

BIEROCK TAVERN

TENANT ALTERATION
2911 N. SHERMAN AVE.
MADISON, WISCONSIN

PROJECT DATA:

LOCATION: 2911 N. SHERMAN AVE.
MADISON, WI, 53713

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2009 INTERNATIONAL BUILDING CODE

CONSTRUCTION TYPE:
TYPE "III"
SINGLE STORY
NON SPRINKLERED

OCCUPANCY:
"A-2"--ASSEMBLY (TAVERN)

ALLOWABLE BUILDING AREA:
TABULAR BUILDING AREA = 9,500 SF

AREA CALCULATIONS:
TENANT ALTERATION AREA: 2,482 SF

OCCUPANCY CALCS:
1,306 SF ASSEMBLY (A-2) @ 15 NET = 87 OCC
867 SF KITCHEN @ 200 GROSS = 4 OCC
TOTAL TENANT OCCUPANCY: = 92 OCC.

PLUMBING:
REQUIRED:
MEN @ 1/40 TOILET/UR. = 2, LAV = 1
WOMEN @ 1/40 TOILET = 4, LAV = 1
TOTAL REQ'D = 5 = 2

FIRE CONTROL:
THIS IS A NON-SPRINKLERED BUILDING
FIRE AREAS PROVIDED - 3 HR.

EXIT TRAVEL DISTANCE:
NON-SPRINK. BLDG = 200 FT MAX TRAVEL (2 EXITS)
50 FT COMMON PATH OF TRAVEL
OCCUPANCY LESS THEN 10 = 100 FT COMMON PATH OF TRAVEL

ACCESSIBILITY:
PER ANSI A117.1

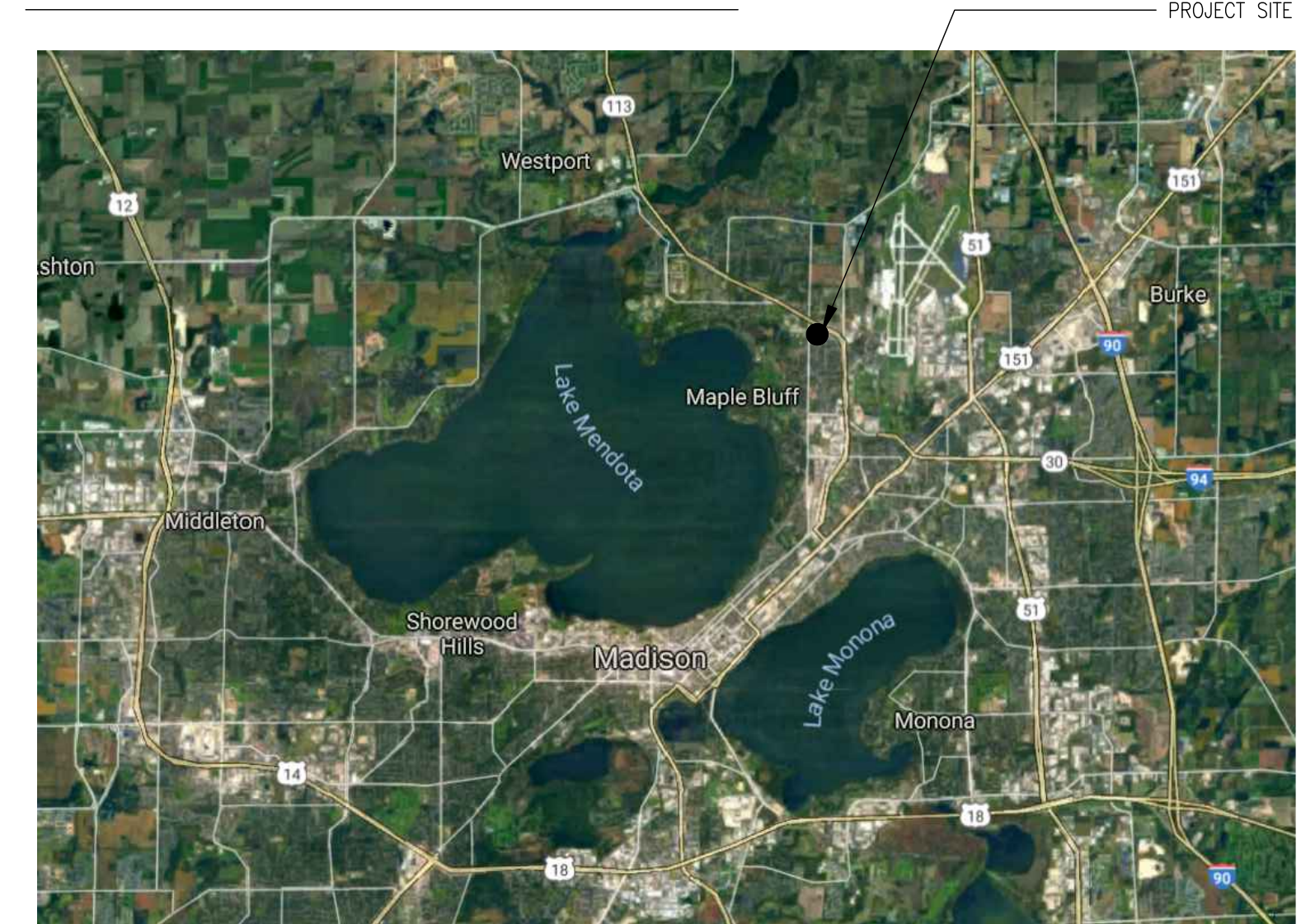
GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEPED AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN WITH ARCHITECT.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.

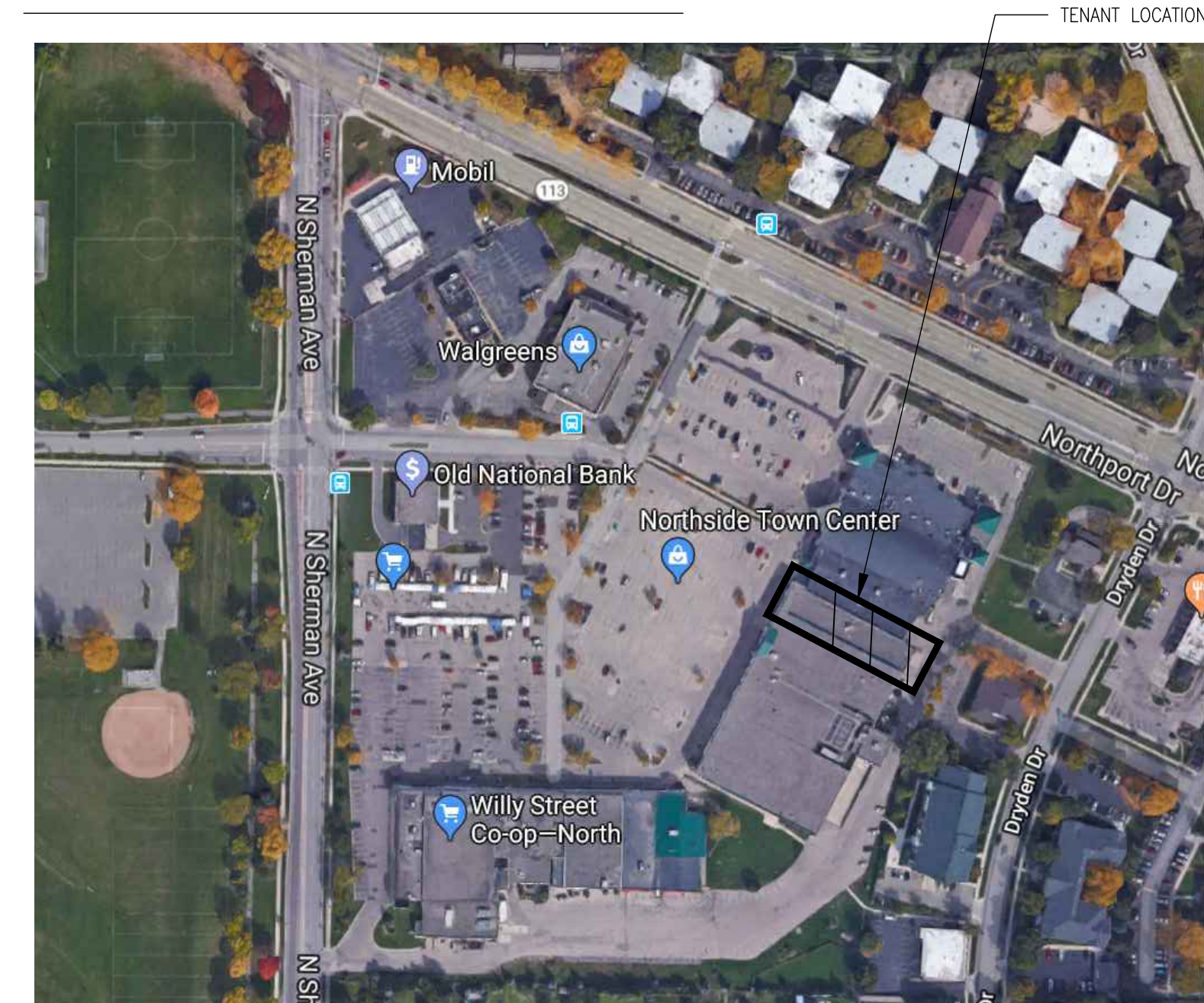
SHEET INDEX:

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PROJECT LOCATION MAP:



TENANT LOCATION:



CONTACTS:

OWNER:
SHERMAN PLAZA, INC.
1865 NORTHPOINT DR., STE. B
MADISON, WI 53704

TENANT:
BIEROCK TAVERN
2442 SUPERIOR ST.
MADISON, WI

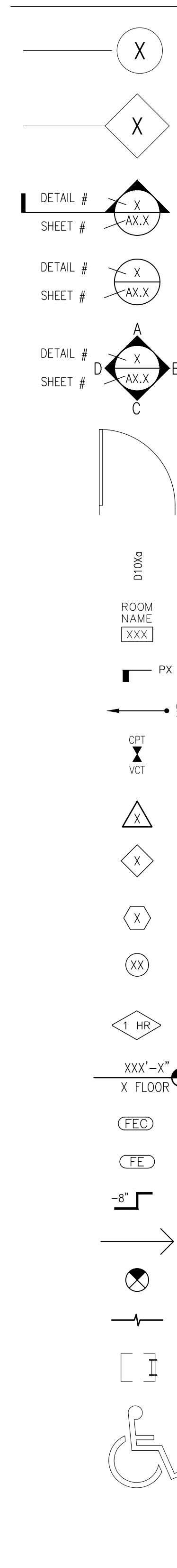
ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
7780 ELMWOOD AVE., STE 208
MIDDLETON, WI 53562

