

TRINITAS MADISON

740 REGENT STREET, MADISON WI

TRINITAS DEVELOPMENT, LLC

LAND USE APPLICATION (01.24.2022)



SHEET LIST - LAND USE APPLICATION		
SHEET NUMBER	SHEET NAME	LAND USE APPLICATION
CIVIL		
C1.0	GENERAL NOTES	X
C2.0	DEMOLITION PLAN	X
C3.0	SITE PLAN	X
C4.0	GRADING PLAN	X
C5.0	UTILITY PLAN	X
C5.1	UTILITY PROFILES	X
C6.0	FIRE ACCESS PLAN	X
V0.0	ALTA SURVEY	X
8		
LANDSCAPE		
L000	LANDSCAPE TITLE SHEET	X
L001	OVERALL SITE/LANDSCAPE PLANS	X
L100	SITE - GROUND LANDSCAPE PLANS	X
L110	SITE - GROUND PLANTING PLANS	X
L200	AMENITY DECK LANDSCAPE PLAN	X
L201	AMENITY DECK LANDSCAPE PLAN	X
L202	AMENITY DECK PLANTING PLAN	X
L300	ROOF AMENITY LANDSCAPE PLAN	X
L301	ROOF AMENITY PLANTING PLAN	X
L400	LANDSCAPE DETAILS	X
L401	LANDSCAPE DETAILS	X
L402	LANDSCAPE DETAILS	X
L403	LANDSCAPE DETAILS	X
13		
ARCHITECTURE		
A000	COVER PAGE - LAND USE APPLICATION	X
A001	CONTEXT DIAGRAM	X
A002	SITE PHOTOS	X
A003	SITE CONTEXT DIAGRAM - MOVEMENTS	X
A004	ARCHITECTURAL SITE PLAN	X
A010	ARCHITECTURAL RENDERINGS	X
A011	ARCHITECTURAL RENDERINGS	X
A012	ARCHITECTURAL RENDERINGS	X
A099	LEVEL P1 & P2 - OVERALL FLOOR PLAN	X
A101	LEVEL 1 & 2 - OVERALL FLOOR PLAN	X
A101A	LEVEL 2 MEZZANINE - OVERALL FLOOR PLAN	X
A102	LEVEL 3 & 4 OVERALL FLOOR PLAN	X
A103	LEVEL 5 & 6 OVERALL FLOOR PLAN	X
A104	LEVEL 7 & 8 OVERALL FLOOR PLAN	X
A105	LEVEL 9 & 10 OVERALL FLOOR PLAN	X
A106	LEVEL 11 & 12 OVERALL FLOOR PLAN	X
A140	ROOF PLAN	X
A401	EXTERIOR ELEVATIONS	X
A402	EXTERIOR ELEVATIONS	X
A403	BUILDING ELEVATIONS - COURTYARD	X
A501	BUILDING SECTIONS	X
A502	BUILDING SECTIONS	X

CONSULTANTS

PROJECT TITLE

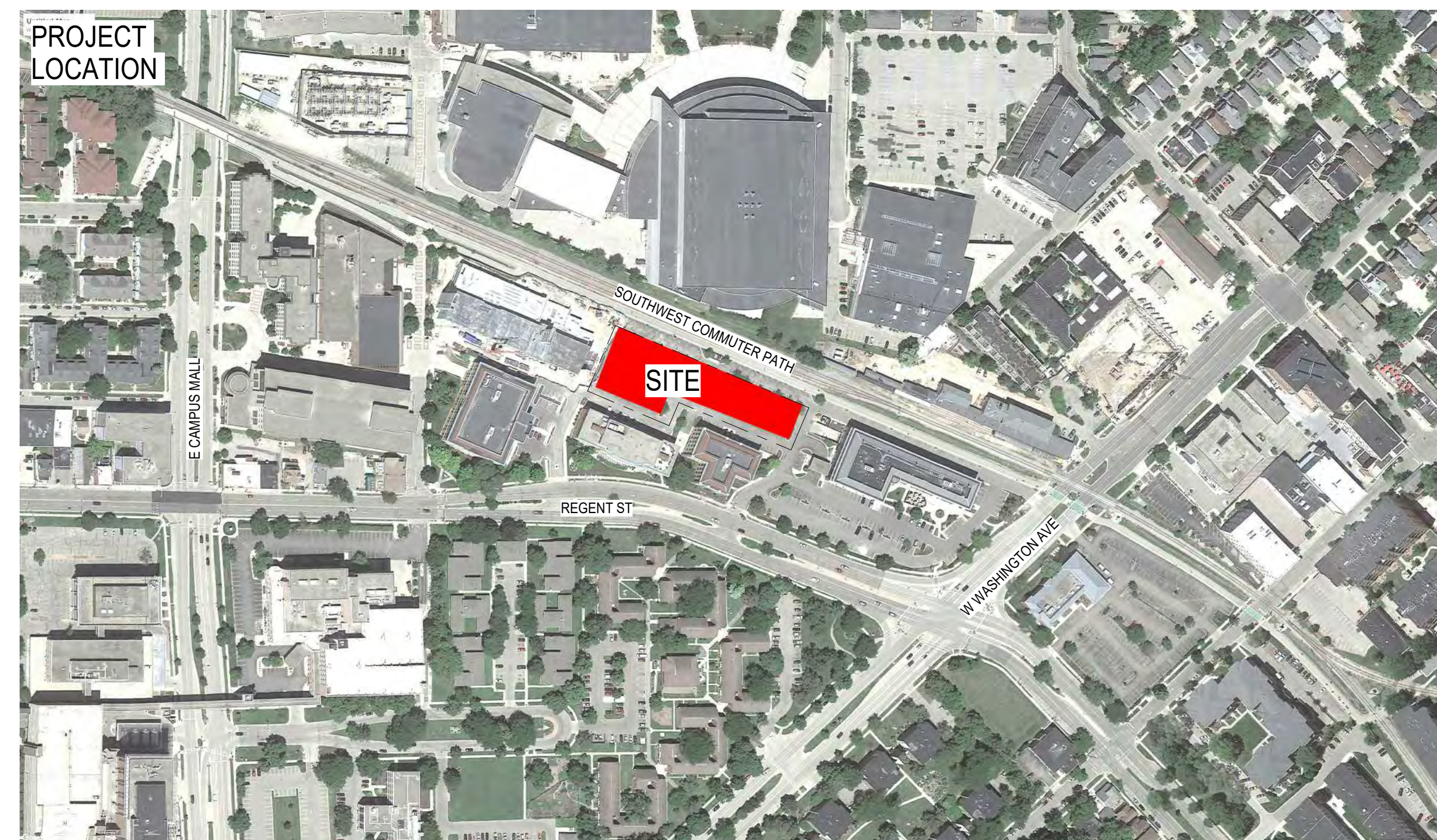
**TRINITAS
MADISON
MULTI-FAMILY
HOUSING**

ISSUE #	DATE	DESCRIPTION
	01/24/2022	LAND USE APPLICATION

**PROJECT SUMMARY
(UNIT MATRIX)**

UNIT NAME	UNIT TYPE	UNIT COUNT	NET AREA (SF)	UNIT % OF PROJECT	TOTAL UNIT COUNT	NET AREA (SF)	UNIT % OF PROJECT	TOTAL NET AREA (SF)	STANDARD BALANCES
STUDIO									
ST	Studio 1	18	180	0.25%	18	180	0.25%	180	18
ST	Studio 2	18	360	0.50%	36	540	0.75%	540	36
ST	Studio 3	18	540	0.75%	54	1620	2.25%	1620	54
ST	Studio 4	18	900	1.25%	72	3600	5.00%	3600	72
ST	Studio 5	18	1800	2.50%	180	18000	25.00%	18000	180
1-Bedroom									
1B	1-Bedroom	18	360	0.50%	36	720	1.00%	720	36
1B	1-Bedroom	18	720	1.00%	72	1440	2.00%	1440	72
1B	1-Bedroom	18	1080	1.50%	108	2160	3.00%	2160	108
1B	1-Bedroom	18	1440	2.00%	144	2880	4.00%	2880	144
1B	1-Bedroom	18	1800	2.50%	180	3600	5.00%	3600	180
2-Bedroom									
2B	2-Bedroom	18	720	1.00%	36	1440	2.00%	1440	36
2B	2-Bedroom	18	1440	2.00%	72	2880	4.00%	2880	72
2B	2-Bedroom	18	2160	3.00%	108	4320	6.00%	4320	108
2B	2-Bedroom	18	2880	4.00%	144	5760	8.00%	5760	144
2B	2-Bedroom	18	3600	5.00%	180	7200	10.00%	7200	180
3-Bedroom									
3B	3-Bedroom	18	1080	1.50%	36	2160	3.00%	2160	36
3B	3-Bedroom	18	2160	3.00%	72	4320	6.00%	4320	72
3B	3-Bedroom	18	3240	4.50%	108	6480	9.00%	6480	108
3B	3-Bedroom	18	4320	6.00%	144	8640	12.00%	8640	144
3B	3-Bedroom	18	5400	7.50%	180	10800	15.00%	10800	180
TOTALS									
		180	18000	25.00%	1800	180000	25.00%	180000	180

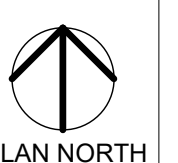
PROJECT DATA:		PLANNING	
Land Area	720,000 SF	Permitted	Yes
Lot Area	720,000 SF	Zoning	URS-1 (UR)
Density	1.00 Units per Acre	Residential	Medium Density
Average Unit Cost	\$111.11/SF	Max. Units	180
Average Rent (Est.)	\$1,111.11/Mo	Min. Units	180



CERTIFICATION

NOT FOR CONSTRUCTION

DRAWN BY: _____ Author
 CHECKED BY: _____ Checker
 COMMISSION NUMBER: 2125.04
SHEET TITLE
COVER PAGE - LAND USE APPLICATION
SHEET NUMBER
A000





(800) 242-8511

PRELIMINARY ENGINEERING PLANS

TRINITAS MADISON

700 & 740 REGENT STREET

MADISON, WI 53715

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING DEPARTMENT

CITY OF MADISON
MADISON MUNICIPAL BUILDING, SUITE 017
215 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703
TEL: (608) 243-0455
CONTACT: COLIN PUNT

WATER SERVICE

CITY OF MADISON
119 E. OLIN AVE
MADISON, WI 53703
TEL: (608) 266-4651
CONTACT: PETE HOLMGREN

PUBLIC WORKS DEPARTMENT

CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 267-1995
CONTACT: TIM TROESTER, P.E.

POWER COMPANY

MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-7087
CONTACT: MICHAEL BEELER

STORM SEWER SERVICE

CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751
CONTACT: GREGORY FRIES, P.E.

NATURAL GAS COMPANY

MADISON GAS AND ELECTRIC CO.
PO BOX 1231
MADISON, WI 53701
TEL: (608) 252-1563
CONTACT: JOHN WICHERN

SANITARY SEWER SERVICE

CITY OF MADISON
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING, JR. BLVD
MADISON, WI 53703
TEL: (608) 266-4751
CONTACT: MARK MODER

PROJECT TEAM

DEVELOPER

TRINITAS DEVELOPMENT, LLC
159 N SANGAMAN DR, SUITE 200
CHICAGO, IL 60607
TEL: (765) 807-2737
CONTACT: LINDA IRVING

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: ANDREW.HEINEN@KIMLEY-HORN.COM
CONTACT: ANDREW HEINEN, P.E.
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER

OWNER

ALEXANDER COMPANY
2450 RIMROCK RD, SUITE 100
MADISON, WI 53713
TEL: (608) 268-8104
CONTACT: NIC ALEXANDER

LANDSCAPE ARCHITECT

BKV GROUP
1412 MAIN ST, SUITE 700
DALLAS, TX 75202
TEL: (469) 556-4239
CONTACT: COLLIN KOONCE

TRAFFIC ENGINEER

KL ENGINEERING, INC.
5400 KING JAMES WAY, SUITE 200
MADISON, WI 53719
TEL: (608) 663-1218
CONTACT: KEVIN C. WEHNER, P.E., P.T.O.E.

ARCHITECT

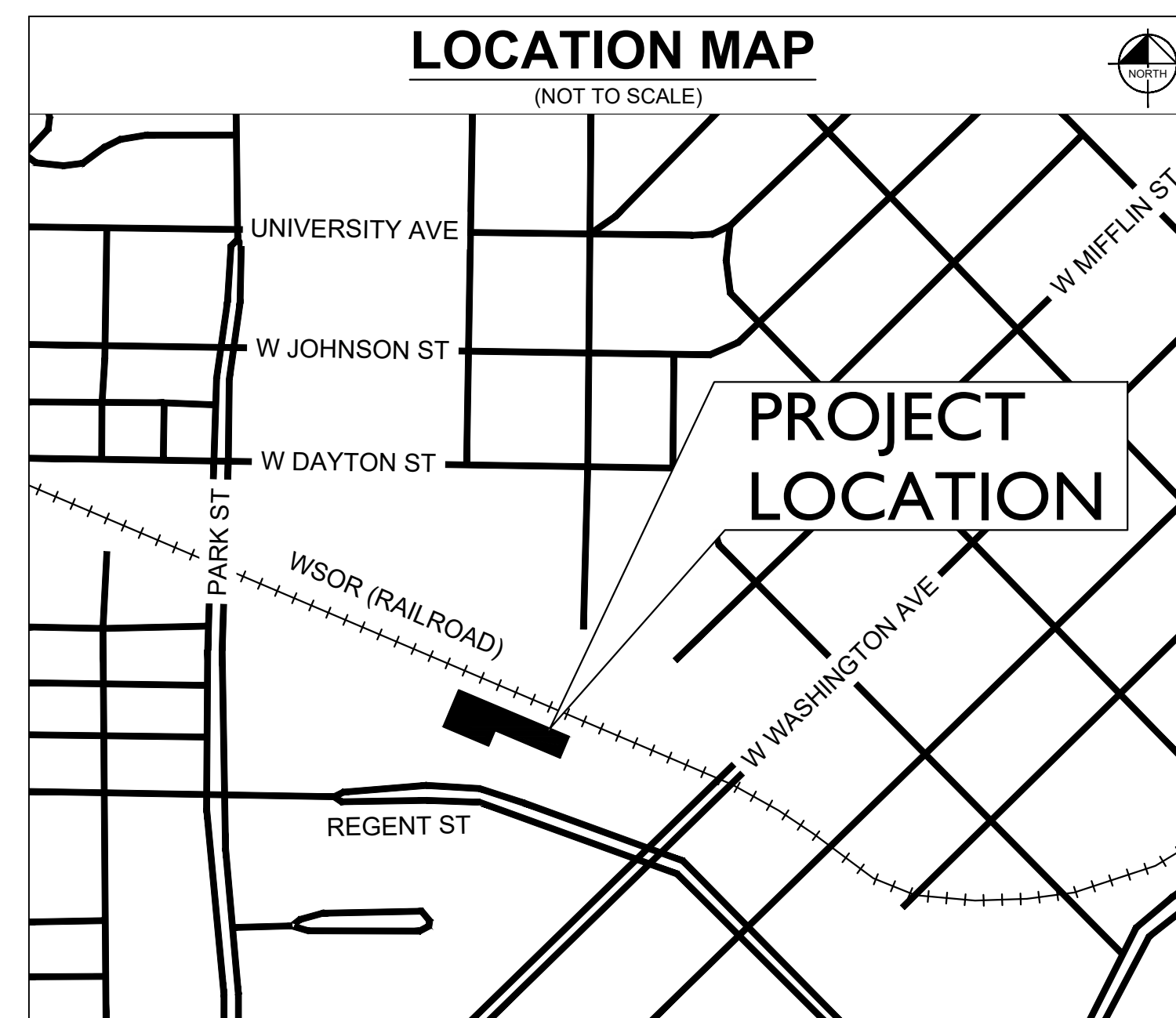
BKV GROUP
209 LASALLE ST, SUITE 920
CHICAGO, IL 60604
TEL: (312) 525-3412
CONTACT: CHRISTOPHER SACHSE, RAIA, LEED AP

ENVIRONMENTAL / GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS, INC.
9856 SOUTH 57TH ST
FRANKLIN, WI 53132
TEL: (414) 423-0255
CONTACT: CATHERINE VNUK, P.E.

SURVEYOR

TALARCZYK LAND SURVEYS
517 2ND AVENUE
NEW GLARUS, WI 53574
TEL: (608) 527-5216
CONTACT: BOB TALARCZYK



Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	ALTA SURVEY
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C5.1	UTILITY PROFILES
C6.0	FIRE ACCESS PLAN

LEGAL DESCRIPTION

PARCEL 1:
PART OF LOTS ONE (1) AND TWO (2), PLAT OF WEST MADISON DEPOT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE NORTH 67° 30' 42" WEST 238.50 FEET ALONG THE NORTHERLY LINE OF SAID LOT 2; THENCE SOUTH 22° 29' 18" WEST 259.81 FEET; THENCE SOUTH 00° 43' 36" WEST 72.28 FEET; THENCE SOUTH 89° 16' 24" EAST 191.30 FEET ALONG THE NORTH LINE OF REGENT STREET; THENCE CONTINUE ALONG THE NORTH LINE OF REGENT STREET SOUTH 68° 39' 33" EAST 34.04 FEET; THENCE NORTH 22° 29' 18" EAST 255.33 FEET ALONG THE EASTERLY LINE OF SAID LOT 2 TO THE POINT OF BEGINNING.

PARCEL 11:
LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 6147, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON JULY 5, 1990, IN VOLUME 29 OF CERTIFIED SURVEY MAPS, PAGES 246-248, AS DOCUMENT NO. 2209395, BEING A REDIVISION OF LOTS 3 AND 4, PLAT OF WEST MADISON DEPOT AND PART OF VACATED REGENT STREET, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, ANDREW HEINEN, A LICENSED PROFESSIONAL ENGINEER OF WI, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF TRINITAS DEVELOPMENT, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 21ST DAY OF JANUARY, A.D., 2022

A-Heinen

WI LICENSED PROFESSIONAL ENGINEER 36037-6
MY LICENSE EXPIRES ON JULY 31, 2022
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



Kimley-Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: ANH



COVER SHEET

TRINITAS MADISON
700 & 740 REGENT STREET
MADISON, WISCONSIN

ORIGINAL ISSUE:
12/17/21
KHA PROJECT NO.
268072000
SHEET NUMBER

C0.0

Drawing name: K:\GIS\DEV\268072000_Trinitas_Madison_MW2 Design\CAD\PlanSheets\Prelim Engineering\C0.0 - COVER SHEET.dwg, C0.0 Jan 21, 2022 4:35pm, by Joe.Mayer
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ALTA/NSPS LAND TITLE SURVEY

ALTA COMMITMENT FOR TITLE INSURANCE

This survey was prepared based on First American Title Insurance Company, ALTA Commitment for Title Insurance, Commitment No. NCS-1087432-MAD, Commitment Date: September 8, 2021, which lists the following exceptions from Schedule B, Part II:

- 4, 5, 6, 7, 8, 9, 10, 11, 19, 24, 25, 38, 40, 41, 42, 43, 44, 45, 47, 48, & 49. Not survey related.
- 1, 2, 3, & 12. Visible evidence shown, if any.

