



Location  
1902 Northport Drive

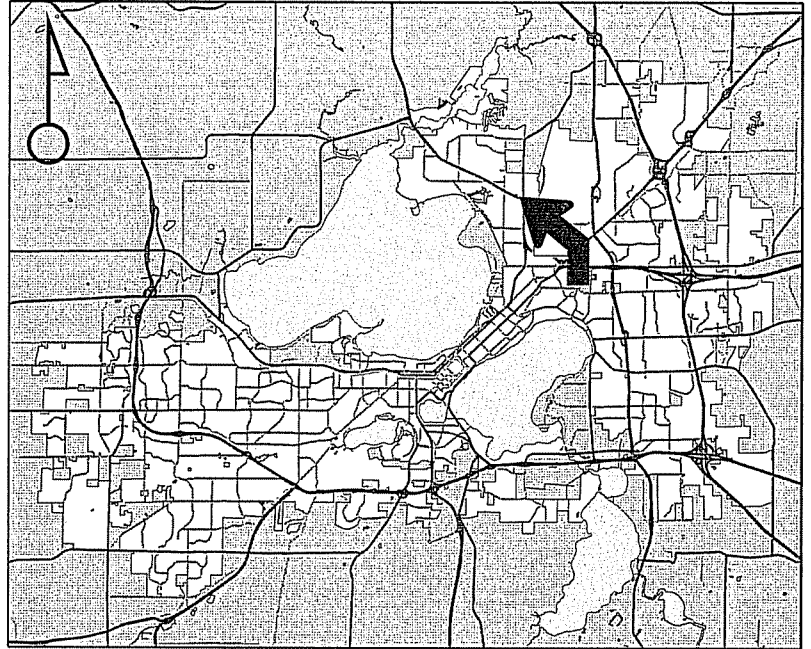
Project Name  
Advance Auto Parts Store

Applicant  
Dave Herbeck - Sewah Enterprises/  
Dan Day - D'Onofrio Kotke & Associates

Existing Use  
Vacant Restaurant

Proposed Use  
Demolish former restaurant to allow  
construction of an auto parts store

Public Hearing Date  
Plan Commission  
09 April 2012

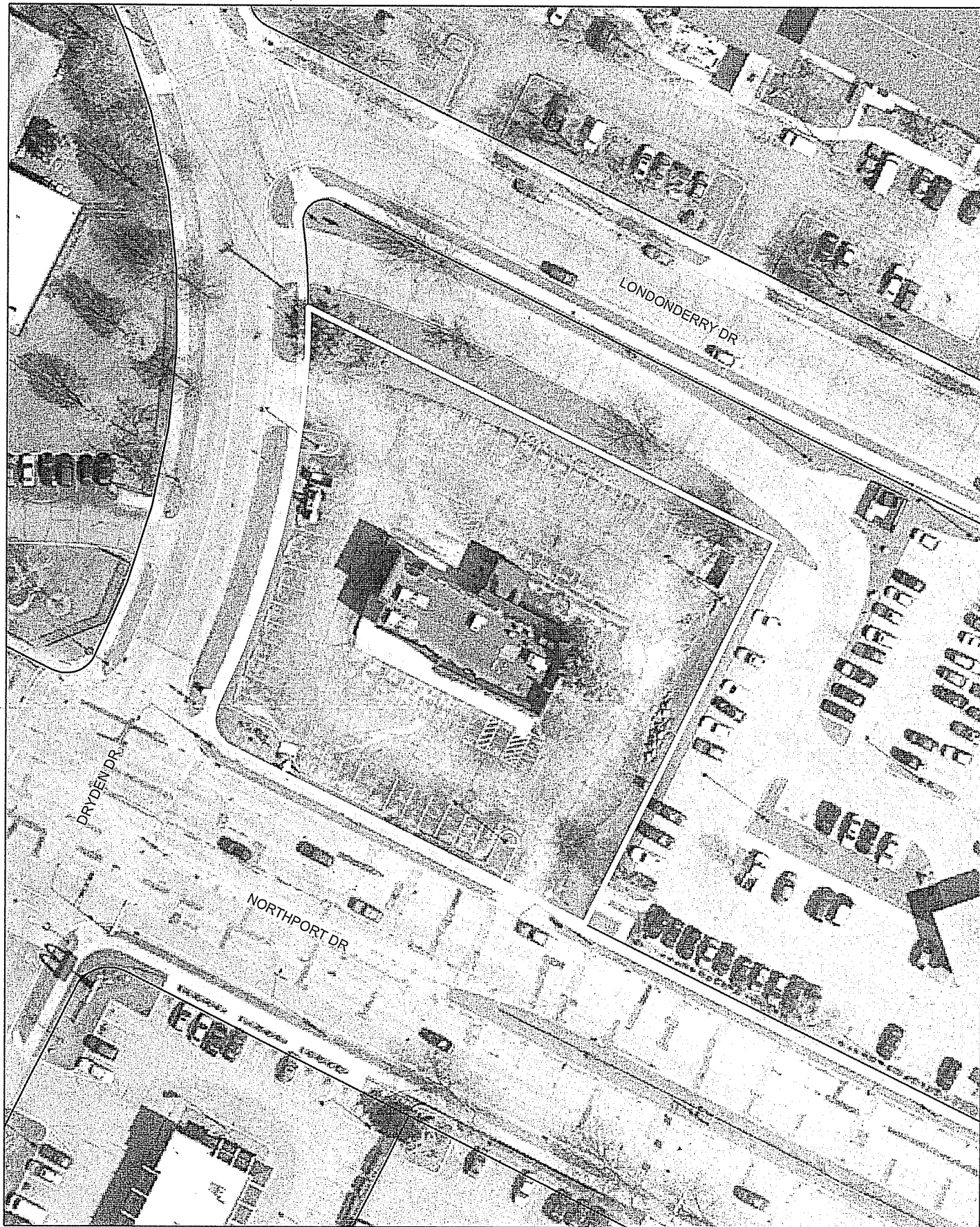


For Questions Contact: Heather Stouder at: 266-5974 or [hstouder@cityofmadison.com](mailto:hstouder@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 27 March 2012





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
GQ _____	
Zoning District _____	
For Complete Submittal	
Application _____	Letter of Intent _____
IDUP _____	Legal Descript. _____
Plan Sets _____	Zoning Text _____
Alder Notification _____	Waiver _____
Ngrhd. Assn Not. _____	Waiver _____
Date Sign Issued _____	

1. **Project Address:** 1902 Northport Drive **Project Area in Acres:** 0.98

**Project Title (if any):** Advance Auto Parts

2. **This is an application for:**

<b>Zoning Map Amendment</b> (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input type="checkbox"/> <b>Conditional Use</b>	<input checked="" type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Dave Herbeck Company: Sewah Enterprises, Inc.  
 Street Address: 2601 East Gatewood Drive City/State: Appleton, WI Zip: 54915  
 Telephone: (920) 428-9028 Fax: (920) 830-9647 Email: dherbeck@commercialhorizons.com

Project Contact Person: Dan Day Company: D'Onofrio, Kottke & Associates, Inc.  
 Street Address: 7530 Westward Way City/State: Madison, WI Zip: 53717  
 Telephone: (608) 833-7530 Fax: (608) 833-1089 Email: dday@donofrio.cc

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_

6,900 sf Proposed Retail Building for Auto Parts Store

Development Schedule: Commencement June 2012 Completion November 2012

**5. Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 500 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

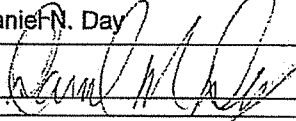
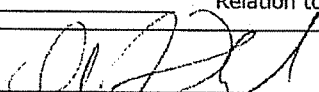
**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - *The site is located within the limits of* Comprehensive Plan *Plan, which recommends:*
  - Neighborhood Mixed Use *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
  - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
  - Alderperson & Neighborhood Association notices were sent on January 19, 2012
  - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
  - Planning Staff:* Heather Stouder *Date:* 2/2/12 *Zoning Staff:* Pat Anderson *Date:* 2/2/12
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name Daniel N. Day Date 2/22/12  
 Signature  Relation to Property Owner Agent  
 Authorizing Signature of Property Owner  Date 2/22/12

February 22, 2012

Heather Stouder  
City of Madison – Planning Department  
215 Martin Luther King Jr. Blvd  
Room LL-100  
Madison, WI 53701-2985

Re: 1902 Northport Drive  
**Letter of Intent – Demolition Permit**  
Advance Auto Parts

Dear Heather:

Please accept this letter as the Letter of Intent for the Demolition Permit for 1902 Northport Drive.