DONALD BRUNS
608-255-0620

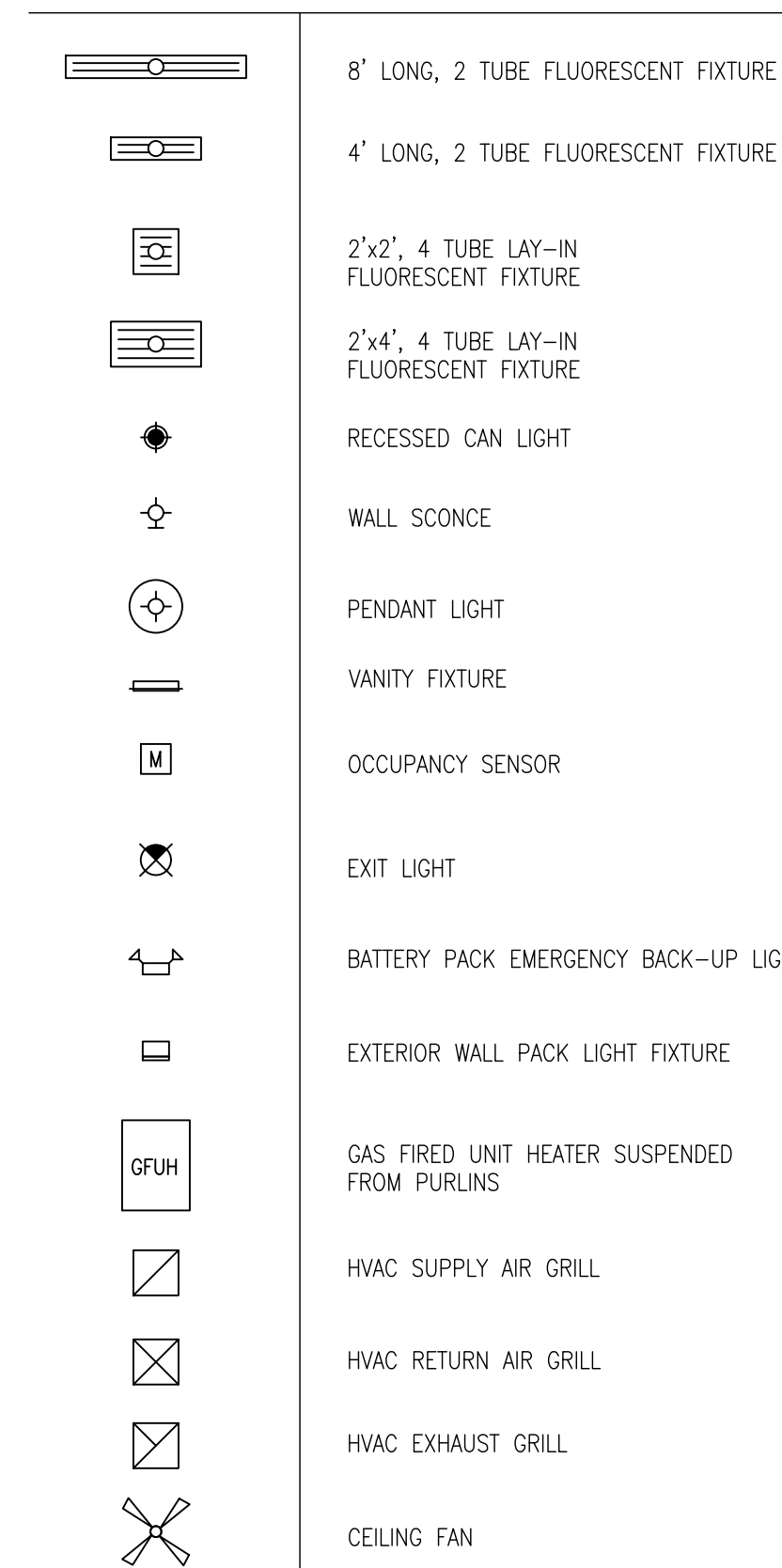
BRIAN CARRIVEAU
608-334-3471

BRAD KONING (ARCHITECT)
608-836-7570

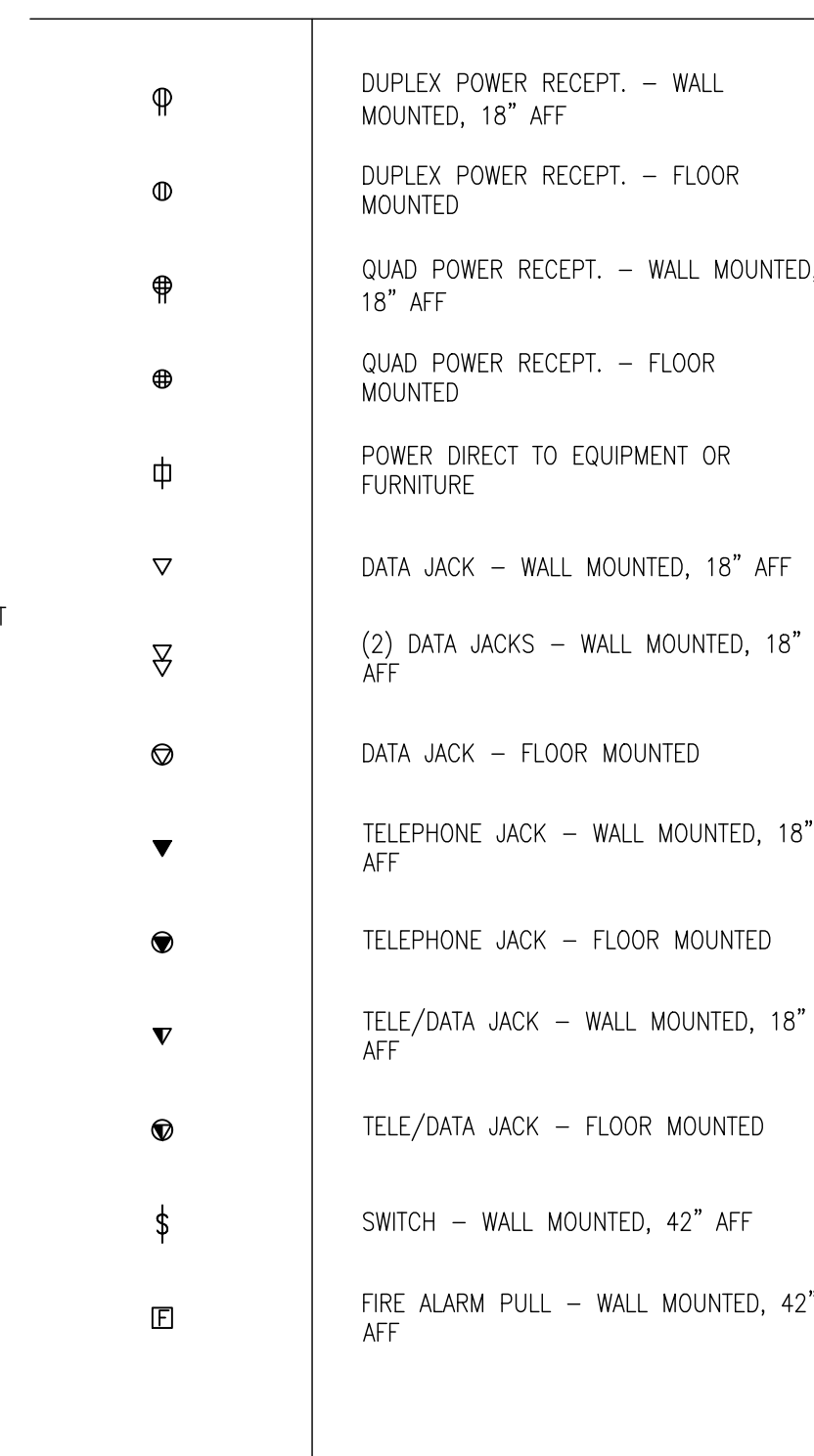
SYMBOLS KEY:



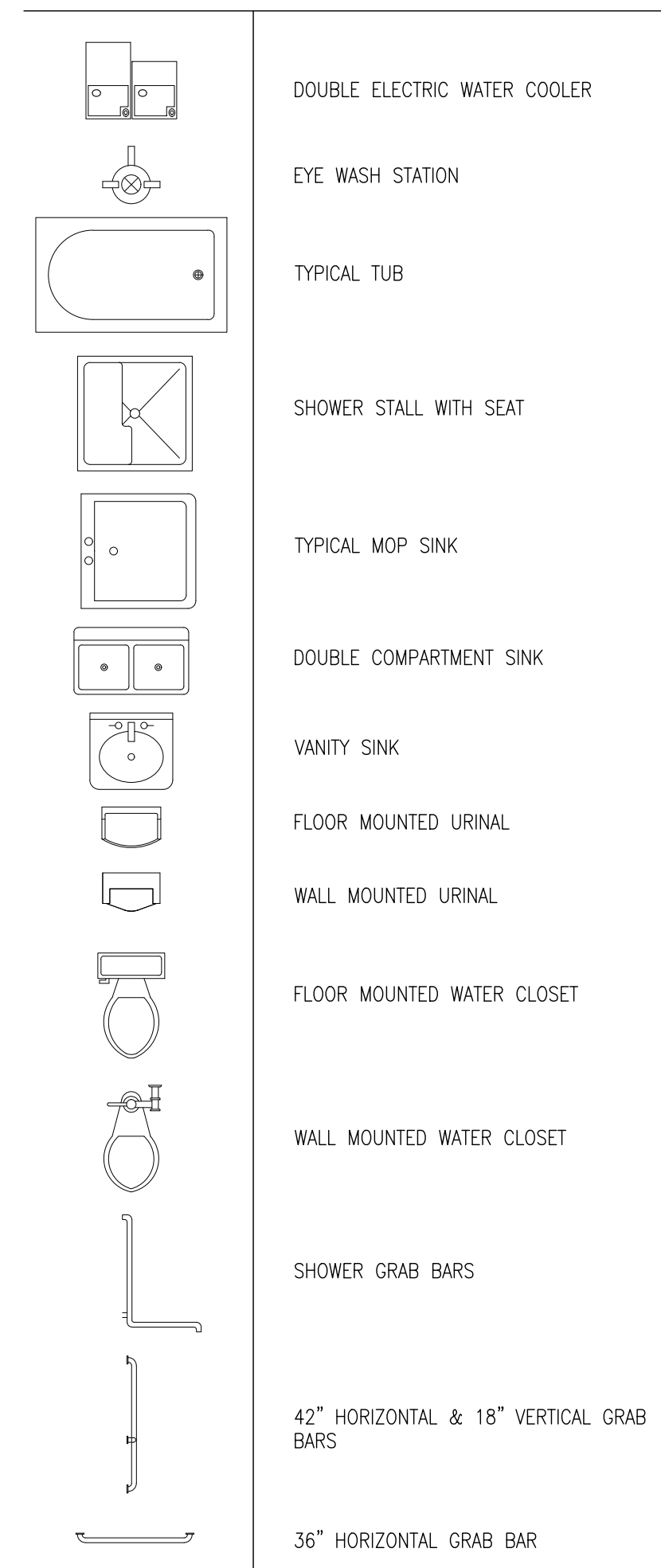
ELECTRICAL FIXTURE SYMBOLS:



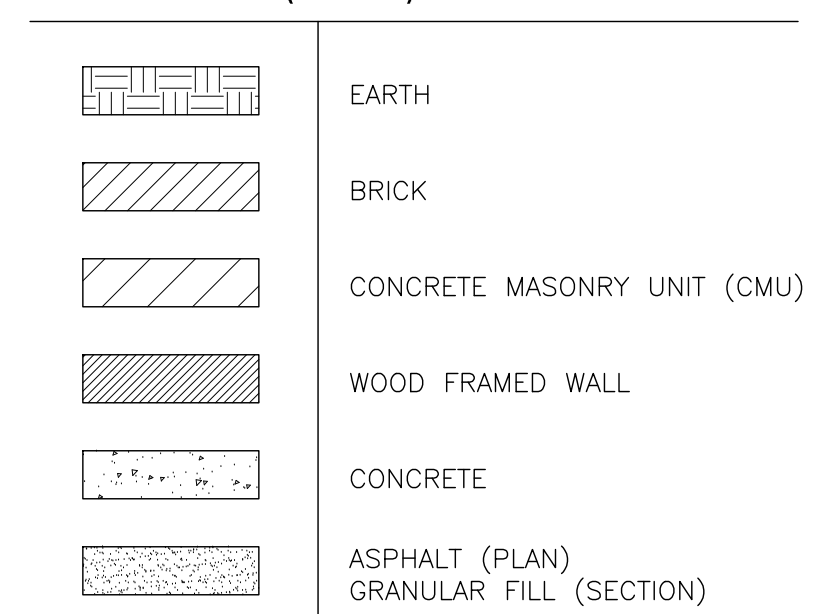
POWER AND DATA SYMBOLS:



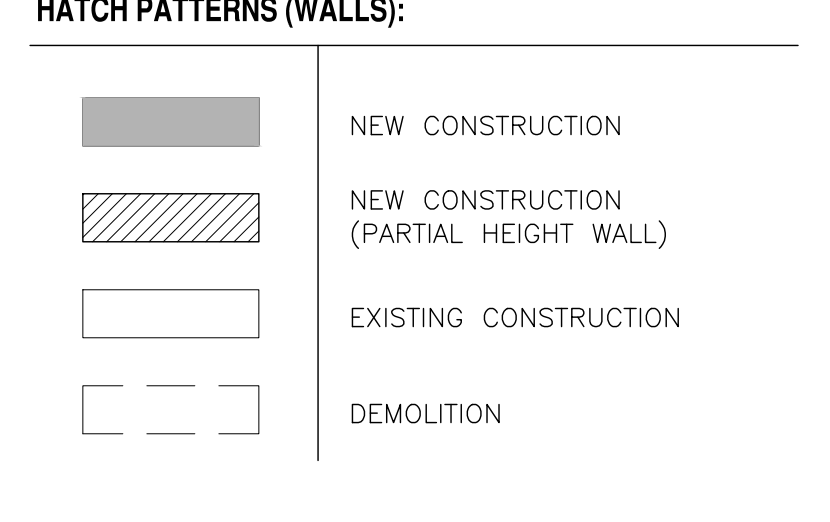
PLUMBING FIXTURE SYMBOLS:



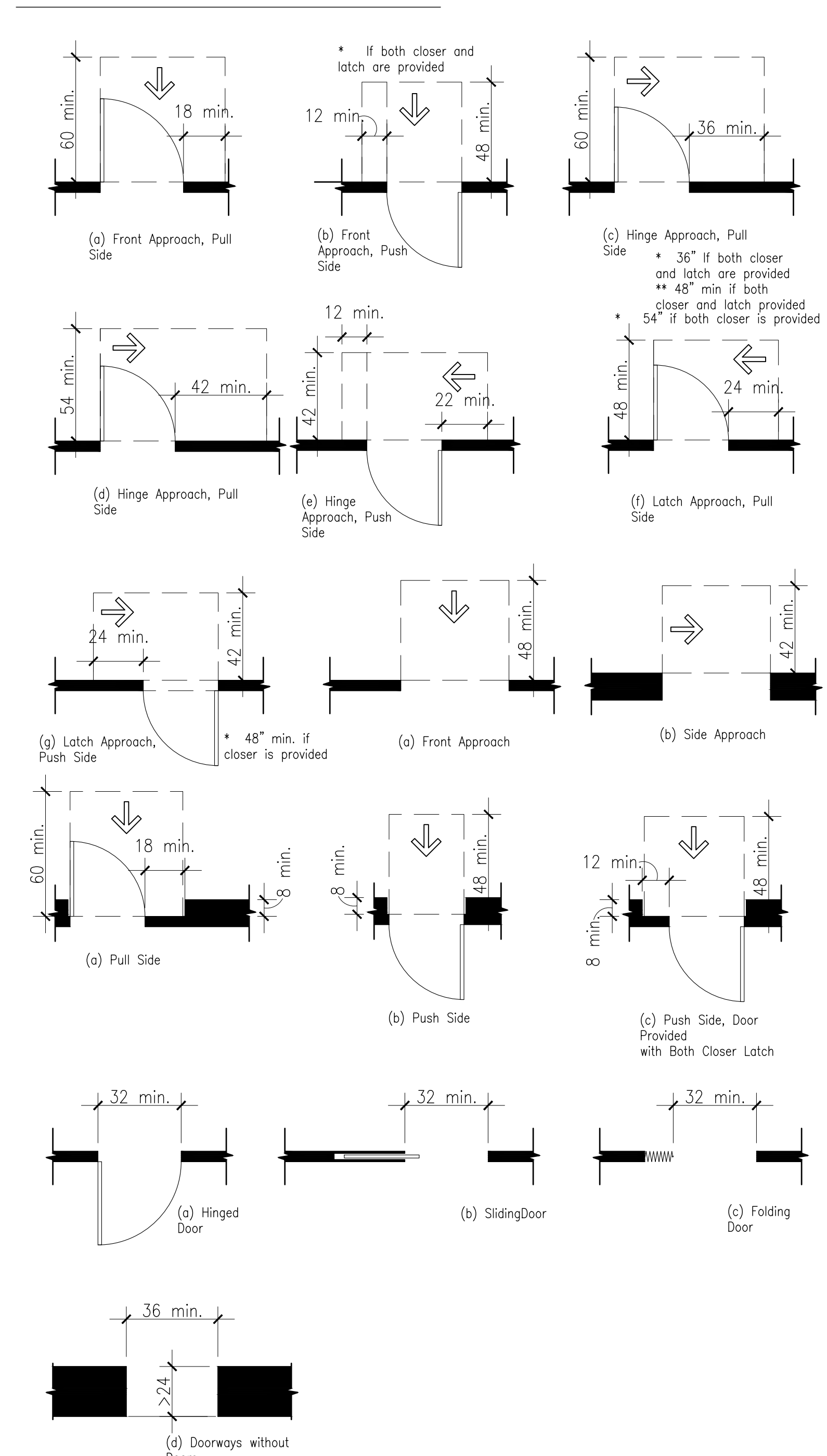
HATCH PATTERNS (DETAILS):



HATCH PATTERNS (WALLS):