13. Rights for entrance to, maintenance, construction, or repair of any utility structures, improvements or services which may be under the surface of the portion of the insured premises lying within vacated Part of Regent Street, pursuant to Section 66.10(5)(2) Wisconsin Statutes. Certified Survey Map No. 6147 indicates that Lot 2 contains part of Regent Street as previously platted. Lot 2 of Certified Survey Map No. 6147 is not part of the surveyed property. Visible evidence of underground utilities on the surveyed property adjacent to Regent Street are shown.
14. Public storm sewer easement, 20 feet in width, as set forth on the recorded plat of West Madison Depot. Affects property by location shown.
15. Temporary public storm sewer easement, 20 feet in width, as set forth on the recorded plat of West Madison Depot. Affects Parcel I by location. Temporary in nature, not platted.
16. Restriction set forth on the recorded plat of West Madison Depot, stating: Arrows indicate the direction of drainage during grading. Drainage patterns shall be maintained by the lot owner unless modified with the approval of the City Engineer. Affects property by location. Arrows shown.
17. Driveway easement for common use of Lots 1 and 2 and sidewalk Easement as set forth on Certified Survey Map No. 6147. Affects Parcel II by location shown.
18. Notes as set forth on Certified Survey Map No. 6147:
-Vehicular access will be allowed between Lots 1 and 2. Affects property by location. Blanket in nature, not platted.
-Arrows on the map portion of this Certified Survey Map indicate the direction of drainage swale construction during grading. Said swales shall be maintained by the lot owner unless modified with the approval of the City Engineer. Affects property by location. Arrows shown.
-Both Lots 1 and 2 of this Certified Survey shall meet the requirements of Chapter 37 of the Madison General Ordinances regarding on site detention of storm water. Affects Parcel II by location. Not survey related.
20. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway and Sidewalk Easement recorded on July 5, 1990, in Volume 14410 of Records, Page 6, as Document No. 2209398. Affects Parcel II by location shown.
21. Right of Way Grant to Madison Gas and Electric Company recorded April 9, 1991, in Volume 15669 of Records, Page 45, as Document No. 2254764. Affects Parcel II by location shown.
22. PUD/SIP recorded June 21, 1993, in Volume 23315 of Records, Page 63, as Document No. 248179. Alteration recorded March 8, 1996, in Volume 32227 of Records, Page 49, as Document No. 2743918. Amended PUD-GOP and Reinstatement of PUD-SIP recorded March 31, 1998, as Document No. 2950327. Plans/Modifications recorded September 4, 2009 as Document No. 4592388. Alteration to an approved and recorded Specific Implementation Plan, recorded November 5, 2010 as Document No. 4710773. Alteration to an approved and recorded Specific Implementation Plan recorded on May 22, 2017 as Document No. 5300917. Affects Parcel II. Nothing to plot. Refer to documents. Document No. 4592388 and Document No. 4710773 are specific to Lot 2 of Certified Survey Map No. 6147 which is not part of the surveyed property.
23. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway Easement recorded on June 21, 1993, as Document No. 2483300. Affects property by location shown.
26. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Driveway Easement recorded on November 11, 1993, as Document No. 2540854. Affects Parcel I by location shown.
27. Utility Easement to 700 Regent Street Associates, a Wisconsin limited partnership, dated October 25, 1993, recorded/entered November 11, 1993 as Document No. 2540856. Affects Parcel I by location shown.
28. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Declaration of Easement recorded on November 11, 1993, as Document No. 2540855. Affects property by location. Blanket in nature, not platted.
29. Right of Way recorded May 24, 1994, in Volume 27505 of Records, Page 35, as Document No. 2603690. Affects Parcel II by location shown.
30. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Driveway and Access Easement Agreement recorded on September 6, 1994, as Document No. 2629991. Affects property by location. Blanket in nature, not platted.
31. Terms, conditions, provisions and limitations contained in PCD(SIP) Documents recorded on June 8, 1994, in Volume 27655 of Records, Page 34, as Document No. 2607996. Alteration to an approved and recorded Specific Implementation Plan recorded on December 5, 1995, in Volume 31499 of Records, Page 62, as Document No. 2723296. Alteration to an approved and recorded Specific Implementation Plan recorded on December 20, 1996, as Document No. 2829823. Alteration to an approved and recorded Specific Implementation Plan recorded on July 8, 1997, as Document No. 2868871. Alteration to an approved and recorded Specific Implementation Plan recorded on February 5, 2004, as Document No. 2938109. Alteration to an approved and recorded Specific Implementation Plan recorded on November 27, 2013 as Document No. 5040411. Alteration to an approved and recorded Specific Implementation Plan recorded on April 22, 2014 as Document No. 5065273. Alteration to an approved and recorded Specific Implementation Plan recorded on May 27, 2014 as Document No. 5072156. Alteration to an approved and recorded Specific Implementation Plan recorded on January 20, 2017 as Document No. 5300917. Affects Parcel I. Nothing to plot. Refer to documents.
32. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated June 08, 1994, recorded/entered October 12, 1994 as Document No. 2637897. (Affects Parcel I by location shown.)
33. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated June 08, 1994, recorded/entered December 08, 1994 as Document No. 2649308. Easement is located on Lots 1 and 2 of Certified Survey Map No. 15202, which are not part of the surveyed property. Does not affect property by location, not shown.
34. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated November 08, 2016, recorded/entered May 10, 2017 as Document No. 5324580. Affects Parcel II by location shown.
35. Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated November 08, 2016, recorded/entered May 10, 2017 as Document No. 5324581. Affects Parcel II by location shown.
36. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Easement and Operating Agreement recorded on August 07, 2019, as Document No. 5511405. As corrected by Correction Instrument recorded August 14, 2019 as Document No. 5513517. Affects Parcel I by location. General in nature, not platted.
37. Temporary Construction Easement Agreement upon the terms, conditions and provisions contained therein. Dated: August 02, 2019; Parties: Collegiate Gothic Associates Limited Partnership, and City Station Associates Limited Partnership, 740 Regent Street Associates, a Wisconsin limited partnership and 700 Regent Street Associates, a Wisconsin limited partnership; Recorded: August 07, 2019; Instrument No.: 5511407. Affects Parcel I by location and relates to improvements made on and adjacent to Lots 1 & 2 of Certified Survey Map 15202. Temporary and general in nature. There was no visible evidence that construction is still ongoing on the surveyed property. Not platted.
39. All of the terms and provisions set forth and contained in that certain Lease between City of Madison, a Wisconsin municipal corporation, Lessor, and Collegiate Gothic Associates Limited Partnership, a Wisconsin limited partnership; 740 Regent Street Associates, a Wisconsin limited partnership; 700 Regent Street Associates, a Wisconsin limited partnership; and City Station Associates Limited Partnership, a Wisconsin limited partnership. Leases recorded in August 22, 2007, as Document No. 4347972. Partial Assignment and Assumption of Lease Agreement recorded August 6, 2019, as Document No. 5510680. Affects surveyed property and adjacent property by location. Only that portion of the leased parcel located adjacent to the surveyed property is shown.
46. All of the terms and provisions set forth and contained in that certain Lease between City of Madison, a municipal corporation, Lessor, and Collegiate Gothic Associates Limited Partnership, a Wisconsin limited partnership; 740 Regent Street Associates, a Wisconsin limited partnership; 700 Regent Street Associates, a Wisconsin limited partnership; and City Station Associates Limited Partnership, a Wisconsin limited partnership. Leases recorded in October 29, 2019, as Document No. 5535449. Affects surveyed property and adjacent property by location. Only that portion of the leased parcel located adjacent to the surveyed property is shown.

CLIENT
Kimley-Horn & Associates, Inc.

SITE ADDRESS
PARCEL I: 740 Regent Street, Madison, WI 53715
PARCEL II: 700 Regent Street, Madison, WI 53715

LEGAL DESCRIPTION
PARCEL I:
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PARCEL II:
LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 6147, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON JULY 5, 1990, IN VOLUME 29 OF CERTIFIED SURVEY MAPS, PAGES 246-248, AS DOCUMENT NO. 2209395, BEING A REDIVISION OF LOTS 3 AND 4, PLAT OF WEST MADISON DEPOT AND PART OF VACATED REGENT STREET, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

FLOOD NOTE
According to the flood insurance rate map of Dane County, Wisconsin, Map No. 55025C04096, Panel 409 of 850, revised date of January 2, 2009, this site falls in Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

LAND AREA
The gross land area of the subject property (Parcel I and Parcel II) is 120,510 sq. ft. or 2.77 acre.
The gross land area of Parcel I is 68,346 sq. ft. or 1.57 acre.
The gross land area of Parcel II is 52,164 sq. ft. or 1.20 acre.

VERTICAL RELIEF
Elevations are NAVD 88 (GEOID12A) and are shown in feet. Contours shown were derived from a ground survey of the property. Contour interval is one foot.

TABLE "A" ITEMS
6.(a) & 6.(b) Per correspondence with the City of Madison Zoning Office the current zoning classification of the property is Planned Development District (PD).
General information for the Planned Development District (PD) is outlined in Chapter 28 of the City of Madison, General Code of Ordinances. Available at: https://library.municode.com/wi/madison/codes/code_of_ordinances?nodeId=COORMAWWIIICH20--31_CH28ZOCOOR_SUBCHAPTER_28DMIECODL28.068COCEOI

Zoning information specific to the property surveyed is contained in Document No. 2950327, recorded 3/31/1998 (Amended PUD-GOP and reinstatement of the PUD-SIP's project drawings and related zoning documents for 700, 740 and 780 Regent Street, a mixed used project located in Madison, Wisconsin at 700, 740 and 780 Regent Street).
Direct inquiries to City of Madison Zoning: (608) 266-4551.

The following parking spaces were observed on the surveyed property at the time field work was conducted:
9 handicap spaces (Parcel I: 5, Parcel II: 4), 173 regular spaces (Parcel I: 105, Parcel II: 68).

The following parking spaces were observed on the leased parcel (Exceptions 39 and 46) located adjacent to the surveyed property at the time field work was conducted:
28 regular spaces (adjacent to Parcel I: 14, adjacent to Parcel II: 12).

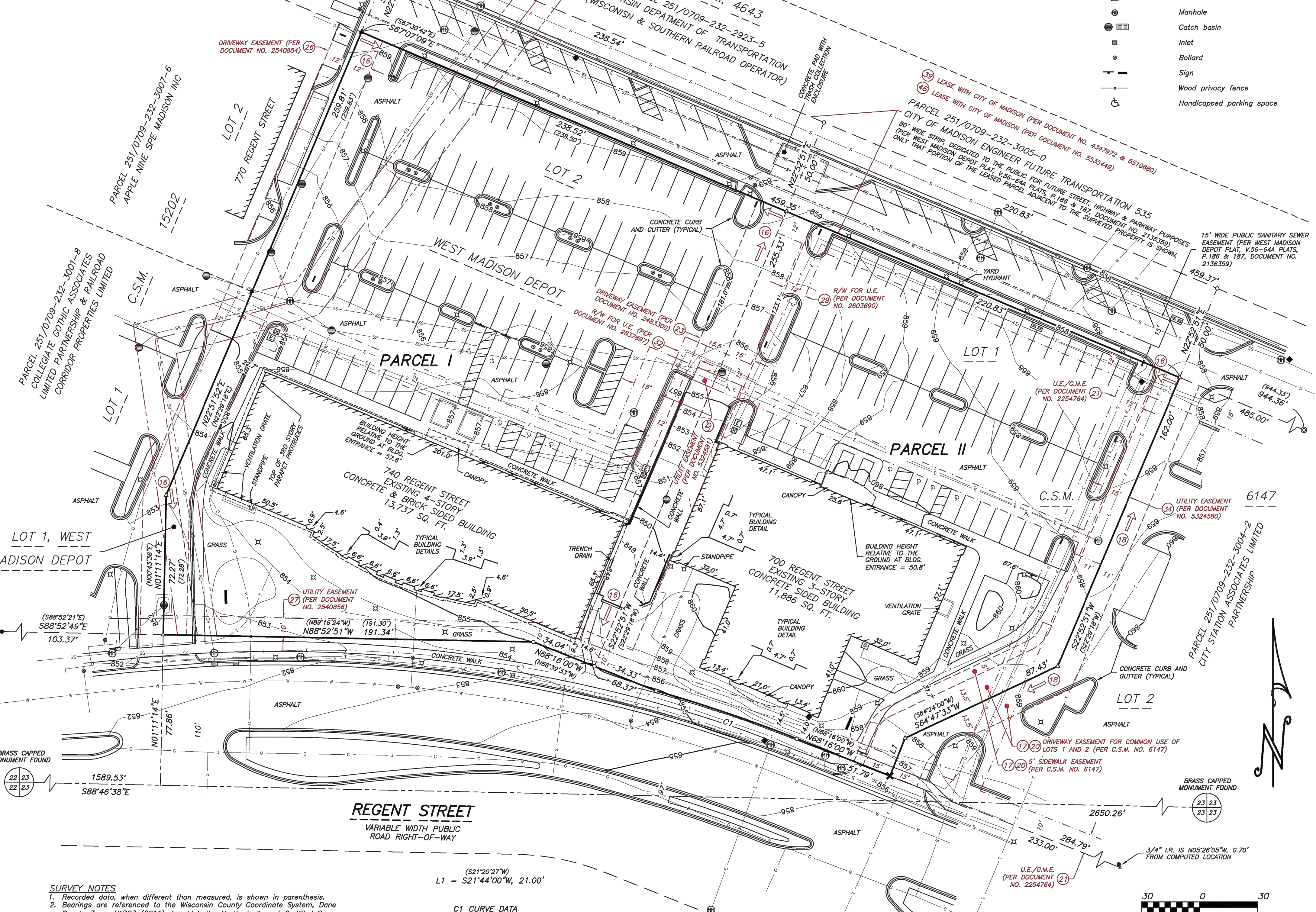
11.(a) At the time of completion of the survey, no plans or reports were provided to the surveyor regarding underground utilities existing on or serving the surveyed property. Utility lines are shown from visible surface evidence, municipal plans and markings provided by Diggers Hotline, the One-Call Utility Marking System (Wisconsin Statute 182.0175). Ticket Numbers 20213720341 & 20213720366. This survey represents the underground utilities that participated with the request and were marked at the time of the survey. Additional utilities may exist, but were non-responsive to the request or plans were not provided.

14. Client did not specify. The property surveyed is located 300± east of the Intersection of Regent Street and East Campus Mall.

16. There was no observable evidence of recent earth moving work, building construction, or building additions at the time the field work was conducted.

17. There are no proposed changes in street right of way lines of which the surveyor is aware. There was no observable evidence of recent street or sidewalk construction or repairs at the time the field work was completed.

VICINITY MAP



SURVEY NOTES
1. Recorded data, when different than measured, is shown in parenthesis.
2. Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the Northerly line of Certified Survey Map 6147 bears S67°07'09"E.
3. The locations of noted improvements on the property are based on field observations on 9/22/2021, 9/23/2021, 9/24/2021, 10/14/2021 & 11/11/2021.

CERTIFICATION
To: Trinitas Development LLC, an Indiana limited liability company
Kimley-Horn & Associates, Inc.
First American Title Insurance Company
First American Title Insurance Company National Commercial Services

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6.(a), 6.(b), 7.(c), 7.(d), 7.(e), 8, 9, 11.(a), 13, 14, 16, 17, 18 and 19 of Table A thereof. This survey is also in compliance with Chapter A-E 7 of the Wisconsin Administrative Code, and this map is a correct representation thereof in accordance with the information provided. The field work was completed on 11/11/2021. Any changes in site conditions after 11/11/2021 are not reflected on this survey.

James M. Baker, PLS S-2530
Date of Plat or Map: November 15, 2021

LEGEND:
E — Underground electric line
T — Underground telephone line
G — Underground gas line
W — Underground water line
S — Underground sanitary sewer
SS — Underground storm sewer
R/W — Right of Way
U.E. — Underground Electric
U.E./G.M.E. — Underground Electric & Gas Main Easement
← — Drainage Arrow

LEGEND:
▲ — P.K. nail found
⊙ — 1-1/4" iron pipe found
○ — 3/4" solid round iron rod found
○ — 3/4" x 24" solid round iron rod set
X — Cut cross in concrete set
△ — Mag nail set
◆ — Underground utility enclosure
⊠ — Underground utility pedestal
● — Underground utility valve
⊠ — Electric transformer box
⊠ — Light pole or flood light
⊠ — Fire hydrant
⊠ — Gas meter
⊠ — Manhole
⊠ — Catch basin
⊠ — Inlet
⊠ — Ballard
⊠ — Sign
⊠ — Wood privacy fence
⊠ — Handicapped parking space

REGENT STREET
VARIABLE WIDTH PUBLIC ROAD RIGHT-OF-WAY

C1 CURVE DATA
R = 740.00'
A = 76.97'
IA = 05°57'36"
C = 76.94'
CH. BRG. = N71°14'48"W (N71°38'21"W)

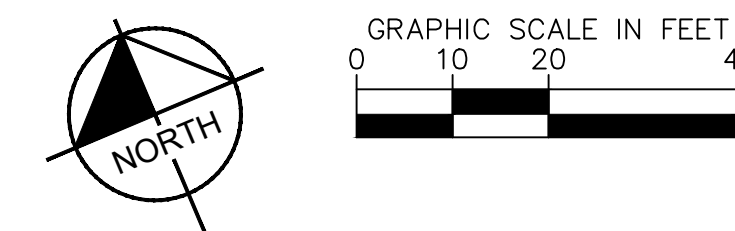
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JOB NO. 21188
POINTS 21188
DRWG. 21188_1
DRAWN BY JMB

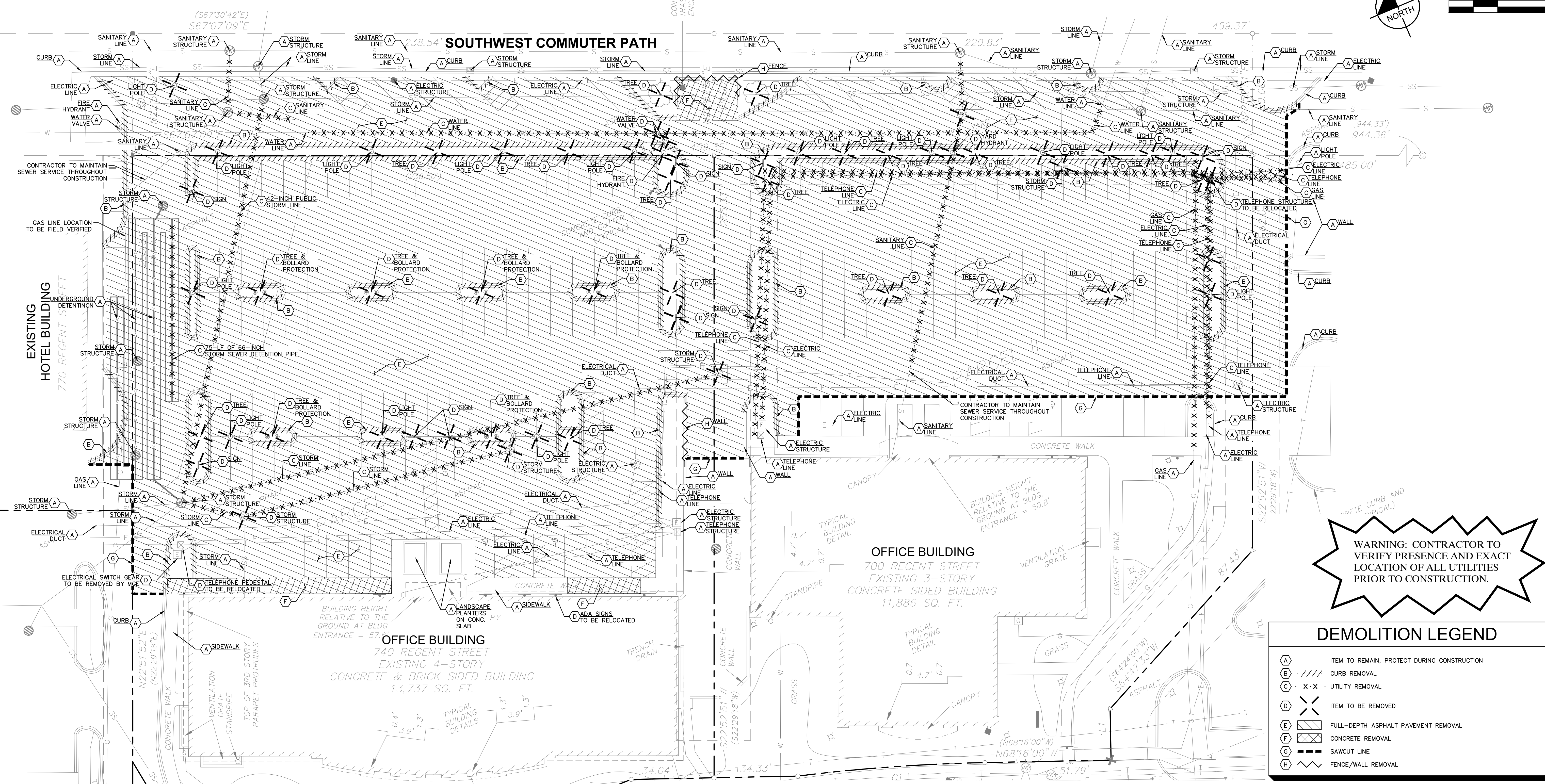
TALARCZYK
LAND SURVEYS LLC
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com

V0.0

RAILROAD RIGHT-OF-WAY



SOUTHWEST COMMUTER PATH



WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B)	CURB REMOVAL
(C)	UTILITY REMOVAL
(D)	ITEM TO BE REMOVED
(E)	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(F)	CONCRETE REMOVAL
(G)	SAWCUT LINE
(H)	FENCE/WALL REMOVAL

DEMOLITION NOTES

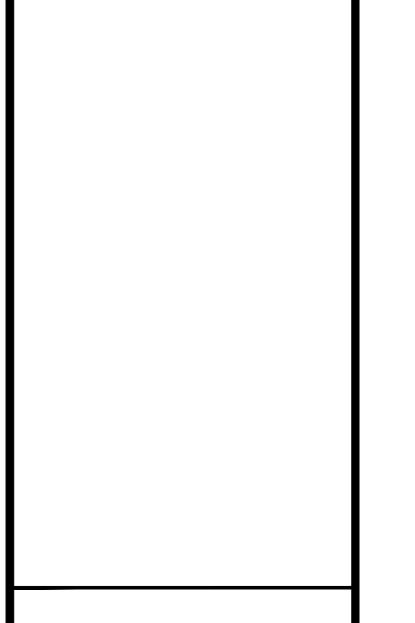
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'DIGGERS HOTLINE' (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

NO.	DATE	BY
1	01/24/22	JPM
2	12/17/21	JPM

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 DRAWN BY: JPM
 CHECKED BY: ANH

LAND USE APPLICATION
 ISSUE FOR SD PRICING



DEMOLITION PLAN

TRINITAS MADISON
 700 & 740 REGENT STREET
 MADISON, WISCONSIN

ORIGINAL ISSUE:
 12/17/21

KHA PROJECT NO.
 268072000

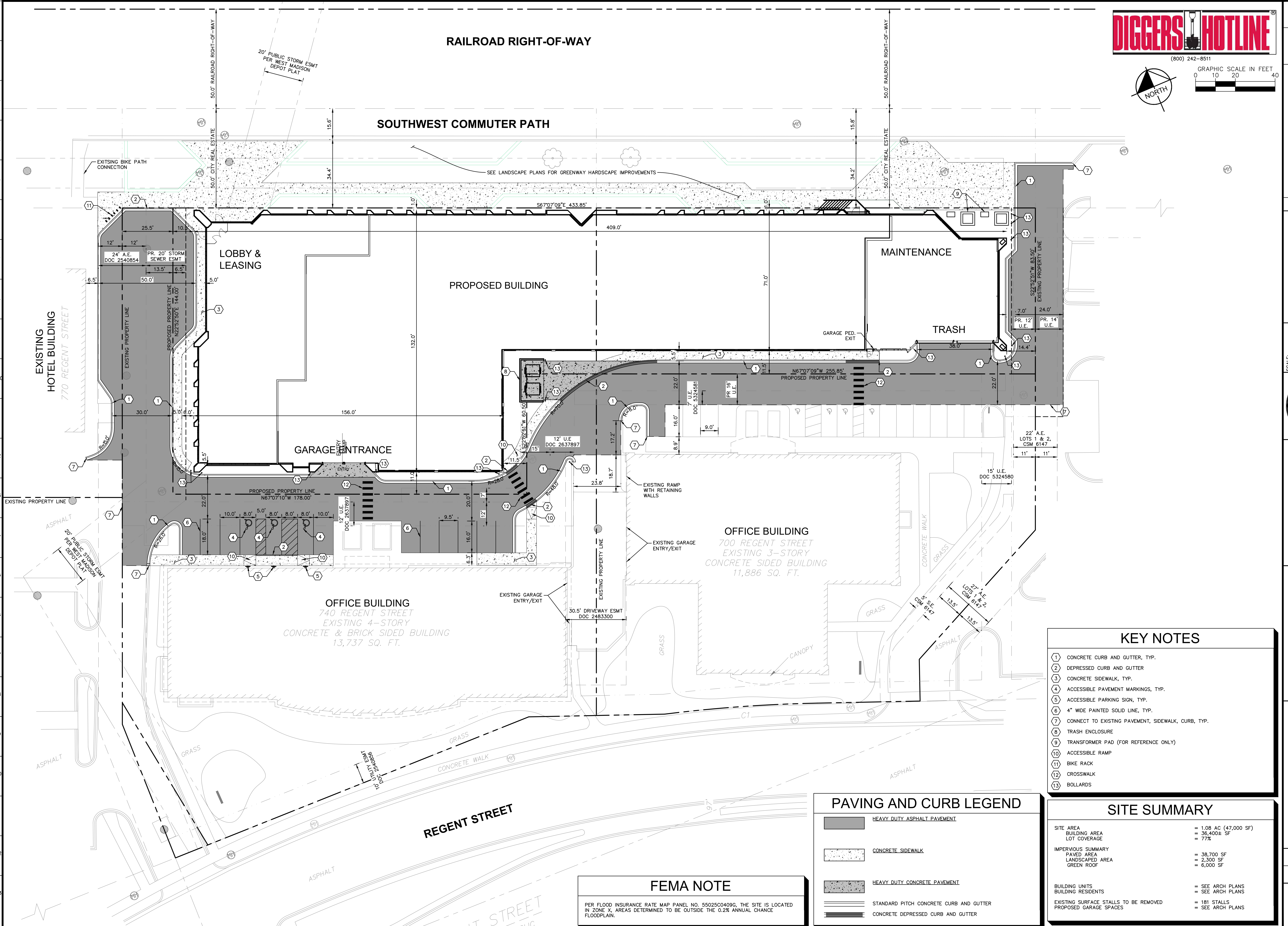
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C2.0