**Project Team**

**Applicant & Owner:**

Sewah Enterprises, Inc.  
c/o Dave Herbeck  
2601 East Gatewood Drive  
Appleton, WI 54915  
Phone: (920) 428-9028

**Project Engineer / Surveyor:**

D'Onofrio, Kottke & Associates, Inc.  
c/o Dan Day  
7530 Westward Way  
Madison, WI 53717  
Phone: (608) 833-7530

**Architect:**

Gries Architectural Group, Inc.  
c/o Sam Tijan  
500 North Commercial Street  
Neenah, WI 54956  
Phone: (920) 772-2445

**Landscape Architect:**

The Bruce Company  
c/o Rich Carlson  
2830 Parmenter Street  
Middleton, WI 53562  
Phone: (608) 836-7041

**Legal Description**

Lot 1 of Certified Survey Map No. 712, recorded in Volume 3 of Certified Survey Maps at page 249 as Document No. 1309650, in the City of Madison, County of Dane, State of Wisconsin.

**Existing Conditions / Uses**

The existing site is 0.98 acres and contains a vacant fast food restaurant with a drive-thru lane. The existing structure is not conducive to rehabilitating it for other uses. The building is situated on the site where it does not conform to City of Madison goals of buildings fronting streets. The existing



parking field is 45 percent larger than is required for the new use and has limited greenspace and landscaping. There are two curb cuts for the site, one onto Dryden Drive and a right in right out onto Northport Drive.

### New Project Information

Advance Auto Parts is proposing to build a 6,900 square foot retail building for auto parts. The proposed facility uses will conform to the existing C2 zoning district. The typical hours of operation for the facility will be 7:00 a.m. to 9:00 p.m, seven days a week. The proposed building will not have a drive thru window. The project will be maintaining the same number of accesses but will be repositioned to fit the proposed site. The number of parking stalls will be reduced by 45% which will allow for the installation of landscaping surrounding the site, along with tree islands in the parking lot and plantings along the building. To meet the storm water management requirements for the site, it is proposed to install a bioretention system in the south east corner of the site. Pedestrian access will come from Northport Drive as the front door is positioned close to Northport Drive. We are proposing bike parking near the entrance to the store just off of Northport Drive to allow for ease of access. The site also will contain a bench at the corner of Dryden Drive and Northport Drive. This will allow for use by transit passengers and people from the neighborhood. The proposed building will be a slab on grade constructed with masonry. The proposed site has one loading zoning per Madison Zoning regulations and the parking lot will accommodate a WB-50 truck per the request of Traffic Engineering. A proposed lighting plan will be developed for the site which will be in full conformance with City of Madison standards for site lighting. Signage has been shown on the elevations along with a sign in the south west corner of the site. Signage is not part of this submittal and will be submitted separately.

### Schedule

Construction is planned to begin in June of this year and be completed in November of this year.

If you have any questions, please feel free to call.

Sincerely,  
D'Onofrio, Kottke & Associates, Inc.

  
Daniel N. Day, P.E.

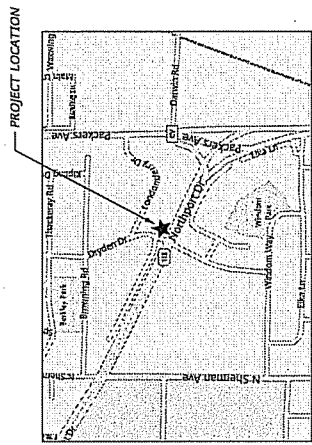
cc: Dave Herbeck, Commercial Horizons & Sewah Enterprises

FN: 12-05-101

U:\User\1205101\Project Docs\Engineering\Letter of Intent.doc

# ADVANCE AUTO PARTS

1902 NORTHPORT DRIVE  
CITY OF MADISON  
DANE COUNTY, WISCONSIN



PROJECT LOCATION

PROJECT LOCATION

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2	EXISTING SITE CONDITIONS
3	SITE PLAN
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5	SITE UTILITY PLAN
6	LANDSCAPE PLAN
7	BUILDING ELEVATION PLAN
8	BUILDING FLOOR PLAN
9	DETAILS

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

COVER SHEET  
1902 NORTHPORT DRIVE  
CITY OF MADISON, DANE COUNTY, WISCONSIN  
ADVANCE AUTO PARTS

DATE: 02-22-12  
REVISED:  
FN: 12-05-101  
Sheet Number:  
1 of 9

FN: 12-05-101      ISSUE DATE: 02-22-12      SHEET 1 OF 9

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

FOR NATURAL RESOURCES FOR LAND DEVELOPMENT  
 7530 Westfield Way, Madison, WI 53717  
 Phone 608.833.7530 • Fax 608.833.1069

1902 NORTHPORT DRIVE  
 CITY OF MADISON, DANE COUNTY, WISCONSIN

**ADVANCE AUTO PARTS**

EXISTING SITE CONDITIONS



REPLACES ACCESSORY TO THE DEVELOPMENT OF THE 1902 NORTHPORT DRIVE, DANE COUNTY, WI

SCALE 1" = 30'

DATE: 02-22-12

REVISED:

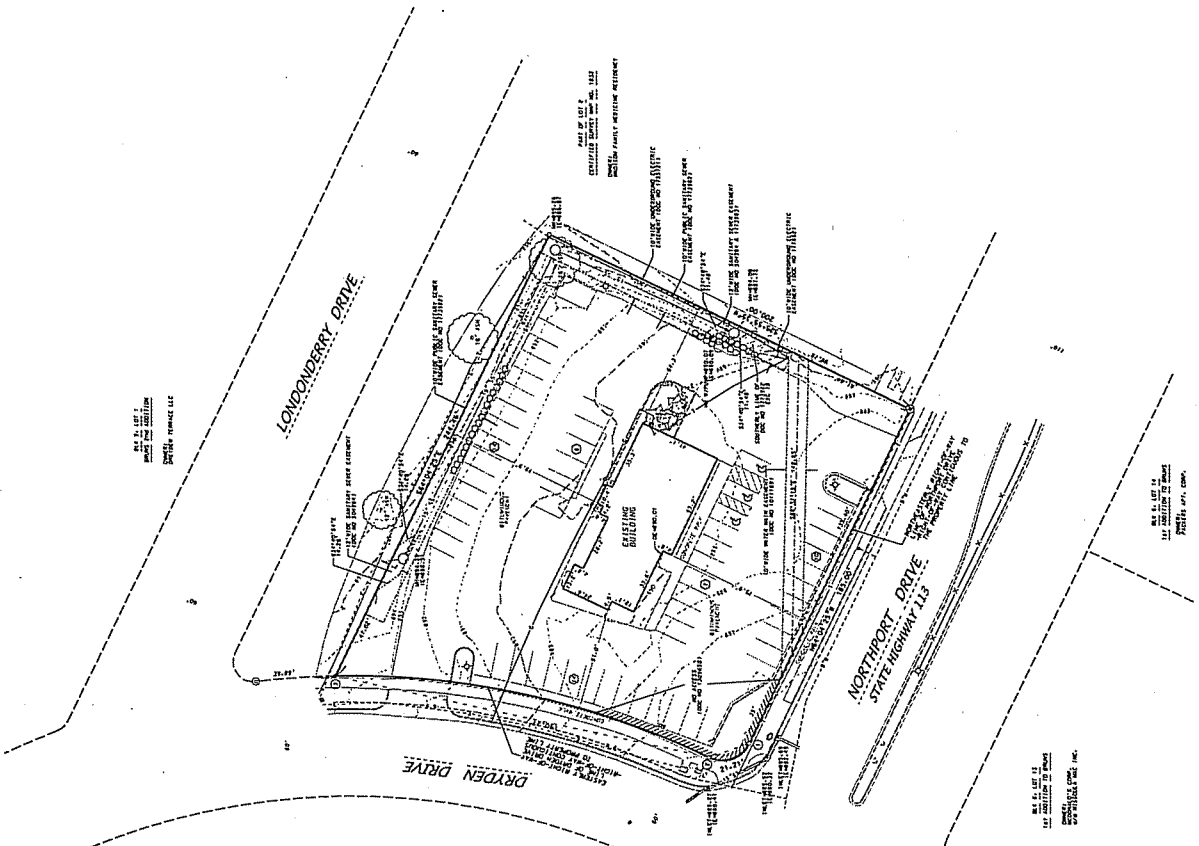
DRAWN BY:

CHKD BY:

DATE: 12-05-10

SHEET NUMBER:

2 OF 9



- LEGEND**
- ROAD 1/2" HIGH AND 2 1/4" TOP
  - PLACED 3/4" HIGH "TOP BEAR WITH 1/4" GASKET
  - CONCRETE DRIVE
  - UNDERGROUND ELECTRIC
  - SPRINKLER
  - WATER MAIN
  - TELECOMMUNICATION
  - STORM SEWER
  - ELECTRIC TRANSFORMER
  - WINDMILL
  - CATCH BASIN/VALET
  - PUMP POLE
  - VALVE
  - HAZARDOUS SIGN
  - GAS METER
  - TELEPHONE PESTHOLE
  - HYDRANT
  - TREE
  - PAVE TREE
  - NO. OF PARKING SPACES
  - ACCESSIBLE PARKING SPACE
  - CONCRETE
  - RAILROAD RETAINING WALL
  - CHAIN-LINK FENCE
  - CONC. CURB
  - DOORWAY ELEVATION
  - CAST-IRON