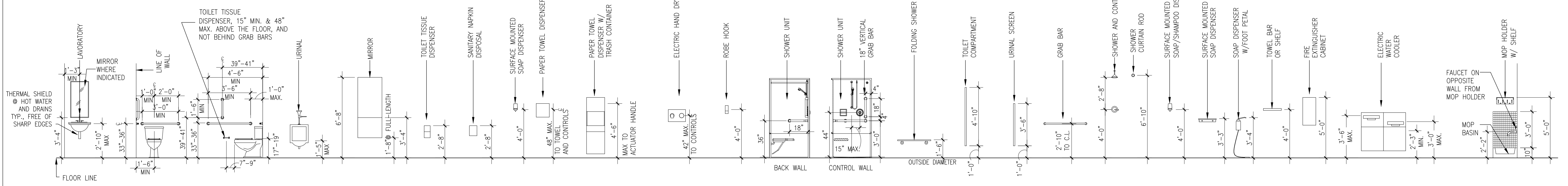


CLEARANCES AT MANUAL DOOR SWINGS:



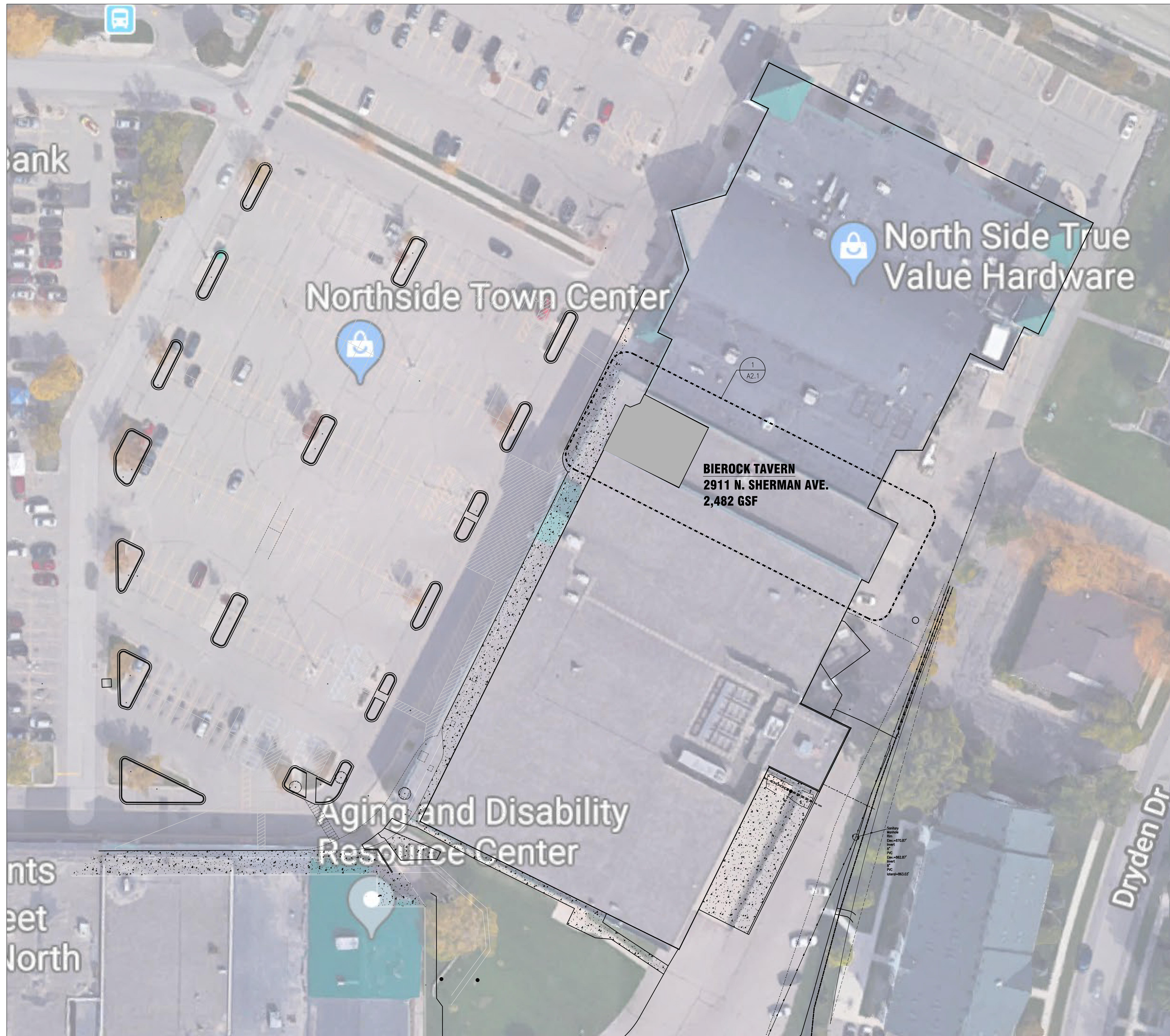
COMMON ABBREVIATIONS:

AB	ANCHOR BOLT	NIC	NOT IN CONTRACT
ACT	ACUSTICAL CEILING TILE	NOM	NOMINAL
AFT	ABOVE FINISH FLOOR	NTS	NOT TO SCALE
AGG	AGGREGATE	N-S	NORTH-SOUTH DIRECTION
ALUM	ALUMINUM	OC	ON CENTER
ALT	ALTERNATE	OCEN	ON CENTER EACH WAY
ARCH	ARCHITECT/ARCHITECTURAL	OD	OUTSIDE DIAMETER
		OH	OVER HEAD
		OPP	OPPOSITE
B-B	BACK-TO-BACK	PEMB	PRE-ENGINEERED METAL BUILDING
BLDG	BUILDING	PERIM	PERIMETER
BLK	BLOCK	PC	PLUMBING CONTRACTOR
BM	BEAM	P/C	PRECAST/PRESTRESSED
BOT	BOTTOM	PL	STEEL PLATE DESIGNATION
BRG	BEARING	P/T	POST TENSIONED
BS	BOTH SIDES		
C	CHANNEL DESIGNATION	RB	RUBBER BASE
CIP	CAST IN PLACE	REINF	REINFORCING
CJ	CONSTRUCTION JOINT	REOD	REQUIRED
CL	CENTER LINE	RTU	ROOF TOP UNIT
CLJ	CONTROL JOINT		
CLR	CLEAR DISTANCE	SCHD	SCHEDULE
CMU	CONCRETE MASONRY UNIT	SIM	SIMILAR
COL	COLUMN	SHT	SHEET
CONC	CONCRETE	SOG	SLAB ON GRADE
CONN	CONNECTION	SPA	SPACE/SPACES
CONT	CONTINUOUS	SPEC	SPECIFICATION
CONTR	CONTRACTOR	SQ	SQUARE
CPT	CARPET	STL	STEEL
CT	CERAMIC TILE	STR	STRUCTURAL
D	DEPTH	T	TALL
DB	DESIGN BUILD	THK	THICK
DIA	DIAMETER	TO	TOP OF
DIM	DIMENSION	TOC	TOP OF CONCRETE
DN	DOWN	TOF	TOP OF FLOOR
DTL	DETAIL	TOW	TOP OF WALL
DWG	DRAWING	TL	TOP OF LEDGE ELEVATION
DWL	DOWEL	TP	TOP OF PIER ELEVATION
EA	EACH	TW	TOP OF WALL ELEVATION
EC	ELECTRICAL CONTRACTOR	TYP	TYPICAL
EJ	EXPANSION JOINT	UNO	UNLESS NOTED OTHERWISE
EL	ELEVATION		
ELEV	ELEVATOR	VB	VINYL BASE (OR) VAPOR BARRIER
ENG	ENGINEER	VCT	VINYL COMPOSITION TILE
EQ	EQUAL	VERT	VERTICAL
EW	EACH WAY	VIF	VERIFY IN FIELD
E-W	EAST-WEST DIRECTION	VR	VAPOR RETARDER
EXIST	EXISTING		
EXP	EXPANSION	W	WIDTH
EXT	EXTERIOR	W/	WITH
		W/O	WITHOUT
FDN	FOUNDATION	WD	WOOD
FIN	FINISH (OR) FINNED	WF	WIDE FLANGE DESIGNATION
FF	FINISH FLOOR	WP	WORKING POINT
F-F	FACE-TO-FACE	WSBW	WOOD STUD BEARING WALL
FLG	FLANGE	WWF	WELDED WIRE FABRIC
FTG	FOOTING		
FUT	FUTURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		
GL	GRID LINE		
GWB	GYPSON WALL BOARD		
GYP	GYPSON		
H	HEIGHT		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING & AIR CONDITIONING		
HW	HARDWOOD		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
KO	KNOCK OUT		
L	LENGTH		
L	STEEL ANGLE DESIGNATION		
LG	LENGTH/LONG		
LMF	LIGHT GAGE METAL FRAMING		
LH	LONG LEG HORIZ		
LLV	LONG LEG VERT		
LP	LOW POINT		
LVL	LAMINATED VENEER LUMBER		
MANF	MANUFACTURER		
MAX	MAXIMUM		
MBW	MASONRY BEARING WALL		
MC	MECHANICAL CONTRACTOR		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MIN	MINIMUM		
MTL	METAL		



FIXTURE MOUNTING HEIGHTS
1/4" = 1'-0"

NOTES:
1. ACCESSORIES SHALL BE VERIFIED WITH THE OWNER & TENANT FOR SELECTED MODEL/MFR.
2. PROVIDE BLOCKING WITHIN WALLS TO SUPPORT ACCESSORIES @ HEIGHTS INDICATED



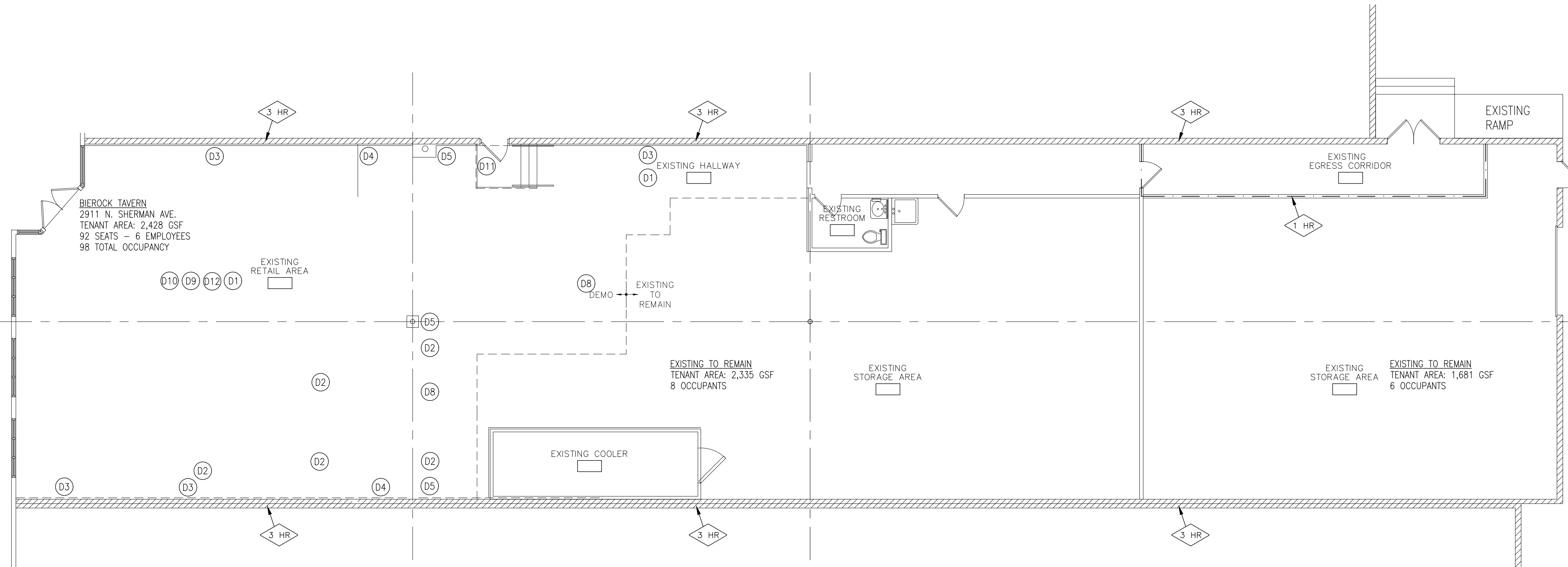
DEMOLITION PLAN GENERAL NOTES

- A. REMOVE ALL "DASHED" WALLS (DEMO'D) FLOOR TO DECK, WHERE EXISTING MECHANICAL, PLUMBING, ELECTRICAL OR DATA CONNECTIONS ARE ABANDONED DUE TO DEMOLITION WORK OR REMOVAL OF FIXTURES AND ACCESSORIES, CAP EXISTING CONNECTIONS AS REQUIRED PER CODE OR PROVIDE CONNECTOR FOR NEW FIXTURES AND ACCESSORIES WHERE APPLICABLE.
- B. EXISTING EXTERIOR WALLS, STRUCTURE AND FLOORS SHALL REMAIN INTACT AND UNDISTURBED, WHERE MODIFICATION IS NECESSARY, RESTORE TO EXISTING CONDITION, INCLUDING EXISTING AIR/VAPOR BARRIERS AND THERMAL ENVELOPE DESIGN.
- C. AREAS OF CONCEALED EXISTING BUILDING STRUCTURE TO BE EXPOSED AND EXAMINED DURING DEMOLITION TO VERIFY PROPOSED STRUCTURAL MODIFICATIONS ARE SUFFICIENT. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND ENGINEER TO ALLOW ACCESS FOR VERIFICATION. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- D. PATCH AND REPAIR ADJACENT WALLS AND FLOOR SURFACES TO PROVIDE A UNIFORM FINISH WHERE NECESSARY AT AREAS OF DEMOLITION, LOCATIONS OF REMOVED ACCESSORIES OR HARDWARE, AND ANY NEW OR RELOCATED WALLS. MATCH EXISTING FLOOR FINISHES, WALL FINISHES AND BASE MATERIALS UNLESS OTHERWISE SPECIFIED IN FINISH NOTES, FINISH PLANS, PARTITION TYPE DETAILS OR ELSEWHERE ON PLANS.
- E. REMOVE ALL CEILING AND FLOORING IN ALL SPACES BEING DEMO'D. PREP FLOORING FOR NEW FINISHES PER MANUFACTURER SUGGESTIONS.
- F. PREPARE ALL EXISTING AREAS INVOLVED WITH DEMOLITION TO RECEIVE NEW WORK OR NEW FINISHES PER PLANS, ROOM FINISH SCHEDULE AND SPECIFICATIONS. CONTACT ARCHITECT OR ENGINEER BEFORE BEGINNING NEW WORK IF THERE ARE ANY DISCREPANCIES OR QUESTIONS REGARDING EXISTING CONDITIONS NOT CLEARLY DEFINED ON THE DRAWINGS THAT AFFECT NEW CONSTRUCTION.
- G. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED, CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- H. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT-DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- J. GENERAL CONTRACTOR TO MAINTAIN PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.