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RAILROAD RIGHT-OF-WAY

SOUTHWEST COMMUTER PATH



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 CHECKED BY: ANH
 LAND USE APPLICATION
 ISSUE FOR SD PRICING
 01/24/22 JPM
 12/17/21 JPM
 DATE



SITE PLAN

TRINITAS MADISON
 700 & 740 REGENT STREET
 MADISON, WISCONSIN

ORIGINAL ISSUE:
 12/17/21
 KHA PROJECT NO.
 268072000
 SHEET NUMBER

C3.0

KEY NOTES	
1	CONCRETE CURB AND GUTTER, TYP.
2	DEPRESSED CURB AND GUTTER
3	CONCRETE SIDEWALK, TYP.
4	ACCESSIBLE PAVEMENT MARKINGS, TYP.
5	ACCESSIBLE PARKING SIGN, TYP.
6	4" WIDE PAINTED SOLID LINE, TYP.
7	CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
8	TRASH ENCLOSURE
9	TRANSFORMER PAD (FOR REFERENCE ONLY)
10	ACCESSIBLE RAMP
11	BIKE RACK
12	CROSSWALK
13	BOLLARDS

PAVING AND CURB LEGEND	
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	STANDARD PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

SITE SUMMARY	
SITE AREA	= 1.08 AC (47,000 SF)
BUILDING AREA	= 36,400± SF
LOT COVERAGE	= 77%
IMPERVIOUS SUMMARY	
PAVED AREA	= 38,700 SF
LANDSCAPED AREA	= 2,300 SF
GREEN ROOF	= 6,000 SF
BUILDING UNITS	
BUILDING RESIDENTS	= SEE ARCH PLANS
EXISTING SURFACE STALLS TO BE REMOVED	
PROPOSED GARAGE SPACES	= 181 STALLS
	= SEE ARCH PLANS

FEMA NOTE
 PER FLOOD INSURANCE RATE MAP PANEL NO. 55025C0409G, THE SITE IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

RAILROAD RIGHT-OF-WAY

SOUTHWEST COMMUTER PATH

LOBBY & LEASING
FFE 860.00

PROPOSED BUILDING

MAINTENANCE
FFE 860.00

TRASH
FFE 860.00

GARAGE ENTRANCE
FFE 857.50

OFFICE BUILDING
700 REGENT STREET
EXISTING 3-STORY
CONCRETE SIDED BUILDING
11,886 SQ. FT.

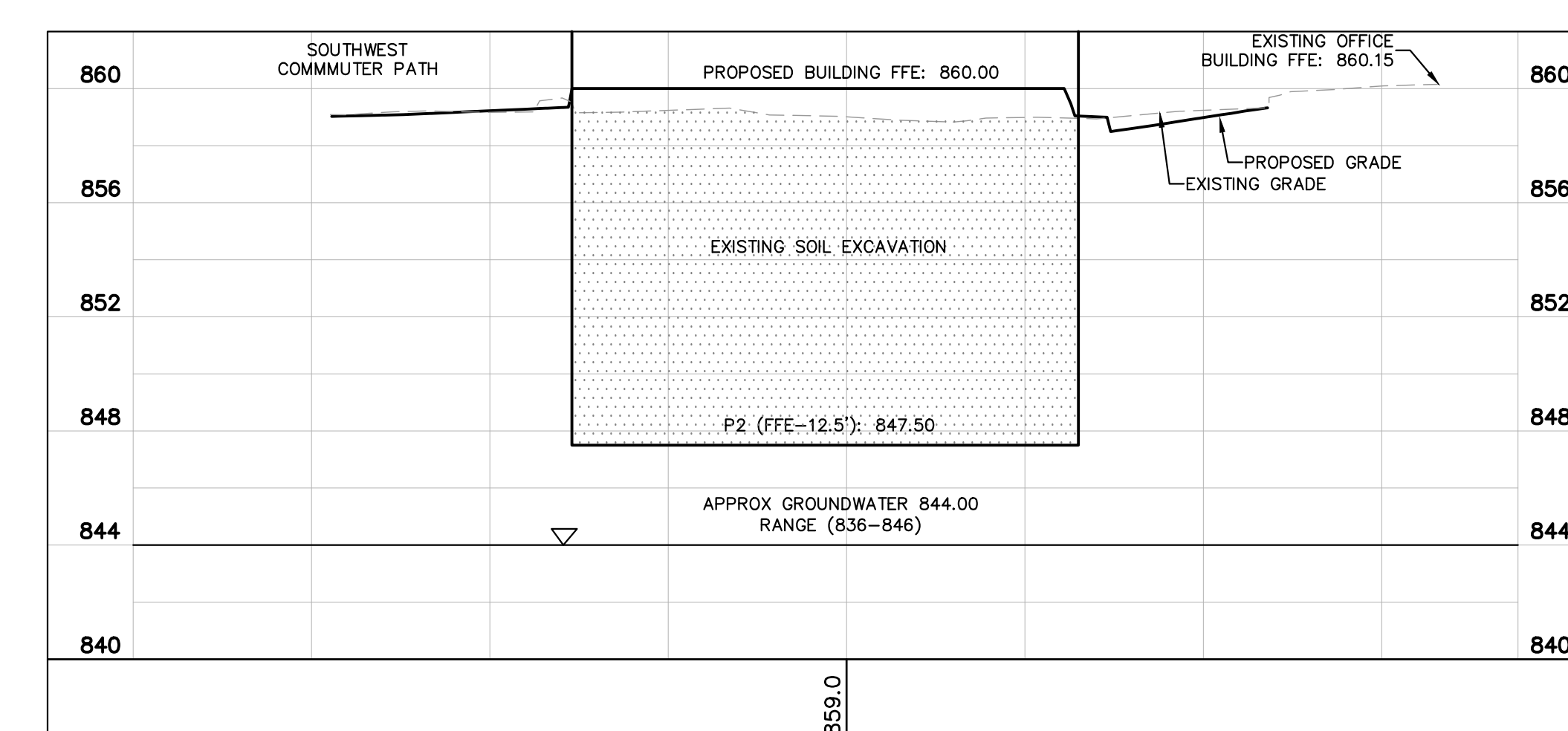
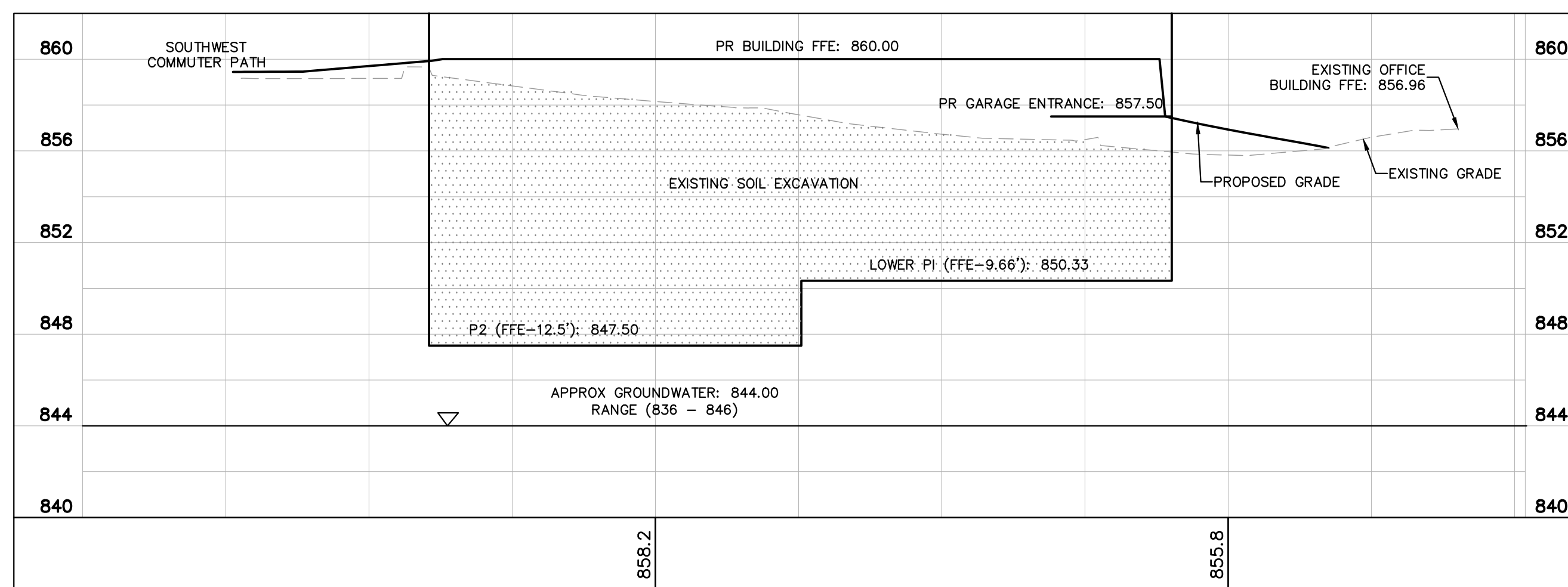
OFFICE BUILDING
740 REGENT STREET
EXISTING 4-STORY
CONCRETE & BRICK SIDED BUILDING
13,737 SQ. FT.

GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

- TP = TOP OF PAVEMENT
FL = FLOW LINE
TC = TOP OF CURB
ME = MATCH ELEVATION
R = RIM ELEVATION
FG = FINISHED GRADE
- XXX— PROPOSED CONTOUR
- - - - - EXISTING CONTOUR
—RIDGE— RIDGE LINE
XXX SLOPE AND FLOW DIRECTION



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DRAWN BY: JPM
CHECKED BY: ANH



GRADING PLAN

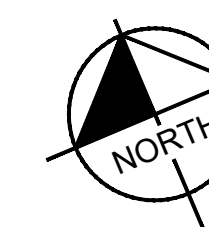
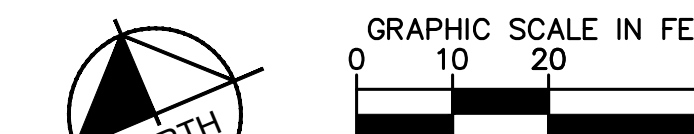
TRINITAS MADISON
700 & 740 REGENT STREET
MADISON, WISCONSIN

ORIGINAL ISSUE:
12/17/21
KHA PROJECT NO.
268072000

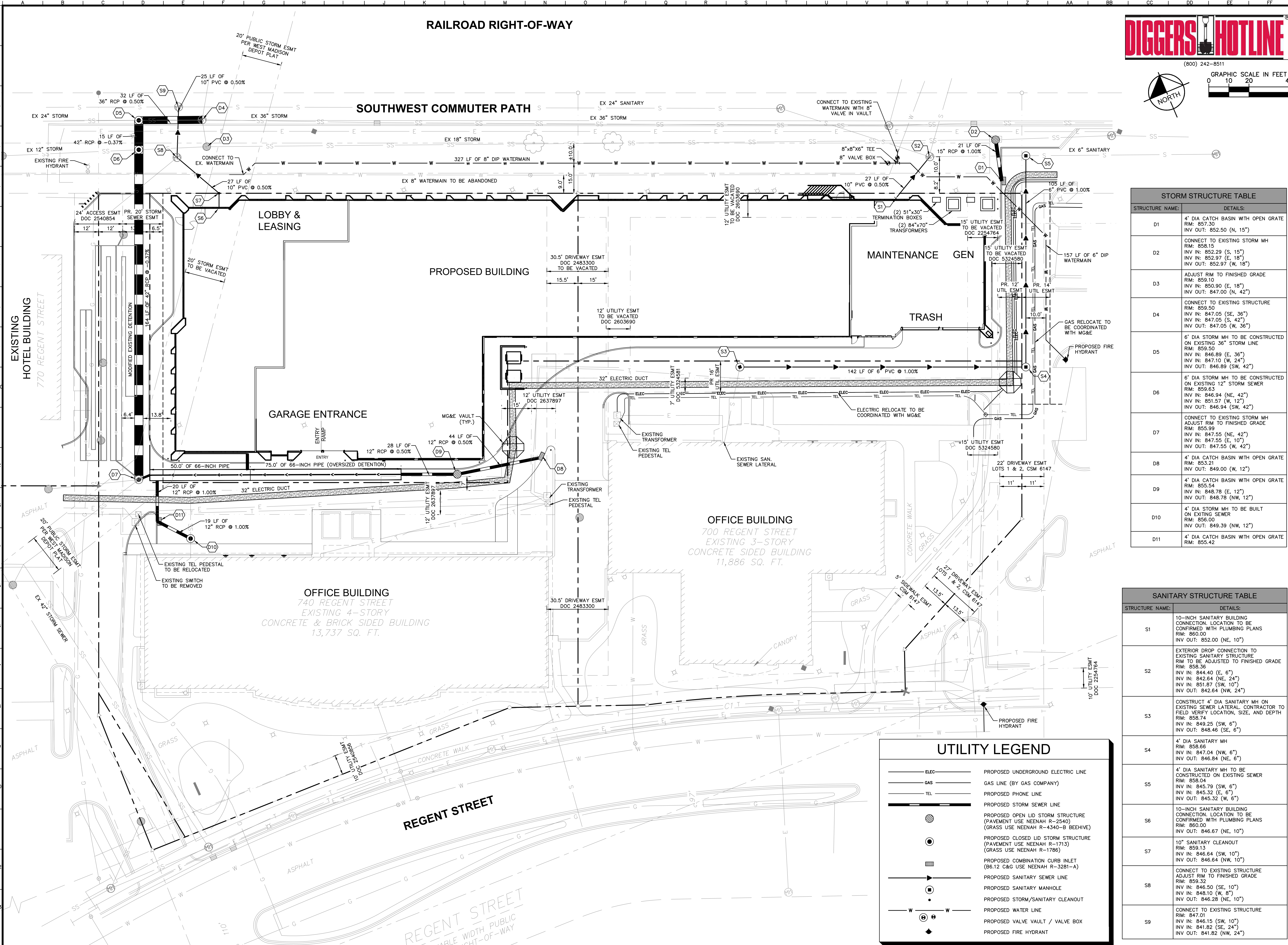
SHEET NUMBER
C4.0

Drawing name: K:\GIS_DEVELOPMENT\Trinitas_Madison_MW\Design\PlanSheets\Prelim\Engineering\C4.0 - GRADING PLAN.dwg C4.0 Jan 21, 2022 4:35pm by Joe Meyer
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RAILROAD RIGHT-OF-WAY



SOUTHWEST COMMUTER PATH



STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	4' DIA CATCH BASIN WITH OPEN GRATE RIM: 857.30 INV OUT: 852.50 (N, 15")
D2	CONNECT TO EXISTING STORM MH RIM: 858.15 INV IN: 852.29 (S, 15") INV IN: 852.97 (E, 18") INV OUT: 852.97 (W, 18")
D3	ADJUST RIM TO FINISHED GRADE RIM: 859.10 INV IN: 850.90 (E, 18") INV OUT: 847.00 (N, 42")
D4	CONNECT TO EXISTING STRUCTURE RIM: 859.50 INV IN: 847.05 (SE, 36") INV IN: 847.05 (S, 42") INV OUT: 847.05 (W, 36")
D5	6' DIA STORM MH TO BE CONSTRUCTED ON EXISTING 36" STORM LINE RIM: 859.50 INV IN: 846.89 (E, 36") INV IN: 847.10 (W, 24") INV OUT: 846.89 (SW, 42")
D6	6' DIA STORM MH TO BE CONSTRUCTED ON EXISTING 12" STORM SEWER RIM: 859.63 INV IN: 846.94 (NE, 42") INV IN: 851.57 (W, 12") INV OUT: 846.94 (SW, 42")
D7	CONNECT TO EXISTING STORM MH RIM: 855.99 INV IN: 847.55 (NE, 42") INV IN: 847.55 (E, 10") INV OUT: 847.55 (W, 42")
D8	4' DIA CATCH BASIN WITH OPEN GRATE RIM: 853.21 INV OUT: 849.00 (W, 12")
D9	4' DIA CATCH BASIN WITH OPEN GRATE RIM: 855.54 INV IN: 848.78 (E, 12") INV OUT: 848.78 (NW, 12")
D10	4' DIA STORM MH TO BE BUILT ON EXISTING SEWER RIM: 856.00 INV OUT: 849.39 (NW, 12")
D11	4' DIA CATCH BASIN WITH OPEN GRATE RIM: 855.42

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	10-INCH SANITARY BUILDING CONNECTION. LOCATION TO BE CONFIRMED WITH PLUMBING PLANS RIM: 860.00 INV OUT: 852.00 (NE, 10")
S2	EXTERIOR DROP CONNECTION TO EXISTING SANITARY STRUCTURE RIM TO BE ADJUSTED TO FINISHED GRADE RIM: 858.36 INV IN: 844.40 (E, 6") INV IN: 842.64 (NE, 24") INV IN: 851.87 (SW, 10") INV OUT: 842.64 (NW, 24")
S3	CONSTRUCT 4' DIA SANITARY MH ON EXISTING SEWER LATERAL. CONTRACTOR TO FIELD VERIFY LOCATION, SIZE, AND DEPTH RIM: 858.74 INV IN: 849.25 (SW, 6") INV OUT: 848.46 (SE, 6")
S4	4' DIA SANITARY MH RIM: 858.66 INV IN: 847.04 (NW, 6") INV OUT: 846.84 (NE, 6")
S5	4' DIA SANITARY MH TO BE CONSTRUCTED ON EXISTING SEWER RIM: 858.04 INV IN: 845.79 (SW, 6") INV IN: 845.32 (E, 6") INV OUT: 845.32 (W, 6")
S6	10-INCH SANITARY BUILDING CONNECTION. LOCATION TO BE CONFIRMED WITH PLUMBING PLANS RIM: 860.00 INV OUT: 846.67 (NE, 10")
S7	10" SANITARY CLEANOUT RIM: 859.13 INV IN: 846.64 (SW, 10") INV OUT: 846.64 (NW, 10")
S8	CONNECT TO EXISTING STRUCTURE RIM: 859.32 INV IN: 846.50 (SE, 10") INV IN: 848.10 (W, 8") INV OUT: 846.28 (NE, 10")
S9	CONNECT TO EXISTING STRUCTURE RIM: 847.01 INV IN: 846.15 (SW, 10") INV IN: 841.82 (SE, 24") INV OUT: 841.82 (NW, 24")

UTILITY LEGEND	
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1713) (GRASS USE NEENAH R-1786)
	PROPOSED SANITARY CURB INLET (B6.12 C&G USE NEENAH R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT / VALVE BOX
	PROPOSED FIRE HYDRANT

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SCALE: AS NOTED
 DESIGNED BY: JPM
 DRAWN BY: JPM
 CHECKED BY: ANH

ANDREW N. HEINEN
 36037-6
 CHICAGO, IL
 PROFESSIONAL ENGINEER

UTILITY PLAN

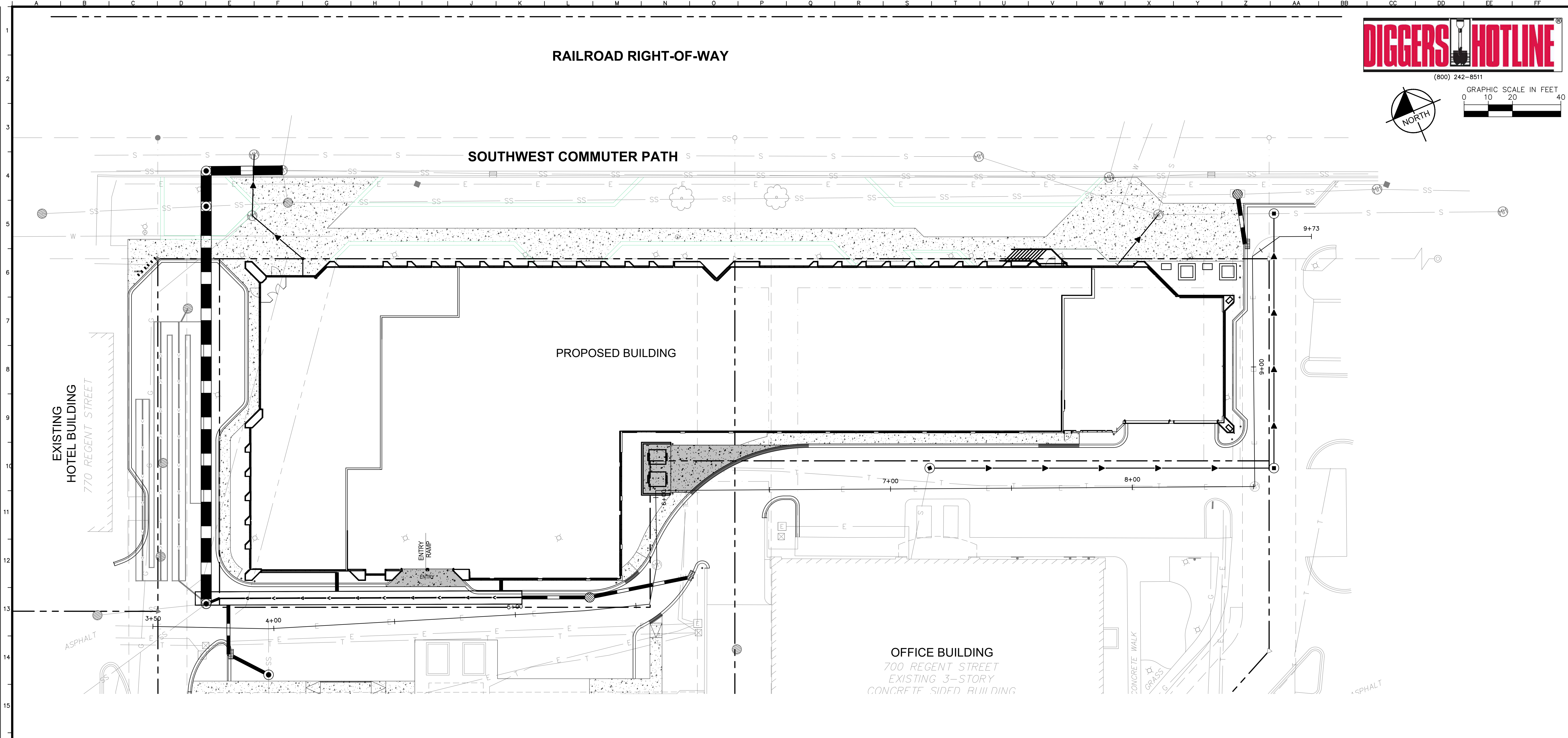
TRINITAS MADISON
 700 & 740 REGENT STREET
 MADISON, WISCONSIN

ORIGINAL ISSUE: 12/17/21
 KHA PROJECT NO. 268072000
 SHEET NUMBER **C5.0**

Drawing name: K:\GIS\DEV\268072000_Trinitas_Madison_MV2_Design\CAD\PlanSheets\Prelim_Engineering\C5.0 - UTILITY PLAN.dwg C5.0 Jan 21, 2022 4:35pm by JoeMoyer
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1	ISSUE FOR SD PRICING	12/17/21	JPM
2	LAND USE APPLICATION	01/24/22	JPM