**GRADE TABLE**

CURVE	PARABOLIC	CURVE	START	END	GENERAL	START
NUMBER	TYPE	LENGTH	PC	PVI	ANGLE	BEARING
1-2	15.00	21.21	21.25	419°04'32" W	90°00'00"	3-402°55'35" E
2-3	401.07	180.27	180.25	412°24'33" E	27°02'04"	3-402°00'29" W



**D'ONFRIO KITTLE AND ASSOCIATES, INC.**  
 7530 Wisconsin Ave., Madison, WI 53717  
 PHONE: 608.439.7530 • FAX: 608.439.1097  
 YOUR NATURAL RESOURCE IS OUR LAND DEVELOPMENT

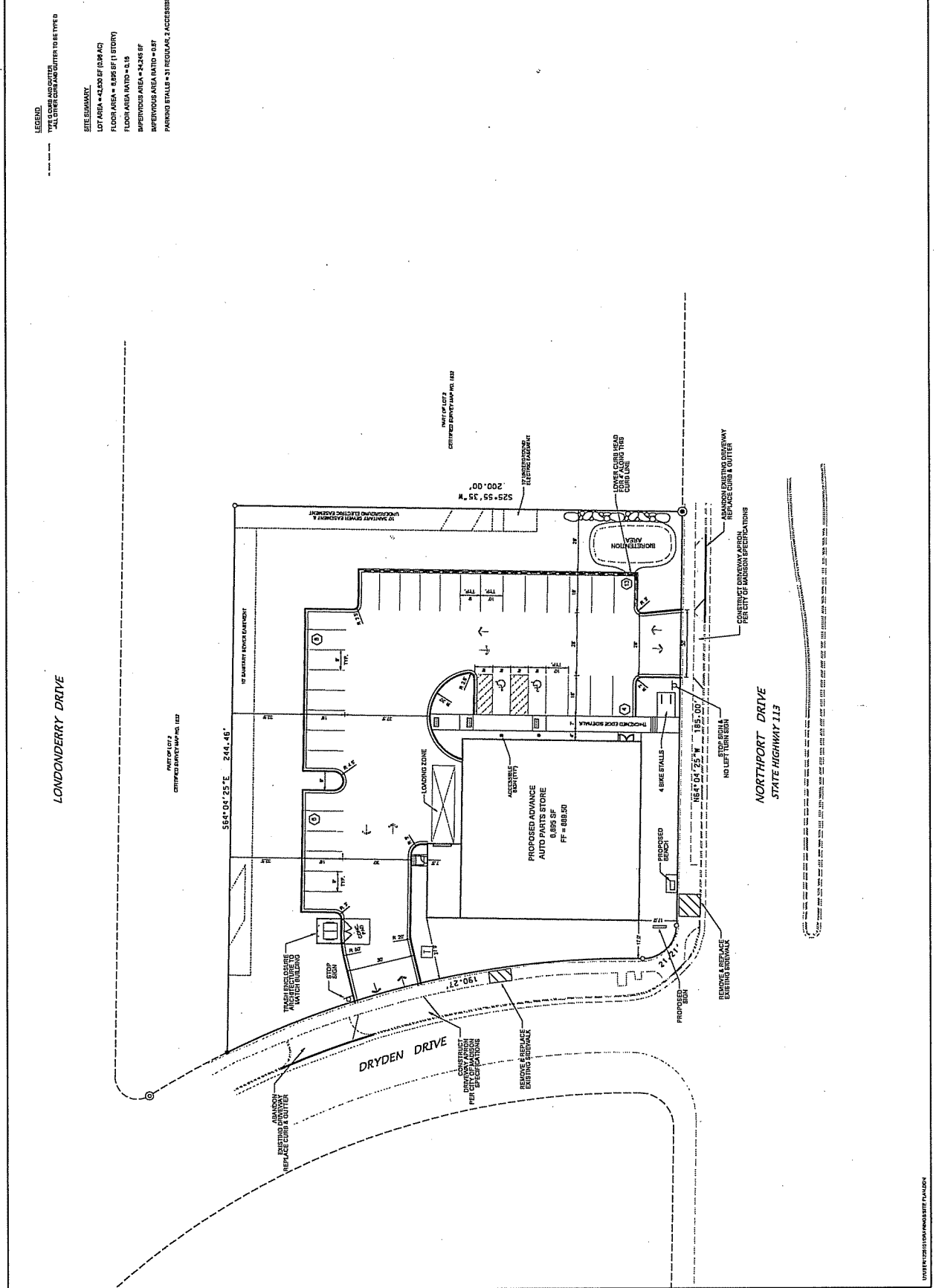
**ADVANCE AUTO PARTS**  
 1902 Northport Drive  
 City of Madison, Dane County, Wisconsin

**SCALE: 1" = 20'**  
**DATE: 02-22-12**  
**PROJECT: ADVANCE AUTO PARTS**  
**DATE: 02-22-12**  
**PROJECT: ADVANCE AUTO PARTS**

DRAWN BY: DCE  
 PLAN NUMBER: 12-05-101  
 SHEET NUMBER: 3 OF 9

**LEGEND**  
 TYPES OF LAND AND OUTLET  
 AT OTHER CORNERS AND OUTLET TO BE TYPED

**LEGEND**  
 EASEL SUMMARY  
 LOT AREA = 43,000 SF (0.98 AC)  
 FLOOR AREA = 8,895 SF (1 STORY)  
 FLOOR AREA RATIO = 0.18  
 SUPERVISORY AREA = 8,248 SF  
 SUPERVISORY AREA RATIO = 0.87  
 PARKING STALLS = 31 REGULAR, 2 ACCESSIBLE