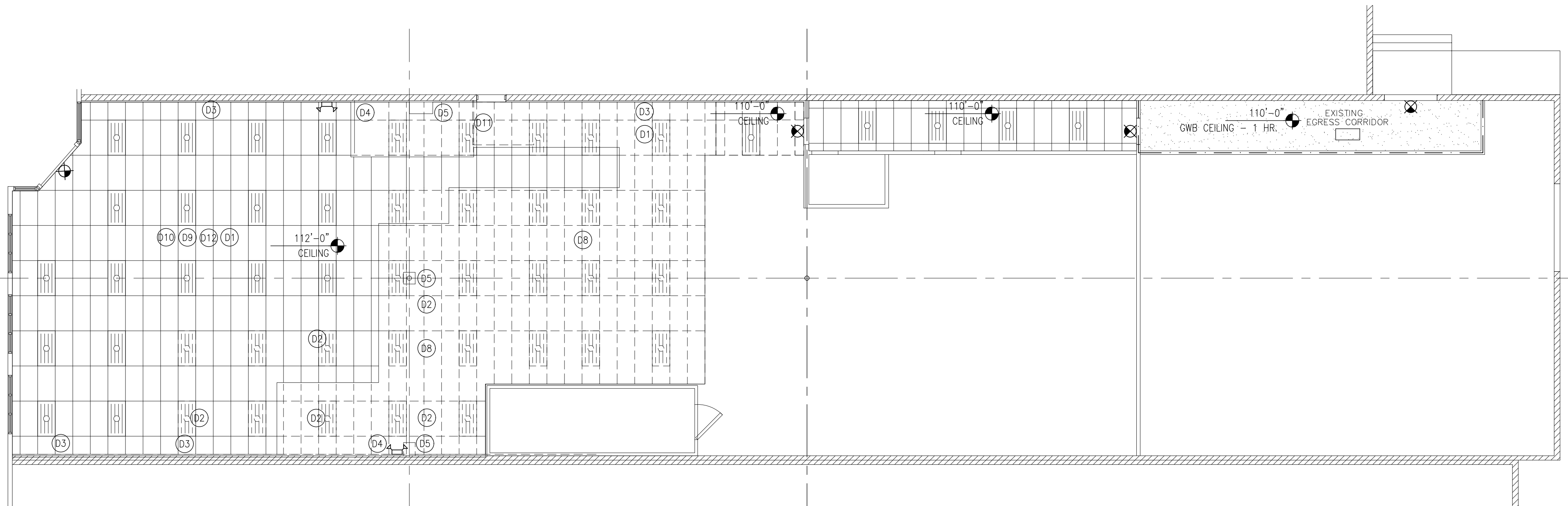
DEMO PLAN KEYED NOTES

- (D1) CLEAN EXISTING VCT FLOORING, REMOVE EXISTING LOOSE/BROKEN VCT, PREP FLOOR FOR SEALER.
- (D2) REMOVE EXISTING CONCRETE FLOOR AS REQUIRED FOR NEW UNDER SLAB PIPING.
- (D3) EXISTING WOOD T&G BOARD SIDING AND FURRING STRIPS TO REMAIN. TRIM HORIZONTALLY AT 5'8" A.F.F.
- (D4) REMOVE EXISTING EMERGENCY LIGHTING, SALVAGE AND REUSE WITH NEW CONSTRUCTION WHERE INDICATED.
- (D5) EXISTING WOOD SIDING TO BE TRIMMED HORIZONTALLY AT 5'8" A.F.F.
- (D6) REMOVE EXISTING PLUMBING FIXTURES AND PIPING AS REQUIRED FOR NEW CONSTRUCTION.
- (D7) EXISTING COOLER TO REMAIN.
- (D8) REMOVE EXISTING SUSPENDED ACT AND GRID. SALVAGE GRID FOR REUSE IN NEW CEILING.
- (D9) REMOVE EXISTING LIGHTING AND ELECTRICAL AS REQUIRED. COORDINATE WITH NEW CONSTRUCTION.
- (D10) REMOVE EXISTING HVAC SUPPLY AND RETURN GRILLES. COORDINATE HVAC DUCTWORK WITH NEW CONSTRUCTION.
- (D11) REMOVE EXISTING STEEL GUARDRAIL, MODIFY AS REQUIRED AND REINSTALL TO MEET CODE.
- (D12) EXISTING SUSPENDED CEILING GRID TO REMAIN.
- (D13) REMOVE EXISTING CEILING TILES AND SALVAGE - RETURN TO LANDLORD.

HATCH PATTERNS KEY:	
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION
	DEMOLITION



1 TENANT DEMOLITION PLAN
1/8"=1'-0"



2 CEILING DEMOLITION PLAN
1/8"=1'-0"

BIEROCK TAVERN
 2911 N. SHERMAN AVE.
 TENANT AREA: 2,428 GSF
 92 SEATS - 6 EMPLOYEES
 98 TOTAL OCCUPANCY
 20'-0"

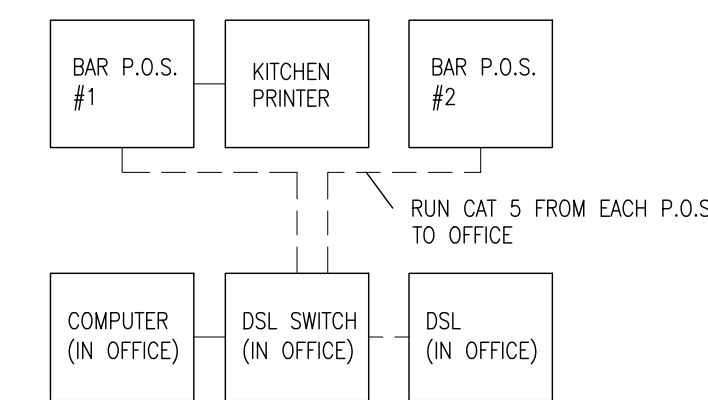
EXISTING TO REMAIN
 TENANT AREA: 2,335 GSF
 8 OCCUPANTS

1 TENANT FLOOR PLAN
 1/4"=1'-0"

INTERIOR DOOR SCHEDULE

DOOR TYPES										FRAME TYPES			DOOR AND FRAME TYPE NOTES:
													<ol style="list-style-type: none"> VERIFY DOOR SIZES FROM DOOR SCHEDULE. PROVIDE SAFETY GLAZING PER CODE IN ALL DOORS AND FRAMES. PROVIDE ACCESSIBLE HARDWARE AND THRESHOLDS AT ALL NEW DOORS. REINFORCE ALL DOORS FOR HARDWARE. VERIFY WITH OWNER AND TENANT LOCATION AND REQUIREMENTS OF SPECIAL SECURITY DEVICES AND HARDWARE. PAINT FM DOORS AND FRAMES TO MATCH ADJACENT WALL. CLEAR STAIN SOLID CORE INTERIOR WD DOORS REFER TO CODE REQUIREMENTS IN IBC SECTION 1008.1.8.3 FOR FRONT EXIT DOOR HARDWARE REUSE WOOD SALVAGED DOORS & FRAMES FROM EXISTING SPACE WHEN POSSIBLE. PROVIDE PANIC HARDWARE AT ALL REQUIRED EXIT EGRESS DOORS
NO.	SIZE	TYPE	MATERIAL	FINISH	GLASS	TYPE	MATERIAL	FINISH	FIRE WALL RATING	REMARKS			
D101	EXISTING	-	ALMN	MFG	1/4" TEMP.	-	ALMN	MFG	-	ENSURE PROPER DOOR FUNCTION AND HARDWARE.			
D102	3'-0" x 7'-0"	1	WOOD	STAIN	-	A	HOL. MTL	PAINT	-	STORAGE LOCKSET			
D103	3'-0" x 7'-0"	1	-	-	-	-	-	-	-	CASED OPENING			
D104	NOT USED	-	-	-	-	-	-	-	-	-			
D105	3'-0" x 7'-0"	2	WOOD	STAIN	1/2" TEMP. FROSTED	A	HOL. MTL.	PAINT	-	OFFICE LOCKSET			
D106A	3'-0" x 7'-0"	1	WOOD	STAIN	-	A	HOL. MTL.	PAINT	1 HR	VERIFY HARDWARE WITH OWNER			
D106B	EXISTING	-	H.M.-EXST.	-	-	-	HOL. MTL.	-	3 HR	EXISTING TO REMAIN			
D106C	EXISTING	-	H.M.-EXST.	-	-	-	HOL. MTL.	-	1 HR	EXISTING TO REMAIN			
D106D	EXISTING	-	H.M.-EXST.	-	-	-	HOL. MTL.	-	1 HR	EXISTING TO REMAIN			
D106E	EXISTING	1	H.M.-EXST.	-	-	-	HOL. MTL.	-	1 HR	EXISTING TO REMAIN			
D107	3'-0" x 7'-0"	1	WOOD	STAIN	-	A	HOL. MTL.	PAINT	1 HR	PUBLIC RESTROOM LOCKSET, CLOSER			
D108	3'-0" x 7'-0"	1	WOOD	STAIN	-	A	HOL. MTL.	PAINT	1 HR	PUBLIC RESTROOM LOCKSET, CLOSER			
D110	3'-0" x 7'-0"	1	WOOD	PAINT	-	A	HOL. MTL.	PAINT	1 HR	STORAGE LOCKSET			

COMPUTER WIRING DIAGRAM



TOILET ACCESSORY SCHEDULE

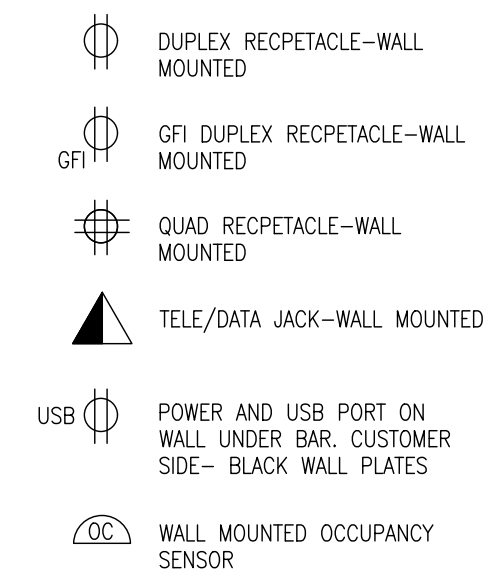
NO.	QTY.	ITEM	MANUF. AND MODEL
A1	2	18" VERTICAL GRAB BAR	BOBRICK 6806
A2	2	42" GRAB BAR	BOBRICK 6806
A3	2	36" GRAB BAR	BOBRICK 6806
A4	2	HAND DRYER	XLERATOR XL-SB
A5	NA	PLAM PARTITIONS	BOBRICK- DESIGNER SERIES 1040, PLATINUM D315-60, OVERHEAD BRACED
A6	4	STAINLESS FRAME MIRROR	BOBRICK B290-2436
A7	1	MOP HOOK/SHELF	ASI 1308-3
A8	1	UTILITY HOOK	ASI 1307-6
A9	3	TOILET TISSUE DISPENSER	BOBRICK B272
A10	2	BABY CHANGING STATION	KOALA KARE- KB200-SS
A11	2	SOAP DISPENSER	SLOAN SJS-1050
A12	2	SANITARY NAPKIN DISPOSAL (WOMEN)-BOBRICK B-254	

NOTE: SEE SHEET A0.2 FOR FIXTURE MOUNTING HEIGHTS

POWER AND DATA GENERAL NOTES

- PROVIDE DEDICATED POWER TO WALK-IN COOLER WITH REMOTE MOUNTED COMPRESSOR.
- PROVIDE POWER/DATA PER CODE REQUIREMENTS. POWER SHOWN IS OWNER MINIMUM REQUIREMENTS.
- ELECTRICIAN SHALL VERIFY ALL POWER REQUIREMENTS WITH OWNER'S EQUIPMENT SELECTIONS.
- THIS PLAN IS SHOWN FOR REFERENCE ONLY. ALL ELECTRICAL IS TO BE PERFORMED IN DESIGN-BUILD DELIVERY METHOD.
- ELECTRICIAN SHALL PULL ALL TELE-DATA CABLING IN 1/2" CONDUIT FROM OFFICE TO TERMINATION POINTS.
- KEEP ALL CONDUIT AND CABLING IN ORGANIZED FASHION. ALL CONDUITS SHALL RUN PARALLEL OR PERPENDICULAR TO THE SPACE WITH NO DIAGONAL RUNS ALLOWED.
- PROVIDE POWER AND CABLE TO WALL MOUNT AND CEILING MOUNT TV'S. SEE SHEET A2.2 FOR LOCATIONS. WALL DATA/CABLE JACKS FOR TV'S TO BE 8'-0" AFF. VERIFY EXACT REQUIREMENTS WITH A/V SUPPLIER.
- SEE CEILING PLAN FOR LIGHTING AND SWITCHING DESIGN REQUIREMENTS.