Drawing name: K:\GIS\DEV\268072000_Trinitas_Madison_MV2 Design\CAD\PlanSheets\Prelim Engineering\C5.1 - UTILITY PROFILES.dwg CS.1 Jan 21, 2022 4:35pm by: JoeMayer
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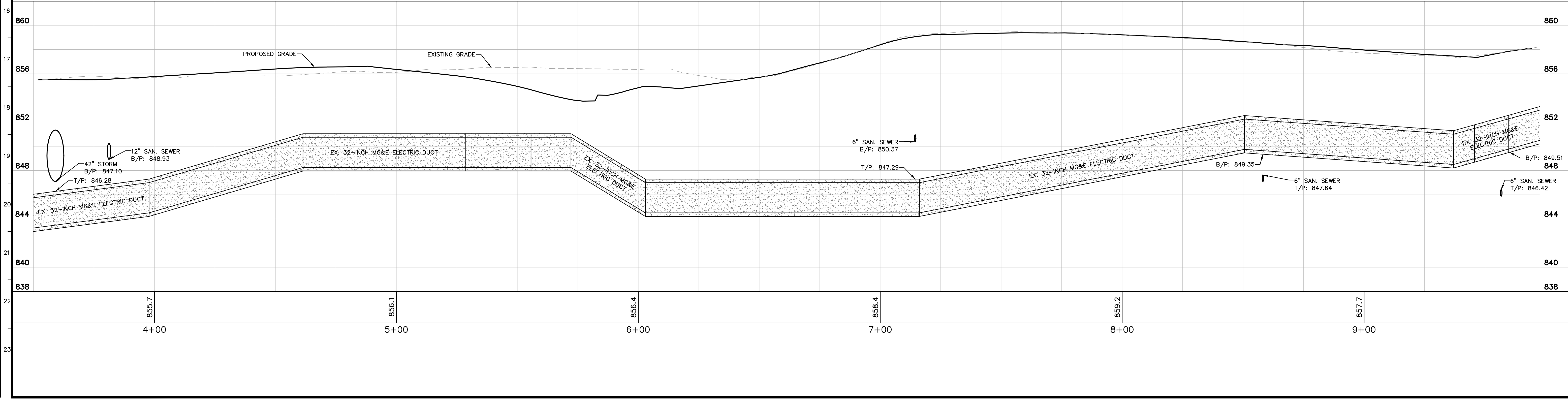
GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

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UTILITY PROFILES

TRINITAS MADISON
 700 & 740 REGENT STREET
 MADISON, WISCONSIN

 ORIGINAL ISSUE:
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 KHA PROJECT NO.
 268072000
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SCALE: AS NOTED
DESIGNED BY: JPM
DRAWN BY: JPM
CHECKED BY: ANH

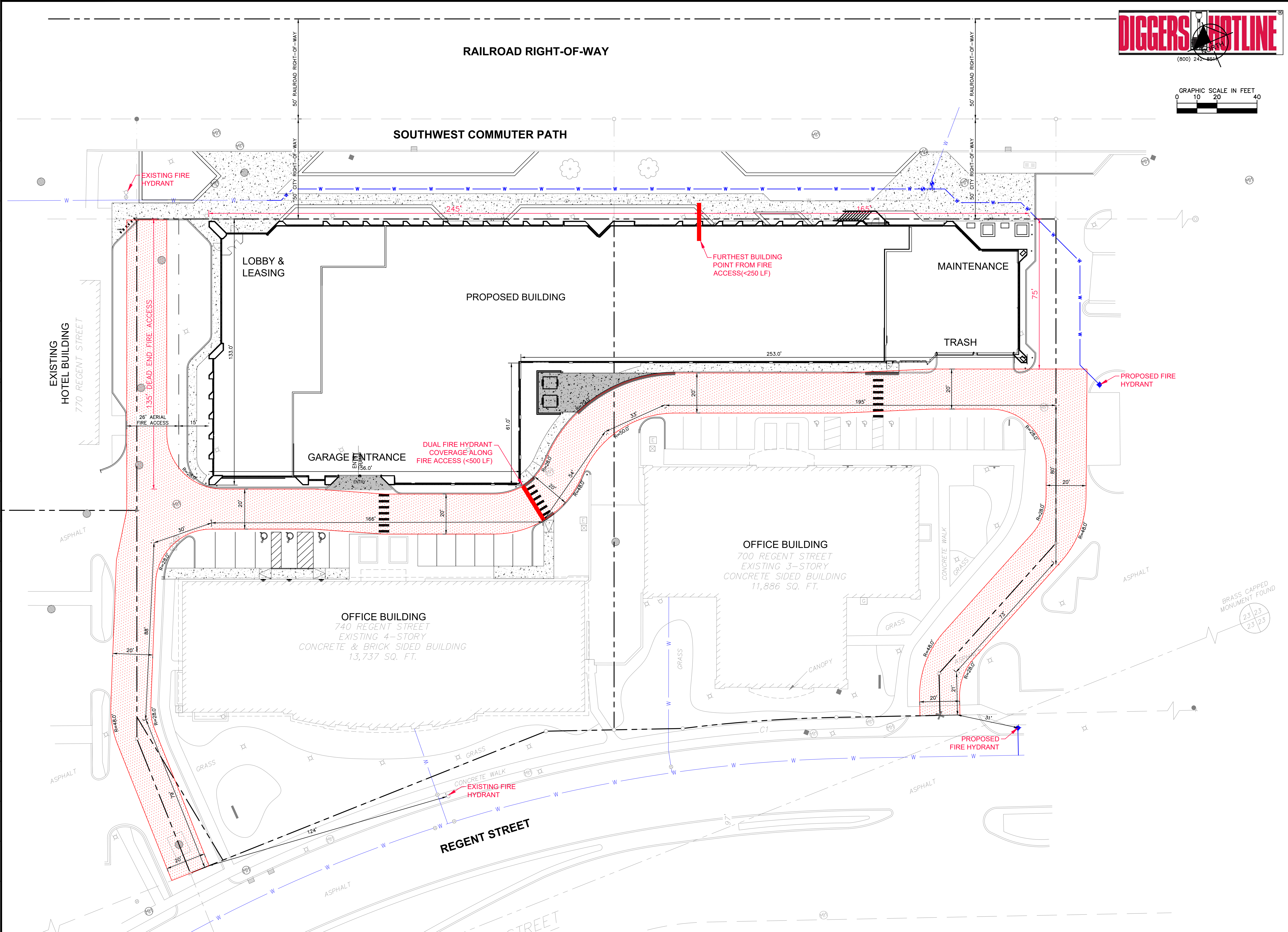
PROFESSIONAL ENGINEER
ANDREW N. HEINEN
36037-6
CHICAGO, IL

FIRE ACCESS PLAN

TRINITAS MADISON
700 & 740 REGENT STREET
MADISON, WISCONSIN

ORIGINAL ISSUE:
12/17/21
KHA PROJECT NO.
268072000
SHEET NUMBER

C6.0



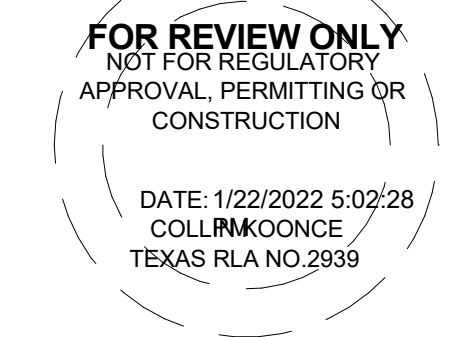
CONSULTANTS

PROJECT TITLE

740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
	04/24/2015	AS1-129
1	05/26/2021	DD SET
2	Date 3	CC SET

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

LANDSCAPE TITLE SHEET

SHEET NUMBER

L000

GENERAL NOTES

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'-0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- PLANTING AREAS (NOT OVER STRUCTURE) RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL, CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST OR MANURE AND 10 PARTS SAND.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.
- SHRUB BED MASSINGS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- STEEL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS AND ANNUALS WHERE PLANTING BED MEETS SOD UNLESS OTHERWISE NOTED.
- REFER TO CIVIL FOR SITE DEMOLITION INFORMATION.
- REFER TO CIVIL FOR ADDITIONAL SITE GRADING AND UTILITY INFORMATION.
- IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS SHOWN IN THE PLANT MATERIALS SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN.
- CONTRACTOR SHALL STAKE OUT LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

IRRIGATION NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERFORMANCE IRRIGATION PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT SODDED/SEED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ADJUTING BUILDING FOUNDATION.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIALS GROWTH REQUIREMENTS.
- LANDSCAPE CONTRACTOR SHALL INSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL PLANTING AREAS.
- COORDINATE IRRIGATION SLEEVING LOCATIONS WITH GENERAL CONTRACTOR.
- RAIN SENSORS TO BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- IRRIGATION LIMITS TO EXTEND TO STREET BACK OF CURB.

SURVEY NOTES

- ALL EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE BASED ON AN OWNER-FURNISHED SURVEY. BKV GROUP OFFERS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR RELIABILITY OF THE INDICATED EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CRITICAL EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, EXISTING BUILDING LOCATIONS, UTILITY LOCATIONS AND INVERT ELEVATIONS, AND EXISTING SITE GRADES PRIOR TO THE START OF WORK.
- ANY OBSERVED DEVIATIONS FROM CONDITIONS INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT OR LANDSCAPE ARCHITECT'S ATTENTION IMMEDIATELY UPON DISCOVERY. NO WORK SHALL PROCEED IN THE AREAS OF ANY DISCOVERED DEVIATIONS UNTIL THE DIFFERENCES ARE RESOLVED.

SITE PLAN NOTES

- NO EXISTING TREES ON SITE. NO PROPOSED EXISTING TREES FOR REMOVAL.
- NO PROPOSED SITE TREE MITIGATION REQUIRED.
- STREET TREE REQUIREMENTS NOT APPLICABLE AT THIS SITE AS NO STREET FRONTAGE CONDITION EXISTS.
- QUANTITIES LISTED IN MATERIAL SCHEDULE AND PLANTING SCHEDULE ARE NOT FOR CONSTRUCTION AND TO BE USED AS BROAD ESTIMATION PURPOSES. CONTRACTOR SHALL VERIFY ALL PLANT AND MATERIAL QUANTITIES FROM PLAN DRAWINGS.

MATERIAL SCHEDULE

Site Furnishings	TAG	DESCRIPTION	Manufacturer	MATERIAL / PRODUCT	COLOR	FINISH / PATTERN	CONTACT INFO	NOTE	QUANTITY	
	F02	CHAIR	LANDSCAPE FORMS	CHIPMAN ARMED CHAIR	MERCURY	POWDER COATED ALUMINUM	LARA MOFFAT W/ LANDSCAPE FORMS 800-430-6206 EXT 1309	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	58	
	F03	SITE TABLE	LOLL	LOLLYGAGGER COCKTAIL TABLE (30" ROUND)	CHARCOAL GREY	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2	
	F04	DINING TABLE	LOLL	ALFRESCO DINING TABLE (65")	CHARCOAL GREY	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	5	
	F05	BAR TABLE	N/A	CUSTOM TO MATCH OUTDOOR KITCHEN FINISHES REF. DETAILS	REF. DETAILS	REF. DETAILS	N/A	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1	
	F08	FIRE PIT	N/A	BOL - CORTEN FIRE PIT 24"	NATURAL STEEL	NATURAL	PALOFORM.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2	
	F10	GRILL	BULL	BULL OUTLAW GRILL #26039 C.G. WITH FINISHING FRAME	NATURAL	STAINLESS	WWW.BULLBBQ.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	3	
	F12	CHAISE LOUNGE	ROVE CONCEPTS	PRESTON OUTDOOR LOUNGER	WHITE	OUTDOOR	ROVECONCEPTS.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	34	
	F14	SIDE TABLE	LOLL	RAPSON SIDE TABLE	WHITE	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2	
	F16	UMBRELLA (10' SQ)	TUUCI	OCEAN MASTER CLASSIC CANTILEVER W/ STINLS STEEL, MAX SECURITY STEM AND STNL'S BASE	WHITE	N/A	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2	
	F17	BAR CHAIR	Emeco	CHIPMAN BAR STOOL	MERCURY	POWDER COATED STEEL	LARA MOFFAT W/ LANDSCAPE FORMS 800-430-6206 EXT 1309	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	8	
	F19	CHAISE LOUNGER (IN WATER)	LEDGE LOUNGER	SIGNATURE CHAISE	WHITE	N/A	LEDGELOUNGERS.COM	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	8	
	F25	OUTDOOR KITCHEN	N/A	OUTDOOR KITCHEN REF. DETAILS	REF. DETAILS	REF. DETAILS	N/A	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1	
	F27	OUTDOOR SOFA	SIXINCH Furniture	LOLL SUNNYSIDE SOFA	TBD	TBD	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	6	
	F28	OUTDOOR LOUNGE (SOFA)	SIXINCH Furniture	LOLL SUNNYSIDE LOUNGE CHAIR	TBD	TBD	DOW O'NEAL @ DESIGN WITHIN REACH 415.816.0579	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	9	
	F35	CAFE TABLE	LANDSCAPE FORMS	CHIPMAN TABLE 31" DIAMETER DINING	MERCURY	POWDERCOATED ALUMINUM	LARA MOFFAT W/ LANDSCAPE FORMS 800-430-6206 EXT 1309	REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	8	
	F36	CORN HOLE	SUNNYLAND FURNITURE					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	1	
	F45	SHADE UMBRELLA	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	5	
	F46	MINGLE BACKED SEATING 6 SEATS	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	3	
	F47	MINGLE BACKED SEATING 4 SEATS	LANDSCAPE FORMS					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	2	
	F48	PLANTER METAL COLOR	N/A					REF. PLANS FOR LOCATIONS; SUBMIT FINAL CUT SHEETS/ SPECS FOR L.A. AND OWNER APPROVAL PRIOR PURCHASE	7	
	F41	POOL RULES SIGNAGE	N/A	POOL RULES SIGNAGE TO BE PROVIDED BY OWNER	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	REFER TO ARCHITECT FOR PREFERRED LOCATION; POOL CONTRACTOR TO ENSURE ALL REQUIRED POOL SIGNAGE IS INSTALLED PER TDH AND LOCAL REQUIREMENTS	8	
	PL01	POOL COPING	STEPSTONE	18" X 24" X 2" THICK, PRECAST MODERN POOL COPING	1801	LIGHT SANDBLAST	STEPSTONEINC.COM	EASE EXPOSED EDGES AT COPING OVERHANG, OVERHANG PER LOCAL CODE. POOL CONTRACTOR SHALL SUBMIT LAYOUT AND SHOW DRAWINGS FOR APPROVAL	4	
	PL03	WARNING STRIP TILE	MOSA	2" X 24" MOSA PORCELAIN TILE		TILE: TBD, GROUT: BEIGE	UNGLAZED	CANDACE@KNOXTILE.COM	CONTRACTOR TO PROVIDE QUANTITY TO ENSURE FULL COVERAGE AS SHOWN ON PLANS, CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR CONSTRUCTION	2
	PL04	DEPTH AND NO DIVING MARKERS	N/A	SANDBLAST AND PAINT FILL LETTERS' SYMBOL IN PL01 COPING	BLACK	SANDBLAST & PAINT	CONTRACTOR CHOICE	CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL; SUBMIT LAYOUT/ SHOP DRAWINGS FOR APPROVAL	2	
	PL05	POOL PLASTER	DIAMOND BRITE	EXPOSED AGGREGATE POOL FINISH - WATER COLOR FINISHES	GRECIAN SLATE	PER MANUFACTURE	SGM.COM 800.641.9247	INSTALL PER MANUFACTURES INSTALL SPECIFICATIONS	2	
	PL06	ADA LIFT SLEEVE	N/A	ADA LIFT SLEEVE	N/A	N/A	N/A	LIFT SLEEVE FURNISHED BY POOL CONTRACTOR AND INSTALLED BY DECK CONTRACTOR PER CODE REQUIREMENTS; REFET PLAN FOR LOCATION	1	
	PL07	HANDRAIL	N/A	HAND - 1-1/4" DIA. TUBE STAINLESS STEEL		#4 BRUSHED	CONTRACTOR CHOICE		4	
	PL08	POOL RULES SIGNAGE	N/A	POOL RULES SIGNAGE TO BE PROVIDED BY OWNER	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	REFER TO ARCHITECT FOR PREFERRED LOCATION; POOL CONTRACTOR TO ENSURE ALL REQUIRED POOL SIGNAGE IS INSTALLED PER TDH AND LOCAL REQUIREMENTS	1	
	PL10	WATERLINE DEPTH MARKER TILE	N/A	MOSA SINGLE PIECE TO MATCH WATERLINE w/PAINTED TEXT		TILE: 270V GROUT: BLACK	UNGLAZED	CANDACE@KNOXTILE.COM	CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL - NO SUBSTITUTIONS	2
	Lighting									
	L02	MUTIL-FIXTURE AREA LIGHT	Luminis	Scopo Exterior LED mounted on 13' round pole. (4) Four fixtures mounted per pole.	POWDER COATED BLACK	3000 K	LIGHTAZ.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1	
	L03	EXTERIOR STRUCTURE MOUNTED DOWN LIGHT	BK	Denali (3' diam.)	POWDER COATED BLACK	3000 K	BKLIGHTING.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	33	
	L04	EXTERIOR TREE MOUNTED DOWN LIGHT	BK	Artistar	POWDER COATED BLACK	3000 K	BKLIGHTING.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1	
	L05	WALL LUMINAIRE (POOL EQUIPMENT)	Bega	22174	POWDER COATED BLACK	3000 K	BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	1	
	L08	BOLLARD STREET LIGHT 84082	Bega	84082	POWDER COATED BLACK	3000 K	BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	13	
	L09	GARDEN BOLLARD 77238	Bega	77238	POWDER COATED BLACK	3000 K	BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	52	
	L10	PENDANT BOLLARD 24507	Bega	24507	POWDER COATED BLACK	3000 K	BEGA.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	5	
	L11	POLE PROJECTOR SC655	Luminis	SC655	POWDER COATED BLACK	3000 K	LIGHTAZ.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	5	
	L12	HELIO M30K4 SECURITY BOLLARDS	Helio	LBHLO-903	POWDER COATED BLACK	3000 K	FORMS-SURFACES.COM	Reference Electrical schedule for Pole mounting detail, Lumens, wattage, controls, etc.	20	
	L13	Linear element - Round - Direct bury				4000 K			2	
	Walls & Fencing									
	G01A	SECURITY GATE (4' HEIGHT)	AMERISTAR	MONTAGE PLUS SELF CLOSING	BLACK	POWDER COATED STEEL	MIKE ESPINOSA @ AMERISTARFENCE.COM	INSTALL PER MANUFACTURE SPECIFICATIONS. REF. PLANS FOR LAYOUT AND GATE LOCATIONS. REF. DETAILS ON SHEETS LSXX	1	
	W01	STEEL FENCE (4' HEIGHT)	AMERISTAR	MONTAGE PLUS DOUBLE SWING	BLACK	POWDER COATED STEEL	MIKE ESPINOSA @ AMERISTARFENCE.COM	INSTALL PER MANUFACTURE SPECIFICATIONS. REF. PLANS FOR LAYOUT AND GATE LOCATIONS. REF. DETAILS ON SHEETS LSXX	60' - 6 1/4" 584' - 10 1/8"	

