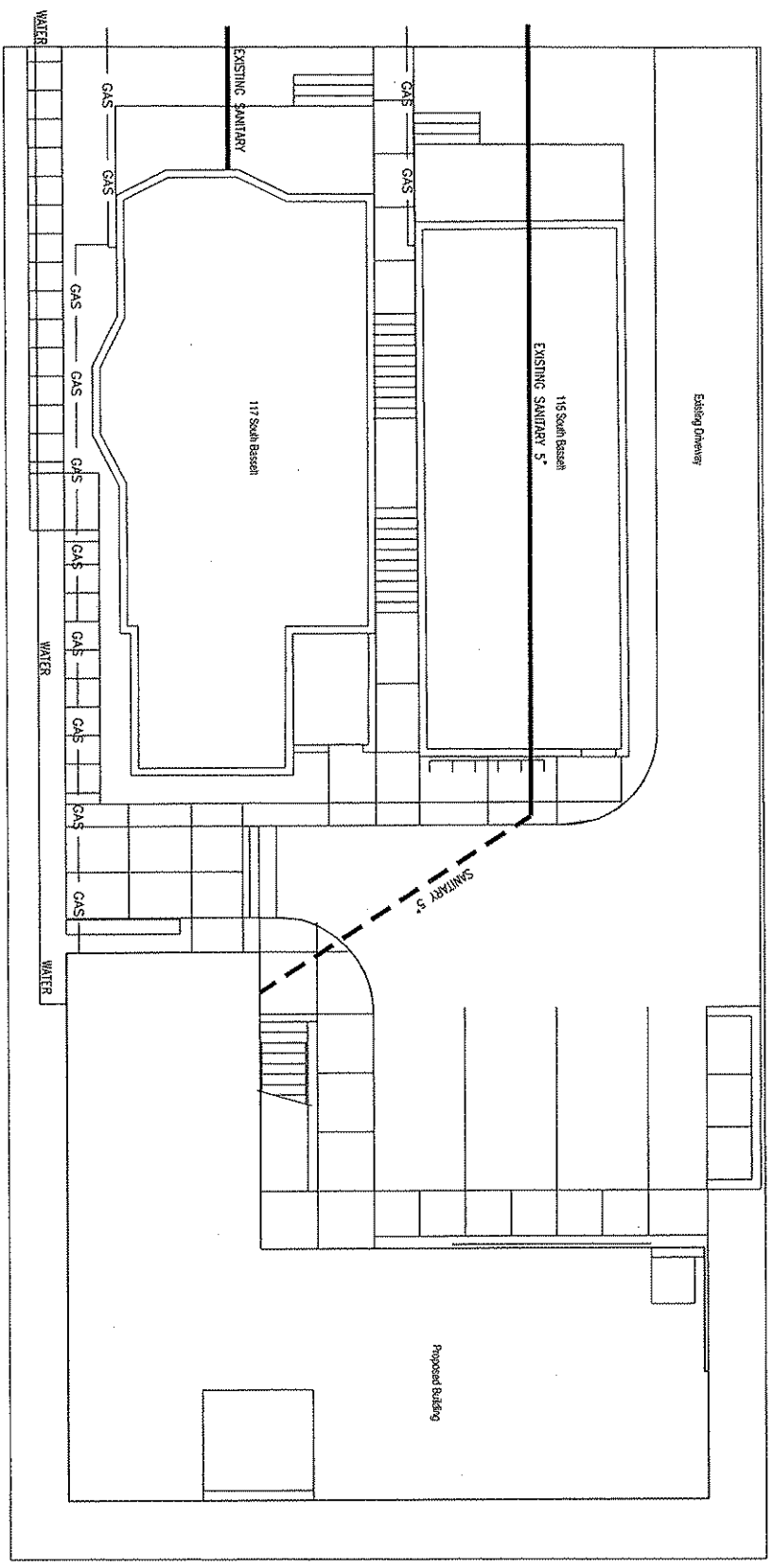
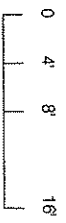
ARID EBBERLE ARCHITECTS

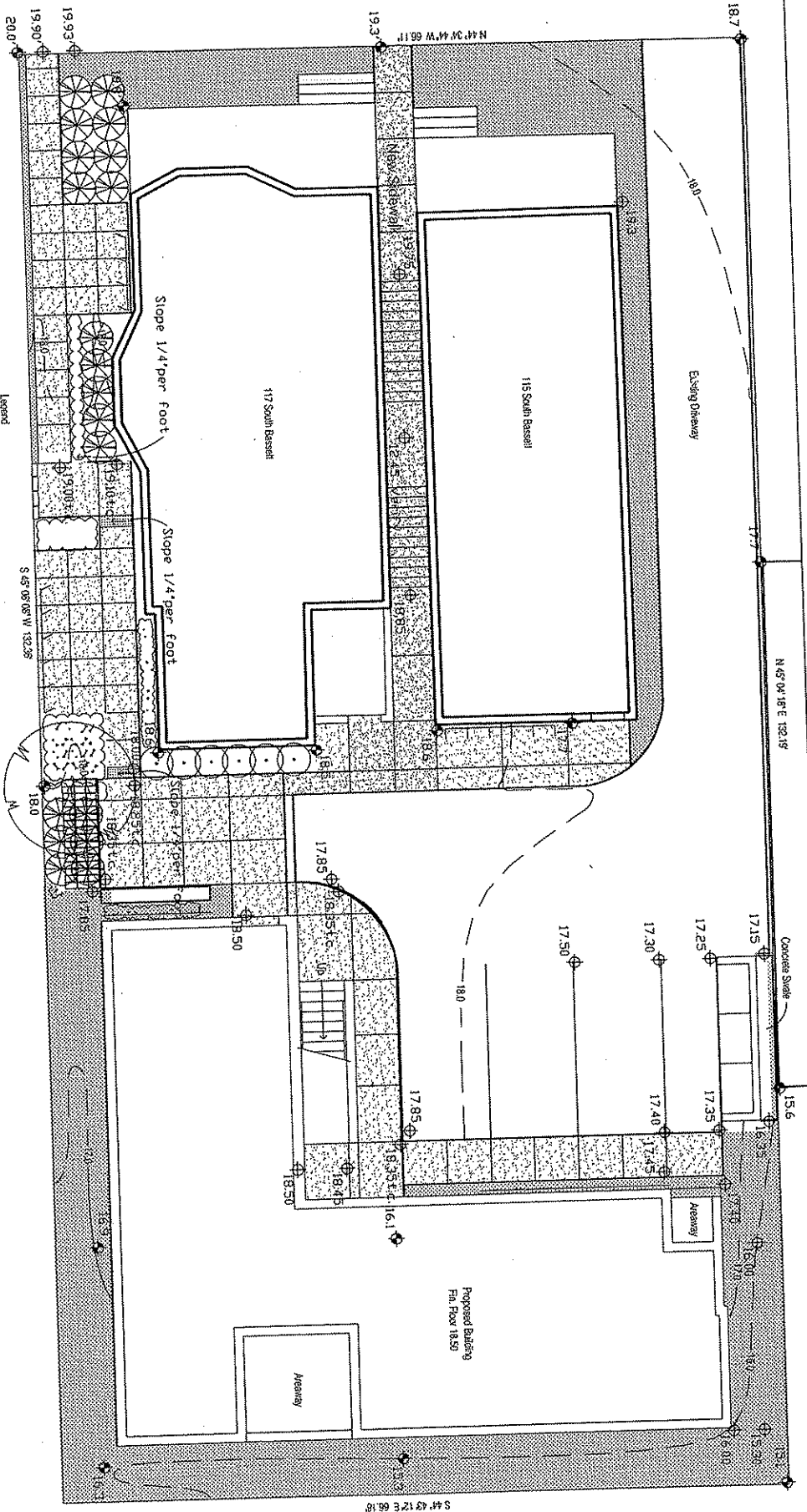
Brandon Cook
115-117 South Bassett

Site Utilities

Date 8/12/2009

S 2





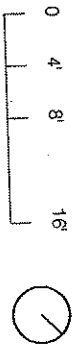
Legend

Proposed Spot Grade Φ 19.10

Proposed Spot Grade Measured from Top of Concrete Φ 19.10 + c.