POWER AND DATA SYMBOLS KEY



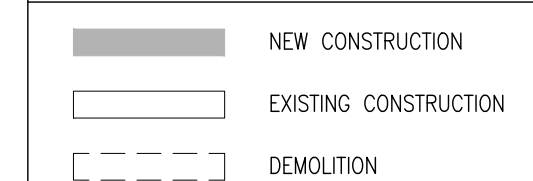
FLOOR PLAN GENERAL NOTES

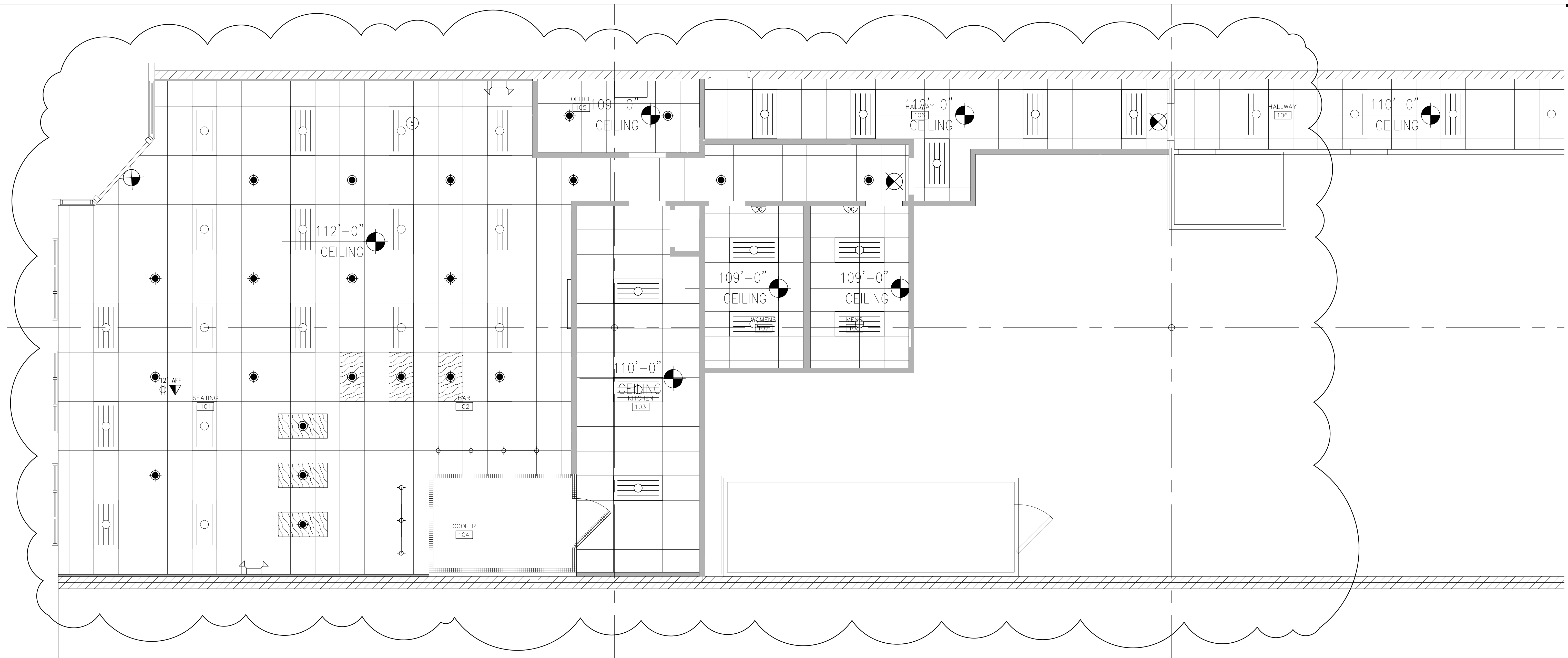
- MECHANICAL, ELECTRICAL AND PLUMBING IMPROVEMENTS TO BE DESIGN BUILD. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN-BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE-COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACE.
- PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A0.2
- PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS
- DIMENSIONS ARE TO FACE OF WALL OR TO COLUMN CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- GENERAL CONTRACTOR TO MAINTAIN PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES.
- SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL

FLOOR PLAN KEYED NOTES

- STAINLESS STEEL FOOD SERVICE COUNTER, 5'-0" L X 1'-2" D SEE SECTION 2/A3.2
- PROVIDE STAINLESS STEEL WALL PANEL FROM FLOOR TO CEILING BEHIND VENTILATION HOOD. WALL STUDS BEHIND HOOD ARE TO BE STEEL PER CODE.
- SOLID SURFACE COUNTERTOP WITH (2) 16" STAINLESS STEEL UNDERMOUNT SINKS
- PROVIDE WOODEN SHELVING UNIT - 2 SHELVES
- BOOTH SEATING, BY OWNER

HATCH PATTERNS KEY:





1 REFLECTED CEILING PLAN
1/4"=1'-0"

CEILING FIXTURE SCHEDULE

- 2'x2' LAY-IN LED FIXTURE, DUAL SWITCHED
- 2'x4', 4 TUBE LAY-IN LED FIXTURE, DUAL SWITCHED (2/4 LAMPS)
- LARGE INDUSTRIAL LED LIGHT
- 6" LED CAN LIGHT, CENTER ABOVE BAR WHERE SHOWN
- LED PENDANT LIGHT, (TBD)
- TRACK LIGHTING, MFG: MAXIMUS, STYLE: TLOSA (BLACK), BULB: DIMMABLE LED
- EXIT LIGHT
- BATTERY PACK EMERGENCY BACK-UP LIGHT
- HVAC EXHAUST GRILL
- 2'x4'x3/4" PLYWOOD PANEL - STAINED HUNG OFF THREADED ROD AT 10'A.F.F. WITH 4" RECESSED CAN LIGHT CENTERED.

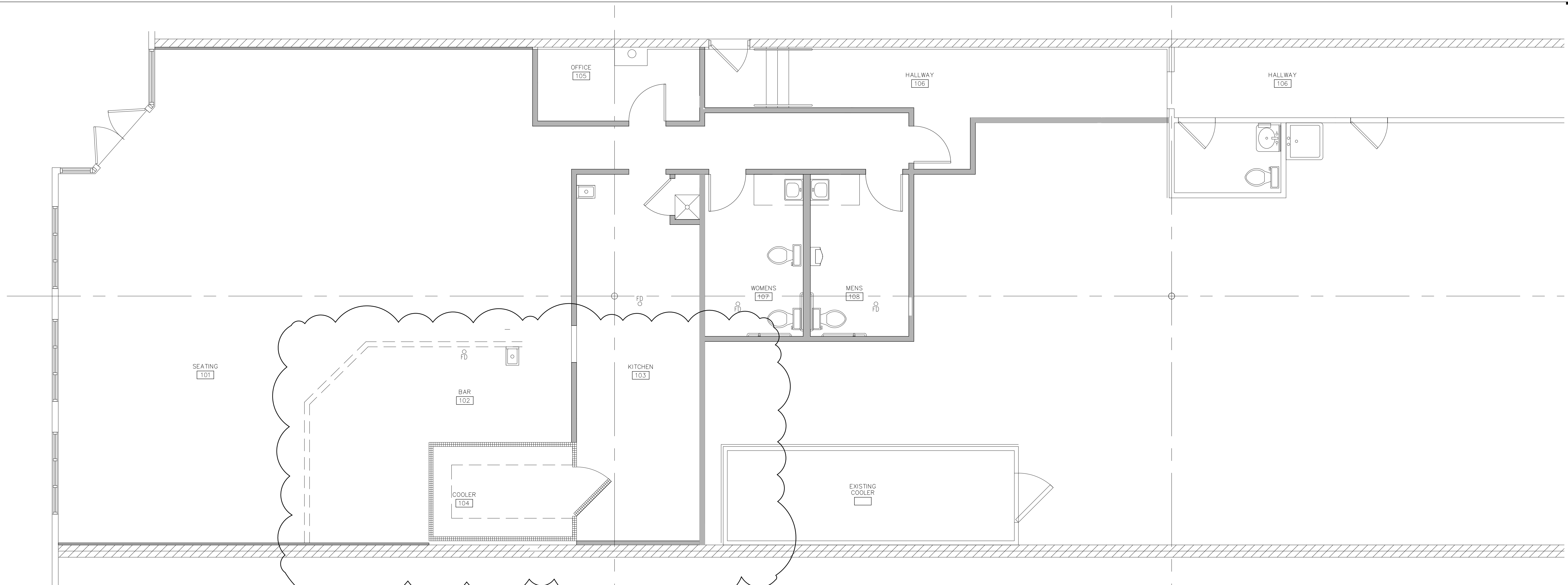
NOTES:
 1. NOTE: THIS ELECTRICAL PLAN IS TO ESTABLISH BASE DESIGN CRITERIA AND COMMUNICATE FIXTURE TYPES. FINAL ELECTRICAL LIGHTING PLAN TO BE BY ELECTRICAL DB CONTRACTOR AND SHALL MEET ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CHANGES REQUIRED TO FIXTURE LAYOUT.
 2. PROVIDE EMERGENCY LIGHTING TO MEET CODE REQUIREMENTS.
 3. ALL LIGHTING FIXTURES IN SEATING AREA #100 TO BE ON AUTOMATIC TIMED DIMMER SWITCHES AND INCLUDE DIMMABLE BALLASTS.
 4. PROVIDE FIXTURES WITH EMERGENCY BATTERY BALLASTS AS REQUIRED PER CODE.

CEILING PLAN KEYED NOTES

- 1 SUSPENDED T.V. BRACKET MOUNT. SUPPLIED BY OWNER, INSTALLED BY G.C.
- 2 WALL MOUNTED T.V. BRACKET. SUPPLIED BY OWNER, INSTALLED BY G.C., PROVIDE 2X10 BLOCKING. VERIFY HEIGHT WITH OWNER/ARCHITECT.
- 3 PAINT EXPOSED CEILING STRUCTURE. COLOR TBD. CONDUIT AND PIPING ON CEILING TO BE PAINTED. HVAC DUCTWORK TO BE SPIRAL DUCTS, PAINTED TO MATCH STRUCTURE.
- 4 LIGHTING OCCUPANCY SENSORS
- 5 DIMMABLE SWITCHES FOR LIGHTING IN SEATING AREAS
- 6 CEILING MOUNTED SPEAKERS IN SEATING AREA. BY OWNER'S A-V SUPPLIER.
- 7 EXHAUST FAN IN BATHROOM.
- 8 PROVIDE LIGHTING INSIDE KITCHEN HOOD.
- 9 ROUTE ALL POWER AND TELE-DATA TO DSL SWITCH IN OFFICE. SEE COMPUTER WIRING DIAGRAM BELOW
- 10 ALL WALL OUTLETS AT 8'-0" AFF IN SEATING AREAS SHALL BE CONTROLLED BY SWITCH AND CIRCUITED TOGETHER ON TWO SWITCHES, CO-LOCATED @ MAIN SWITCH BANK.
- 11 POWER AND DATA FOR TV LOCATIONS. FINAL REQUIREMENTS TO BE DETERMINED BY OWNER'S AV CONTRACTOR.

CEILING PLAN GENERAL NOTES

- A. CENTER CEILING GRID IN ROOM, LEAVING A MINIMUM TILE DIMENSION OF NOT LESS THAN 1'-0" (UNLESS NOTED OTHERWISE).
- B. COORDINATE HVAC SUPPLY AND RETURN DIFFUSERS, TRANSFER GRILLES, EXHAUST GRILLES AND ANY OTHER FIXTURE WITH ARCHITECT PRIOR TO INSTALLATION. DUCTWORK TO BE PAINTED SPIRAL DUCT.
- C. LIGHTING IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. LIGHT FIXTURES TO BE DESIGN BUILD BY A CERTIFIED ELECTRICAL ENGINEER. FOLLOW THE STATE AND NATIONAL CODE REQUIREMENTS AND MINIMUM FOOT-CANDLE REQUIREMENTS. COORDINATE LIGHTING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- D. CENTER ALL CEILING MOUNTED LIGHT FIXTURES, LIFE SAFETY DEVICES, SPEAKERS, SPRINKLERS, AND OTHER ELEMENTS IN THE CENTER OF THE ACT IN BOTH DIRECTIONS, U.N.O.
- E. EXPOSED BEAMS AND STRUCTURAL DECK OPEN TO AREA BELOW. MEP DESIGN-BUILD CONTRACTORS SHALL COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION START TO MINIMIZE CEILING-MOUNTED FIXTURES AND EQUIPMENT. CONDUIT SHALL BE RUN NEATLY AND SHALL BE CONCEALED WHERE POSSIBLE.
- F. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING AND NEW CEILING SURFACES AS REQUIRED PRIOR TO APPLYING FINISH. PATCHING AND REPAIRS SHALL INCLUDE FILLING VOIDS IN THE CEILING SURFACES, SPACKLE, AND SAND SMOOTH.
- G. VERIFY NUMBER AND FAN LOCATIONS WITH OWNER.



1 FLOOR FINISH PLAN
1/4"=1'-0"

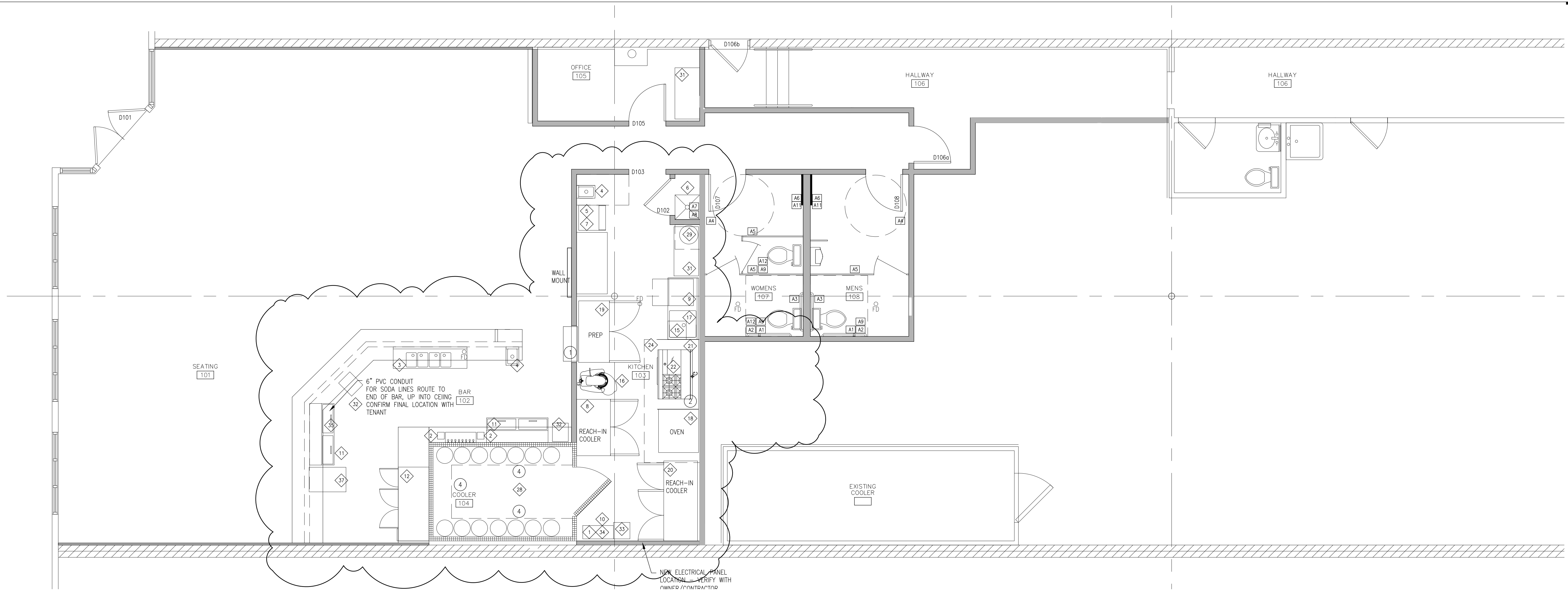
NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING		NOTES			
				NORTH		EAST		SOUTH		WEST		TYPE	HT				
				SUBSTRATE	FINISH	SUBSTRATE	FINISH	SUBSTRATE	FINISH	SUBSTRATE	FINISH						
101	SEATING AREA	EXST.	WD	WD	PT-1	WD	PT-1	WD	PT-1	WD	PT-1	WD	PT-1	EXST. GRID PT-3	ACT	12'-0"	PAINT EXISTING CEILING GRID AND TILE
102	BAR	EXST.	RB	-	-	WD	PT-1	WD	PT-2	WD	PT-1	WD	PT-1	EXST. GRID PT-3	ACT	12'-0"	PAINT EXISTING CEILING GRID TO MATCH METAL CEILING TILE
103	KITCHEN	CONC	RB	GWB-MR	FRP	GWB-MR	FRP/SS	GWB-MR	FRP	GWB-MR	FRP	GWB-MR	FRP	-	ACT-V	10'-0"	PROVIDE SS FROM FLOOR TO CEILING BEHIND RANGE/OVEN
103B	CLOSET	CONC	RB	GWB	FRP	GWB	FRP	GWB	FRP	GWB	FRP	GWB	FRP	-	-	OPEN	
104	COOLER	CONC.	-	-	-	-	-	-	-	-	-	-	-	-	-	-	FINISH BY MANUFACTURER
105	OFFICE	EXST.	WD	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	-	ACT	9'-0"	
106	HALLWAY	EXST	WD	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	-	ACT	10'-0"	
107	WOMENS	EXST	RB(6")	GWB-MR	PT-2	GWB-MR	PT-4	GWB-MR	PT-4	GWB-MR	PT-2	GWB-MR	PT-2	-	ACT-V	9'-0"	
108	MENS	EXST	RB(6")	GWB-MR	PT-2	GWB-MR	PT-2	GWB-MR	PT-4	GWB-MR	PT-4	GWB-MR	PT-4	-	ACT-V	9'-0"	