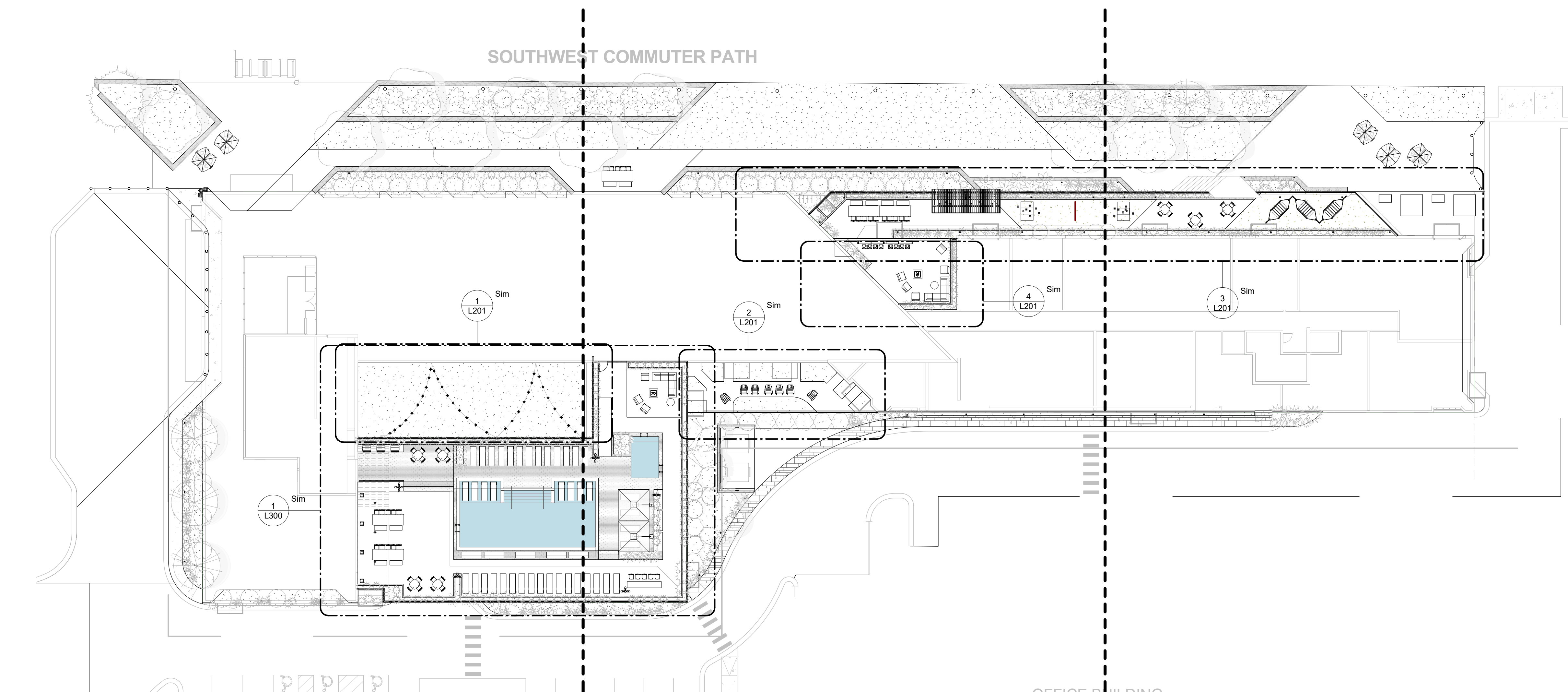
2125.04 Trinitas Landscape Requirements						
2125.04 - 740 Regent Street						
City of Madison, Wisconsin Landscape Requirements						
Total Square Footage of Developed Area:		Site Area	50,900	-	Building Footprint at Grade	33,875 = 17025
Total Landscape Points Required:		17,025	/300 =	56.75	x 5 =	283.75
Plant type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory Deciduous Tree	2.5" Caliper	35			1.00	35.00
Tall Evergreen Tree	5-6' Tall	35				
Ornamental Tree	1.5" Caliper	15			5	75
Upright Evergreen Shrub	3-4' Tall	10			0	0
Shrub, Deciduous	#3 Gallon Container Size, Min....	3			23	69
Shrub, Evergreen	#3 Gallon Container Size, Min....	4			13	52
Ornamental Grasses Perennials	#1 Gallon Container Size, Min. 8-18"	2			88	176
Ornamental/Decorative Fencing or Wall	n/a	4 per 10 lineal...			0	0
Existing Significant Specimen Tree	Minimum Size 2.5" caliper. Trees must be within developed area and cannot comprise of more than 30% of total required points.	14 per caliper inch. Max points per tree: 200				0
Landscape Furniture for Public Seating and/or Transit Connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 per "seat				
Subtotals					0	0
					130.00	407
Total Points Provided:		407				

CONSULTANTS

PROJECT TITLE

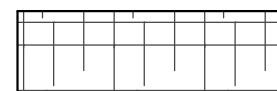
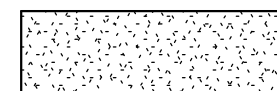
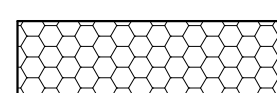
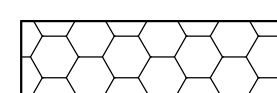

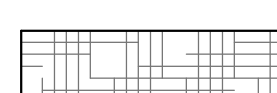
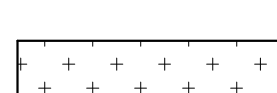
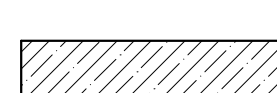
740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
1	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET



1 L001 OVERALL SITE LANDSCAPE REFERENCE PLAN

GRAPHIC LEGEND:

 PAVER #1, TYP. (SEE SPEC)	 TURFGRASS: SOD, IRRIGATED (SEE SPEC)
 ROCK MULCH #1 (SEE SPEC)	 ROCK MULCH #2 (SEE SPEC)
 HARDWOOD MULCH, SHREDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX (SEE PLANT SCHEDULE)	 SYNTHETIC TURF (SEE SPEC)

CERTIFICATION

FOR REVIEW ONLY
NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION

DATE: 1/22/2022 5:03:04
COLL:MK/OONCE
TEXAS RLA NO 2939

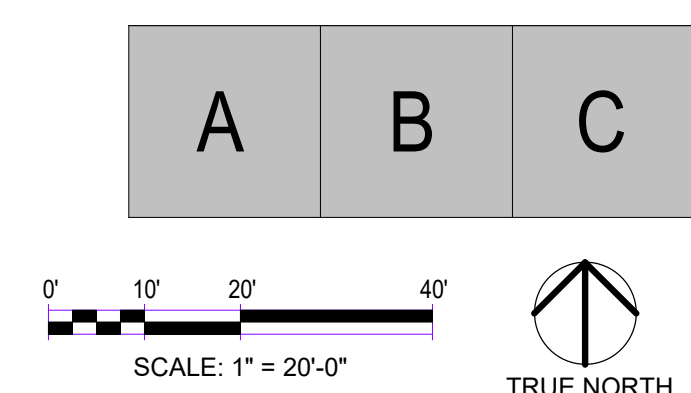
DRAWN BY	Author
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COMMISSION NUMBER	2125.04

SHEET TITLE

OVERALL
SITE/LANDSCAPE
PLANS

SHEET NUMBER

L001

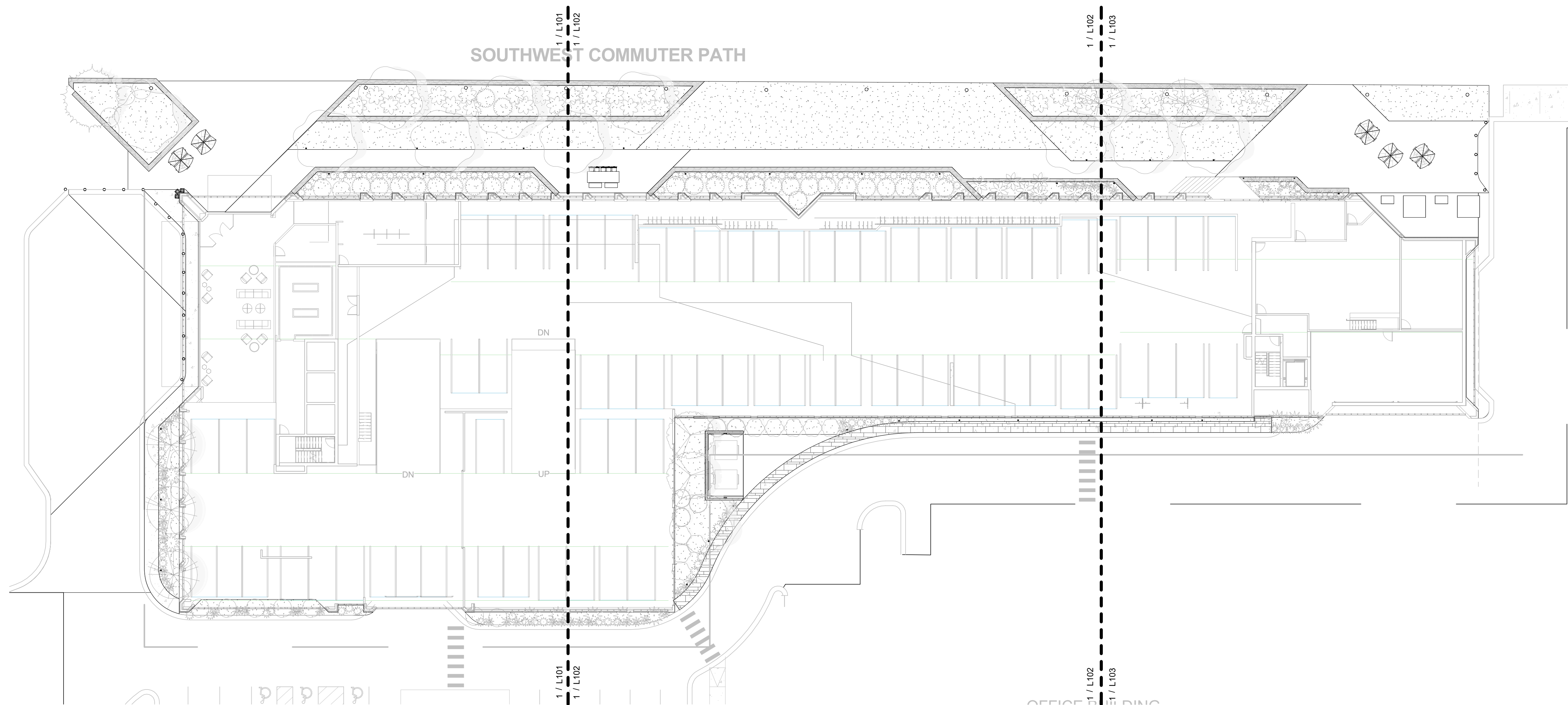


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PROJECT TITLE

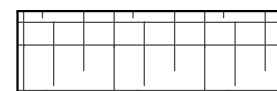
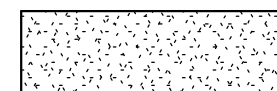
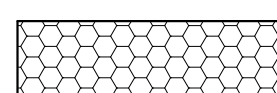
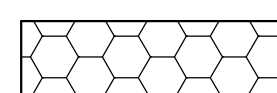

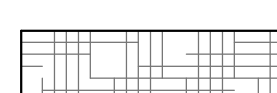
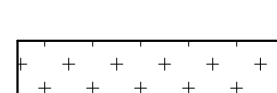
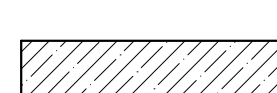
740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
1	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET



1 SITE - GROUND LANDSCAPE PLANS
L100 1" = 20'-0"

GRAPHIC LEGEND:

 PAVER #1, TYP. (SEE SPEC)	 TURFGRASS: SOD, IRRIGATED (SEE SPEC)
 ROCK MULCH #1 (SEE SPEC)	 ROCK MULCH #2 (SEE SPEC)
 HARDWOOD MULCH, SHREDDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX: (SEE PLANT SCHEDULE)	 SYNTHETIC TURF (SEE SPEC)

CERTIFICATION



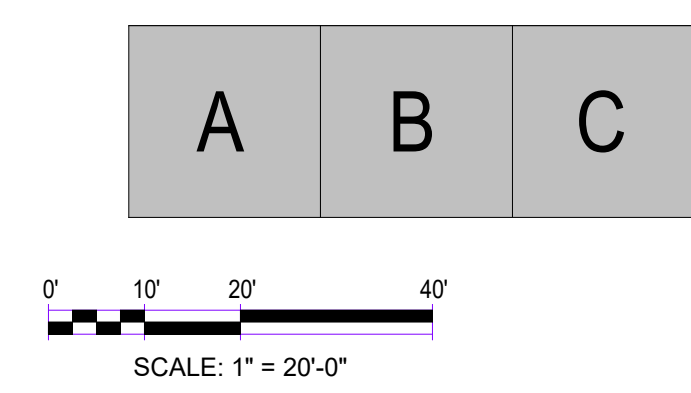
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COMMISSION NUMBER	2125.04

SHEET TITLE

SITE - GROUND
LANDSCAPE
PLANS

SHEET NUMBER

L100



CONSULTANTS

PROJECT TITLE

740 Regent St -
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CONSTRUCTION

DATE: 1/22/2022 5:03:23
COLLIMBOONCE
TEXAS RLA NO 2939

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

**SITE -GROUND
LANDSCAPE
PLANS - AREA A**

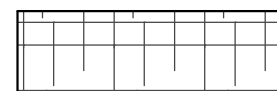
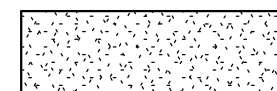
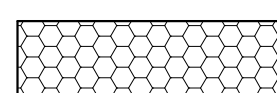
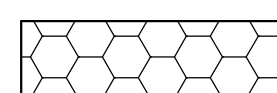

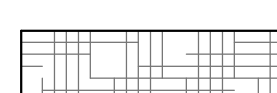
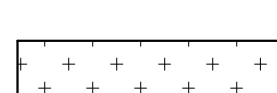
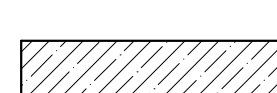
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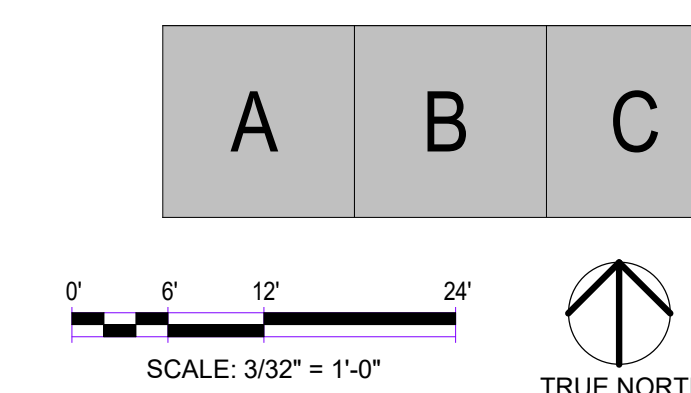
L101

KEY NOTES:

F45	SHADE UMBRELLA
F46	MINGLE BACKED SEATING 6 SEATS
F47	MINGLE BACKED SEATING 4 SEATS
F48	PLANTER METAL COLOR
L08	BOLLARD STREET LIGHT 84082
L09	GARDEN BOLLARD 77238
L12	HELIO M30K4 SECURITY BOLLARDS

GRAPHIC LEGEND:

 PAVER #1, TYP. (SEE SPEC)	 TURFGRASS: SOD, IRRIGATED (SEE SPEC)
 ROCK MULCH #1 (SEE SPEC)	 ROCK MULCH #2 (SEE SPEC)
 HARDWOOD MULCH, SHREDDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX: (SEE PLANT SCHEDULE)	 SYNTHETIC TURF (SEE SPEC)



SOUTHWEST

- L08 BOLLARD STREET LIGHT 84082
- F47 MINGLE BACKED SEATING 4 SEATS
- F46 MINGLE BACKED SEATING 6 SEATS
- F45 SHADE UMBRELLA
- L09 GARDEN BOLLARD 77238
- F48 PLANTER METAL COLOR
- L12 HELIO M30K4 SECURITY BOLLARDS

1 SITE -GROUND LANDSCAPE PLANS - AREA A
L101 3/32" = 1'-0"

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PROJECT TITLE

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COMMISSION NUMBER	2125.04

SHEET TITLE

SITE -GROUND
LANDSCAPE
PLANS - AREA B

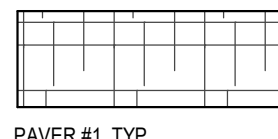
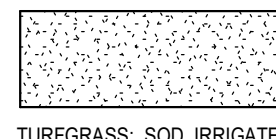
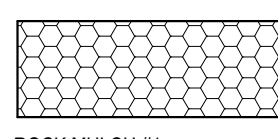
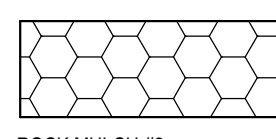
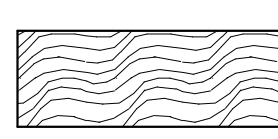
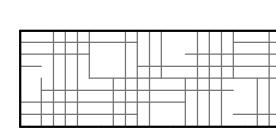
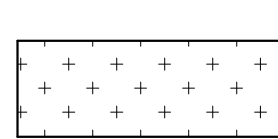
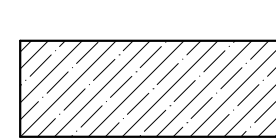
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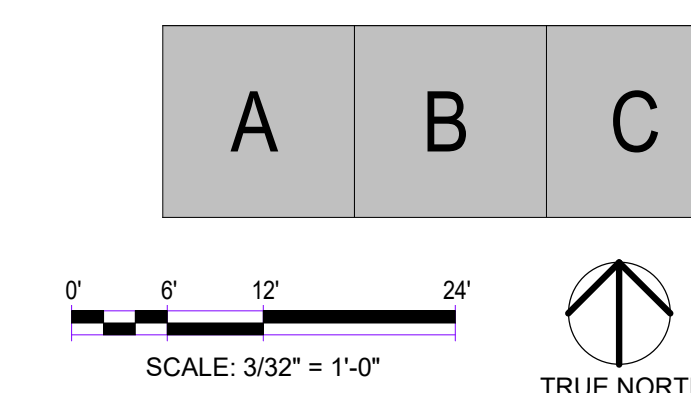
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KEY NOTES:

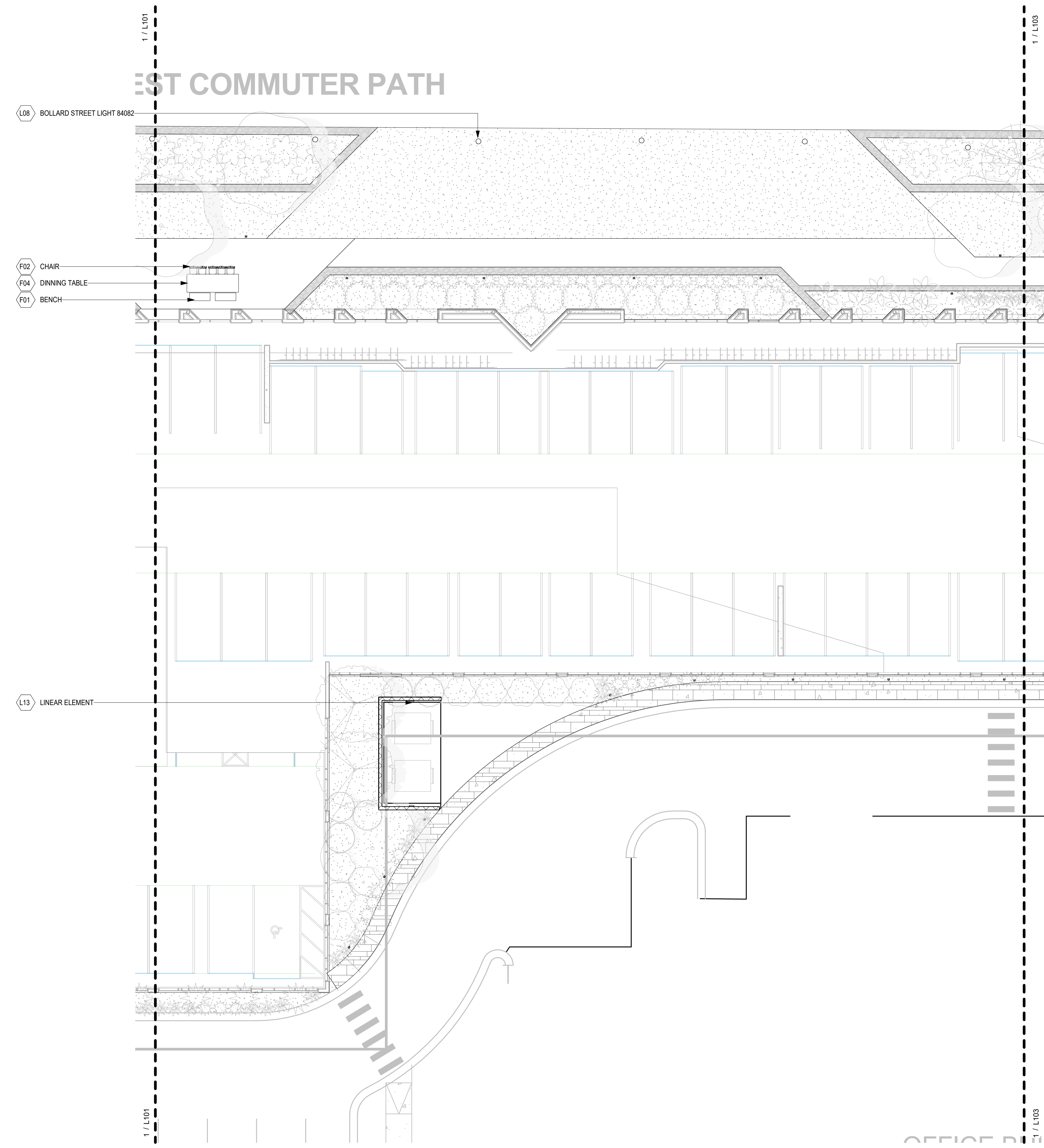
F01	BENCH
F02	CHAIR
F04	DINNING TABLE
L08	BOLLARD STREET LIGHT 84082
L13	LINEAR ELEMENT

GRAPHIC LEGEND:

 PAVER #1, TYP. (SEE SPEC)	 TURFGRASS: SOD, IRRIGATED (SEE SPEC)
 ROCK MULCH #1 (SEE SPEC)	 ROCK MULCH #2 (SEE SPEC)
 HARDWOOD MULCH, SHREDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX (SEE PLANT SCHEDULE)	 SYNTHETIC TURF (SEE SPEC)



