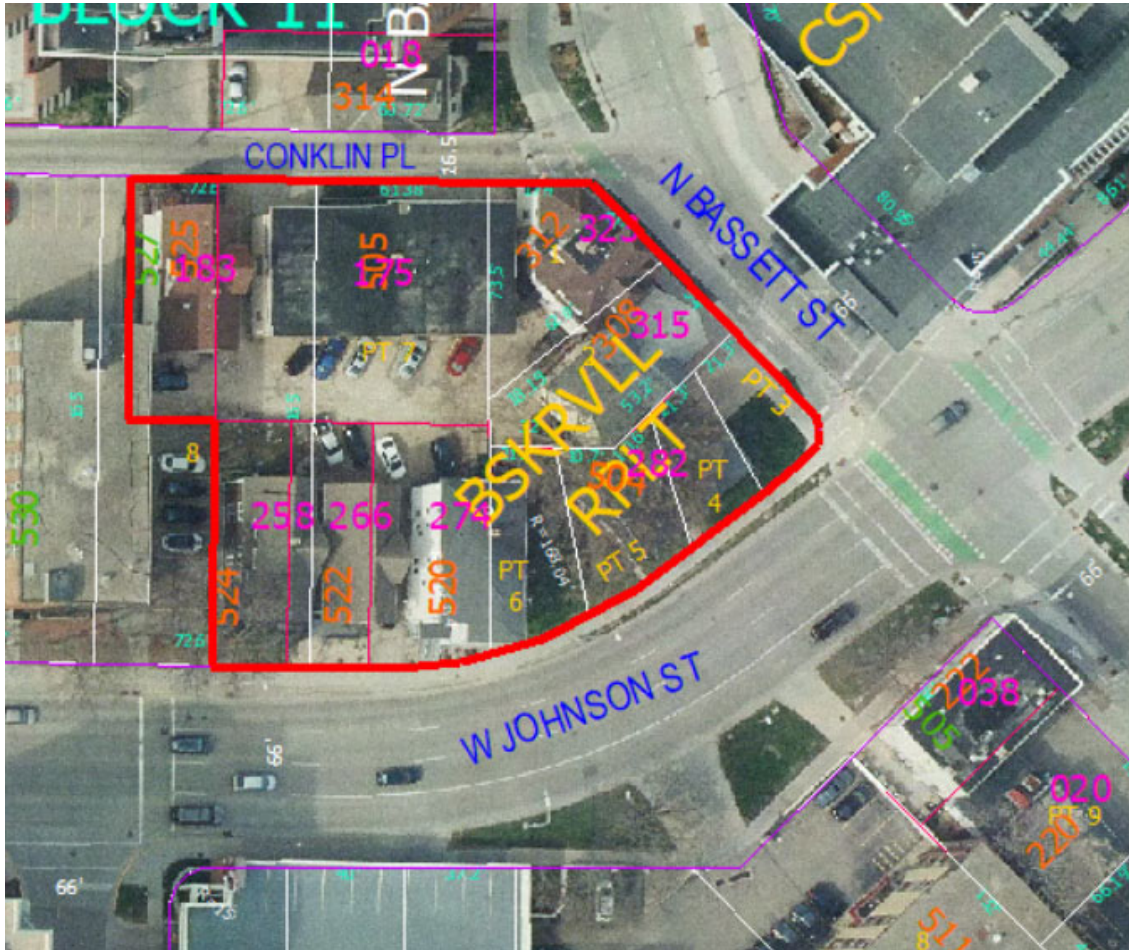


302 N Bassett Street
Contract 9150
MUNIS 14038

Developer: Verve Madison, LLC



Summary of Improvements:

- Sidewalk, terrace, path, curb & gutter, and street restoration adjacent to the project on W Johnson St, N Bassett St, and Conklin Pl
- Upsize Conklin Pl sanitary sewer to provide capacity necessary to serve the project
- Earth retention in the public right-of-way to facilitate private project excavation and construction
- Private sanitary, storm, and water service laterals
- No existing street trees. New street tree plantings as approved by City Forestry
- Maintenance agreement required for proposed planters in the public right-of-way