<p>FINISH NOTES:</p> <ol style="list-style-type: none"> ENSURE ALL MANUFACTURERS RECOMMENDATIONS ARE MET FOR PREPARATION OF SUBSTRATE, INCLUDING MOISTURE CONTENT, CLEANLINESS, AND APPLICATION OF PRIMERS IF NEEDED. VERIFY ALL COLOR AND MATERIAL SELECTIONS WITH OWNER AND ARCHITECTS PRIOR TO CONSTRUCTION. PROVIDE ZINC TERMINATION STRIP AT TOP OF PARTIAL HEIGHT OF CT WANSLOT. 	<p>ROOM FINISH KEY:</p> <p>ACT = ACOUSTICAL CEILING TILE, 2X2</p> <p>ACT-T = METALWORKS-TIN, 5600083L5-2X2 NOT USED.</p> <p>ACT-V = VINYL FACED WASHABLE ACOUSTICAL CEILING TILE, 2X2</p> <p>CONC = CONCRETE FLOOR, POLISHED, VERIFY WITH OWNER</p> <p>CT = CERAMIC TILE—12"x24" BELLAVITA, RIVERGRASS—COLOR "CANADIAN RYE"—RBER1224 NOT USED.</p> <p>EXP = EXPOSED TO STRUCTURE</p> <p>GWB = GYPSUM WALL BOARD (TYPICAL 5/8")</p> <p>GWB-MR =MOISTURE RESISTANT GYPSUM WALL BOARD</p> <p>FRP = FIBERGLASS REINFORCED PLASTIC</p> <p>LVT = LUXURY VINYL TILE—ADORE NATURELLE—SILVERED BEECH—DW 4101-7" x 48" NOT USED.</p> <p>PA = PROTECT—ALL COMMERCIAL FLOORING—COLOR: GREY (DARK) NOT USED.</p> <p>PT-1 = PAINT, COLOR TBD</p> <p>PT-2 = PAINT, COLOR TBD</p> <p>PT-3 = PAINT, COLOR TBD</p> <p>PT-4 = PAINT, COLOR TBD</p> <p>SS = STAINLESS STEEL</p> <p>TB = TILE BACKERBOARD</p> <p>VB = VINYL BASE</p> <p>WD = 6" OAK BASE, DARK EBONY STAIN AND URETHANE</p>
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FINISH PLAN GENERAL NOTES

- A. ENSURE ALL MANUFACTURERS RECOMMENDATIONS ARE MET FOR PREPARATION OF SUBSTRATE, INCLUDING MOISTURE CONTENT, CLEANLINESS, AND APPLICATION OF PRIMERS IF NEEDED.
- B. FINISH CARPENTRY WOOD COLOR, FINISH AND SPECIES SHALL BE APPROVED BY TENANT PRIOR TO ORDERING.
- C. VERIFY ALL COLOR AND MATERIAL SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- D. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS
- E. PROVIDE ADEQUATE BACK-UP WALL AND BASE SUPPORT FOR INTERIOR MASONRY VENEER FINISH, INCLUDING WALL TIES AT 16" O.C.E.W.
- F. FLOORING TRANSITION GREATER THAN 1/2" TO BE RAMPED PER ANSI A117.1.
- G. PROVIDE SCHLUTER SCHIENE SYSTEM AT ALL REQUIRED FLOORING TRANSITIONS. REFER TO MANUFACTURER GUIDELINES FOR PROPER INSTALLATION.
- H. ALL WALL PAINT FROM FLOOR TO CEILING.
- I. PAINT ALL HM DOORS & FRAMES SAME COLOR AS SURROUNDING WALL
- J. ALL WOOD DOORS & FRAMES TO BE SOLID CORE OAK WITH EBONY STAIN
- K. ALL PAINT TO BE LOW-VOC

HATCH PATTERNS KEY:	
	RUBBER FLOOR (RF)
	QUARRY TILE (QT)
	PORCELAIN TILE (CT)
	SEALED CONCRETE (SC)

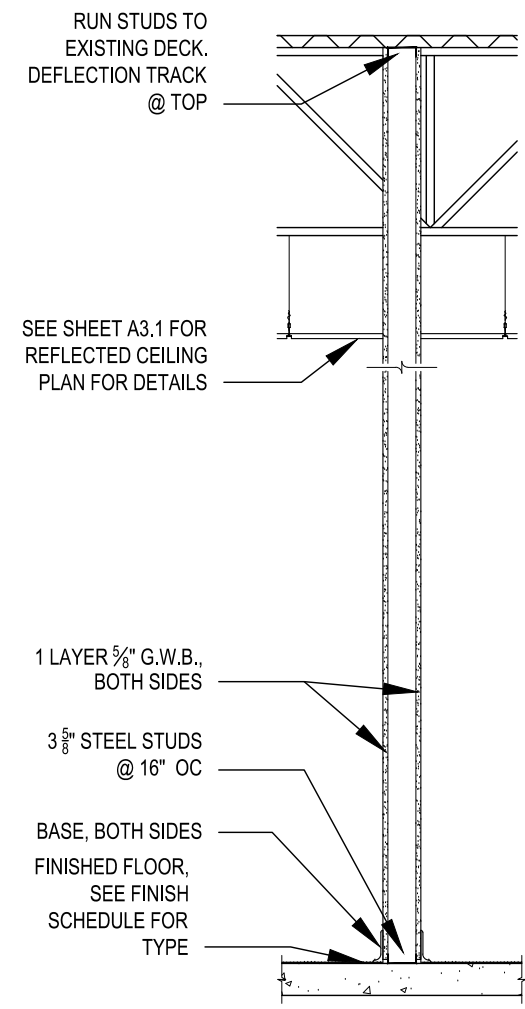


1 REFLECTED CEILING PLAN
1/4"=1'-0"

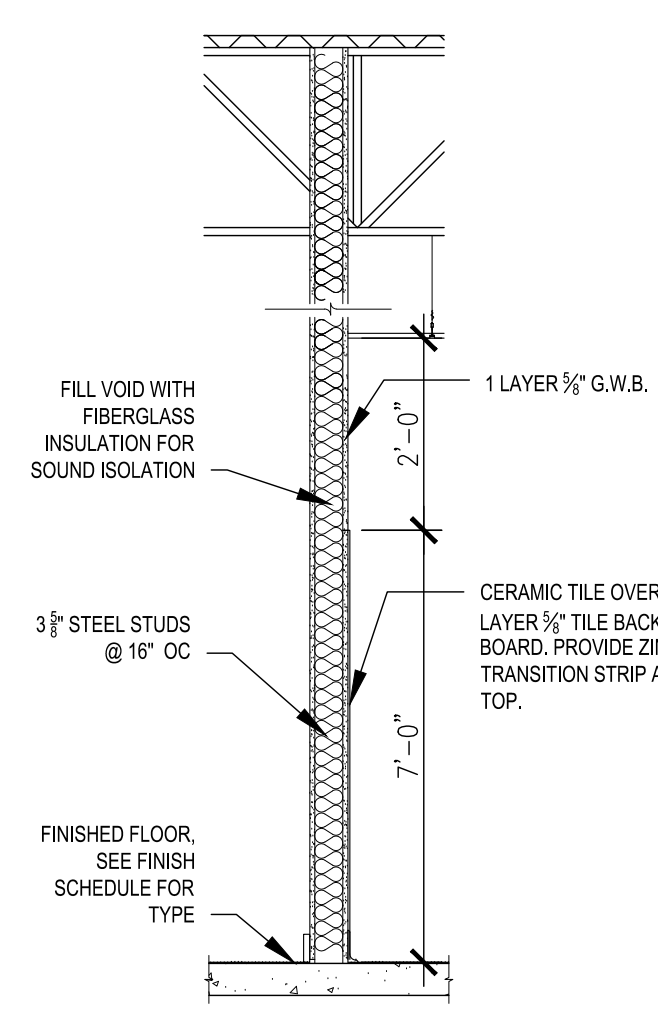
EQUIPMENT SCHEDULE									
NO.	QTY.	ITEM	MANUF. AND MODEL #	DIMENSIONS	ELEC.	GAS	WATER	NOTES	FURNISHED BY
1	1	WATER FILTER	3M - ICE125-S	17"H X 4.5"D	-	-	3/8" NFPT		OWNER
2	1	GLASS RINSER	MICRO Matic USA #GR-UCM	6 3/8"W X 6 3/8"D X 3/4"H	-	-	3/8" NFPT		OWNER
3	4	COMPARTMENT UNDERBAR SINK	JOHN BOOS-EUB4572-2D-X	72"L X 21"W X 33 1/2"H	-	-	-		CONTRACTOR
4	2	HAND WASH SINK	KROWNE - HS-9L	12"W X 17"D X 12"H	-	-	-	HANDS FREE OPERATION	CONTRACTOR
5	1	LIME FILTER							OWNER
6	1	MOP SINK		2'-0" X 2'-0"					CONTRACTOR
7	1	ICE MACHINE W/BIN	MANITOWOC-ID-0522A / B-420	22"W X 34"D X 71 1/2"H	115/60/1 14.4 AMP	-	3/8" FPT	EXISTING TO REUSE	OWNER
8	1	REACH-IN COOLER	NOR-LAKE NLR49-S	55"W X 33"D X 83 1/4"H	115/60/1-HP 12 AMP	-	-	EXISTING TO REUSE	OWNER
9	1	DISHWASHER	JACKSON WWS - DISHSTAR HT-E	24 1/4"W X 26 1/4"D X 34"H	208/60/1-PH 24.7 AMP	-	1/2 INCH	PROVIDE SEPARATE CIRCUIT, HARDWARE	OWNER
10	1	AIR COMPRESSOR	CALIFORNIA TOOLS - 4610A	17"L X 17"W X 20"H	110/60/1 1 HP 7.6 AMP	-	-	LOCATE ON SHELF ABOVE CO2/SYRUP TANKS	OWNER
11	2	GLASS FROSTER, UNDERBAR TOP LOAD	PERLUCK - FR60	60"L X 24"D X 34 1/4" H	115/60/1 1/2 HP 7.1 AMP	-	-		OWNER
12	1	BACK BAR CABINET	KROWNE - NS72L	72"L X 24"D X 39"H	115/60/1 3/4 HP 6.0 AMP	-	-	HT, INCLUDES 4" LEGS (6" AVAILABLE)	OWNER
13	1	TV							OWNER
14	1	REACH-IN UNDERCOUNTER REFRIG.	NOR-LAKE NLR60A	60"W X 30"D X 36"H	115/60/1 5.7 AMP 3/8 HP	-	-		OWNER
15	1	GREASE TRAP (ABOVE FLOOR)	SANIMAX SYSTEM	18"W X 18"D X 12"H (8LB)		-	-	PLUMBING CONTRACTOR TO VERIFY WITH OWNER	CONTRACTOR
16	1	MIXER, PLANETARY	HOBART; HL200-10STD	72"W X 96"D X 100"T	120/60/1 1/2 HP	-	-		OWNER
17	1	SOILED DISHTABLE	JOHN BOOS - JDTS-20-60UCL-X	30"D X 60"W X 44"H		-	-	INSINKERATOR DISPOSAL	OWNER
18	1	COMBI-OVEN, GAS W/ STAND	VULCAN ABC7G-NAT	35"W X 43.3"D X 63"H	120/60/1	-	3/4" NSHT		OWNER
19	1	SANDWICH/SALAD PREP REFRIG.	NOR-LAKE NLSF60-16	60"L X 30"D X 42 1/2"H	115/60/1 7.9 AMP	-	-		OWNER
20	-	REACH-IN COOLER/FREEZER	NOR-LAKE NLF72-S	78"W X 33"D X 83 1/4"H	115/60/1-HP 12 AMP	-	-	EXISTING TO REUSE	OWNER
21	1	ANSUL SWITCH							CONTRACTOR
22	1	RANGE	VULCAN 4BS-4B24G	48"W X 34"D X 58"H		-	-	SEE CUT SHEET FOR ELECTRICAL SPECS	OWNER
23	1	S.S. PREP TABLE		60"L X 30"D X 42 1/2"H					OWNER
24	1	KITCHEN HOOD, TYPE 1 EXHAUST	CAPTIVE AIR - ND2	10'-0"L X 4'-6"D		-	-		CONTRACTOR
25	1	NOT USED							