EAST COMMUTER PATH



1 SITE -GROUND LANDSCAPE PLANS - AREA B
L102 3/32" = 1'-0"

CONSULTANTS

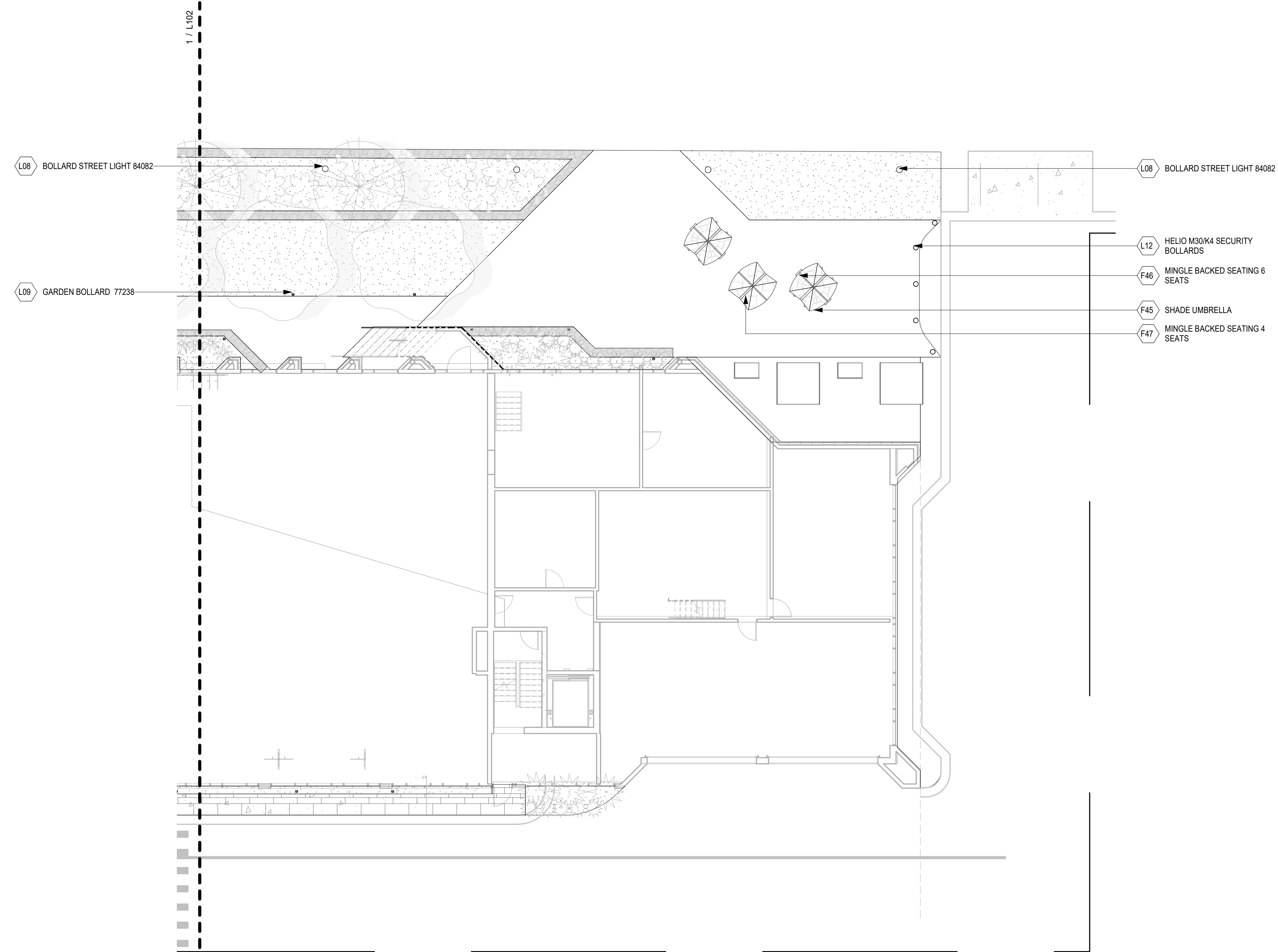
PROJECT TITLE

740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
	04/24/2015	ASI-129
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KEY NOTES:

F45	SHADE UMBRELLA
F46	MINGLE BACKED SEATING 6 SEATS
F47	MINGLE BACKED SEATING 4 SEATS
L08	BOLLARD STREET LIGHT 84082
L09	GARDEN BOLLARD 77238
L12	HELIO M30K4 SECURITY BOLLARDS



GRAPHIC LEGEND:

PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
HARDWOOD MULCH, SHREDDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
PERENNIAL MIX (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

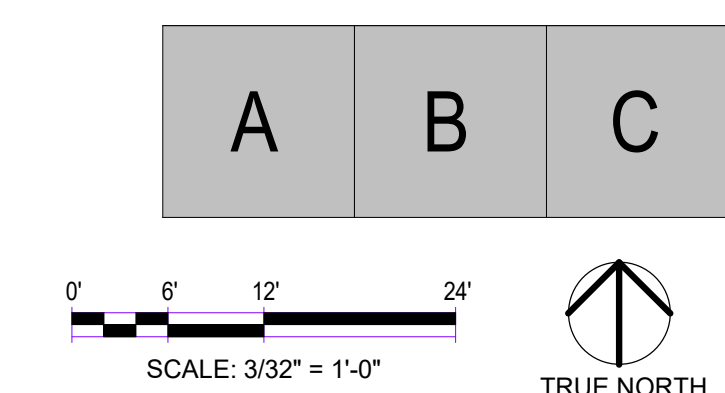
SHEET TITLE

SITE -GROUND
LANDSCAPE
PLANS - AREA C

SHEET NUMBER

L103

1 SITE -GROUND LANDSCAPE PLANS - AREA C
3/32" = 1'-0"

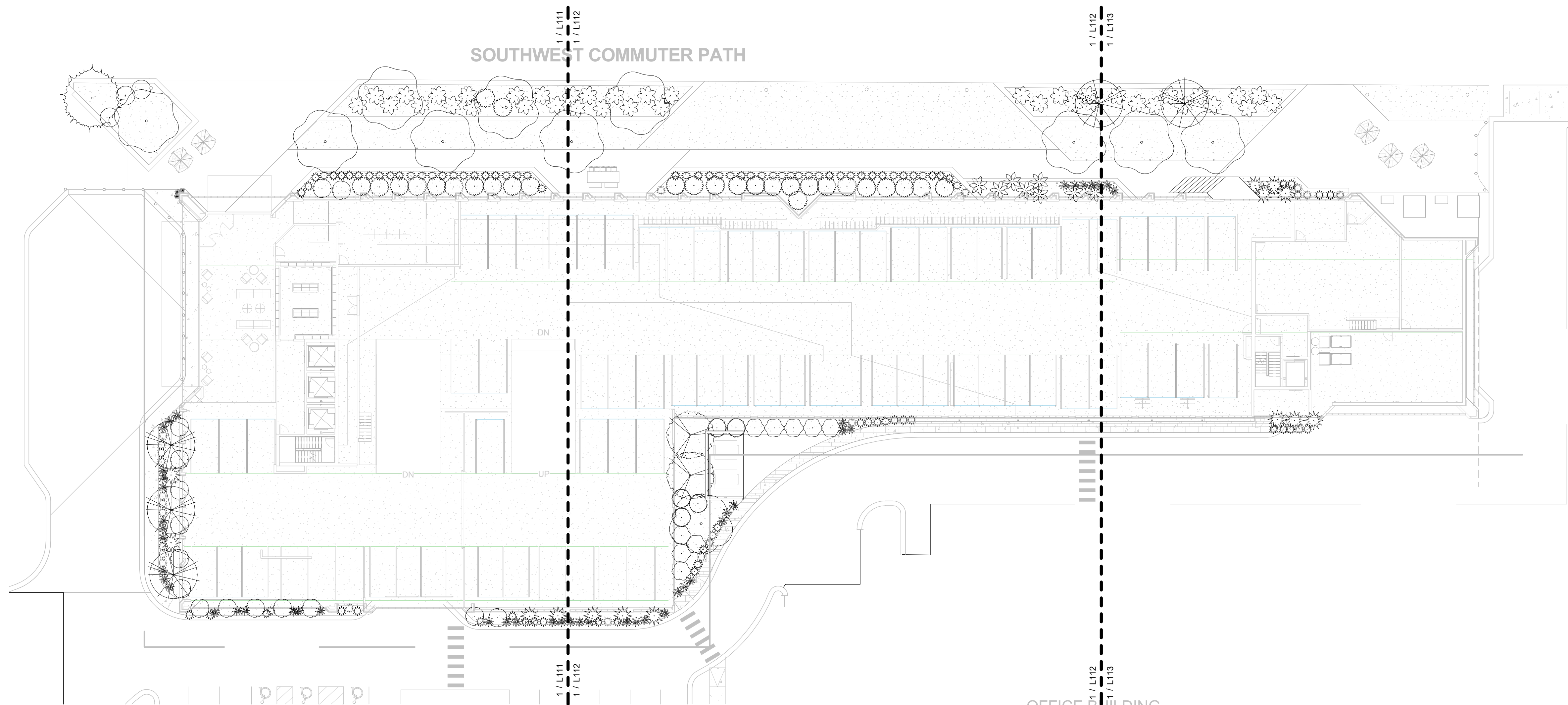


CONSULTANTS

PROJECT TITLE

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1 SITE - GROUND PLANTING PLANS
L110 1" = 20'-0"

PROPOSED PLANT SCHEDULE:

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6'-8" HT. & 4'-5" SP.	
	2	AUT BLA	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	6'-8" HT. & 4'-5" SP.	
	11	GIN KGO	GINKGO BILOBA	GINKGO	6'-8" HT. & 4'-5" SP.	
	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6'-8" HT. & 4'-5" SP.	
SHRUBS						
	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
	39	SAY GOL	JUNIPERUS X FITZGERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
ORNAMENTAL TREES						
	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6'-8" HT. & 4'-5" SP.	
GRASS						
	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
411						

GRAPHIC LEGEND:

	PAVER #1, TYP. (SEE SPEC)		TURFGRASS: SOD, IRRIGATED (SEE SPEC)
	ROCK MULCH #1 (SEE SPEC)		ROCK MULCH #2 (SEE SPEC)
	HARDWOOD MULCH, SHREDDED (SEE SPEC)		GROUNDCOVER #1 (SEE PLANT SCHEDULE)
	PERENNIAL MIX (SEE PLANT SCHEDULE)		SYNTHETIC TURF (SEE SPEC)

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TEXAS RLA NO 2939

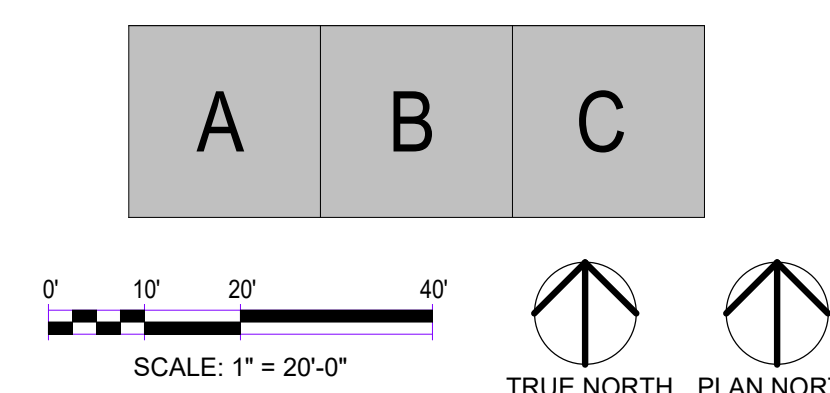
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CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

SITE - GROUND
PLANTING PLANS

SHEET NUMBER

L110



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PROJECT TITLE

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COMMISSION NUMBER 2125.04

SHEET TITLE

**SITE -GROUND
PLANTING PLANS
- AREA A**

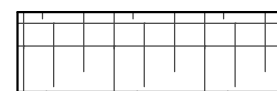
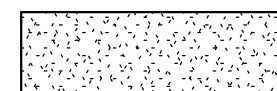
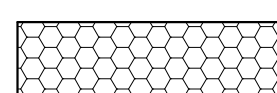
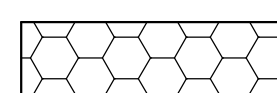

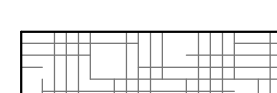
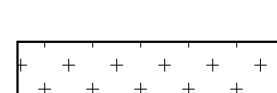

SHEET NUMBER

L111

KEY NOTES:

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
2		AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6'-8" HT. & 4'-5" SP.	
2		AUT BLA	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	6'-8" HT. & 4'-5" SP.	
11		GIN KGO	GINKGO BILOBA	GINKGO	6'-8" HT. & 4'-5" SP.	
1		NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6'-8" HT. & 4'-5" SP.	
SHRUBS						
28		CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
9		GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
7		JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
5		PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
14		RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
15		SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
39		SAY GOL	JUNIPERUS X FITZERIAANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORNAMENTAL TREES						
2		AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
5		FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6'-8" HT. & 4'-5" SP.	
GRASS						
96		BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
125		FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
144		LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
46		PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
411						

GRAPHIC LEGEND:

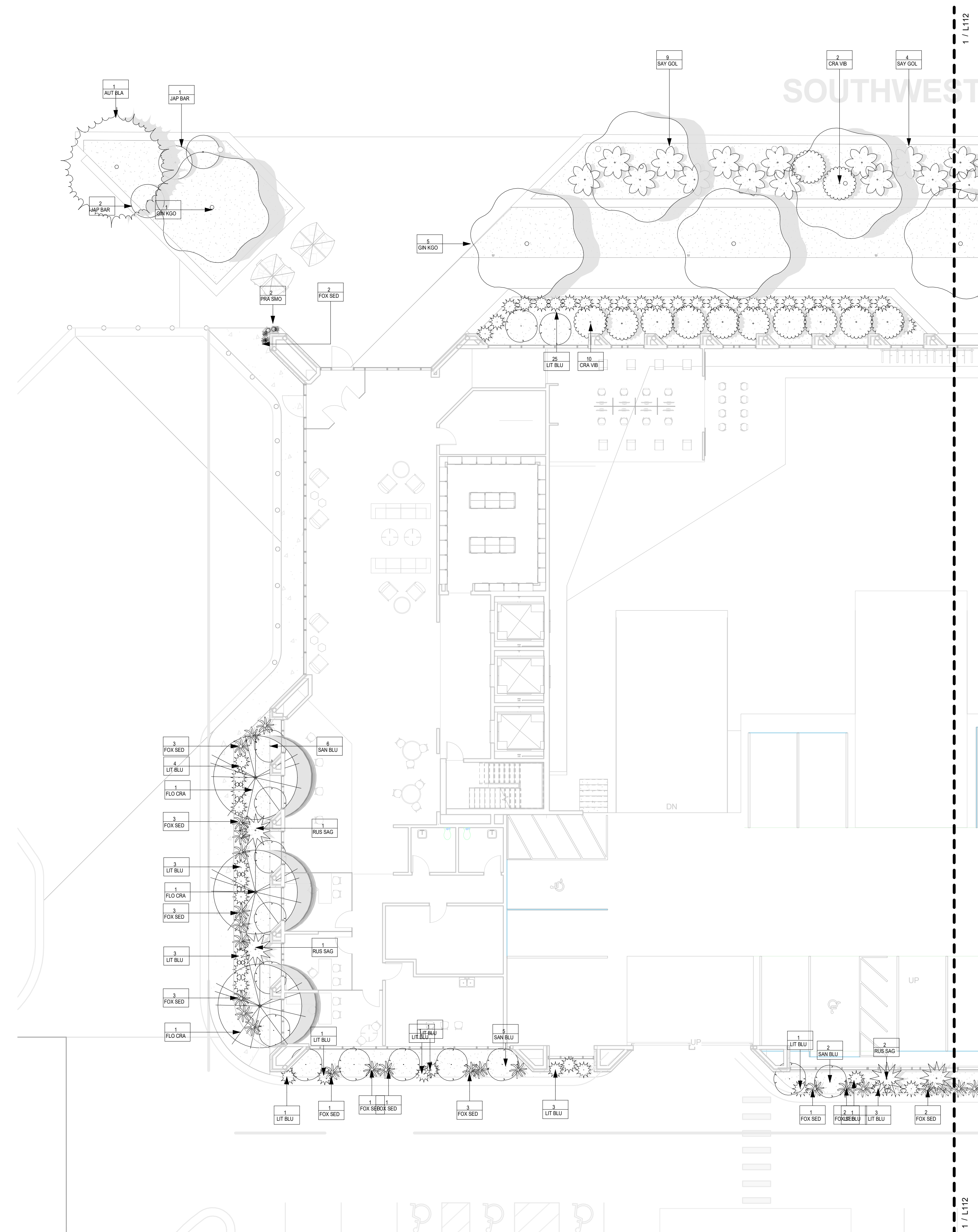
	
PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
	
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
	
HARDWOOD MULCH, SHREDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
	
PERENNIAL MIX: (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)

A B C

0' 6' 12' 24'
SCALE: 3/32" = 1'-0"
TRUE NORTH

1 L111 SITE -GROUND PLANTING PLANS - AREA A
3/32" = 1'-0"

BIM 360://2125-04 Trinitas Madison/2125-04 Trinitas Madison_LAND_2021.rvt
1/22/2022 5:03:51 PM



CONSULTANTS

PROJECT TITLE

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TEXAS RLA NO 2939

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

**SITE -GROUND
PLANTING PLANS
- AREA B**

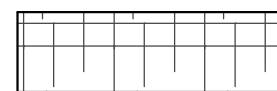
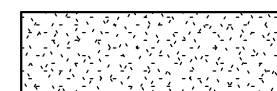
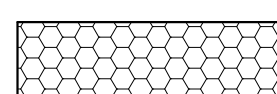
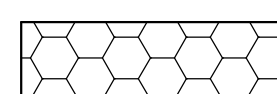

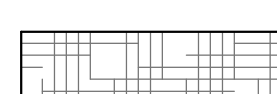
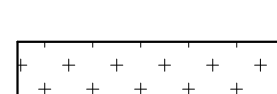
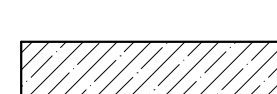
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KEY NOTES:

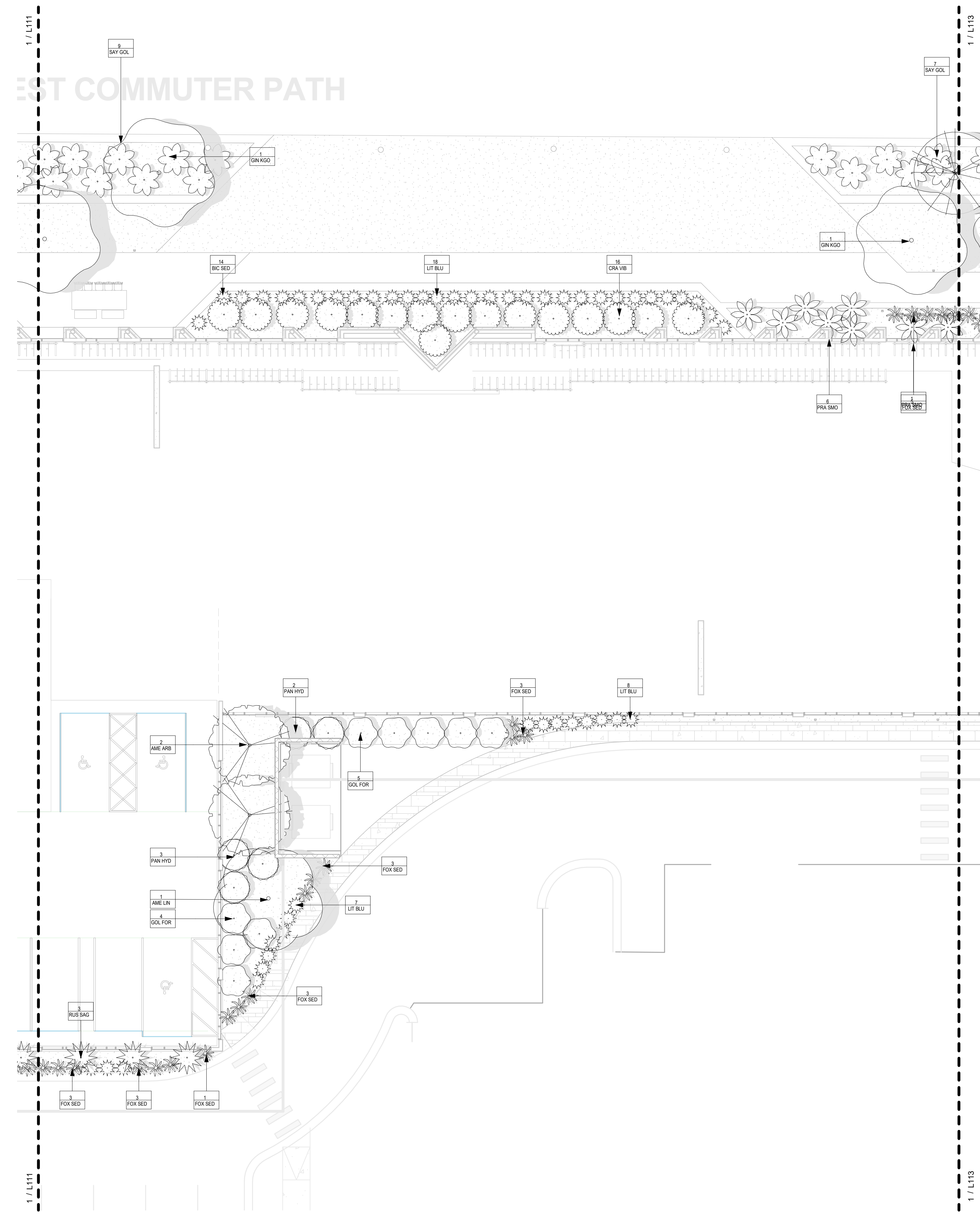
IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
2		AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6'-8" HT. & 4'-5" SP.	
2		AUT BLA	ACER X FREEMANI 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	6'-8" HT. & 4'-5" SP.	
11		GIN KGO	GINKGO BILOBA	GINKGO	6'-8" HT. & 4'-5" SP.	
1		NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6'-8" HT. & 4'-5" SP.	
SHRUBS						
28		CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
9		GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
7		JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
5		PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
14		RUS SAG	PEROVSKIA ATRIPICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
15		SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
39		SAY GOL	JUNIPERUS X FITZERIA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
ORNAMENTAL TREES						
2		AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
5		FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6'-8" HT. & 4'-5" SP.	
GRASS						
96		BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
125		FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
144		LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
46		PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
411						

GRAPHIC LEGEND:

	
PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
	
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
	
HARDWOOD MULCH, SHREDDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
	
PERENNIAL MIX: (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)