Existing Topo Line $-1/8-$

Existing Spot Grade Φ 20.0'



ARD EBERLE ARCHITECTS

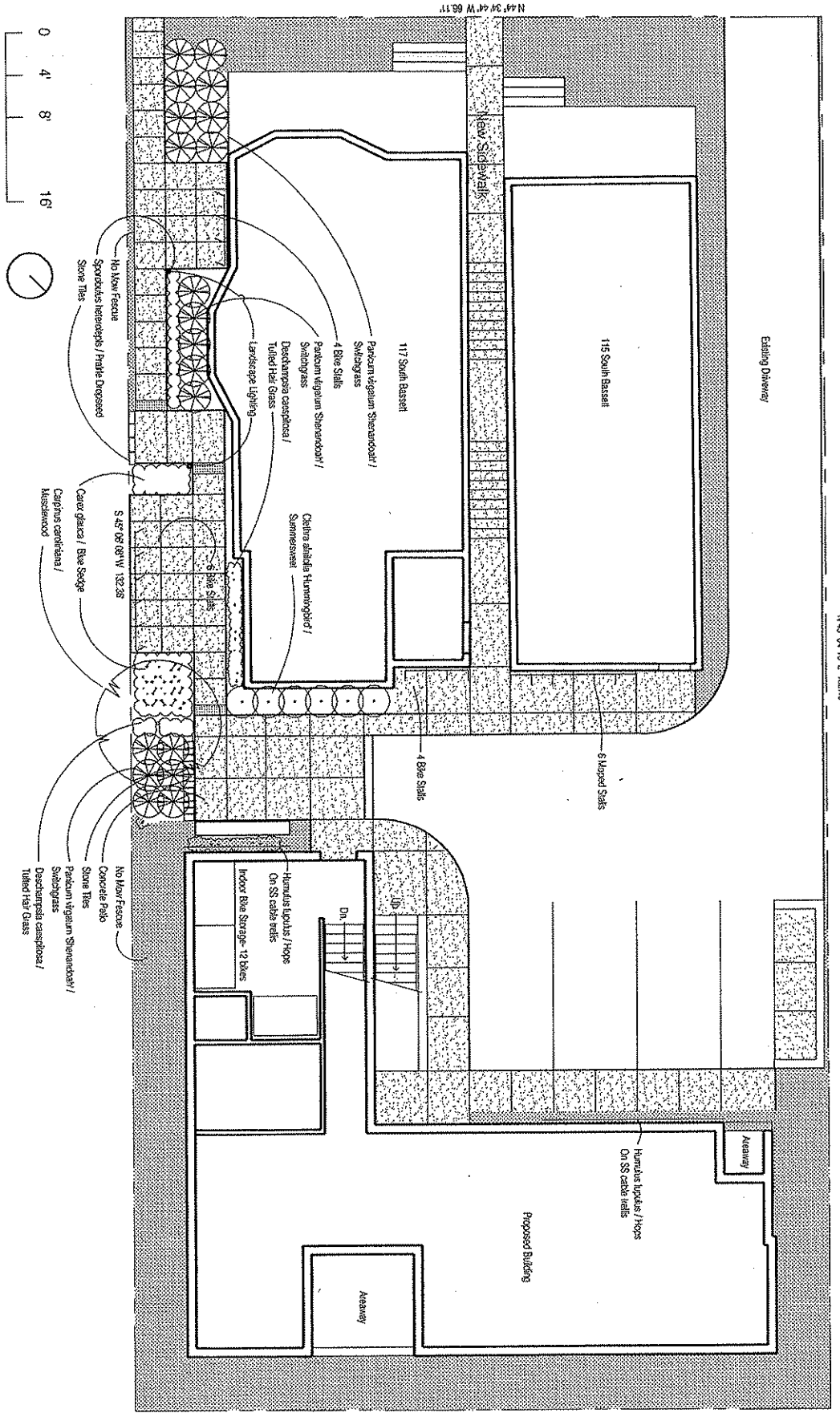
Brandon Cook
115-117 South Bassett

Grading Plan

Date 10/22/2009

S 3

N 47° 04' 18" E 132.19'



S 44° 43' 12" E 66.18'

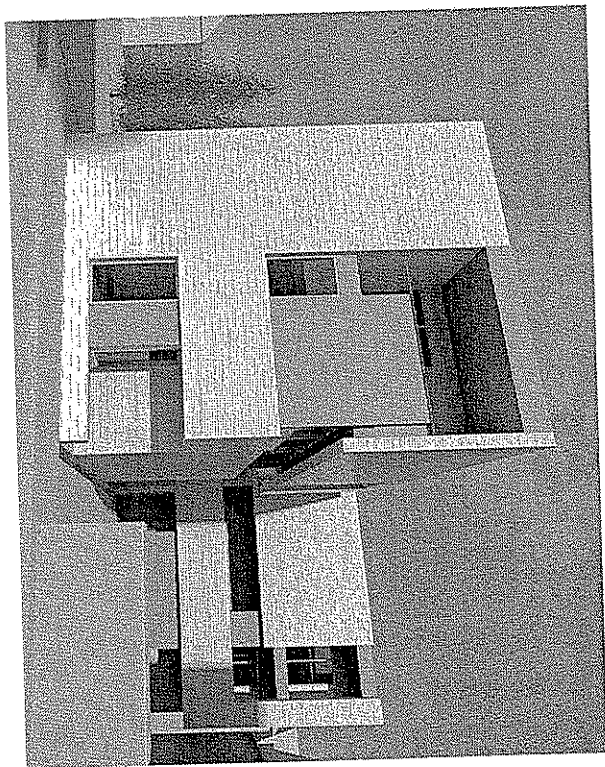
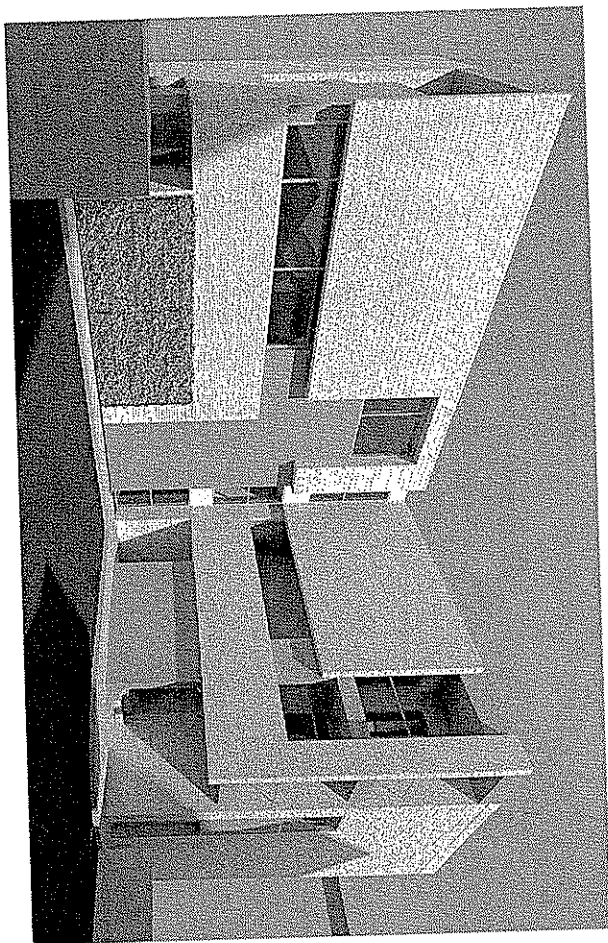
ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