EQUIPMENT SCHEDULE									
NO.	QTY.	ITEM	MANUF. AND MODEL #	DIMENSIONS	ELEC.	GAS	WATER	NOTES	FURNISHED BY
26	1	NOT USED							
27	1	NOT USED							
28	1	WALK-IN-COOLER	NOR-LAKE KLB8468-C	72"W X 96"D X 100"T		-	-	COMPRESSOR MOUNTED ON TOP - REMOVE COMPRESSOR? LOCATE ON PLATFORM ABOVE SHELVING ADJACENT TO MOP SINK	OWNER
29	1	CYCLONE GAS WATER HEATER							CONTRACTOR
30	1	SS SHELF	JOHN BOOS - EWSB-1636-X	36"L X 16"D X 32" ABOVE COUNTER		-	-		OWNER
31	2	WIRE SHELVING	METRO - A2454NK3	24"W X 48"L		-	-		OWNER
32	4	P.O.S.		18"W X 18"D					OWNER
33	1	NITROGEN TANK						EXTEND FILL LINE OUT EXT. WALL	OWNER
34	1	CO2 AND SYRUP TANKS		30"W X 18"D X 86"H					OWNER
35	2	SODA FOUNTAIN GUNS- 1 GUN WITH 6-8 SODA LINES							OWNER
36	1	NOT USED							OWNER
37	1	ICE BIN	KROWNE- KRPT-2436-10	24"W X 36"D					OWNER
38	1	NOT USED							
39	1	WATER SOFTENER						VERIFY WITH OWNER	CONTRACTOR

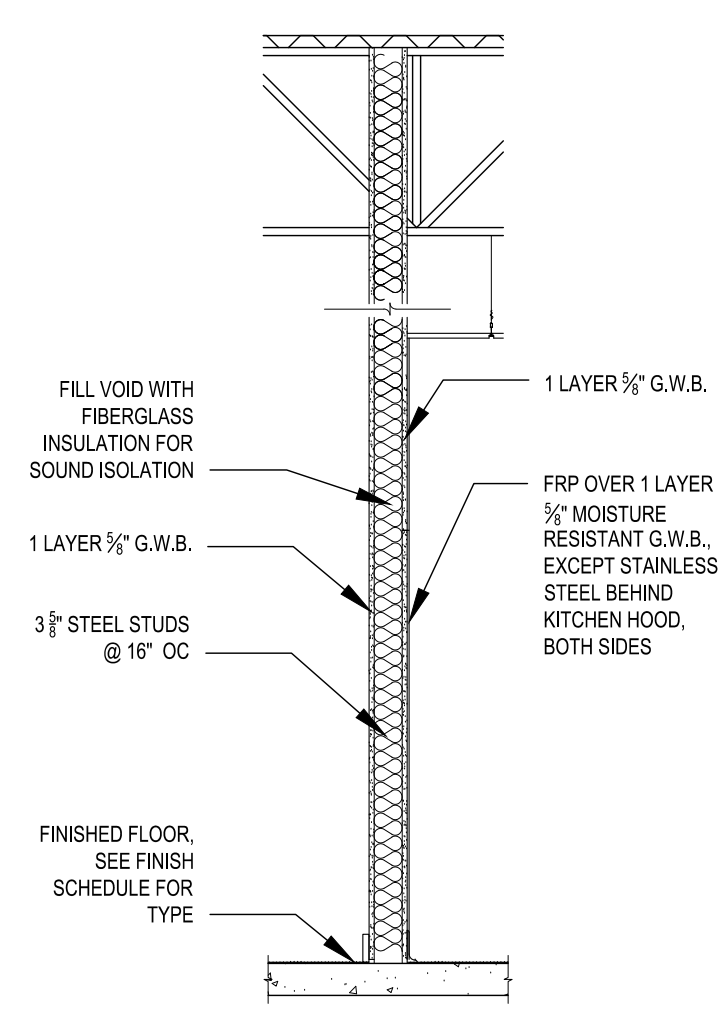
NOTES:
1. CONTRACTOR SHALL PROVIDE CUT SHEETS TO OWNER & ARCHITECT FOR APPROVAL FOR ALL CONTRACTOR-SUPPLIED EQUIPMENT PRIOR TO ORDERING.
2. THIS SCHEDULE REPRESENTS MOST UTILITY SERVICES FOR EQUIPMENT WHEN KNOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY CUT SHEETS AND THE NEED FOR ANY ADDITIONAL SERVICES PRIOR TO FINAL EQUIPMENT PURCHASE.



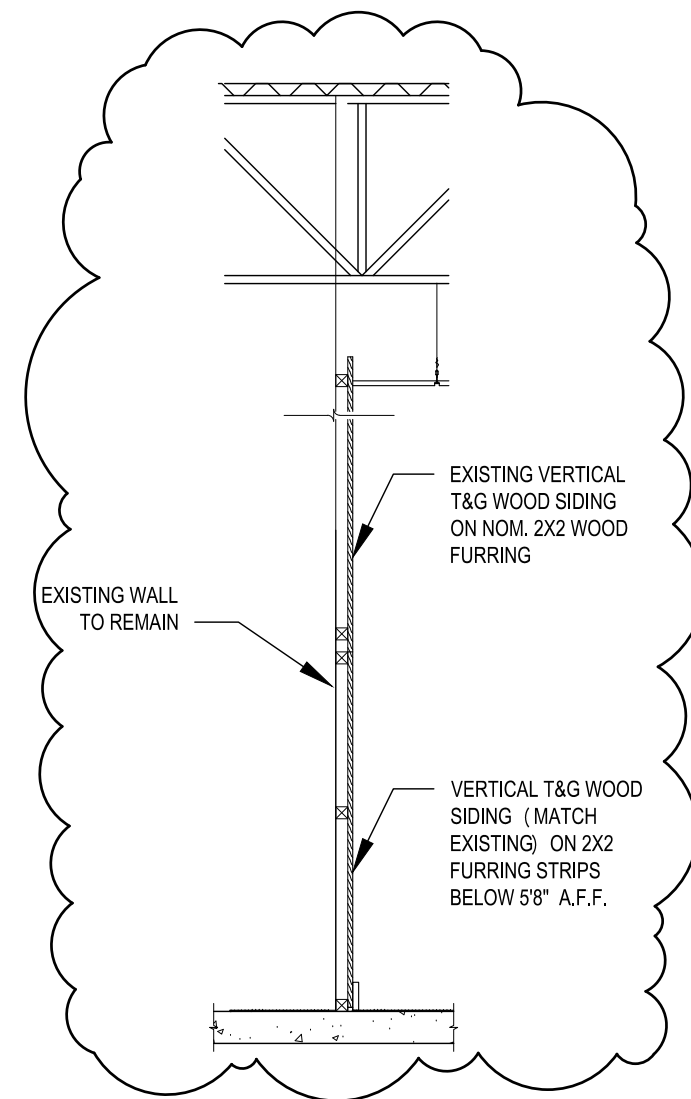
1 PARTITION TYPE P-1
1/2"=1'-0"



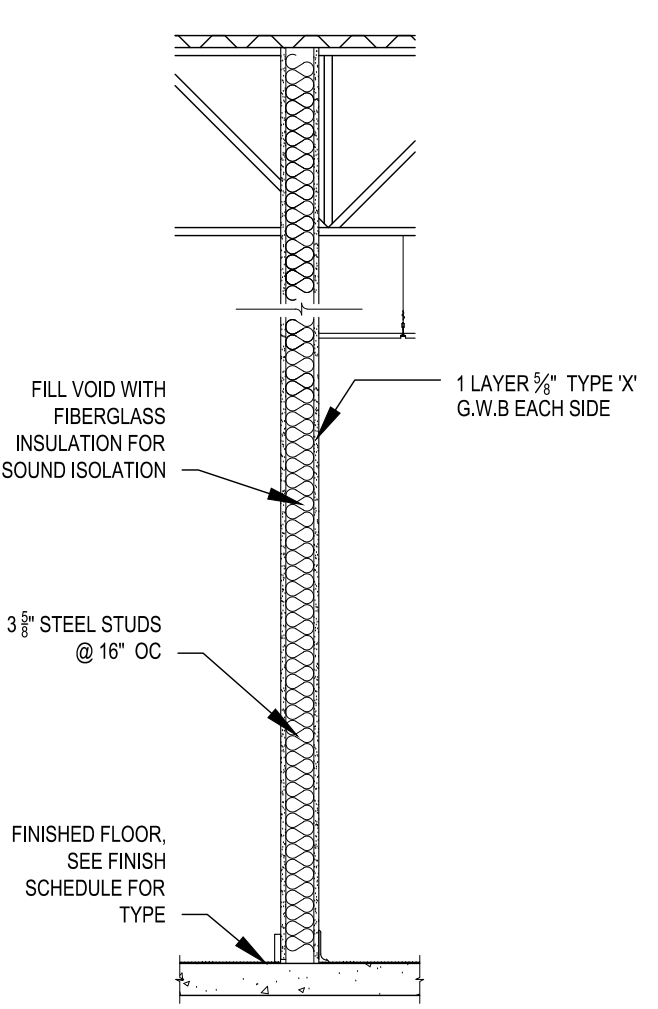
2 PARTITION TYPE P-2
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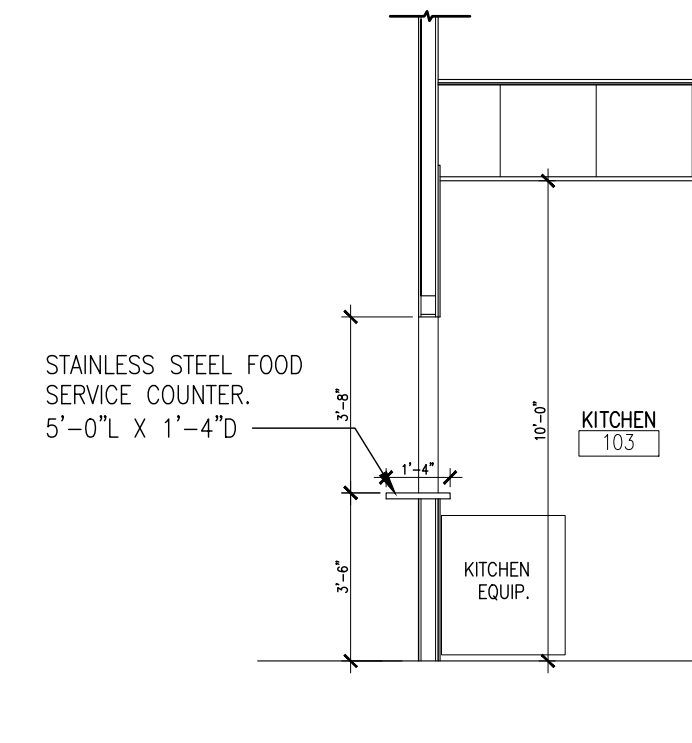
3 PARTITION TYPE P-3
1/2"=1'-0"



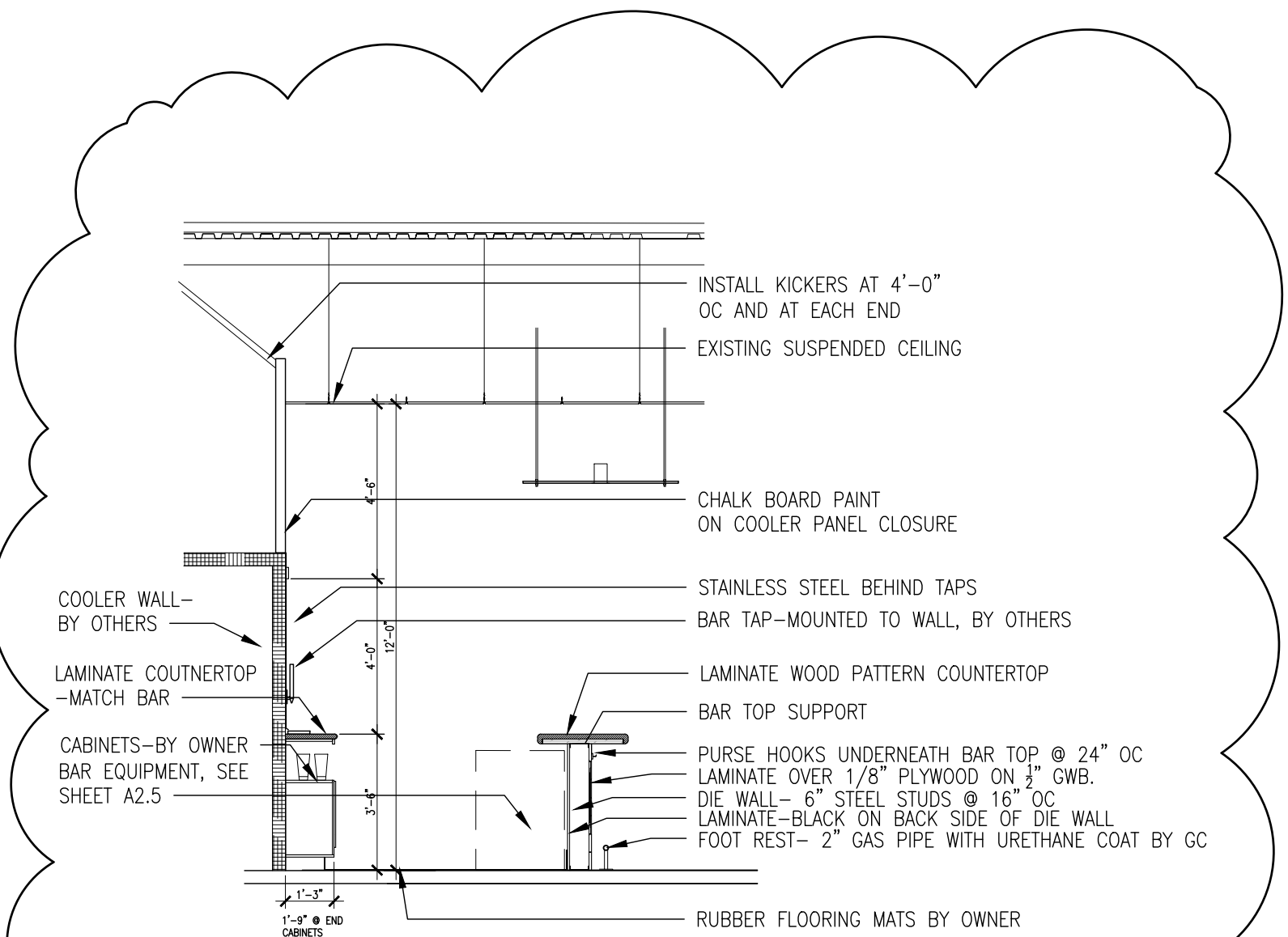
4 PARTITION TYPE P-4
1/2"=1'-0"