A B C

0' 6' 12' 24'
SCALE: 3/32" = 1'-0"
TRUE NORTH



1 SITE -GROUND PLANTING PLANS - AREA B
L112 3/32" = 1'-0"

CONSULTANTS

PROJECT TITLE

740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

**SITE -GROUND
PLANTING PLANS
- AREA C**

SHEET NUMBER

L113

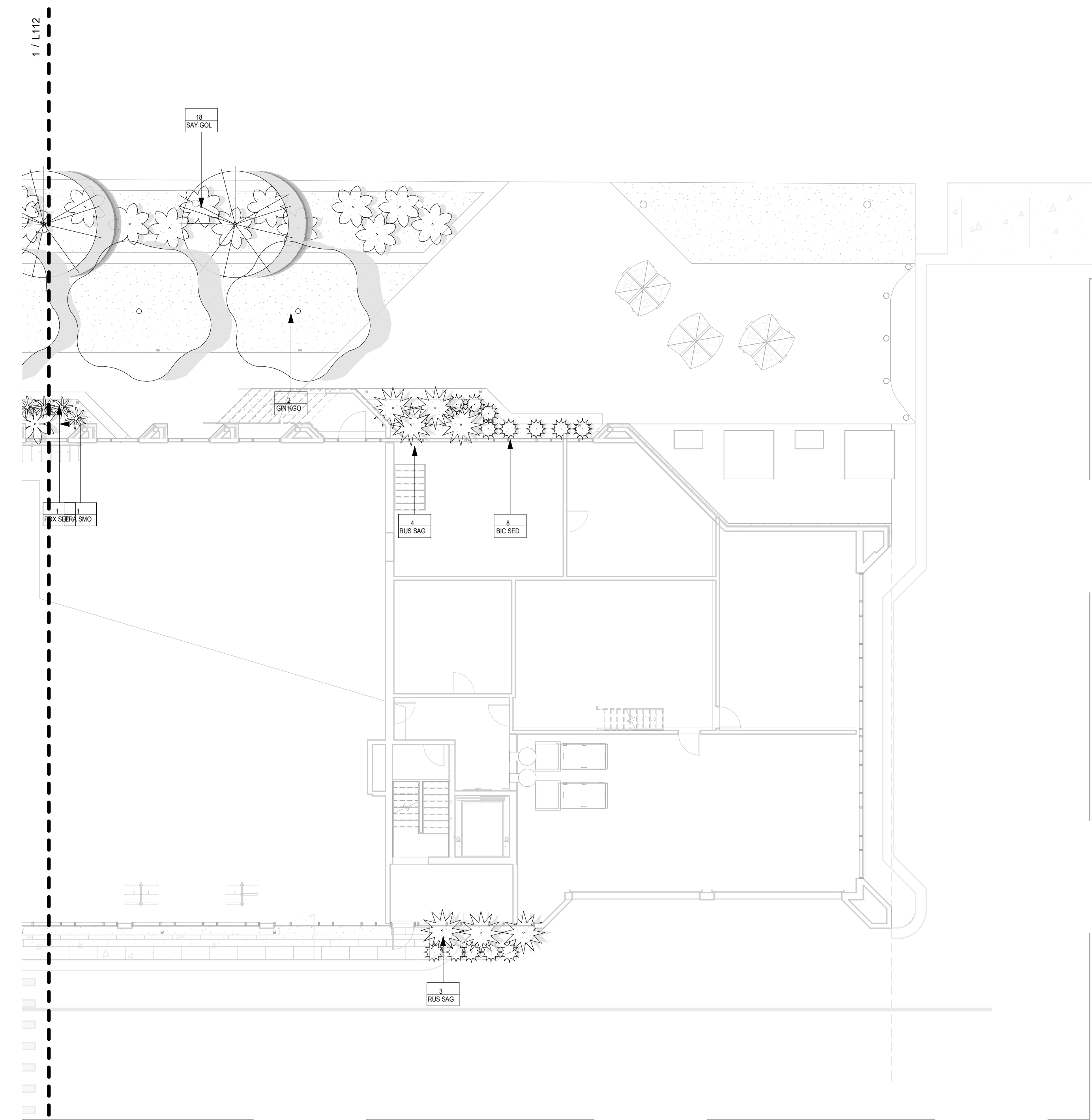
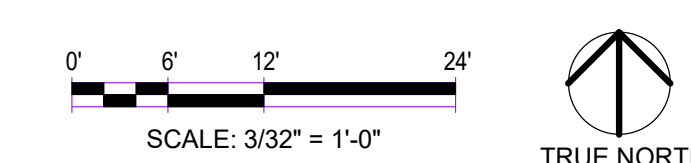
KEY NOTES:

IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
	2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6'-8" HT. & 4'-5" SP.	
	2	AUT BLA	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	6'-8" HT. & 4'-5" SP.	
	11	GIN KGO	GINKGO BILOBA	GINKGO	6'-8" HT. & 4'-5" SP.	
	1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6'-8" HT. & 4'-5" SP.	
16						
SHRUBS						
	28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING	
	9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING	
	7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING	
	5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING	
	14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING	
	15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING	
	39	SAY GOL	JUNIPERUS X FITZERIAANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING	
117						
ORNAMENTAL TREES						
	2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM	
	5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6'-8" HT. & 4'-5" SP.	
7						
GRASS						
	96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING	
	125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING	
	144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING	
	46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING	
411						

GRAPHIC LEGEND:

PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
HARDWOOD MULCH, SHREDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
PERENNIAL MIX: (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)

A B C



1 L113 3/32" = 1'-0"
SITE -GROUND PLANTING PLANS - AREA C

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PROJECT TITLE

740 Regent St -
Madison, WI

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2	Date 3	CC SET

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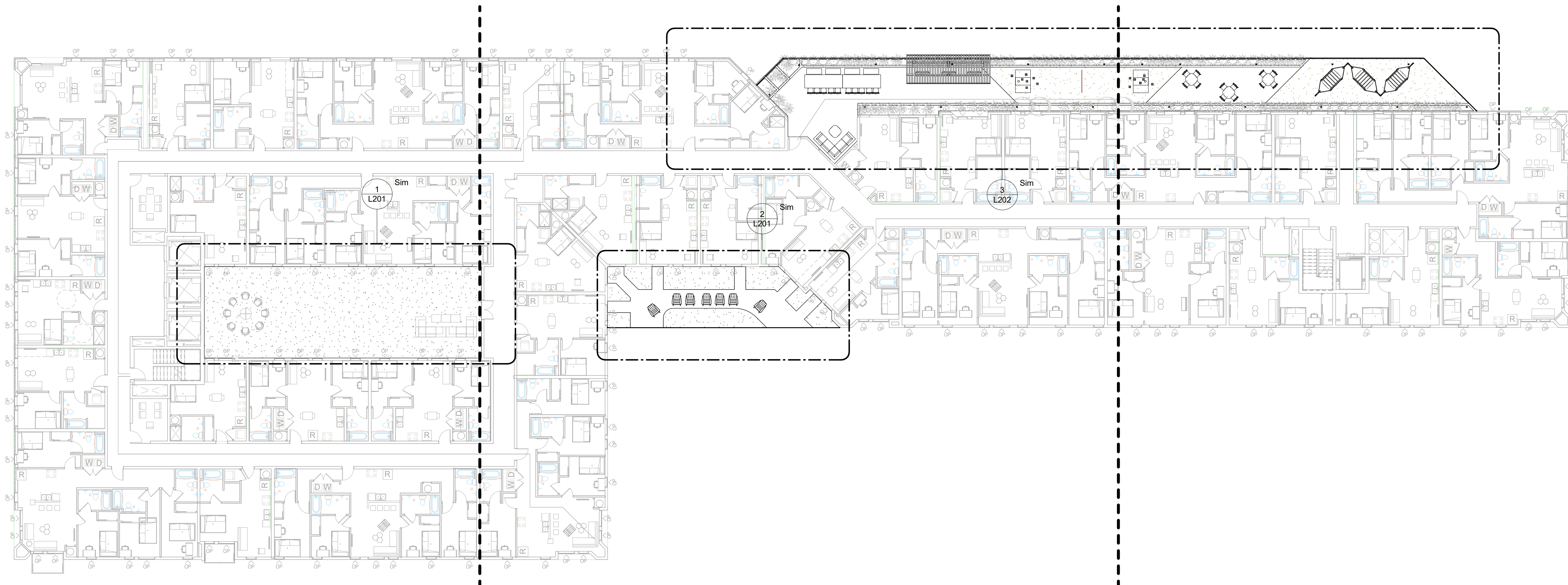
DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

AMENITY DECK
LANDSCAPE
PLAN

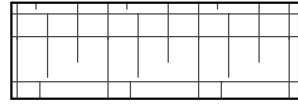
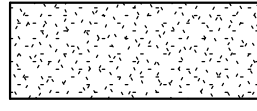
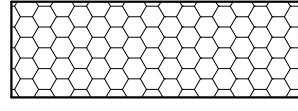
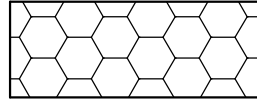
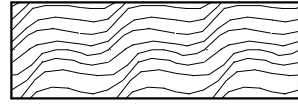
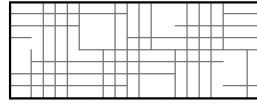
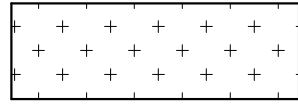
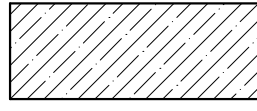
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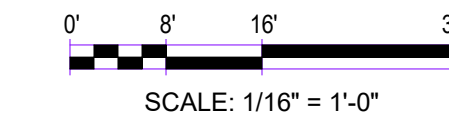
L200



1 AMENITY PLAN
L200
1/16" = 1'-0"

GRAPHIC LEGEND:

 PAVER #1, TYP. (SEE SPEC)	 TURFGRASS: SOD, IRRIGATED (SEE SPEC)
 ROCK MULCH #1 (SEE SPEC)	 ROCK MULCH #2 (SEE SPEC)
 HARDWOOD MULCH, SHREDDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX (SEE PLANT SCHEDULE)	 SYNTHETIC TURF (SEE SPEC)



ISSUE #	DATE	DESCRIPTION
1	04/24/2015	ASI-129
2	05/26/2021	DD SET
	Date 3	CC SET

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CONSTRUCTION

DATE: 1/22/2022 5:04:26
COLLIMBOONCE
TEXAS RLA NO 2939

DRAWN BY
CHECKED BY
COMMISSION NUMBER

Author
Checker
2125.04

SHEET TITLE

AMENITY DECK
LANDSCAPE
PLAN

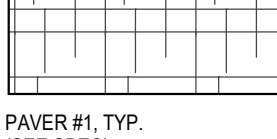
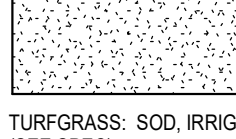
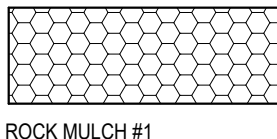
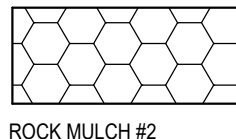

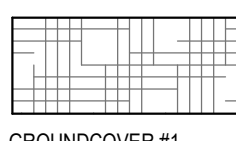
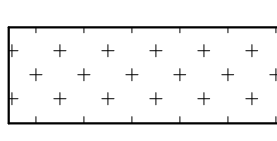
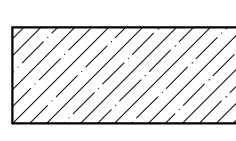
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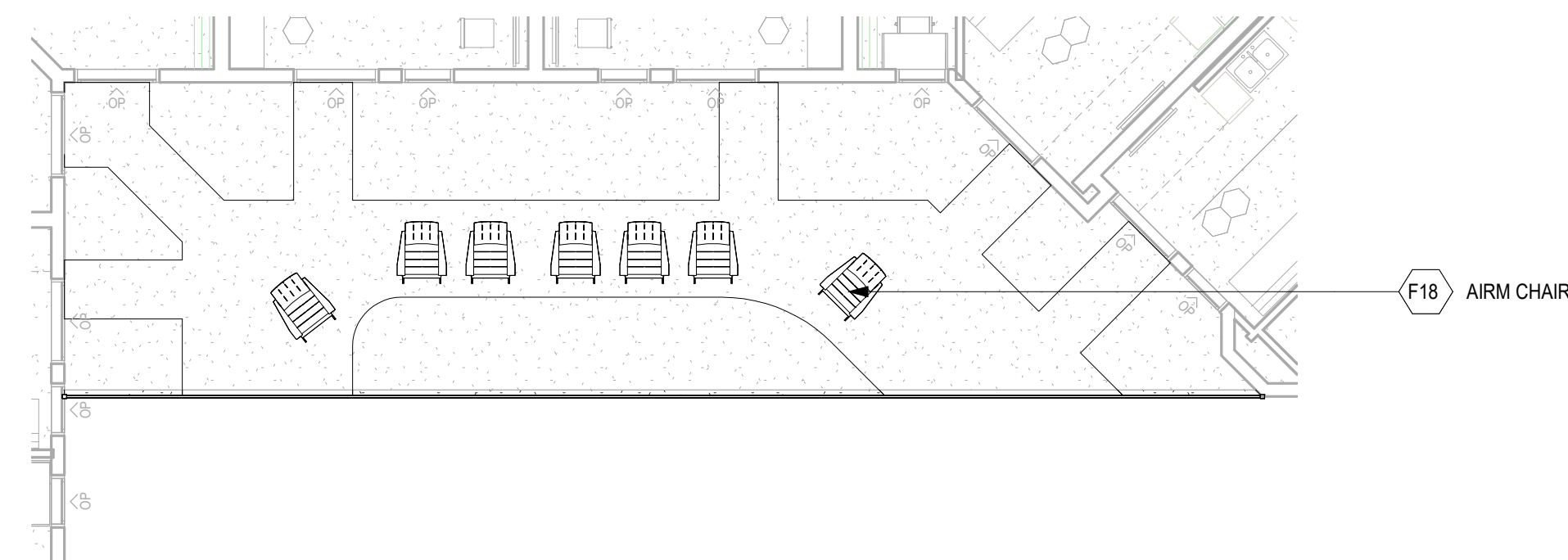
L201

KEY NOTES:

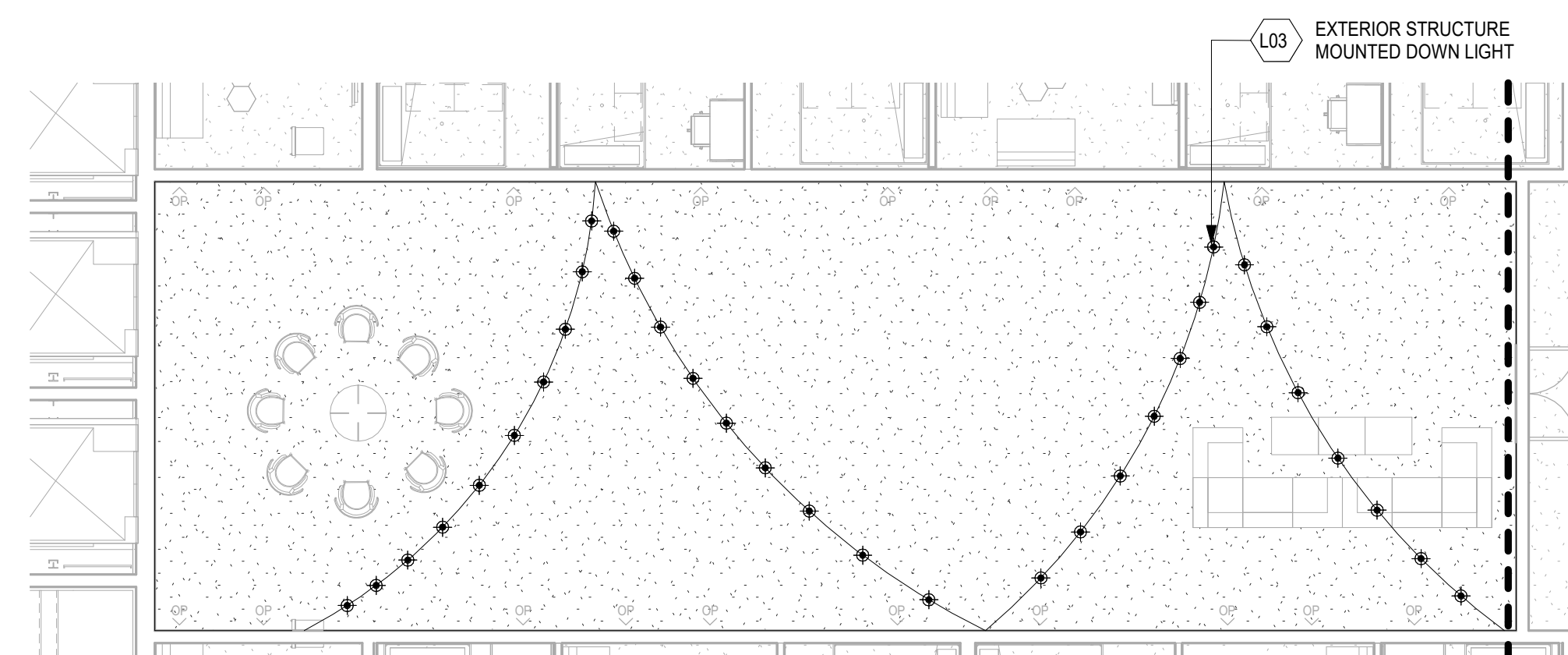
F01	BENCH
F02	CHAIR
F03	SITE TABLE
F04	DINNING TABLE
F08	FIRE PIT
F17	BAR CHAIR
F18	AIRM CHAIR
F28	SOFA 02
F35	CAFE TABLE
F36	PLAYGROUND 01
F42	RAIL TABLE
F43	HAMMOCK
L03	EXTERIOR STRUCTURE MOUNTED DOWN LIGHT

GRAPHIC LEGEND:

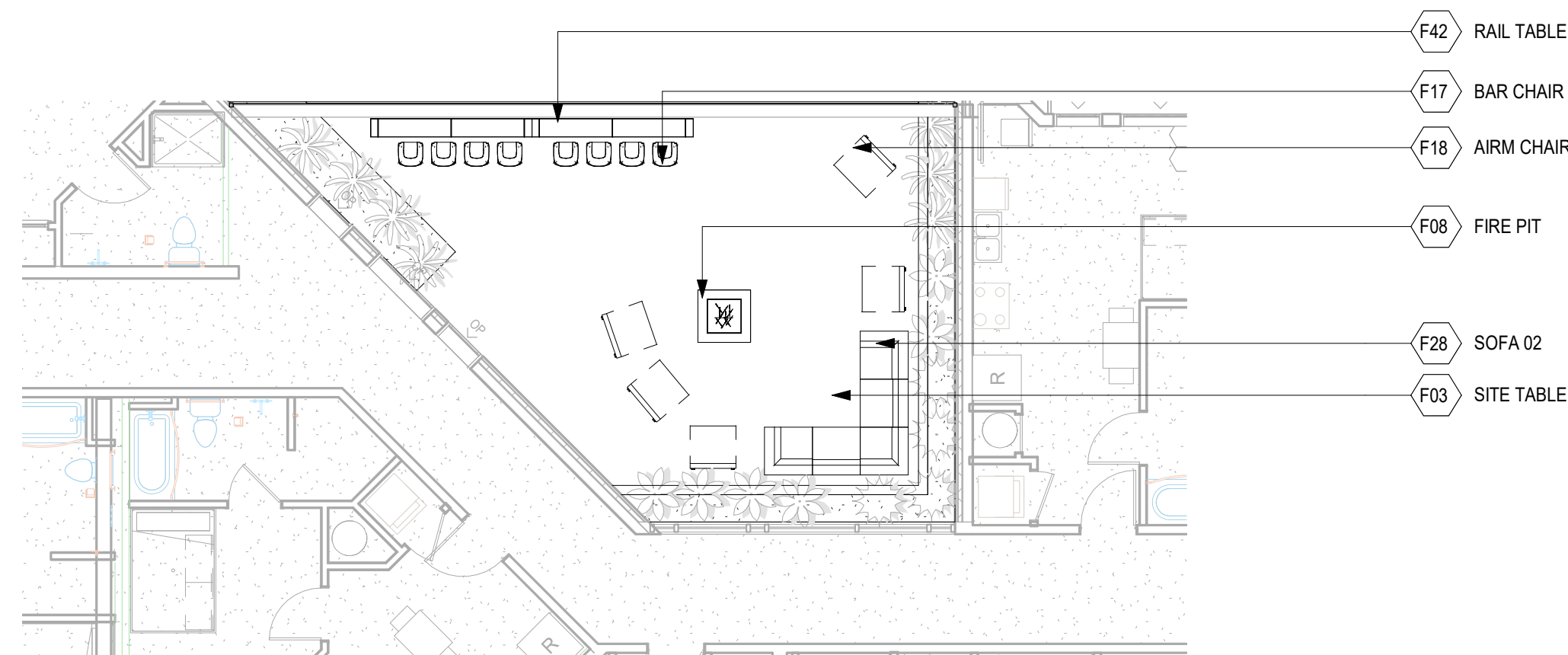
	
PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
	
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
	
HARDWOOD MULCH, SHREDDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
	
PERENNIAL MIX (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)



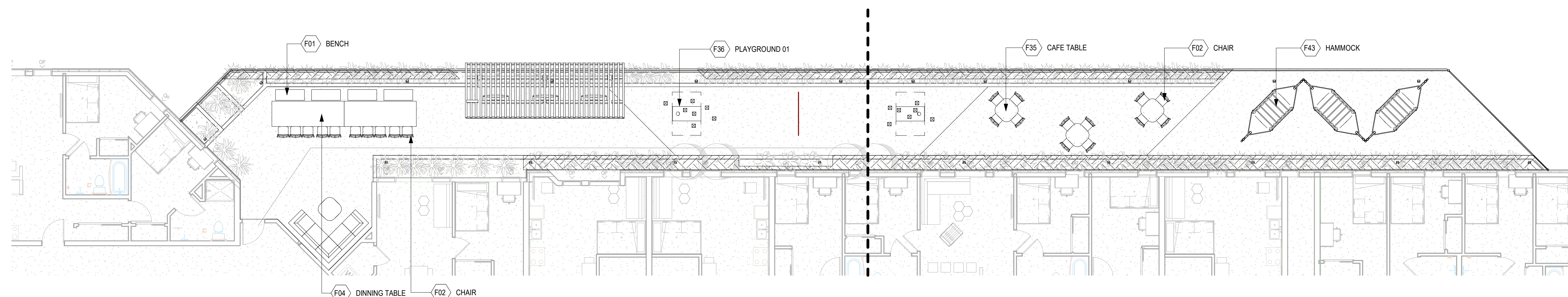
2 AMENITY PLAN LANDSCAPE PLANS - TERRACE 01
L201 1/8" = 1'-0"



1 AMENITY PLAN LANDSCAPE PLANS - COURTYARD
L201 1/8" = 1'-0"

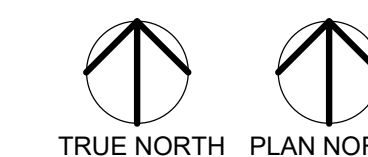


4 AMENITY PLAN LANDSCAPE PLANS - TERRACE 03
L201 1/8" = 1'-0"



3 AMENITY PLAN LANDSCAPE PLANS - TERRACE 02
L201 1/8" = 1'-0"

0' 4' 8' 16'
SCALE: 1/8" = 1'-0"