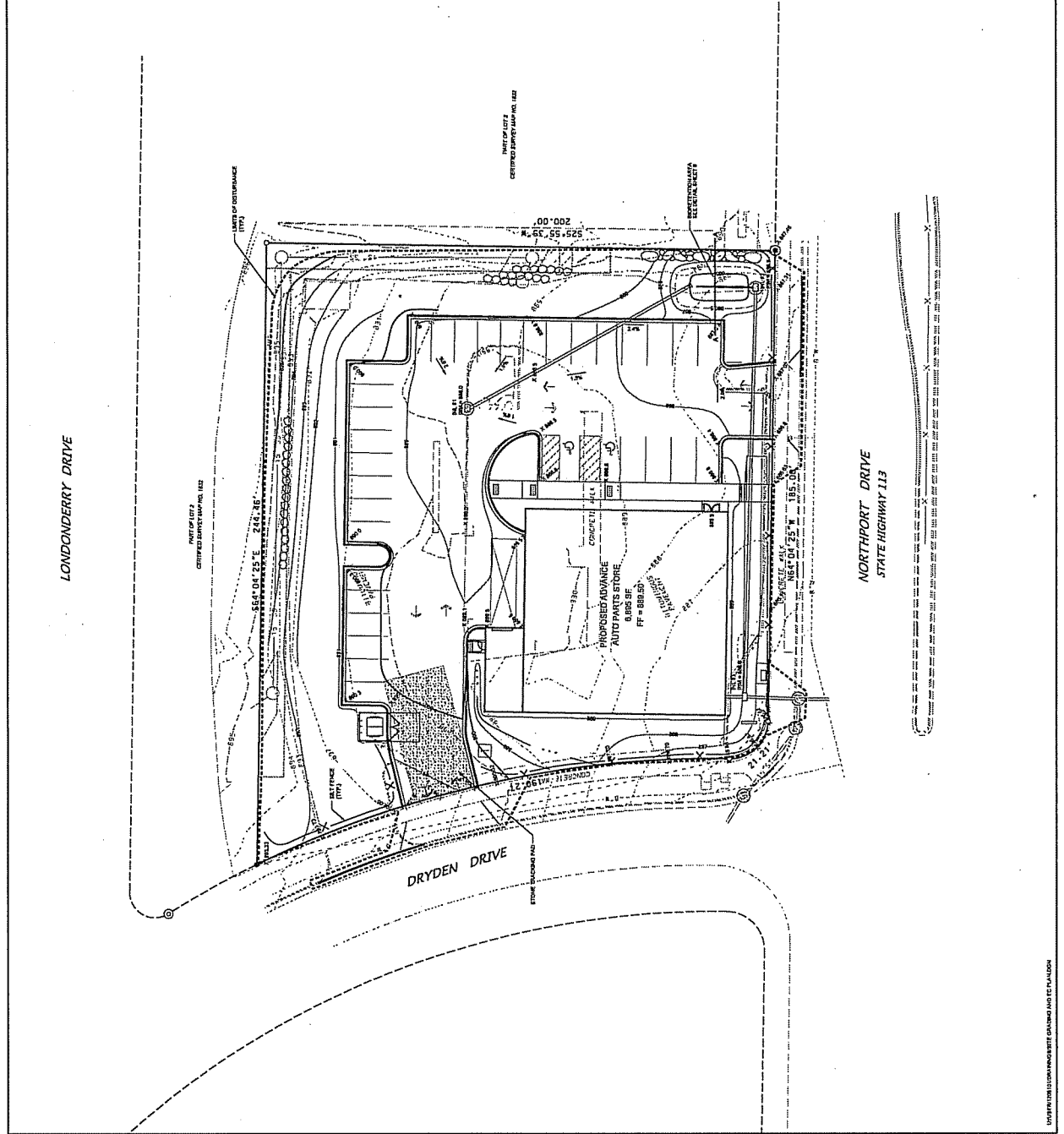


UNIVERSITY OF WISCONSIN STATE PLANNING

16

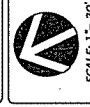
- LEGEND**
- PROPOSED PAVED PAVEMENT GRADE
  - PROPOSED EXISTING GRADE
  - PROPOSED INTERIM EROSION CONTROL
  - EXISTING INTERIM EROSION CONTROL
  - EXISTING INTERIM EROSION CONTROL
  - INLET FILTER ENCLOSURE
  - LINE OF DISTURBANCE
  - RAIL FENCE

- NOTES:**
1. EROSION CONTROL PRACTICES SHALL BE PLACED AT THE COMMENCEMENT OF CONSTRUCTION. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REPAIRED AS NECESSARY.
  2. THE CONTRACTOR SHALL INSPECT STREETS ADJACENT TO THE SITE A MINIMUM OF ONCE DAILY AND CLEAN AS NECESSARY. CLEANERS TRACKED ONTO CITY STREETS SHALL BE IMMEDIATELY CLEANED UP.
  3. INLET FILTERS FOR EXISTING DRENCHERS SHALL BE INSTALLED AT THE EXISTING DRENCHER LOCATIONS. ALL NEW DRENCHERS SHALL BE INSTALLED BY THE UTILITY CONTRACTOR AS FURNISHED. THE STRUCTURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A BALANCE HAS BEEN REACHED BETWEEN THE DRENCHER AND THE DRAINAGE SYSTEM.
  4. ALL SLOPES 4:1 OR GREATER SHALL BE PROTECTED WITH EROSION MATING AS SHOWN ON FINAL GRADING SURFACES.
  5. EROSION MAT SHALL BE ROOT CLASS 1 TYPE A, UNLESS OTHERWISE SPECIFIED.
  6. ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL, FERTILIZERS, SEED, AND MULCH. SEED SHALL BE SOWN WITHIN 14 DAYS OF FINISH GRADING. MULCH SHALL BE APPLIED AT A RATE OF 2.0 TONS PER 1,000 SQUARE FEET. MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES. EROSION CONTROL PRACTICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE RESPONSIBILITY OF THE CONTRACTOR.
  7. UPON ACCEPTANCE OF THIS PROJECT, EROSION CONTROL PRACTICES SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING ALL EROSION CONTROL PRACTICES. ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED SHALL BE DETERMINED BY THE CITY ENGINEER OR THE DEVELOPER'S RESPONSIBILITY.
  8. CHANGES TO THE APPROVED EROSION CONTROL PLAN SUBMITTED SHALL BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION.



**BORGARD KOTTKE AND ASSOCIATES, INC.**  
 7530 VANDER VEER, MADISON, WI 53717  
 YOUR NATURAL RESOURCES FOR LAND DEVELOPMENT

**ADVANCE AUTO PARTS**  
 SITE UTILITY PLAN  
 1902 Northport Drive  
 City of Madison, Dane County, Wisconsin

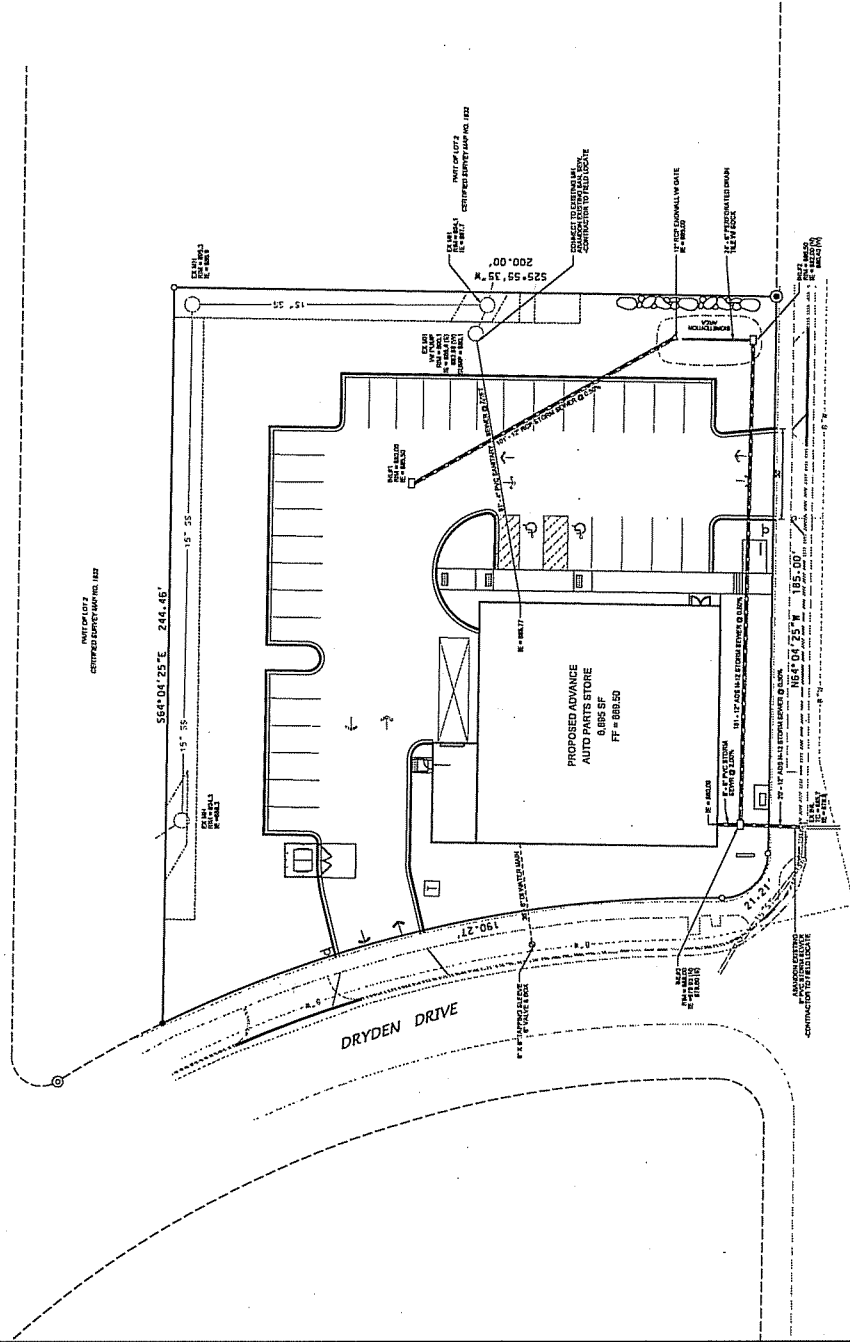


SCALE: 1" = 20'  
 DATE: 02.22.12  
 REVISIONS:

DRAWN BY: DCP  
 FVN: 12-05-101  
 Sheet Number: 5 of 9

**SITE UTILITY NOTES**  
 1. All utility lines shown on this plan were located by the City of Madison, Dane County, Wisconsin.  
 2. Utility lines shown on this plan are shown for informational purposes only. The City of Madison, Dane County, Wisconsin, is not responsible for the accuracy of the utility lines shown on this plan.  
 3. All utility lines shown on this plan are shown for informational purposes only. The City of Madison, Dane County, Wisconsin, is not responsible for the accuracy of the utility lines shown on this plan.