500 Washington Avenue South, Suite 1080
 Minneapolis, MN 55415
 p 612.339.5508 | f 612.339.5382
 www.esgarch.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature _____

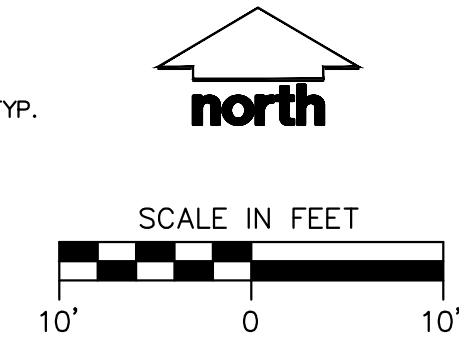
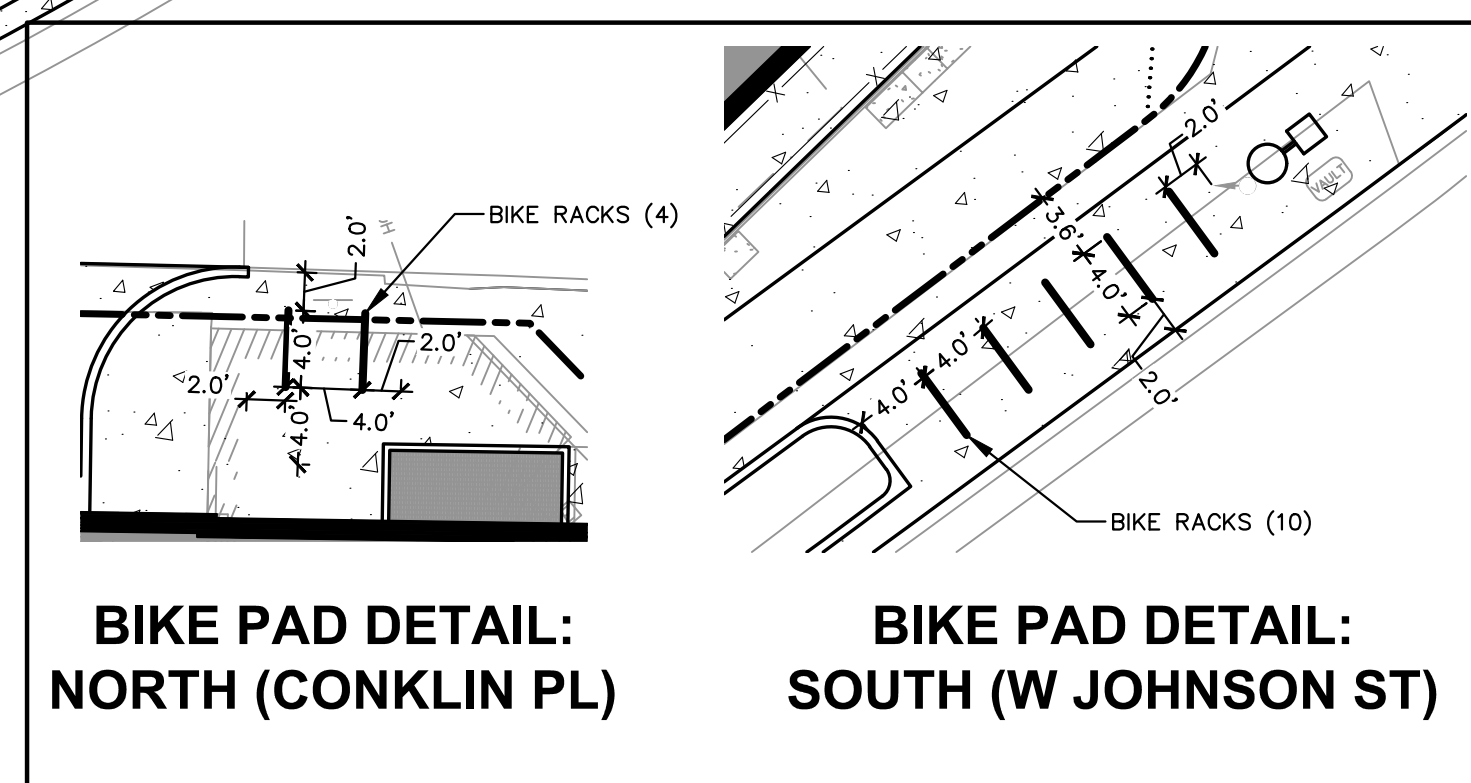
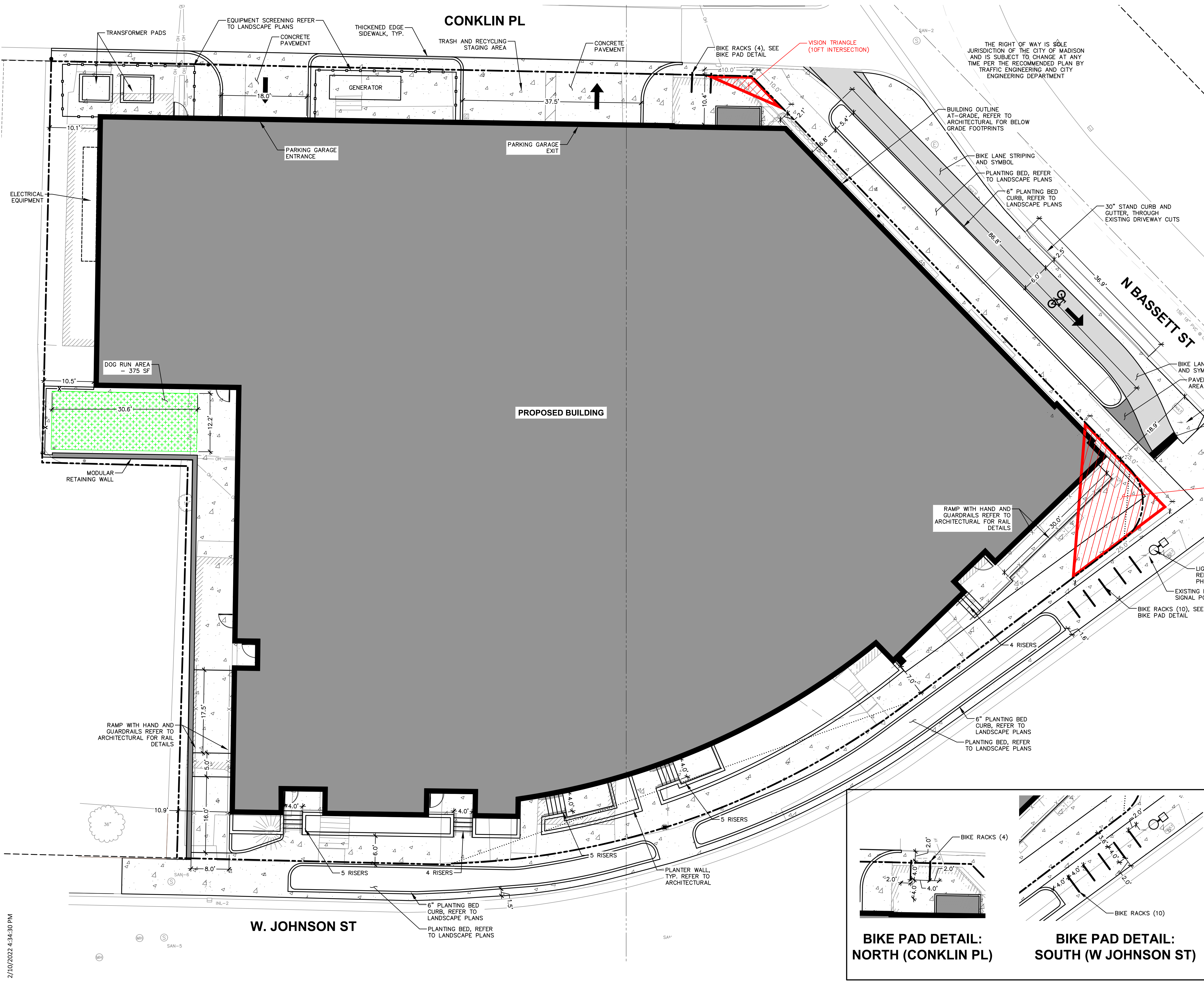
Typed or Printed Name _____