Landscape Plan

Date 10/22/2009

L 1

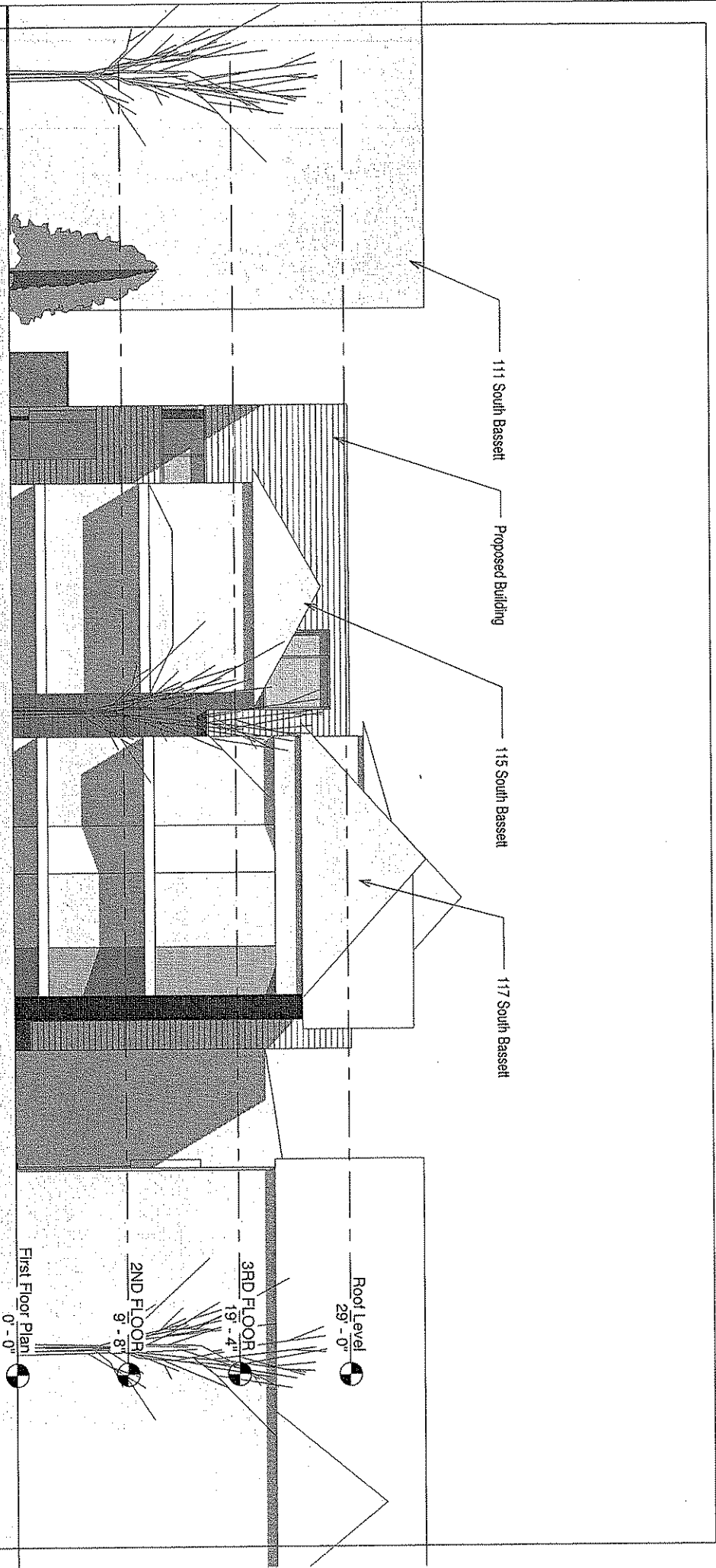


ANDERBERG ARCHITECTS

Brandon Cook
115-117 South Bassett

Perspectives

Project number	Project Number	P 0
Date	8/12/2009	
Drawn by	Author	
Checked by	Checker	
	Scale	1/2" = 1'-0"



Reference E Series Sheets for work on 115 and 117 South Bassett

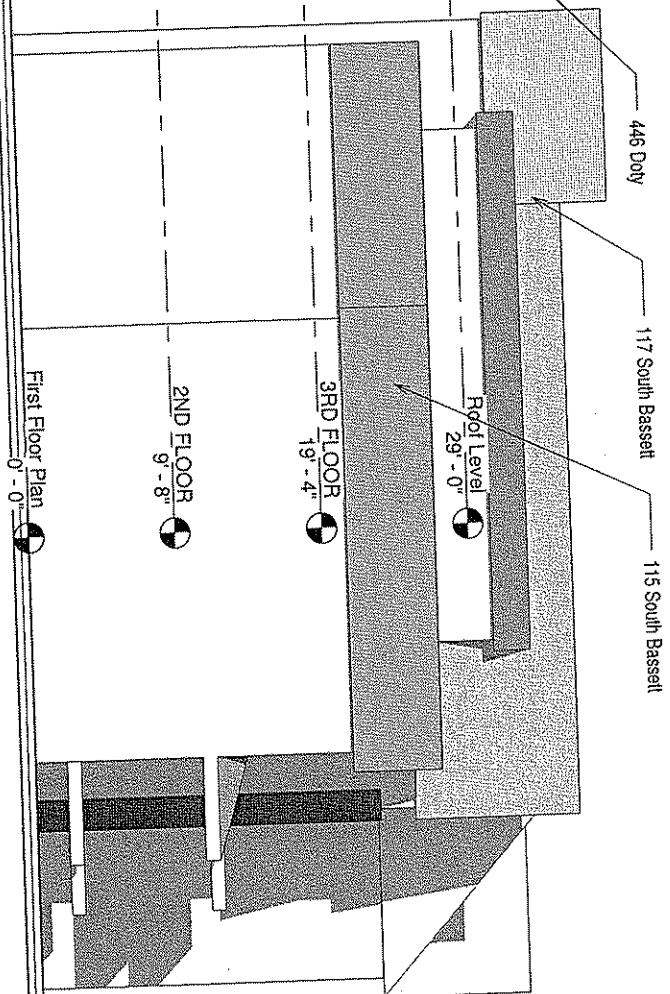
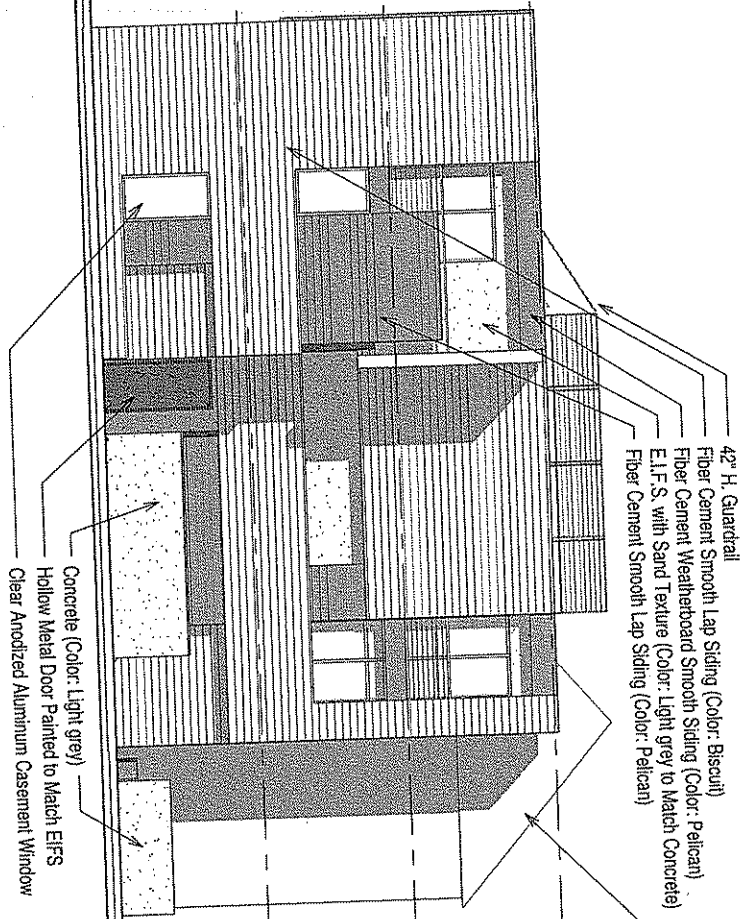
① View from Bassett
1/8" = 1'-0"

ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

View From Bassett

Project number	Project Number	P 1
Date	8/12/2009	
Drawn by	Author	
Checked by	Checker	
	Scale	1/8" = 1'-0"



① Northwest Elevation
 1/8" = 1'-0"

ARD EBERLE ARCHITECTS

Brandon Cook
 115-117 South Bassett

Elevation

Project number	Project Number	P 2
Date	8/12/2009	
Drawn By	Author	
Checked by	Checker	
	Scale	1/8" = 1'-0"

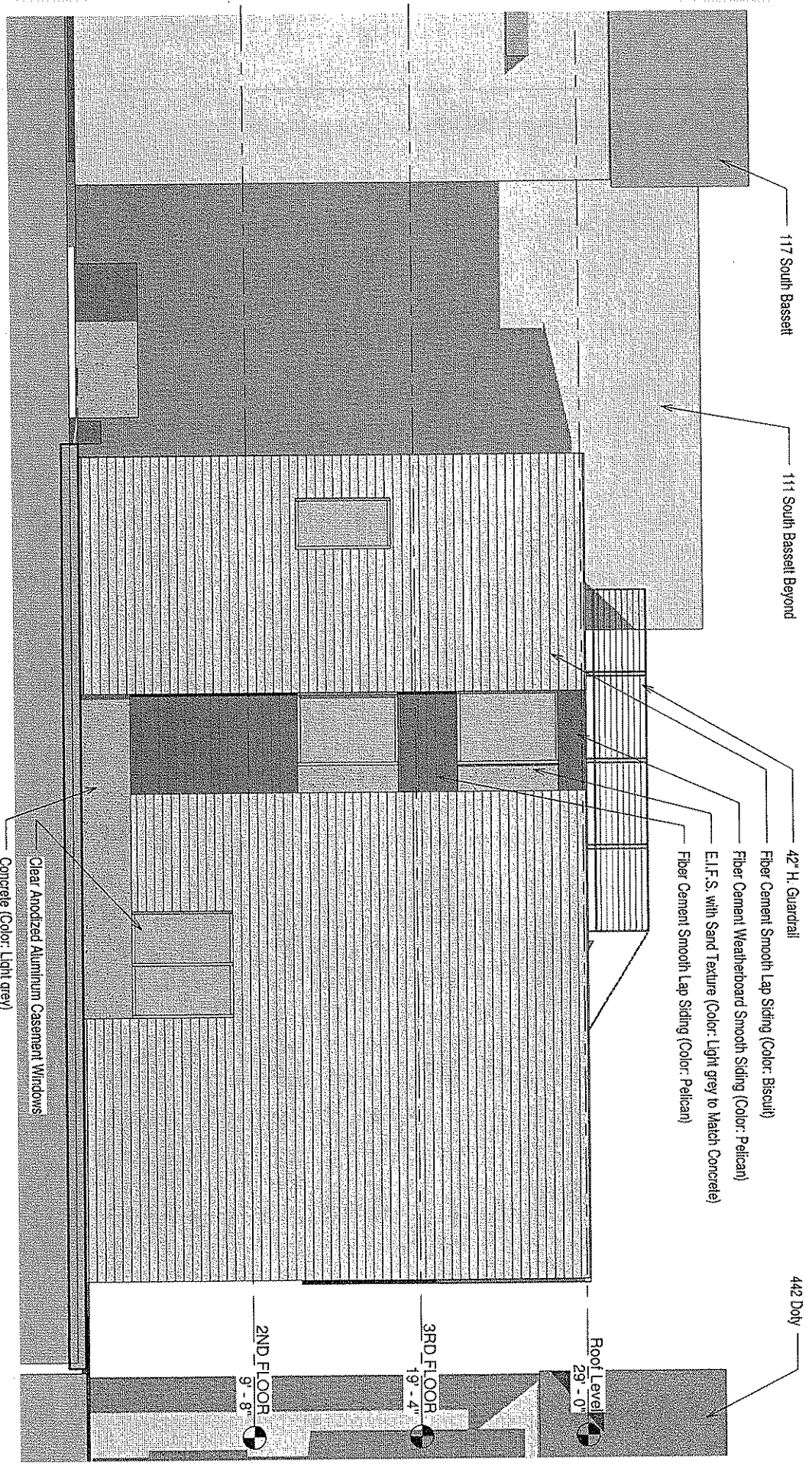
ARD EBERLE ARCHITECTS

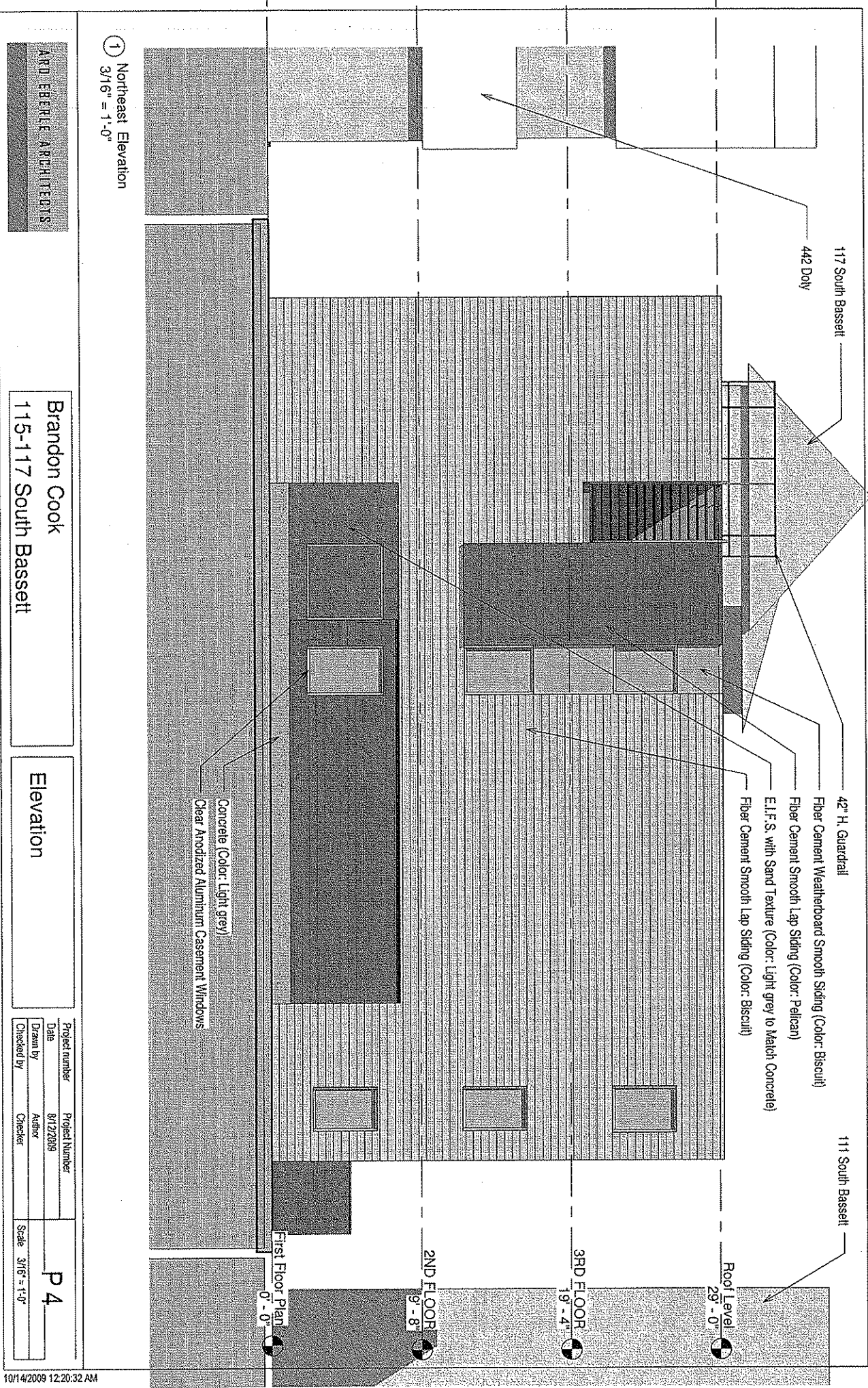
Brandon Cook
115-117 South Bassett

Elevation

Project Number	81722009	P 3
Date	8/12/2009	
Drawn by	Author	
Checked by	Checker	Scale: 3/16" = 1'-0"