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PROJECT TITLE

740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION
1	04/24/2015	ASI-129
1	05/26/2021	DD SET
2	Date 3	CC SET

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

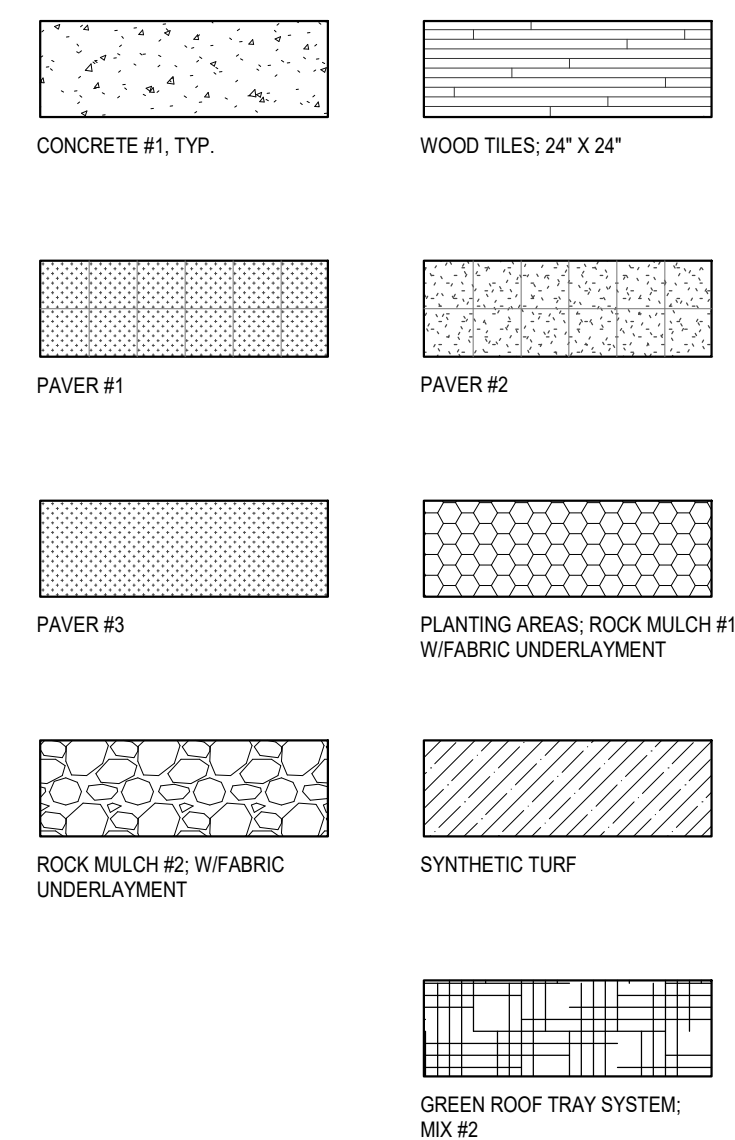
SHEET TITLE

AMENITY DECK
PLANTING PLAN

SHEET NUMBER

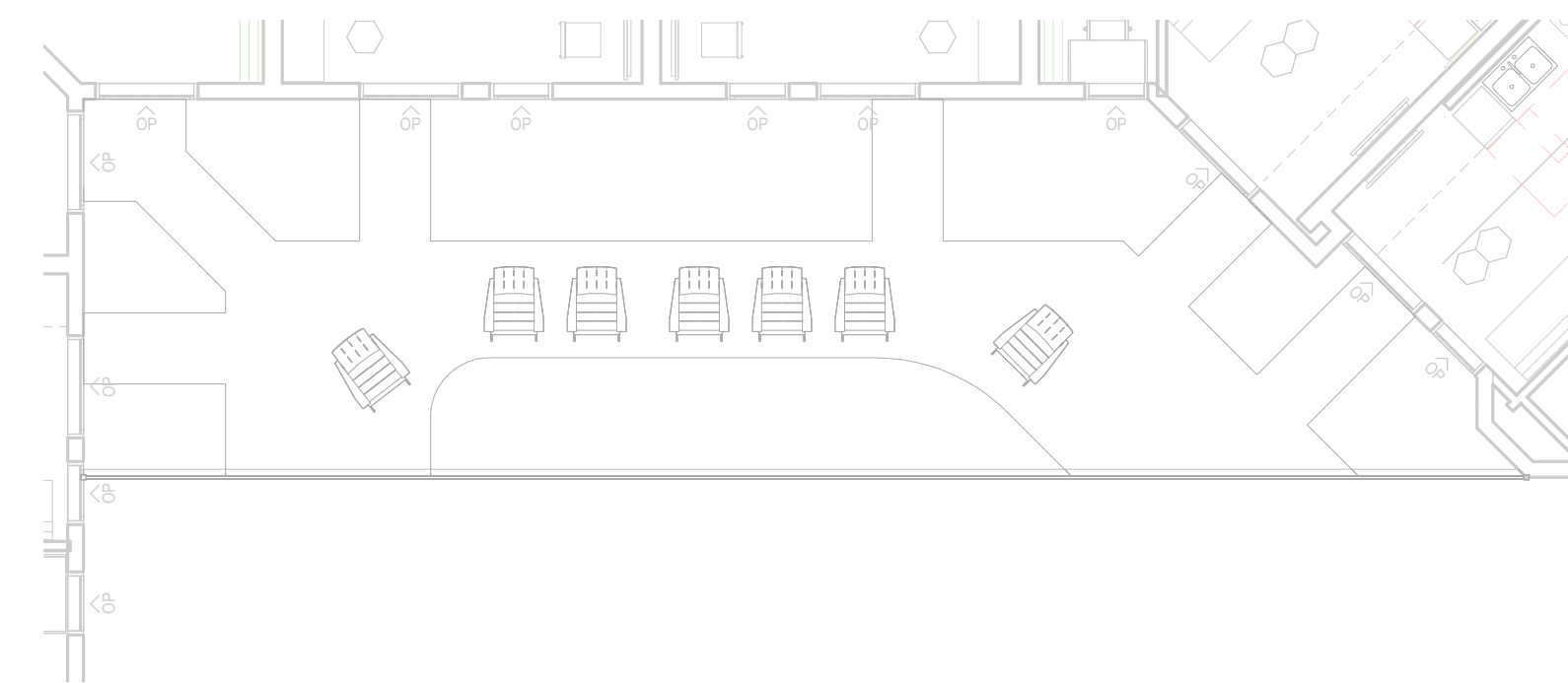
L202

GRAPHIC LEGEND:

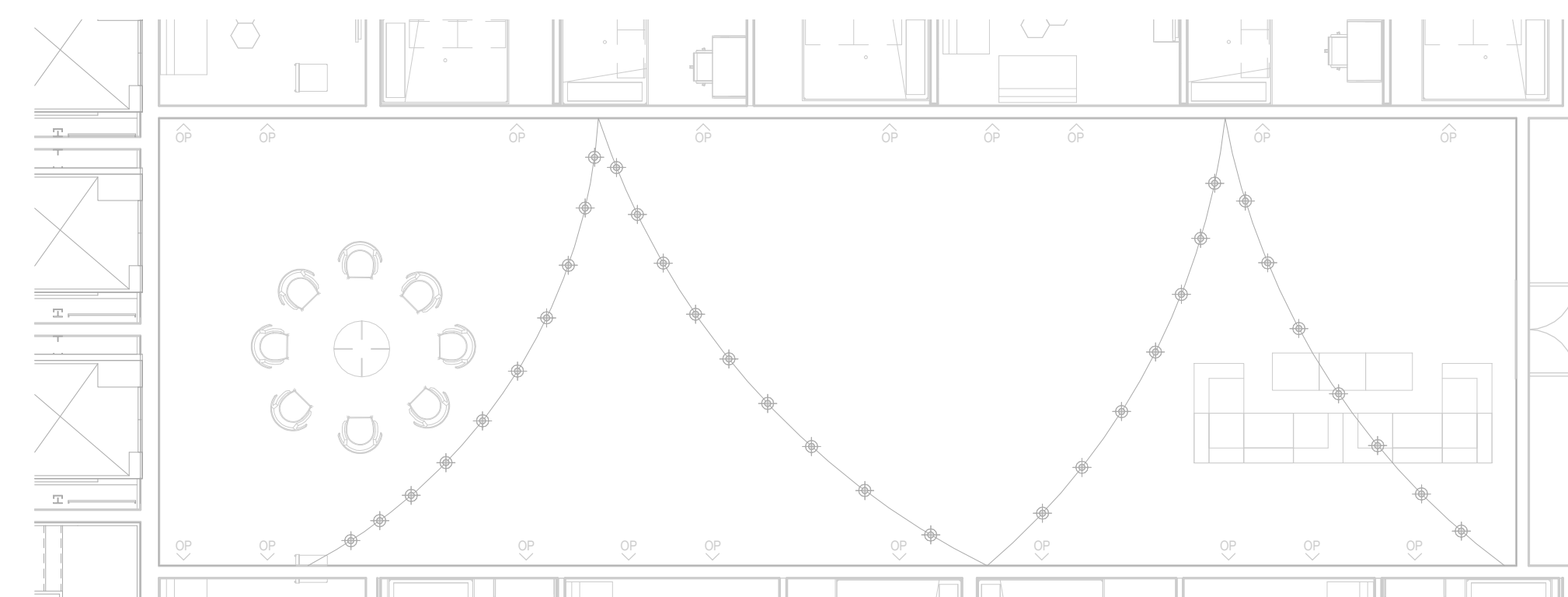


PROPOSED PLANT SCHEDULE:

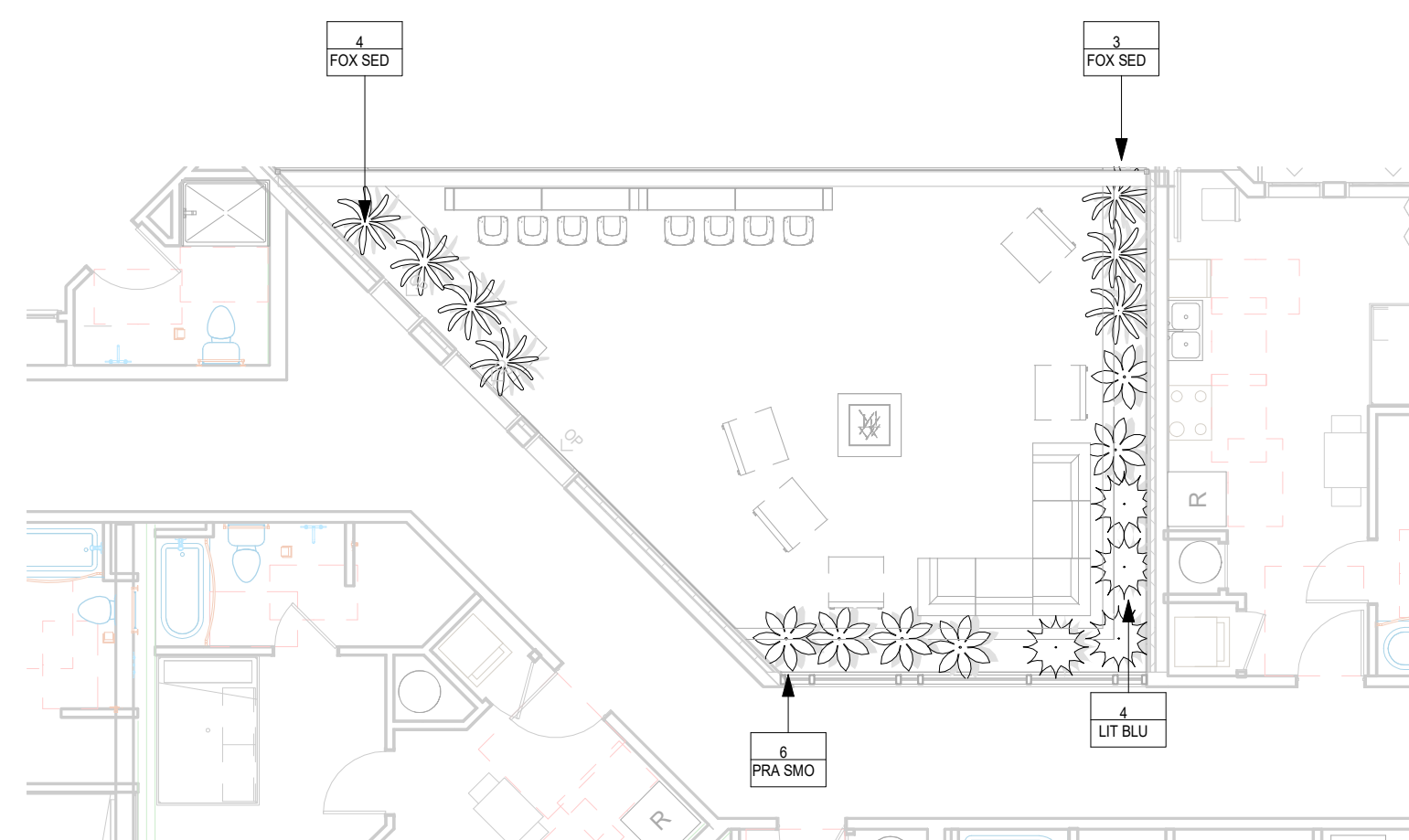
IMG	QTY	SYM	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
2	AME LIN	TILIA AMERICANA	AMERICAN LINDEN	6'-8" HT. & 4'-5" SP.		
2	AUT BLA	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE FREEMAN MAPLE	6'-8" HT. & 4'-5" SP.		
11	GIN KGO	GINKGO BILOBA	GINKGO	6'-8" HT. & 4'-5" SP.		
1	NOR MAP	ACER PLATANOIDES	NORWAY MAPLE	6'-8" HT. & 4'-5" SP.		
16 SHRUBS						
28	CRA VIB	VIBURNUM OPULUS	CRANBERRYBUSH VIBURNUM	30" HT. @ PLANTING		
9	GOL FOR	FORSYTHIA X INTERMEDIA	GOLDEN BELLS FORSYTHIA	30" HT. @ PLANTING		
7	JAP BAR	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT. @ PLANTING		
5	PAN HYD	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	30" HT. @ PLANTING		
14	RUS SAG	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	30" HT. @ PLANTING		
15	SAN BLU	PICEA GLAUCA 'SANDERS BLUE'	SANDER'S BLUE DWARF SPRUCE	30" HT. @ PLANTING		
39	SAY GOL	JUNIPERUS X FITZGERIANA 'SAYBROOK GOLD'	SAYBROOK GOLD JUNIPER	30" HT. @ PLANTING		
117 ORNAMENTAL TREES						
2	AME ARB	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	2" B&B/SINGLE STEM		
5	FLO CRA	MALUS HYBRIDS	FLOWERING CRABAPPLE	6'-8" HT. & 4'-5" SP.		
7 GRASS						
96	BIC SED	CAREX BICKNELLII	BICKNELL SEDGE	30" HT. @ PLANTING		
125	FOX SED	CAREX STIPATA	FOX SEDGE	30" HT. @ PLANTING		
144	LIT BLU	ANDROPOGON SCOPARIUS	LITTLE BLUESTEM	30" HT. @ PLANTING		
46	PRA SMO	GEUM TRIFLORUM	PRAIRIE SMOKE	30" HT. @ PLANTING		
411						



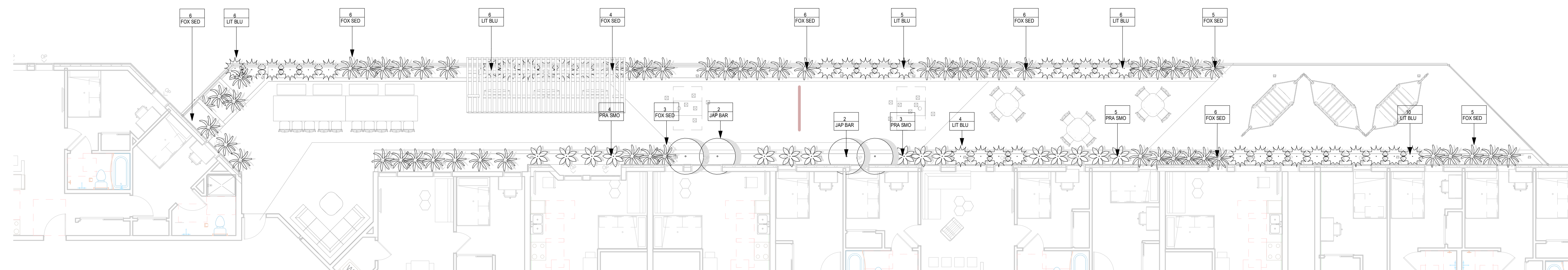
2 L202 AMENITY PLANTING PLANS - TERRACE 01
1/8" = 1'-0"



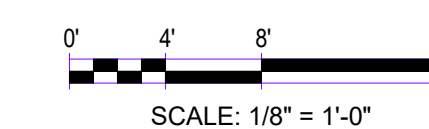
1 L202 AMENITY PLANTING PLANS - COURTYARD
1/8" = 1'-0"



4 L202 AMENITY PLANTING PLANS - TERRACE 03
1/8" = 1'-0"



3 L202 AMENITY PLANTING PLANS - TERRACE 02
1/8" = 1'-0"



CONSULTANTS

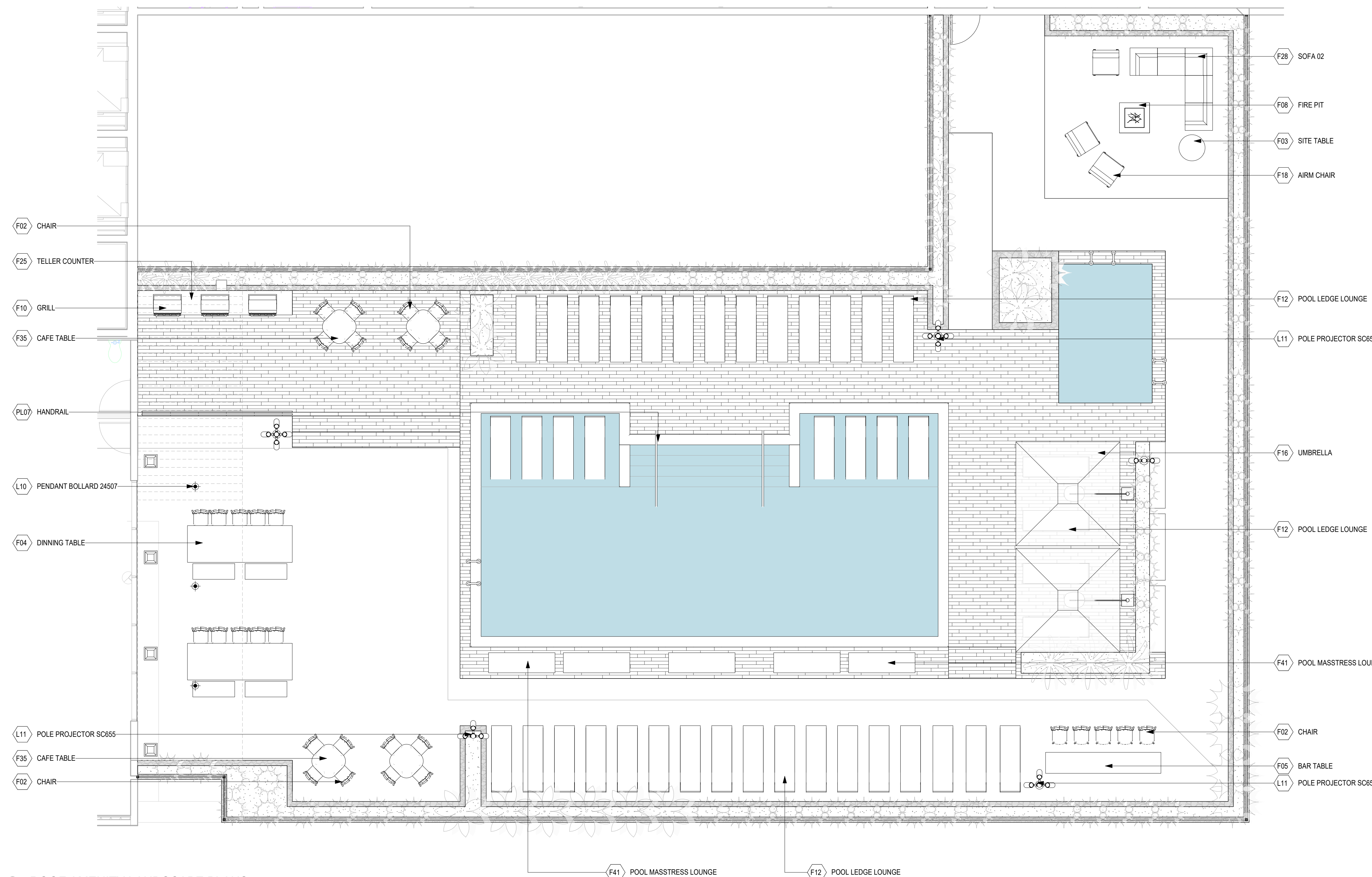
PROJECT TITLE

740 Regent St -
Madison, WI

ISSUE #	DATE	DESCRIPTION

KEY NOTES:

F02	CHAIR
F03	SITE TABLE
F04	DINNING TABLE
F05	BAR TABLE
F08	FIRE PIT
F10	GRILL
F12	POOL LEDGE LOUNGE
F16	UMBRELLA
F18	AIRM CHAIR
F25	TELLER COUNTER
F28	SOFA 02
F35	CAFE TABLE
F41	POOL MASSTRESS LOUNGE
L10	PENDANT BOLLARD 24507
L11	POLE PROJECTOR SC655
PL07	HANDRAIL



GRAPHIC LEGEND:

PAVER #1, TYP. (SEE SPEC)	TURFGRASS: SOD, IRRIGATED (SEE SPEC)
ROCK MULCH #1 (SEE SPEC)	ROCK MULCH #2 (SEE SPEC)
HARDWOOD MULCH, SHREDDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
PERENNIAL MIX: (SEE PLANT SCHEDULE)	SYNTHETIC TURF (SEE SPEC)

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DATE: 1/22/2022 5:04:47
COLL: BMOONCE /
TEXAS RLA NO 2939

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2125.04

SHEET TITLE

ROOF AMENITY
LANDSCAPE
PLAN

SHEET NUMBER

L300

1 ROOF AMENITY LANDSCAPE PLANS
L300 3/16" = 1'-0"