NO.	STRUCTURE TYPE	REMARKS
1	1" DIA. WATER MAIN	15' DIA. WATER MAIN
2	1" DIA. SANITARY SEWER	15' DIA. SANITARY SEWER
3	1" DIA. GAS MAIN	15' DIA. GAS MAIN
4	1" DIA. TELEPHONE	15' DIA. TELEPHONE
5	1" DIA. CABLE TV	15' DIA. CABLE TV



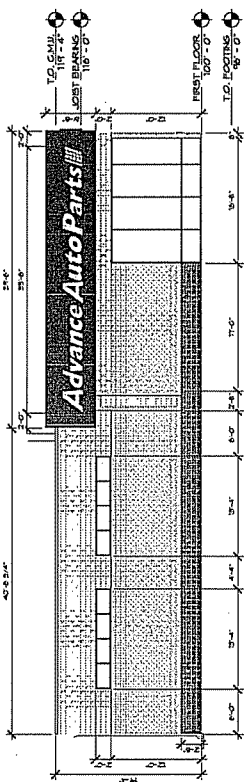
LONDONDERRY DRIVE

NORTHPORT DRIVE  
 STATE HIGHWAY 113

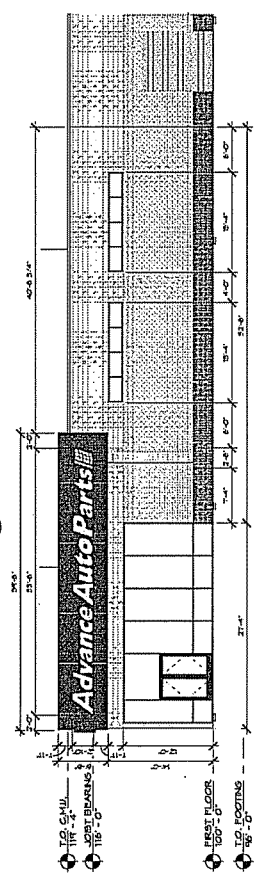
DATE PLOTTED: 02/22/12 10:00 AM



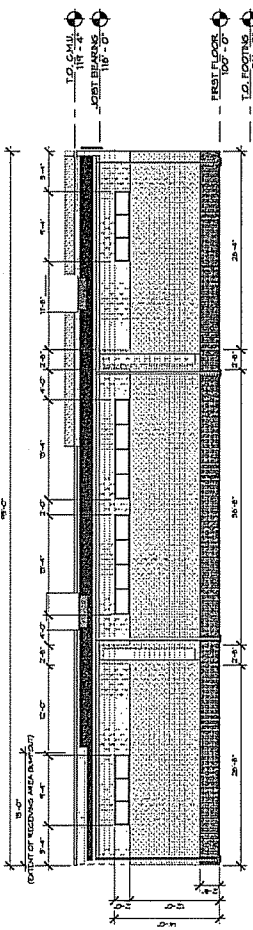
NO. 1	DATE	DESCRIPTION
NO. 2	DATE	DESCRIPTION
NO. 3	DATE	DESCRIPTION
NO. 4	DATE	DESCRIPTION
NO. 5	DATE	DESCRIPTION
NO. 6	DATE	DESCRIPTION
NO. 7	DATE	DESCRIPTION
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NO. 20	DATE	DESCRIPTION



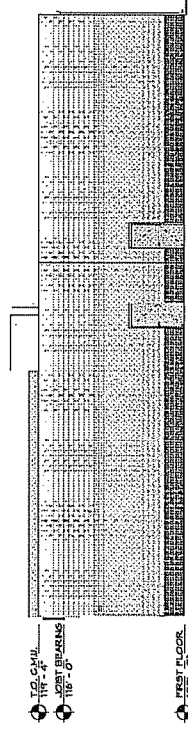
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 1/8" = 1'-0"



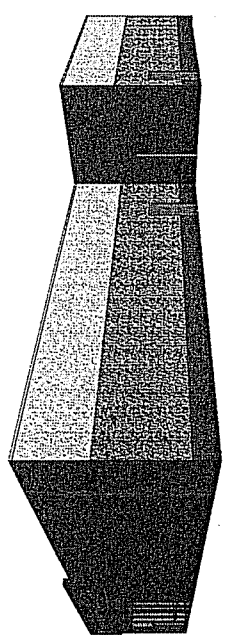
2 EAST ELEVATION  
 1/8" = 1'-0"



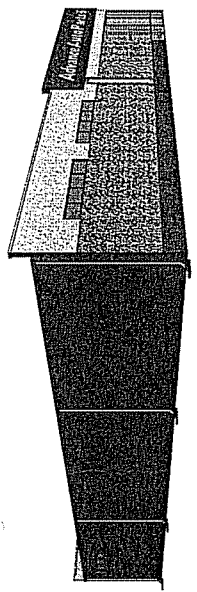
3 WEST ELEVATION  
 1/8" = 1'-0"



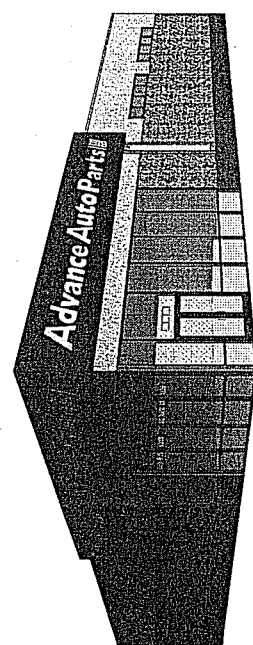
4 NORTH ELEVATION  
 1/8" = 1'-0"



5 PRELIMINARY PERSPECTIVE NORTHEAST



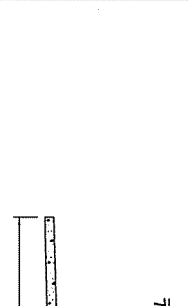
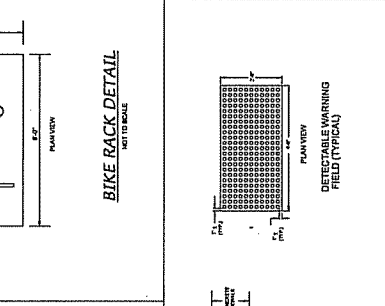
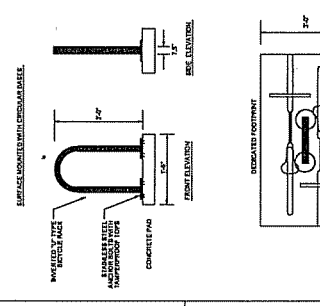
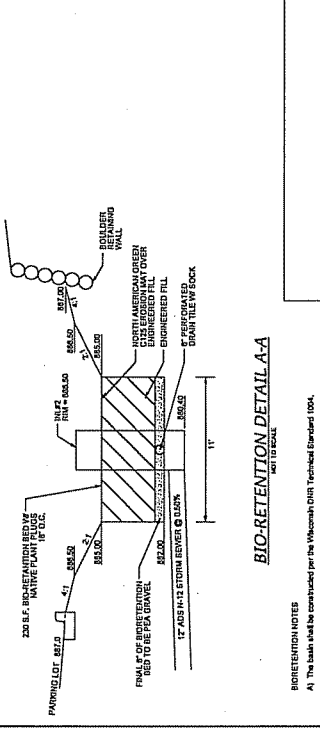
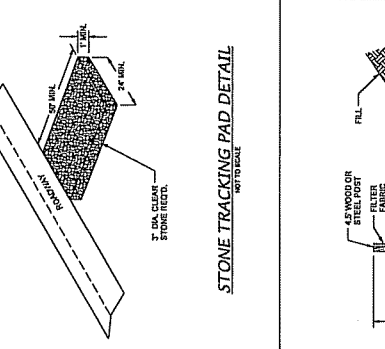
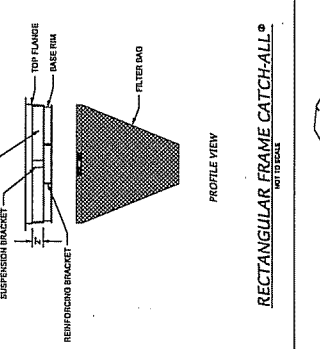
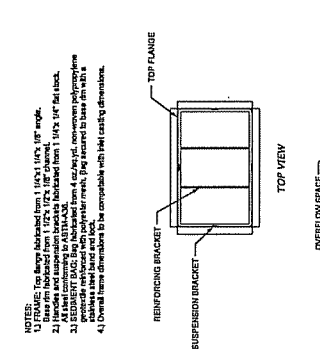
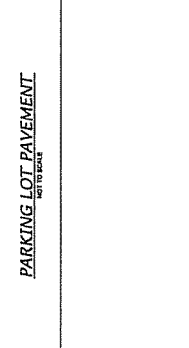
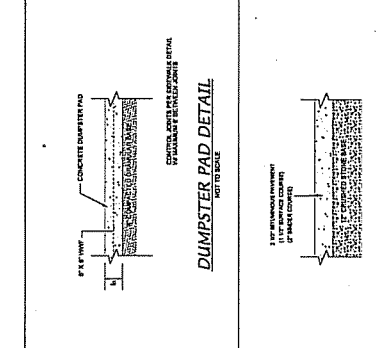
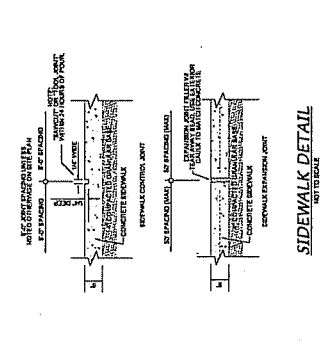
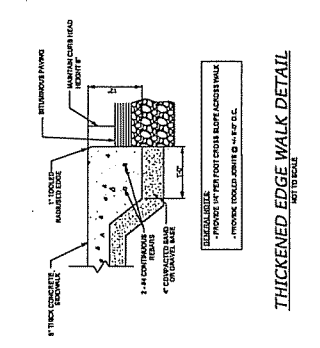
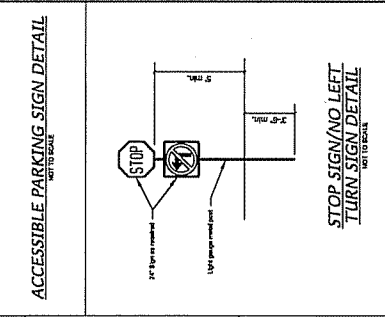
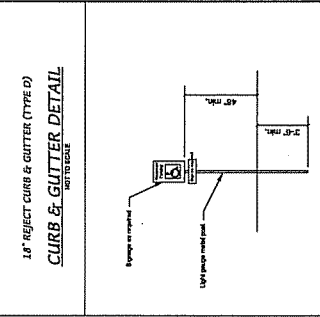
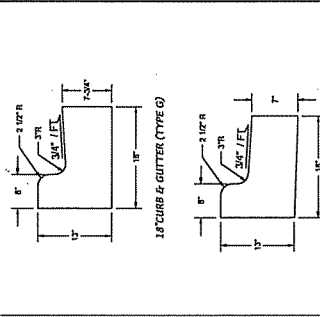
6 PRELIMINARY PERSPECTIVE SOUTHWEST