1 Southeast Elevation
3/16" = 1'-0"



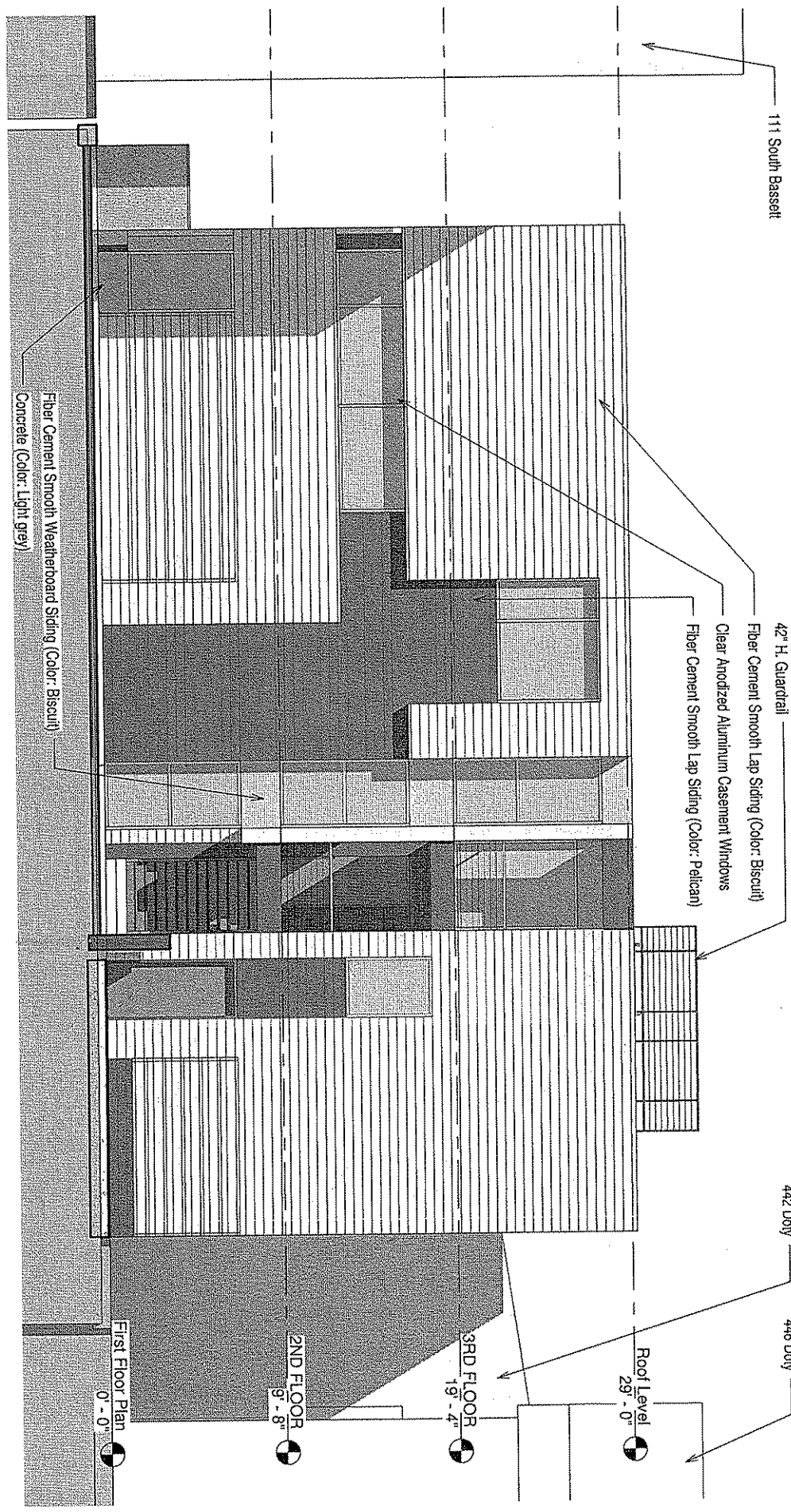


① Northeast Elevation
3/16" = 1'-0"

Brandon Cook
115-117 South Bassett

Elevation

Project number	Project Number	P 4
Date	8/17/2009	
Drawn by	Author	
Checked by	Checker	Scale 3/16" = 1'-0"



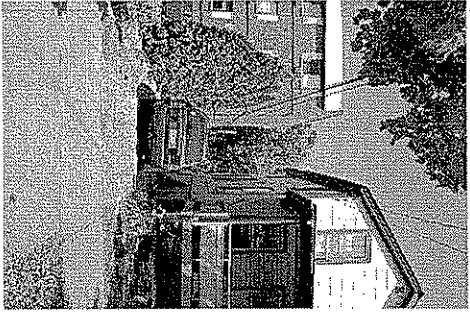
1 Southwest Elevation
3/16" = 1'-0"

AND EBERLE ARCHITECTS

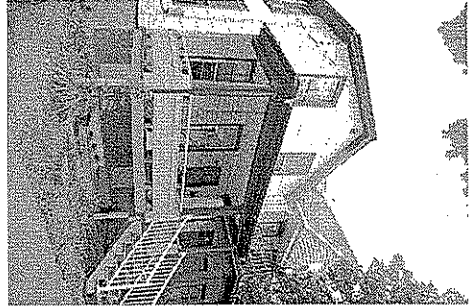
Brandon Cook
115-117 South Bassett

Elevation

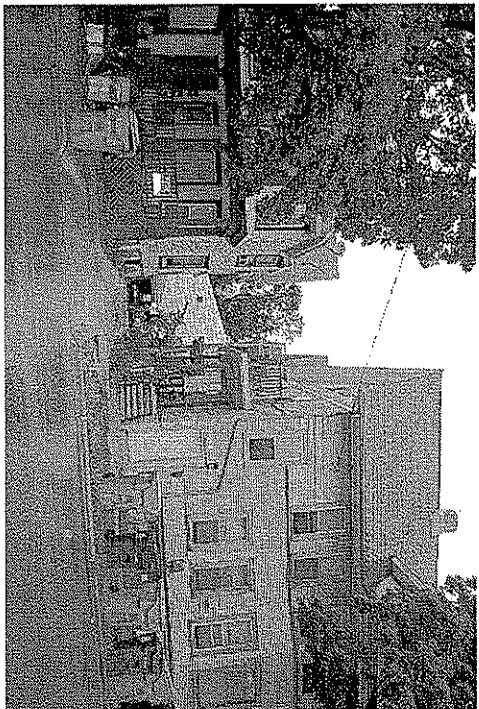
Project Number	Project Number	P 5
Date	8/12/2009	
Drawn by	Author	
Checked by	Checker	
	Scale	3/16" = 1'-0"