License # _____ Date _____

NOT FOR CONSTRUCTION

LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- - - -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	BUILDING SETBACK LINE
---	PAVEMENT SETBACK LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	MOUNTABLE CURB AND GUTTER
---	8" CONCRETE RIBBON CURB
---	CONCRETE PAVEMENT
---	RETAINING WALL
---	RAILING
---	FENCE
○	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	BIKE RACK



SITE INFORMATION BLOCK

SITE ADDRESS	CORNER OF N BASSETT ST AND W JOHNSON ST
PROPERTY ACREAGE	0.66 ACRES
ZONING	URBAN MIXED USE (UMX)
NUMBER OF BUILDING STORIES	12
TOTAL BUILDING SQUARE FOOTAGE	LEVEL P2: 25,206 SF
GROSS BUILDING SQUARE FOOTAGE	278,581 SF
LOT COVERAGE SURFACE AREA	22,001
LOT COVERAGE SURFACE AREA RATIO	0.77
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	77
STREET	16
ACCESSIBLE	5
COMPACT	15
ELECTRIC READY	11
ELECTRIC INSTALLED	2
TOTAL	126
NUMBER OF BICYCLE STALLS:	
SHORT TERM (INDOOR)	30
LONG TERM (INDOOR)	268
TOTAL	298
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	24,385 SF
EXISTING PERVIOUS SURFACE AREA	4,448 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.85
PROPOSED IMPERVIOUS SURFACE AREA	27,698 SF
PROPOSED PERVIOUS SURFACE AREA	1,135 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.96

NOTE:
 GREEN ROOF WAS COUNTED AS IMPERVIOUS AREA FOR THE IMPERVIOUS SURFACE AREA RATIO.

SITE PLAN VERIFICATION

ORIGINAL ISSUE: 2/11/22

REVISIONS
 No. Description Date

221532
 PROJECT NUMBER
 CTD MAH
 DRAWN BY CHECKED BY

KEY PLAN

Verve Madison

CIVIL SITE PLAN
C3.0



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Signature _____
 Typed or Printed Name _____
 License # _____ Date _____

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SITE PLAN VERIFICATION

ORIGINAL ISSUE: 2/11/22
 REVISIONS No. Description Date

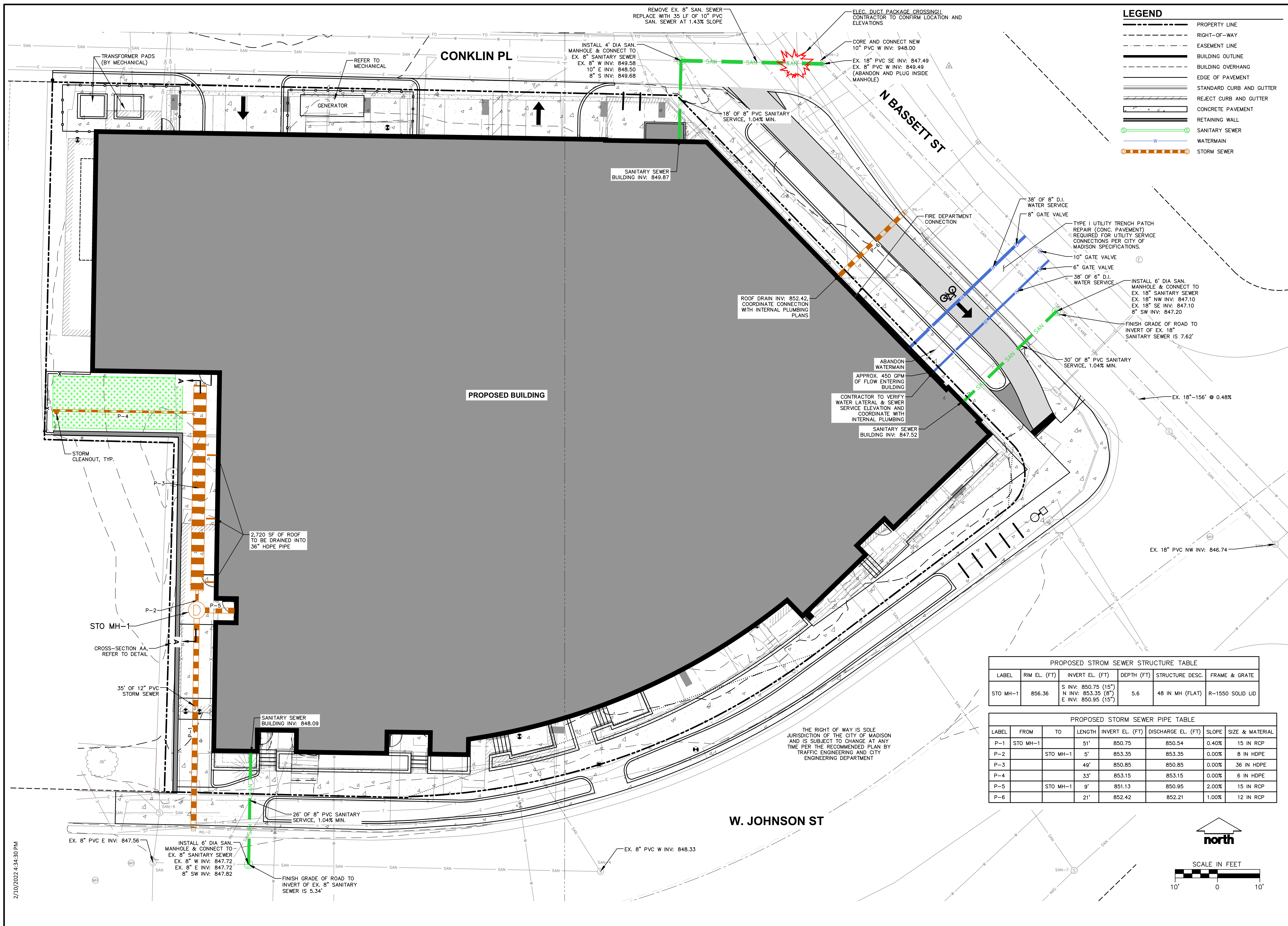
221532
 PROJECT NUMBER
 CTD MAH
 DRAWN BY CHECKED BY