7 PRELIMINARY PERSPECTIVE SOUTHEAST







**BIORETENTION NOTES**

- The basin shall be constructed per the Wisconsin DNR Technical Standard 1004.
- Basins shall be installed after the existing lot and drives are paved and compacted.
- The basin shall be surrounded by a curb. A curb of 4\"/>

**RETAINING WALL DETAIL NOTES:**

- FOR THE PURPOSES OF THIS SPECIFICATION, ALL WALLS ARE CONSIDERED GRAVITY WALLS UNLESS NOTED OTHERWISE.
- MAXIMUM HEIGHT OF DOUBLE COURSE OF WALL TO BE 12 FEET. INTERMEDIATE WALLS SHALL BE USED BETWEEN COURSES.
- STONE WALLS SHALL BE CONSTRUCTED WITH DOUBLE COURSE OF WALL WITH A 6\"/>

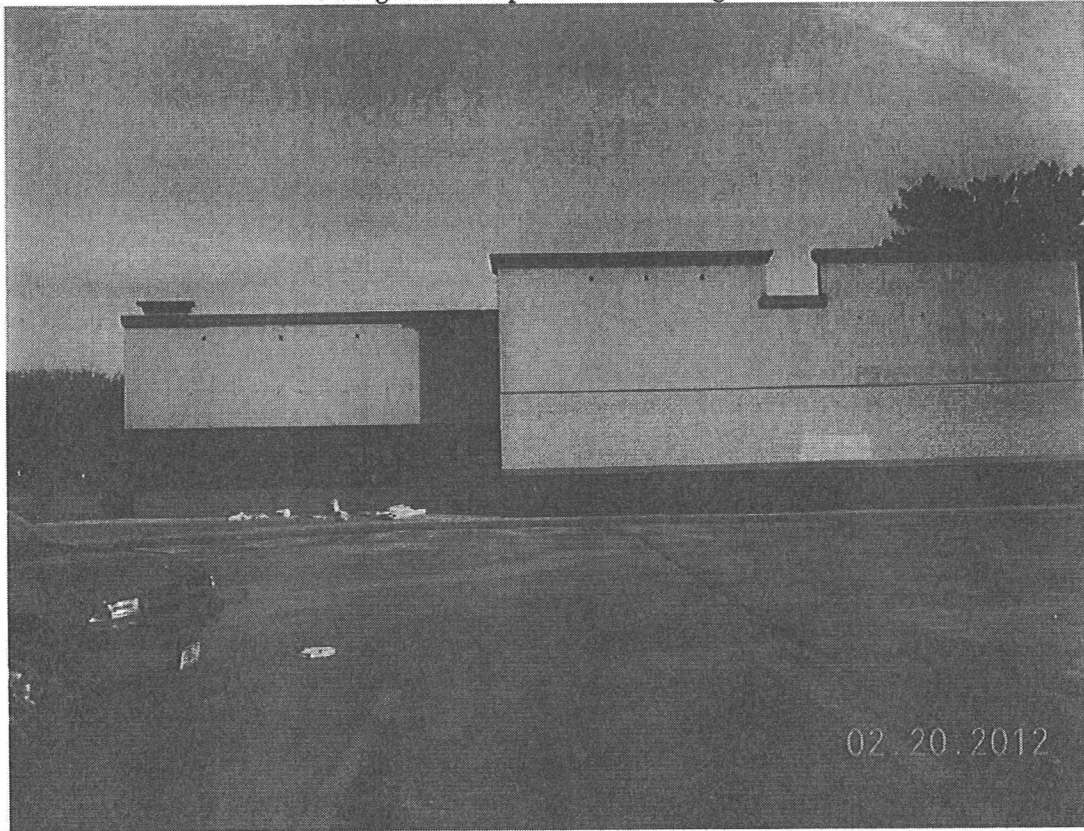
**RETAINING WALL DETAIL NOTES:**

- The maximum height shall be three feet, one inch, and shall be one inch diameter.
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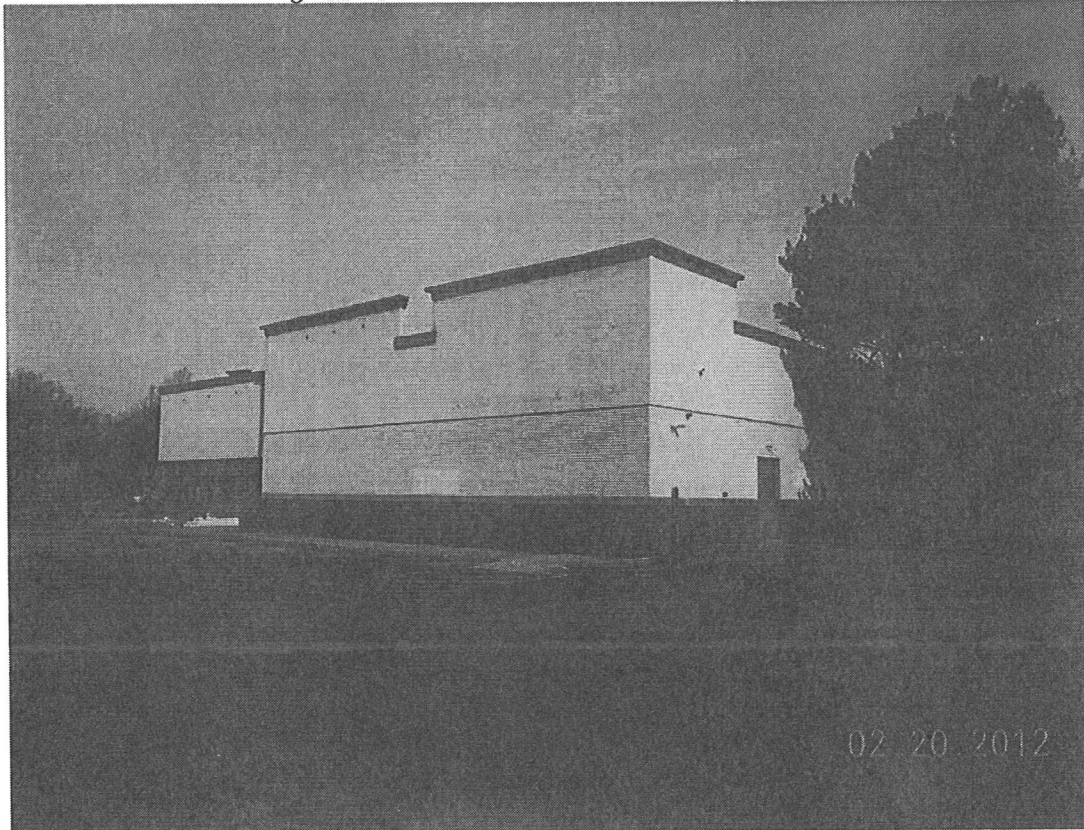
**RETAINING WALL DETAIL NOTES:**