View Between 111 and 115 South Bassett



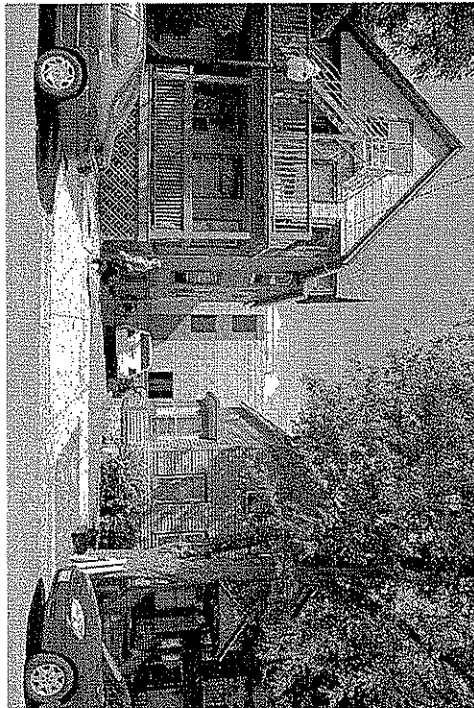
115 and 117 South Bassett



View Between 117 and 454 Doly



View from Main Street (-Between 437, 445 Main)
Shown with Model



View from Doly Street (-Between 444, 446 Doly)
Shown with Model

ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

Photographs

Project number	Project Number	
Date	8/17/2009	
Drawn by	Author	
Checked by	Checker	
		Scale
		P 6

West Main Street

437 Main

449 Main

445 Main

111 South Bassett

South Bassett Street

Brandon Cook
115-117 South Bassett

Area Plan

442 Doty

Proposed Building

444 Doty

446 Doty

450 Doty

115
117

454 Doty

Doty Street

ARD EBERLE ARCHITECTS

Project number	Project Number	P7
Date	8/12/2009	
Drawn by	Author	
Checked by	Checker	
Scale		1" = 20'-0"

ARD EBERLE ARCHITECTS

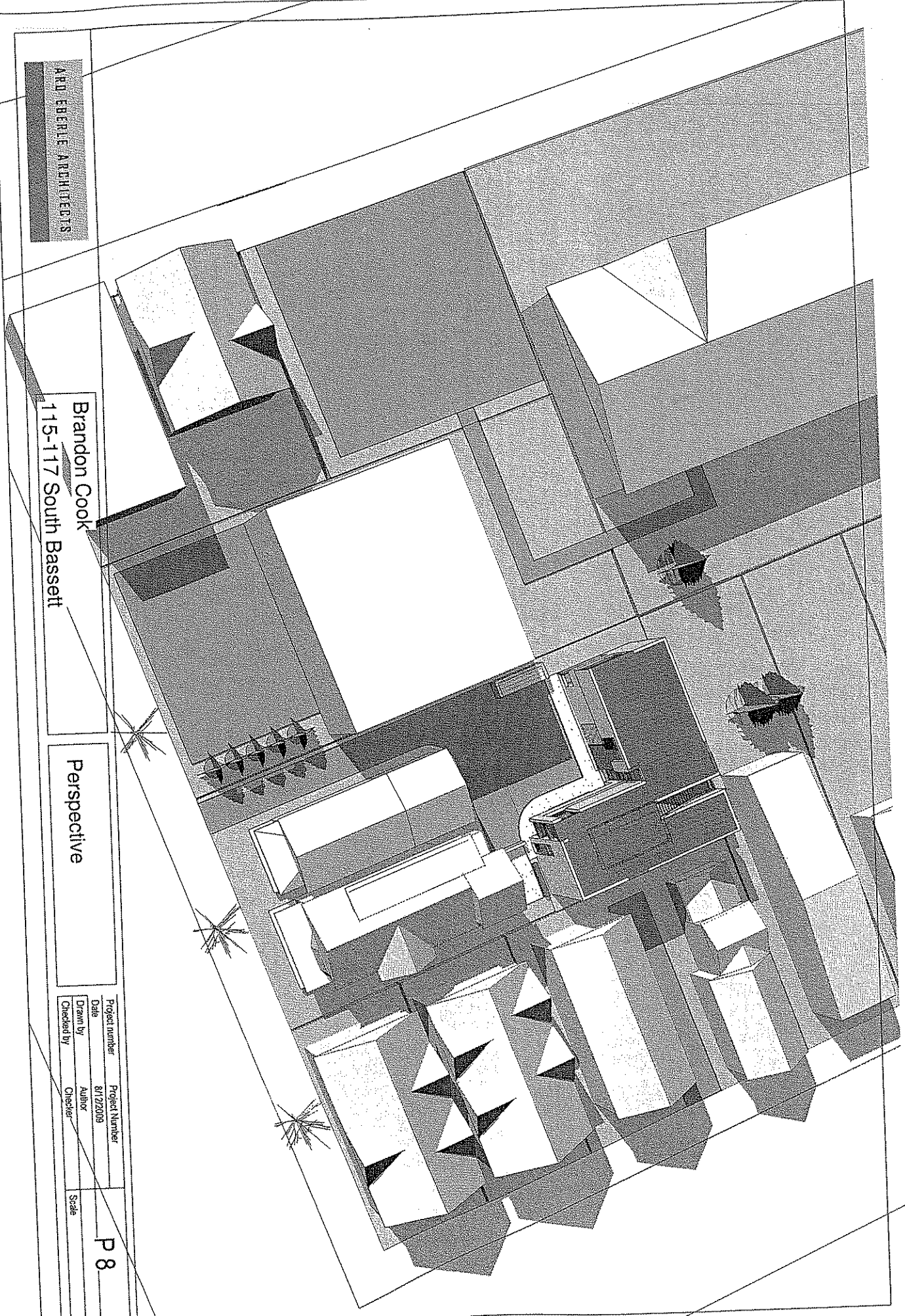
Brandon Cook
115-117 South Bassett

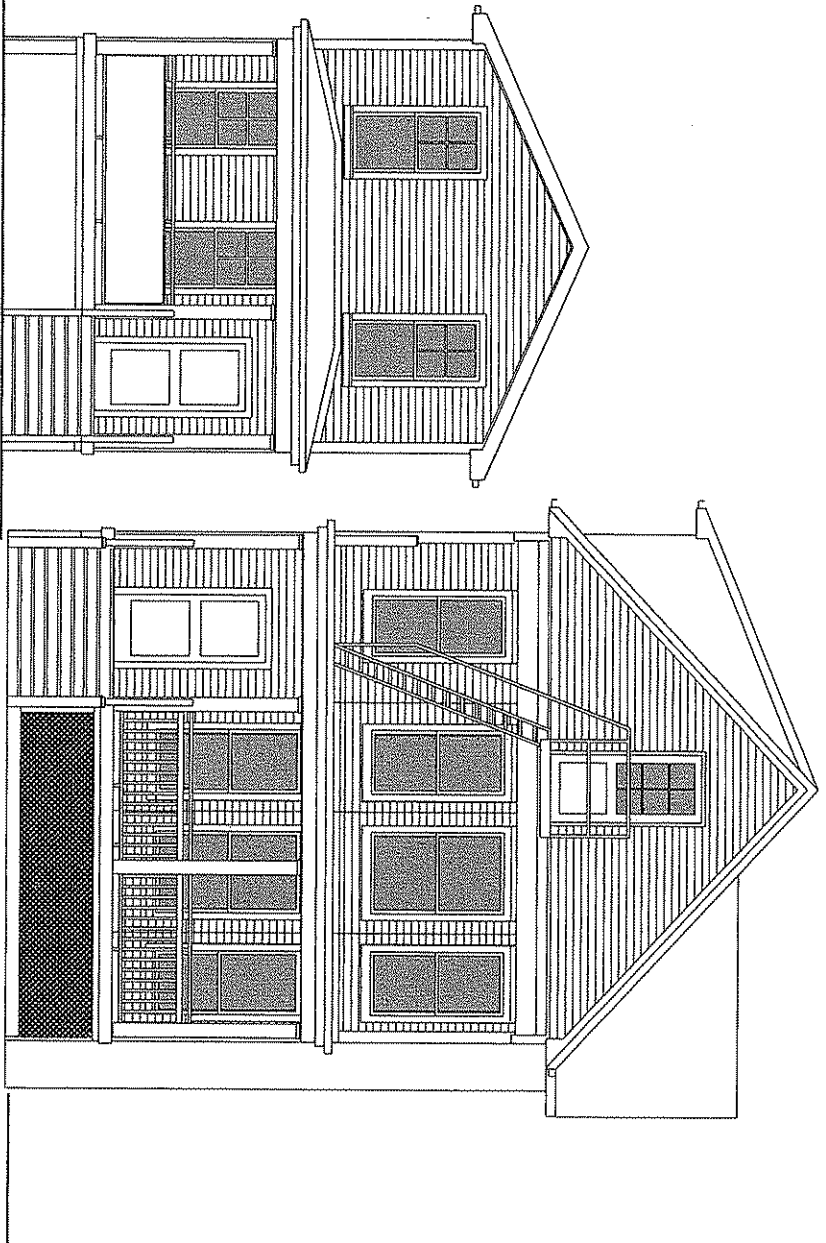
Perspective

Project number:	Project Number
Date:	8/12/2009
Drawn by:	Author
Checked by:	Checker