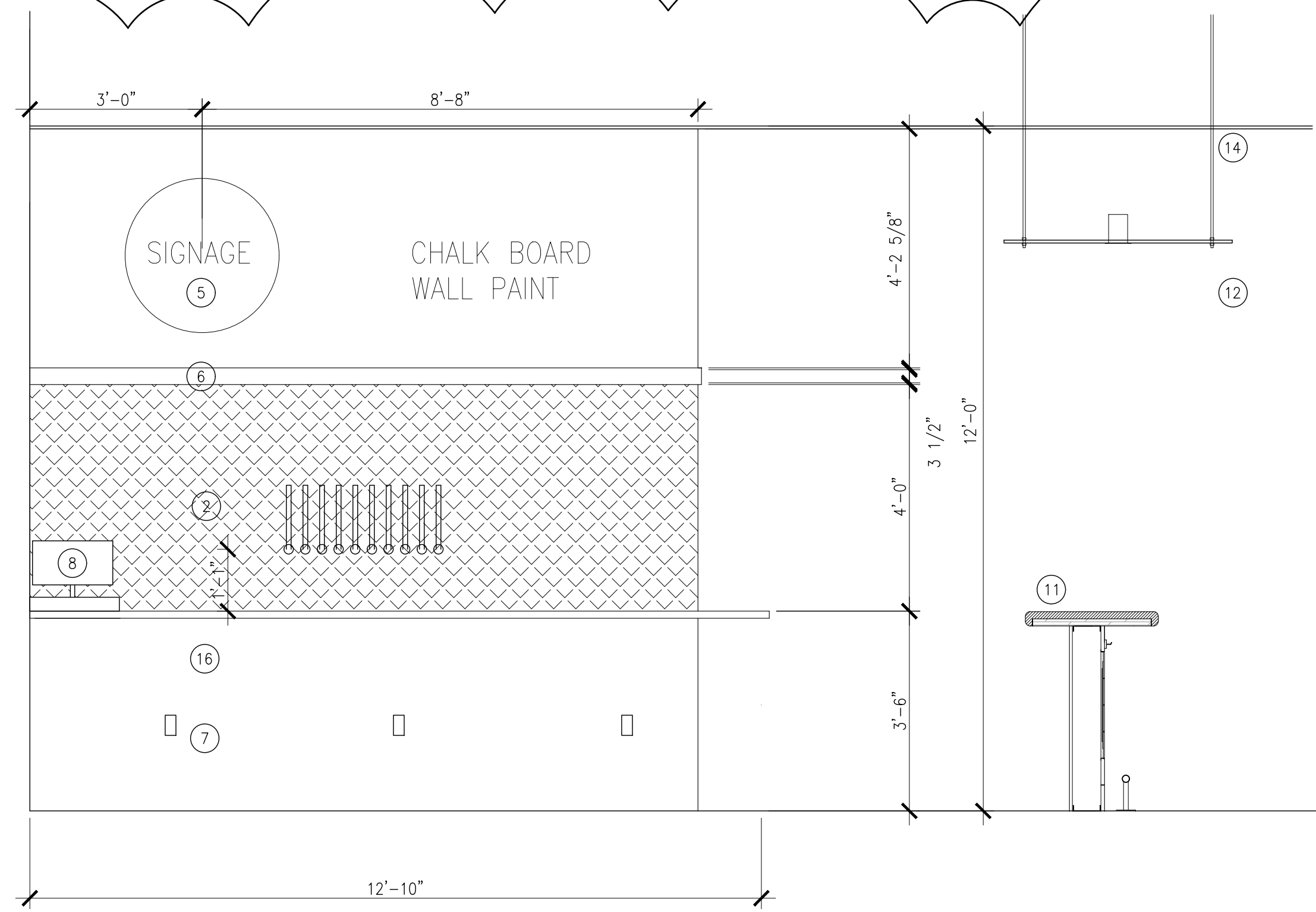
5 PARTITION TYPE P-5
1/2"=1'-0" 1hr. RATED UL DESIGN U419



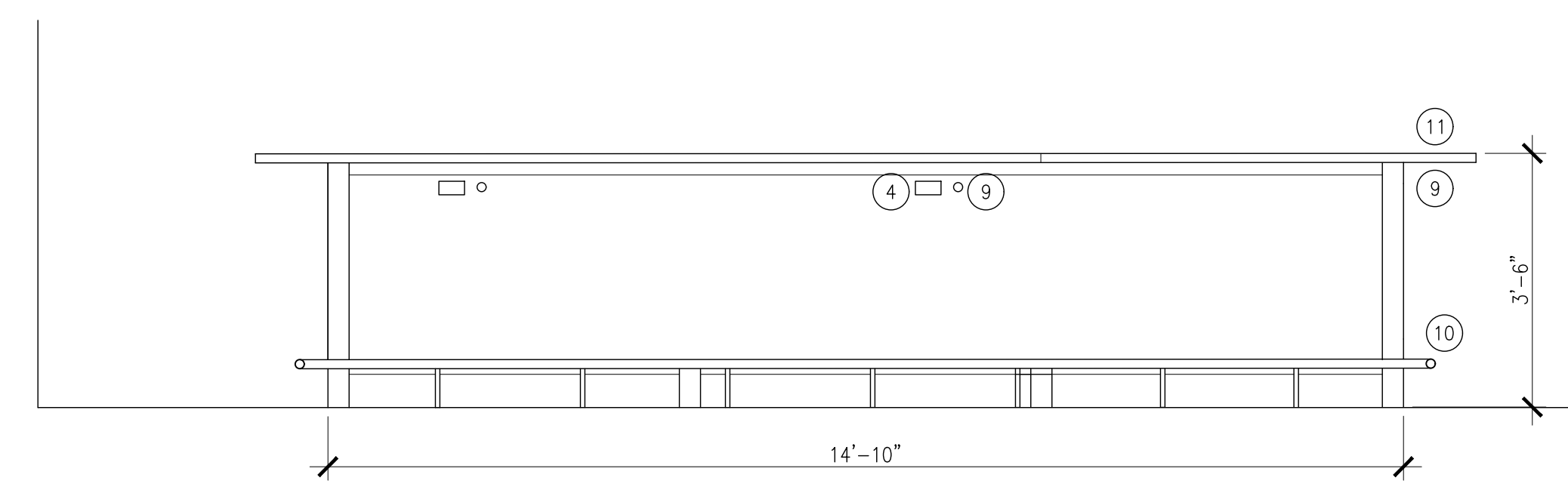
6 SECTION @ PICK-UP COUNTER
1/4"=1'-0"



7 SECTION @ BAR
1/4"=1'-0"



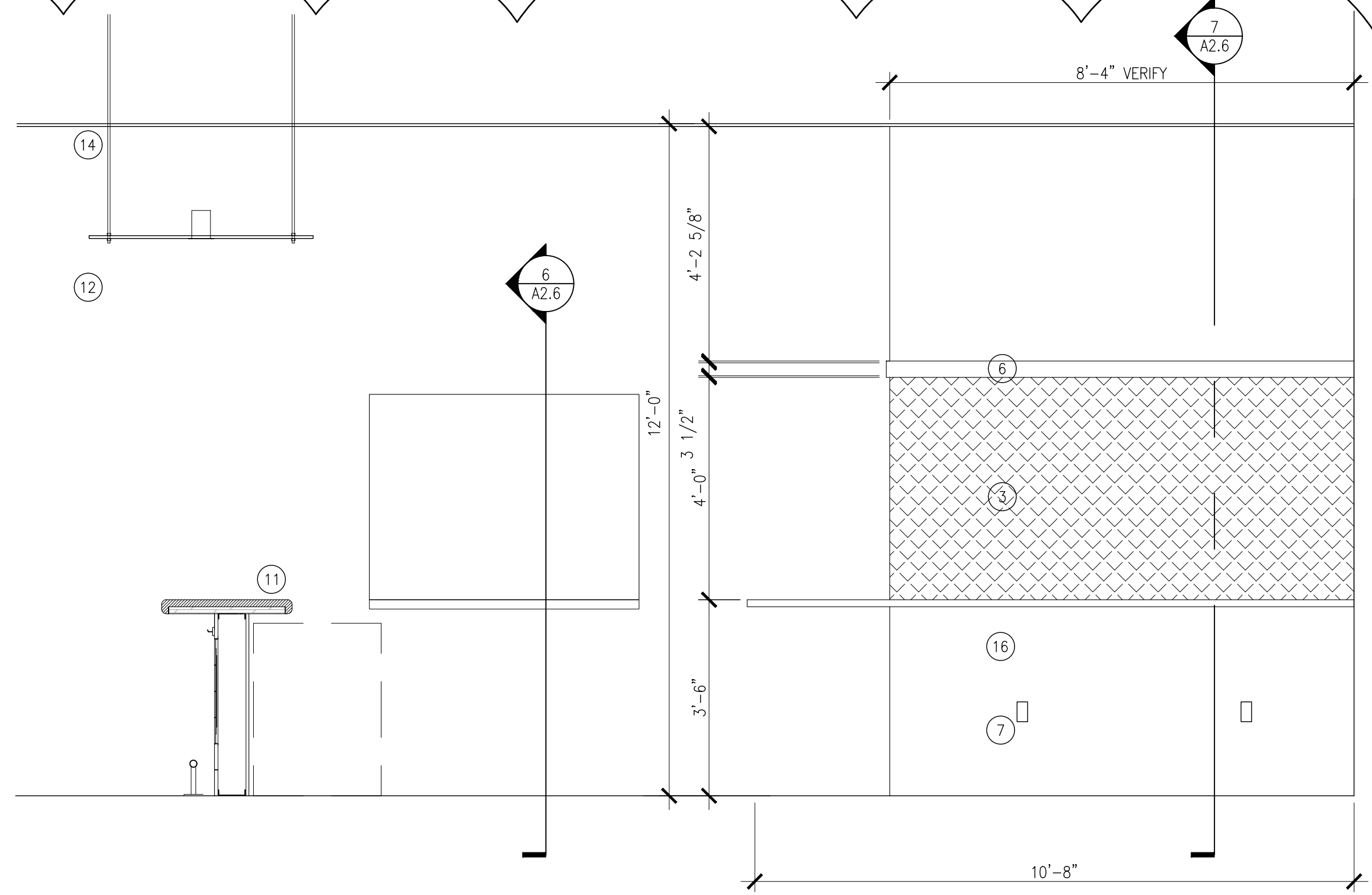
9 BACK BAR ELEVATION
1/2"=1'-0"



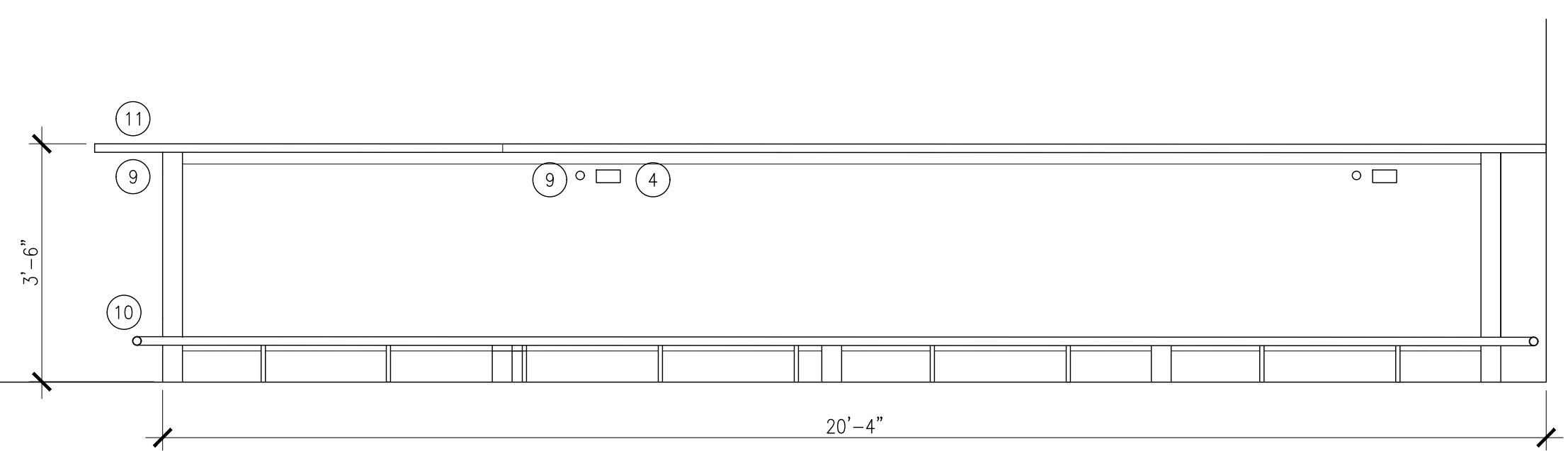
10 BAR ELEVATION
1/2"=1'-0"

ELEVATION KEY NOTES:

- 1 STAINLESS STEEL PANEL BEHIND BAR - DIAGONAL 4" SQUARE PATTERN.
- 2 BEER TAPS - TO BE INSTALLED OVER STAINLESS STEEL ON FACE OF COOLER WALL BEHIND. SEE SECTIONS. STAINLESS STEEL SUPPLIED BY TAP VENDOR.
- 3 STAINLESS STEEL ON FACE OF COOLER WALL BEHIND
- 4 USB PORT. SEE POWER & DATA PLAN
- 5 BIEROCK SIGN, BY OWNER'S SIGN CONTRACTOR. VERIFY AND PROVIDE POWER TO SIGN AS REQUIRED. 32" SHOWN
- 6 NOM. 1X4 WOOD TRIM - PAINTED
- 7 RECEPTACLES AND CABLING WITH EXPOSED CONDUIT
- 8 POS STATION, BY OTHERS.
- 9 PURSE HOOK. INSTALL @ 24" OC.
- 10 FOOT REST - GAS PIPE WITH URETHANE COAT BY GC.
- 11 WOOD LAMINATE COUNTERTOP. SELECTION TBD
- 12 2'x4'x1/2" PLYWOOD VENEER - STAINED SUSPENDED BY THREADED RODS (4) @ 4" @ 10' A.F.F. WITH 4" RECESSED CAN LIGHT CENTERED IN PANEL.
- 13 1X12 @ BASE OF BAR WALL. STAIN AND URETHANE. STAIN TBD BY TENANT.
- 14 EXISTING SUSPENDED ACT CEILING TO REMAIN - PAINT GRID AND TILE AS SCHEDULED.
- 15 NOT USED
- 16 BAR EQUIPMENT - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.



11 BACK BAR ELEVATION
1/2"=1'-0"



12 BAR ELEVATION
1/2"=1'-0"