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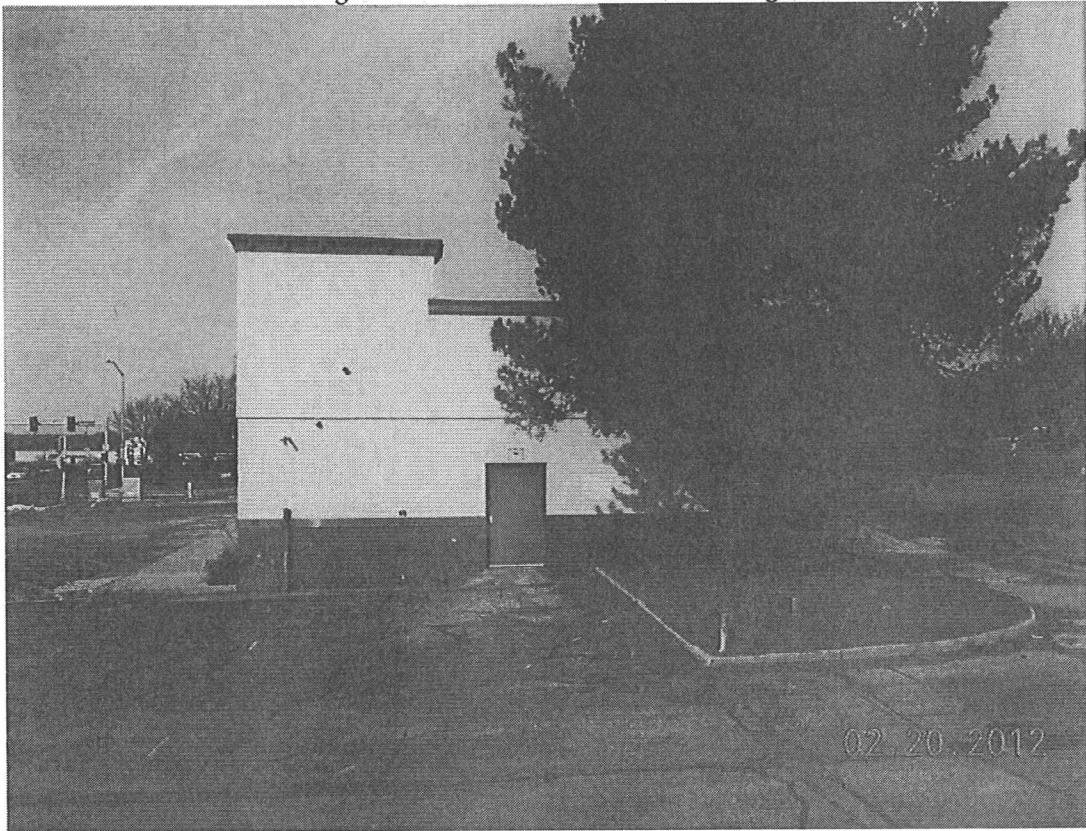
Standing on Northport Drive looking North



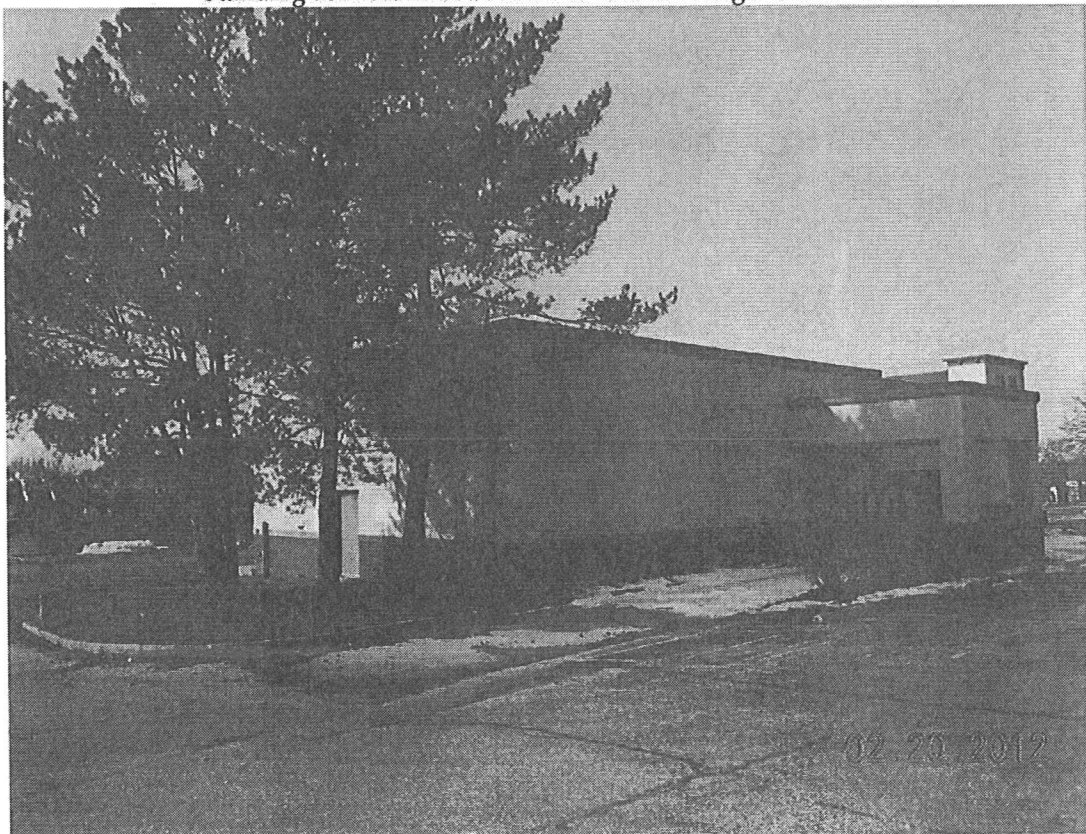
Standing at South East Corner of Site Looking North West