Scale

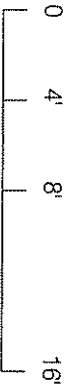
P 8





Existing Southwest Facade
115 Bassett

3/16" = 1'-0"



ARD EBERLE ARCHITECTS

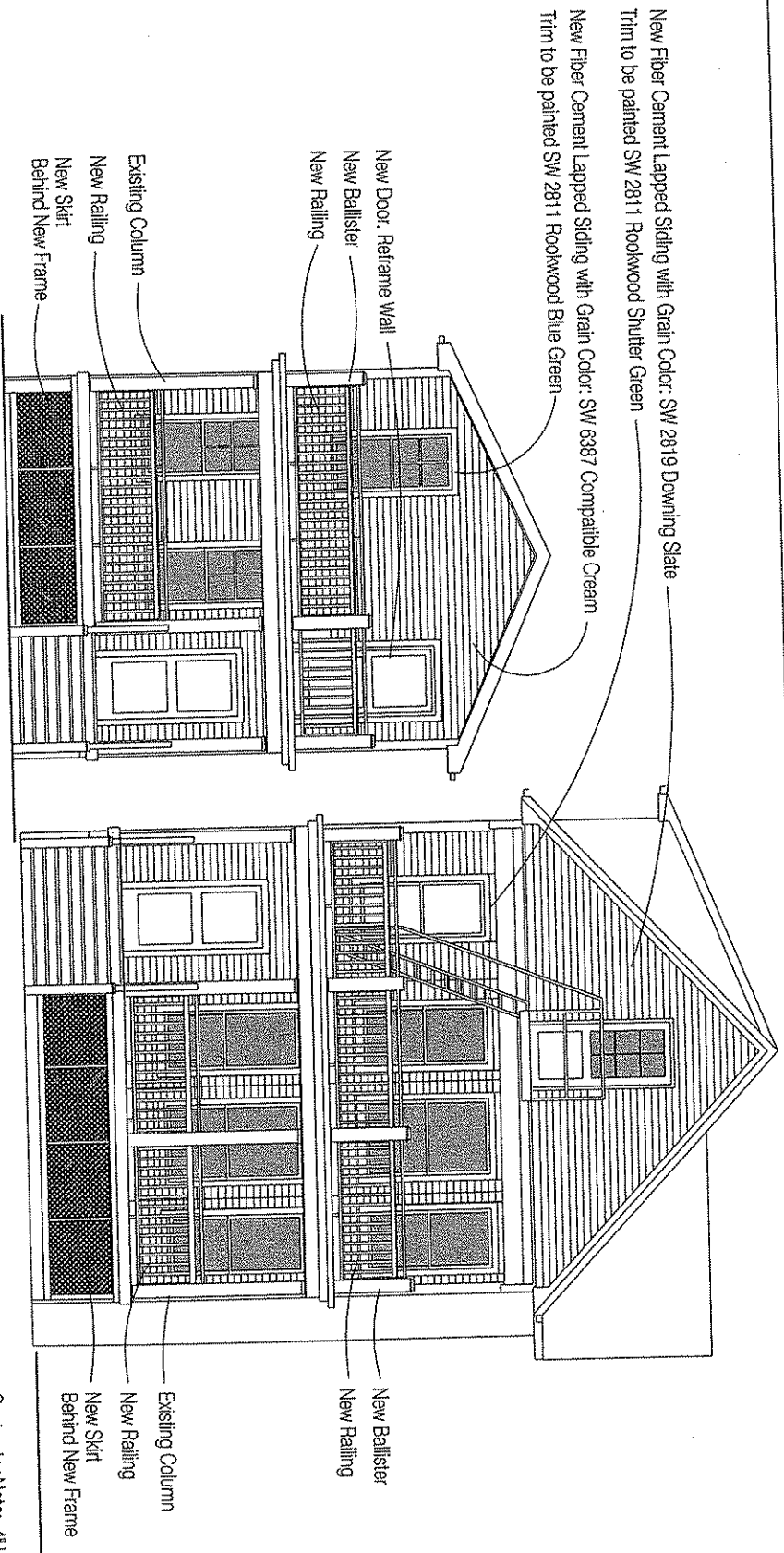
Brandon Cook
115-117 South Bassett

Existing Elevations

Date

8/12/2009

E 1



Proposed Southwest Facade
115 Bassett



Contractor Note: 4" Lap on Siding

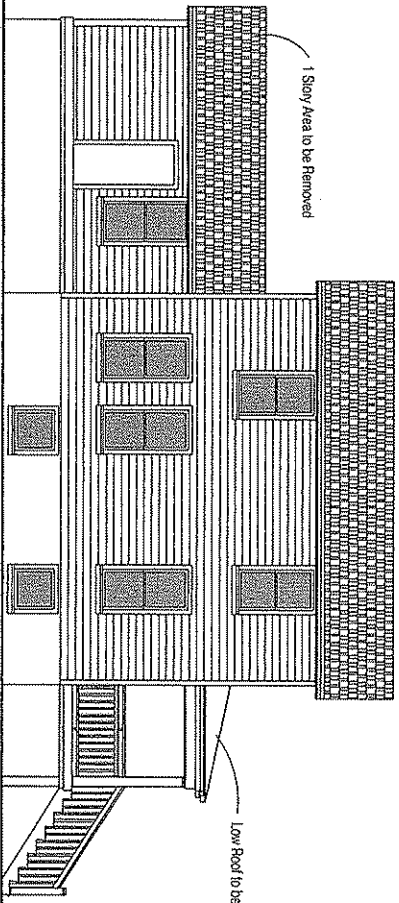
ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

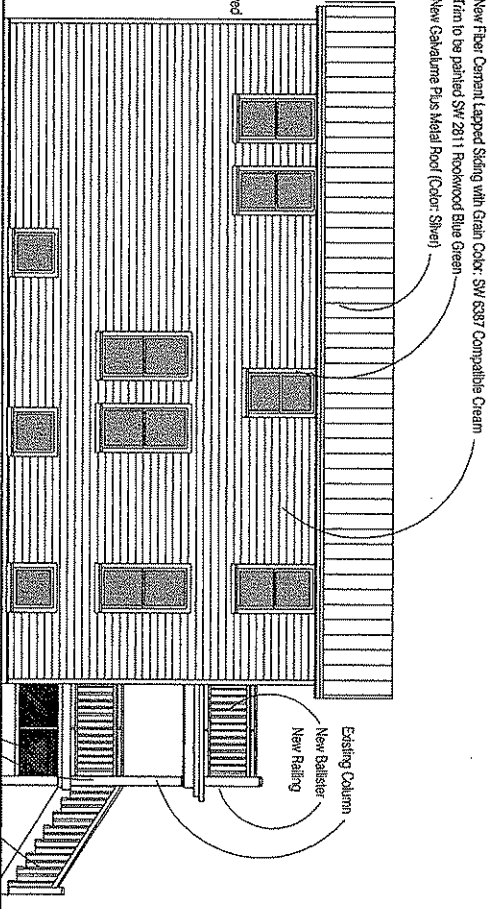
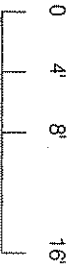
Proposed Elevations

Date 8/12/2009

E 2



Existing Northwest Facade
115 Bassett



Proposed Northwest Facade
115 Bassett

New Fiber Cement Lapped Siding with Grain Color - SW 6397 Compallsa Cream
Trim to be painted SW 2811 Rockwood Blue Green
New Galvalume Plus Metal Roof (Color: Silver)