KEY PLAN

Verve Madison

UTILITY PLAN

C5.0



2/10/2022 4:34:30 PM

PLANT LEGEND

TREES	CODE	COMMON / BOTANICAL NAME
	GP	PRINCETON SENTRY MAIDENHAIR TREE GINKGO BILOBA 'PRINCETON SENTRY'
	GD	STREET KEEPER HONEY LOCUST GLEDTISIA TRIACANTHOS INERMIS 'DRAVES' TM

Contractor shall contact City Forestry at (608) 266-4816 at least one week prior to street tree planting to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper.

Tree planting specifications can be found in section 209 of City of Madison Standard Specifications for Public Works Construction - All street tree planting locations and tree species within the right of way shall be determined by City Forestry. A landscape plan (in PDF format) shall be submitted City Forestry for approval of planting locations and tree species. All available street tree planting locations shall be planted within the project boundaries.

Contractor shall contact City Forestry at (608) 266-4816 at least one week prior to street tree planting to schedule inspection and approval of nursery tree stock and review planting specifications with the landscape



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**DAMON FARBER
LANDSCAPE ARCHITECTS**

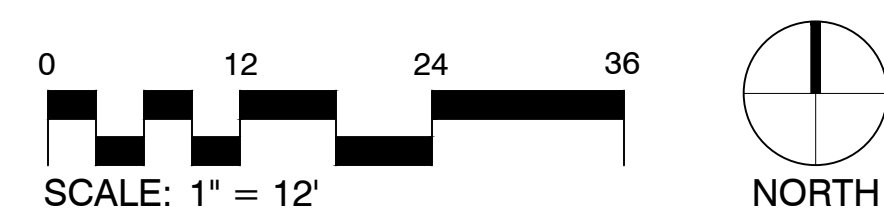
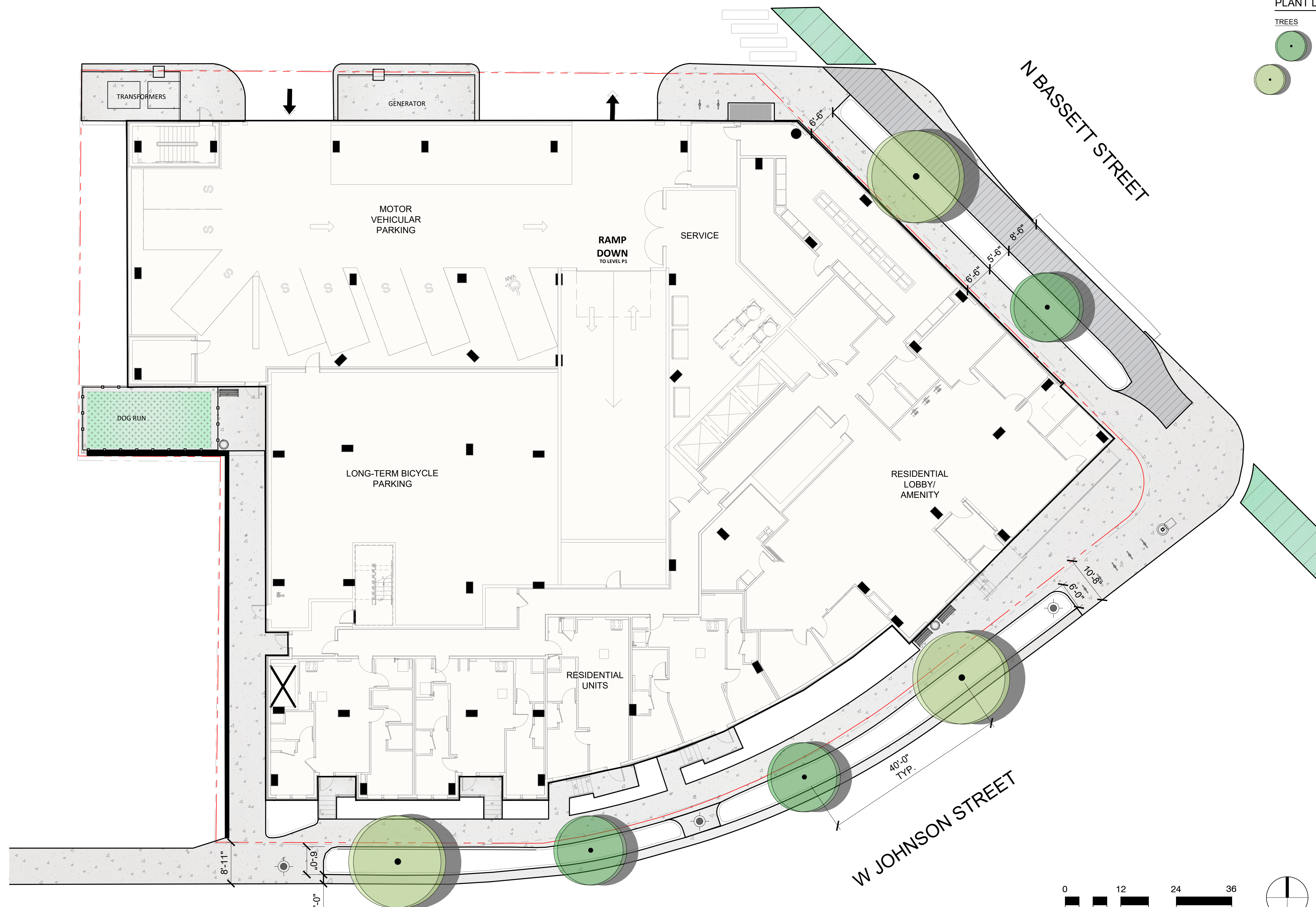
401 North 2nd Avenue, Suite 410
Minneapolis, MN 55401
p: 612.332.7522

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed landscape architect under the laws of the State of Wisconsin

Signature

Jesse Symonkywicz
Typed or Printed Name

479-14 02/11/2022
License # Date



Gleditsia triacanthos inermis 'Draves'



Ginkgo biloba 'Princeton Sentry'

**SITE PLAN
VERIFICATION**

ORIGINAL ISSUE: 02/11/22

REVISIONS	No.	Description	Date

221532

PROJECT NUMBER

KH	JS
DRAWN BY	CHECKED BY

KEY PLAN

**NOT FOR
CONSTRUCTION**

Verve Madison

STREET TREE PLAN

L1-2