Standing on the East Side of the Site Looking West

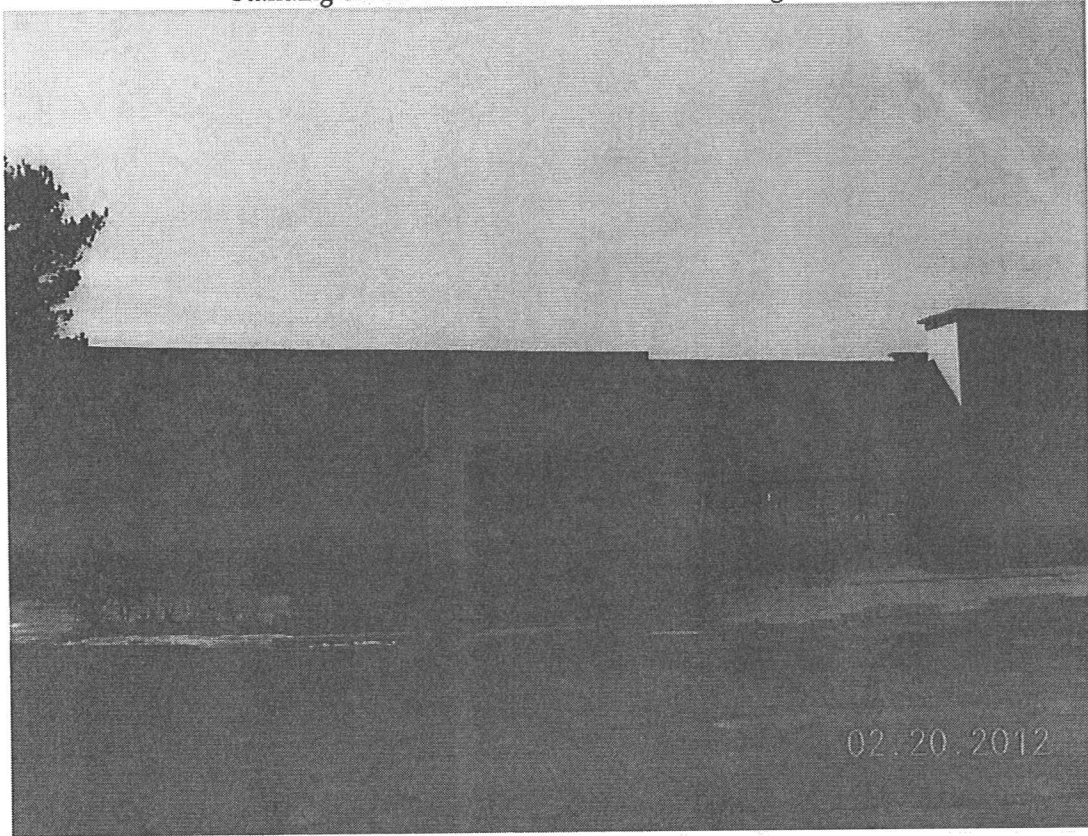


Standing at North East corner of Site Looking South West

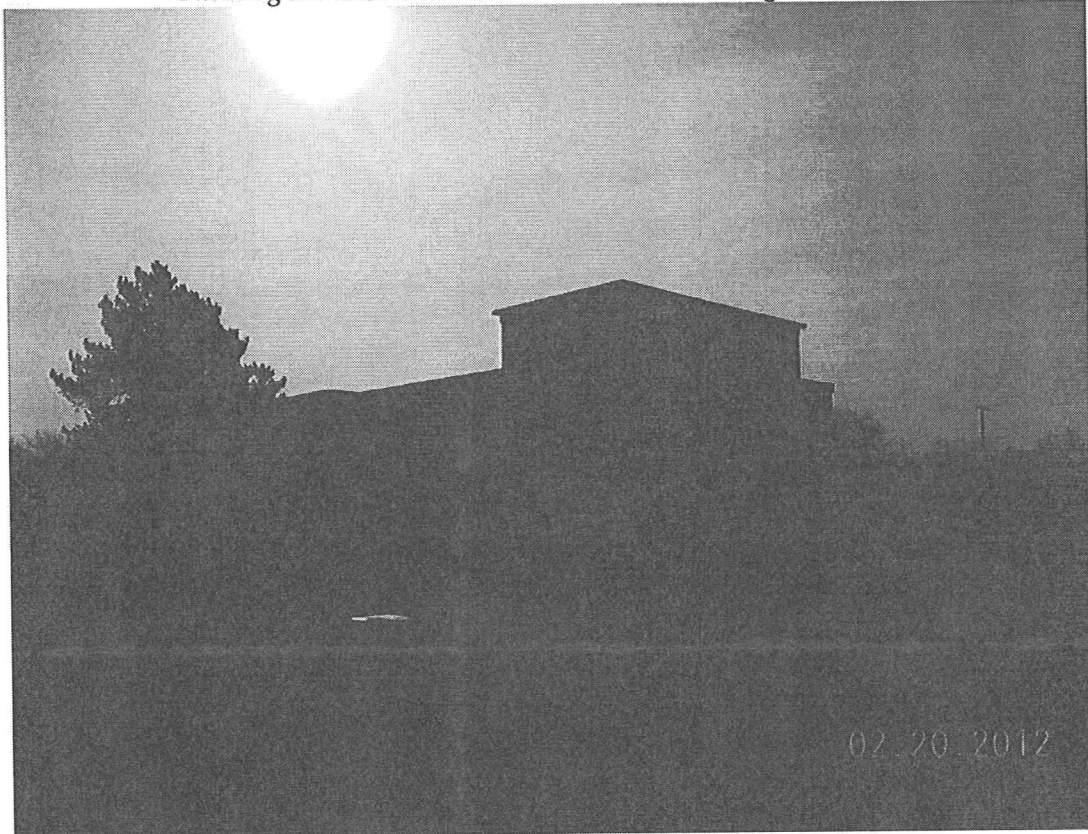




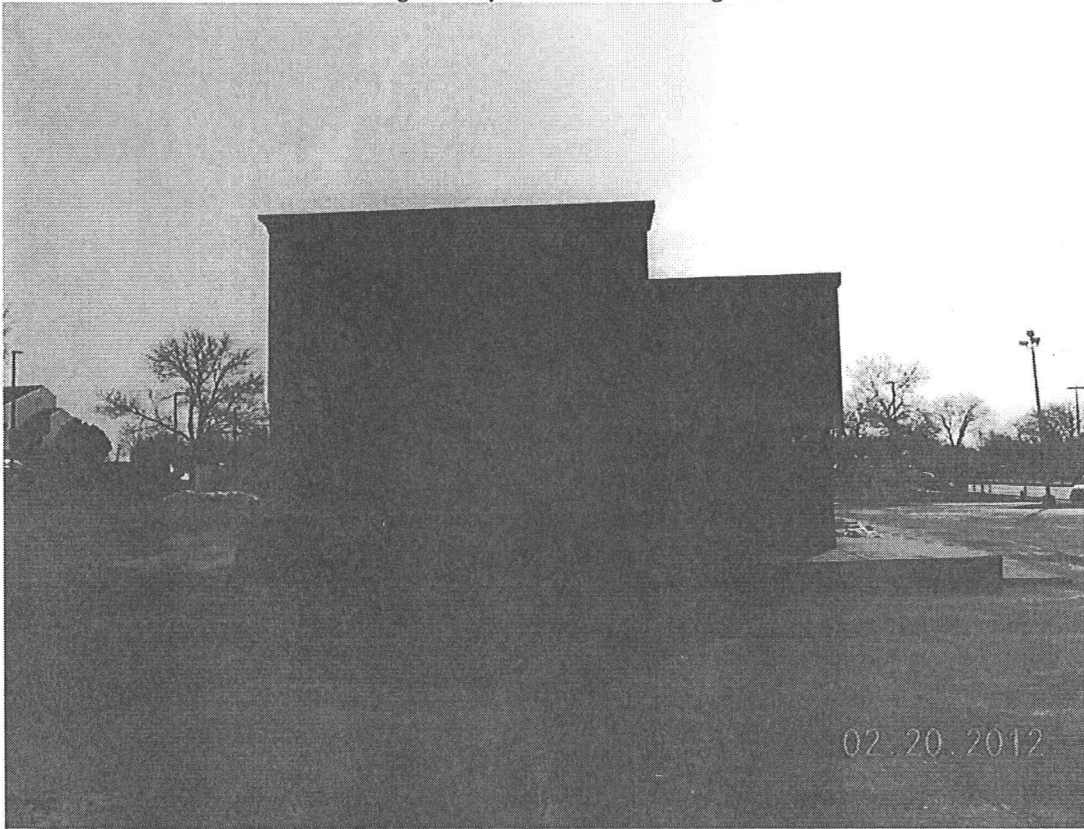
Standing on the North Side of the Site Looking South



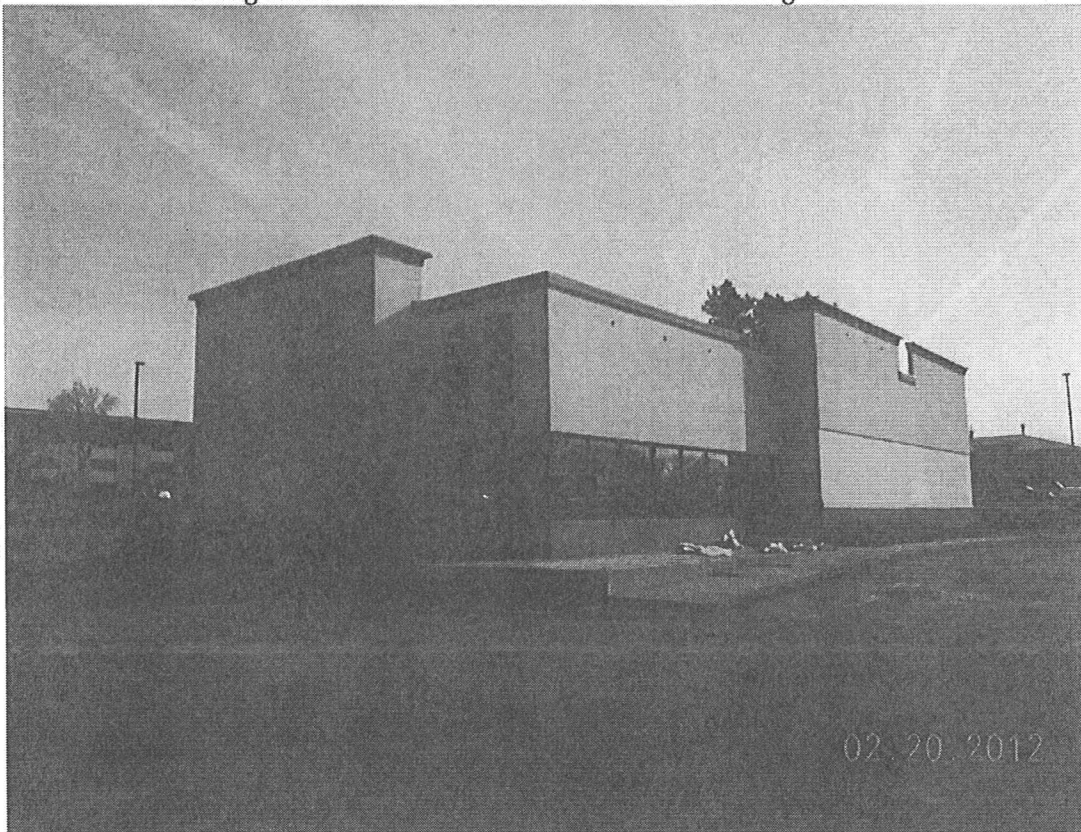
Standing at North West Corner of the Site Looking South East



Standing on Dryden Drive Looking East



Standing at the South West Corner of the Site Looking North East





Standing on Dryden Drive at the North West Corner of the Site Looking South



Standing on Northport Drive at the South East Corner of the Site Looking West