Existing Column
New Baluster
New Railing
New Stair Behind
New Frame
New Railing
New Stair

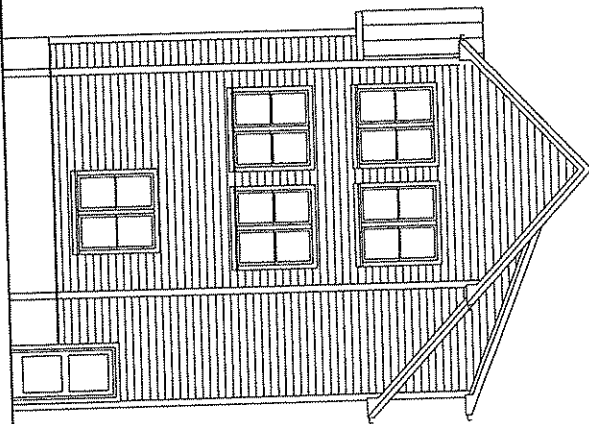
ARND EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

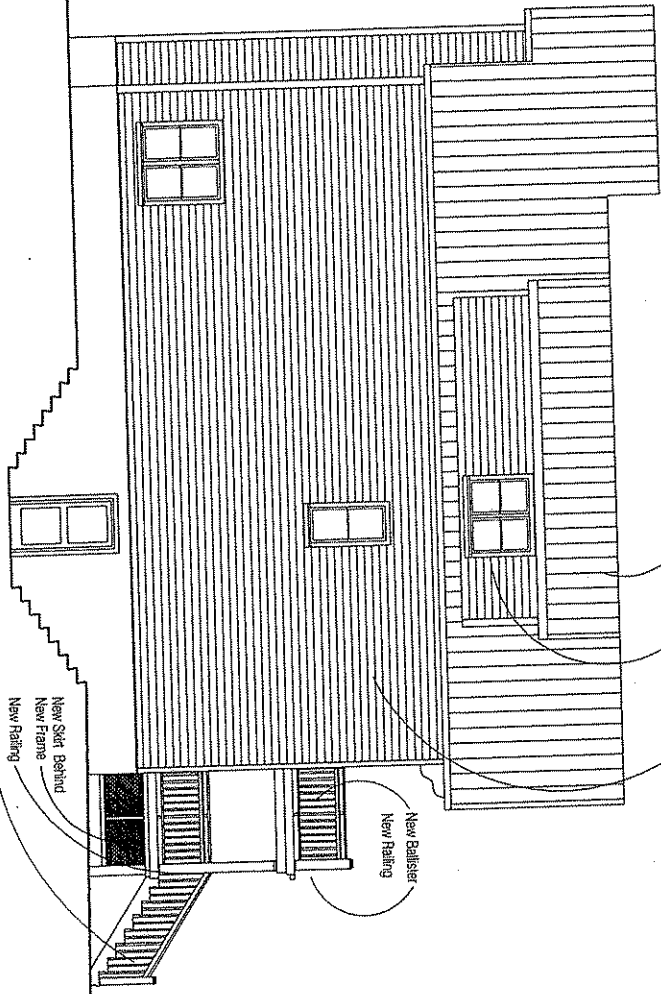
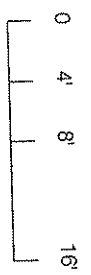
Existing Elevation
Proposed Elevation

Date 8/12/2009

E 3



Proposed Rear Facade
117 Bassett



Proposed Northwest Facade (Between Buildings)
117 Bassett

New Fiber Cement Lapped Siding with Grain Color: SW 2819 Downing Slate
Trim to be painted SW 2811 Bookwood Shutter Green
New Galvalume Plus Metal Roof (Color: Silver)

New Sdkt Behind
New Frame
New Railing
New Stair

New Baluster
New Railing

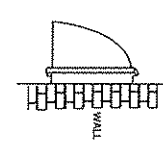
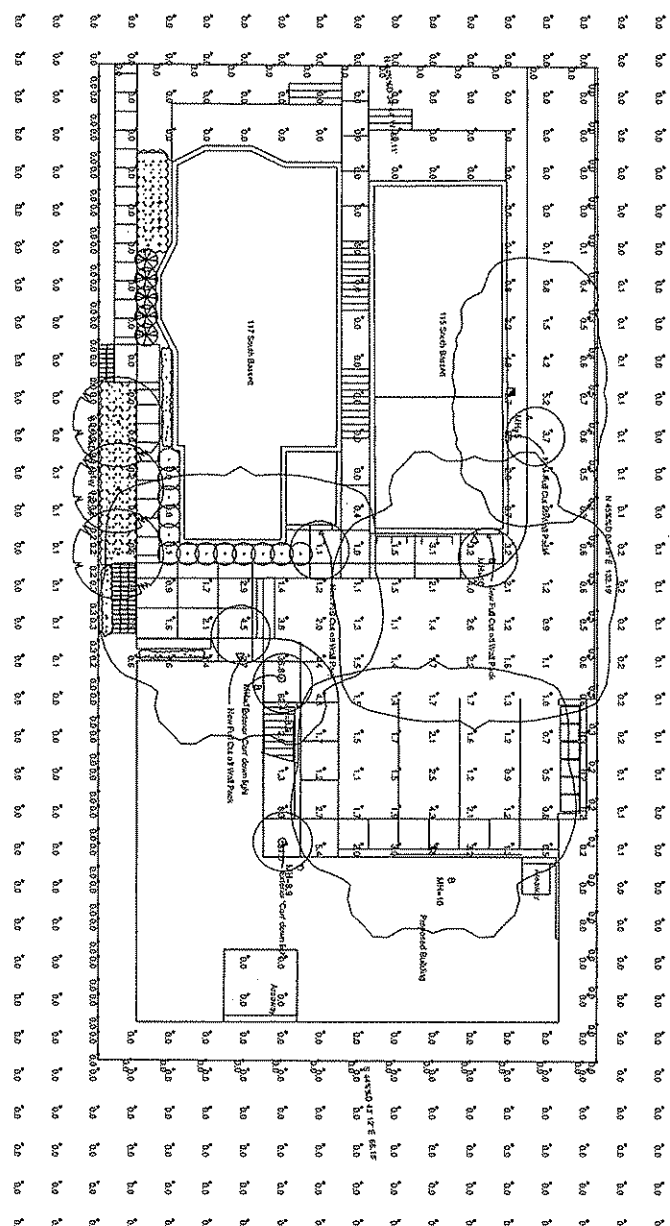
ARD EBERLE ARCHITECTS

Brandon Cook
115-117 South Bassett

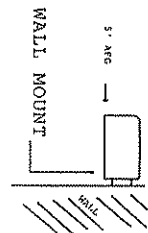
Proposed Elevations

Date 8/12/2009

E 4



MGWC SERIES



LPRW SERIES

FIXTURE MOUNTING HEIGHT: AS SHOWN
 BASED ON CUSTOMER DESIGN
 ISOLINES AT 3 FC
 ADDITIONAL REQUIRED EQUIPMENT:
 (2) - RA161100CL (CLEAR TRIM)

Luminaire Schedule			
Symbol	Qty	Label	Arrangement
△	1	A	SINGLE
□	3	B	SINGLE
○	2	D	SINGLE
			4850

RUUD LIGHTING

800.236.7000 USA <www.ruudlighting.com> 905.671.1591 CAN

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures provided under laboratory conditions. Actual project conditions differing from those provided may affect lighting results. Ruud Lighting is not responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Date: 1/01/6/2009	Scale: 1"=16'	Layout by: MARK JANAKY			
Project Name: MADISON LOT (#31829)					
File Name: 91016HE1MD1.AGI					
FOOTCANDLES CALCULATED AT GRADE USING MEAN LUMENS					
Numeric Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.87	81.0	0.0	N.A.	N.A.
PROPERTY LINE	0.09	0.5	0.0	N.A.	N.A.