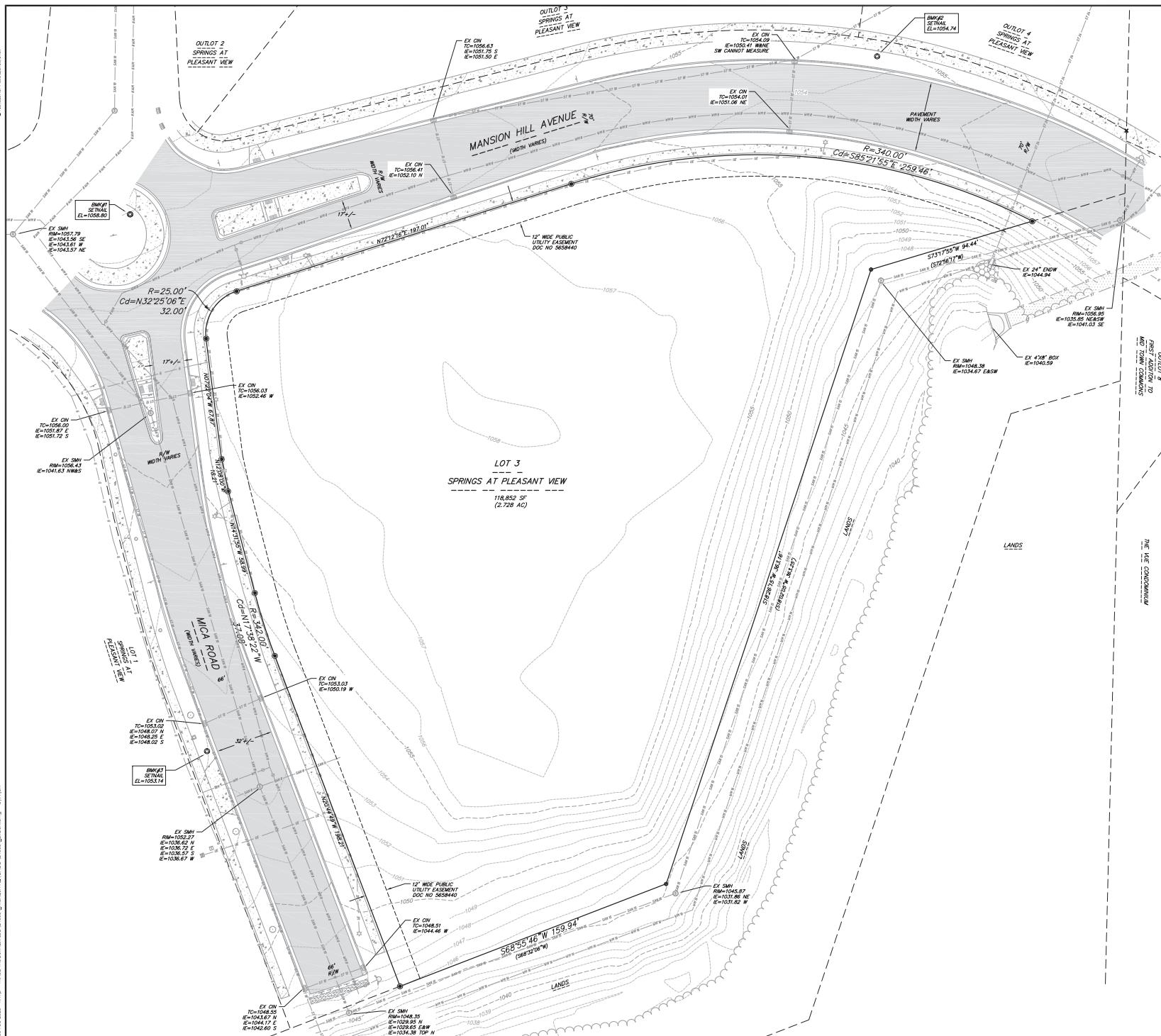


8421 Mansion Hill Avenue
Contract 9649
MUNIS 15676
Developer: 8421 Mansion Hill LLC



Summary of Improvements:

- Restore existing public sidewalk, street terrace, curb & gutter, and pavement this is damaged or removed as part of the 8421 Mansion Hill Avenue development per plans approved by the City Engineer.
- Construct private sanitary and water service laterals within Mansion Hill Avenue and Mica Road needed to serve the development per plans approved by the City Engineer.
- Construct private storm sewer laterals within the existing public greenway to provide private site drainage for the development per plans approved by the City Engineer.
- Construct new private drive aprons on Mansion Hill Avenue and Mica Road.
- Protect existing public streetlights and wiring.
- Provide traffic control and obtain street occupancy per approvals from City Traffic Engineering.
- Plant new public street terrace trees as approved by City Forestry.



GRAPHIC SCALE, FEET

SURVEY LEGEND

Ⓐ BENCHMARK
✖ FOUND CHISELED "X"
Ⓑ FOUND 1-1/4" # IRON R.
Ⓒ FOUND 3/4" # IRON R.

The legend includes the following symbols and descriptions:

- EG** Existing Gas Line
- SE** Existing Underground Electrical
- SAN** Existing Sanitary Sewer
- ST** Existing Storm Sewer Line
- ET** Existing Edge of Trees
- EM** Existing Water Main (Size)
- MC** Existing Major Contour
- MCN** Existing Minor Contour
- EP** Existing Edge of Pavement
- EGG** Existing Edge of Gravel
- RR** Existing Rip Rap
- GS** Existing Gravel Surface
- CS** Existing Concrete Surface
- AS** Existing Asphalt Surface

BASED UPON FIELD SURVEY WORK COMPLETED ON
ANY CHANGES IN SITE CONDITIONS AFTER
ARE NOT REFLECTED BY THIS SURVEY.

RENCED TO THE WISCONSIN COUNTY COORDINATE
SYSTEM, NAD 83 (2011). ELEVATIONS ARE BASED
ON UTM.

UTILITIES HAVE BEEN LOCATED PER MARKINGS
ROUND OR MAPS PROVIDED BY THE UTILITIES
THEIR AUTHORIZED REPRESENTATIVES.
UR DIGGER'S HOTLINE TICKETS NUMBERS
43108983, 20243108987 AND 20243108991. NO
REQUEST WAS MADE, VIERBICHER DOES NOT
LOCATIONS MARKED OR MAPPED BY OTHERS.

STRUCTURES WERE SURVEYED, UNLESS
SEWER PIPES ARE SHOWN PER THE CITY OF
WEBSITE.

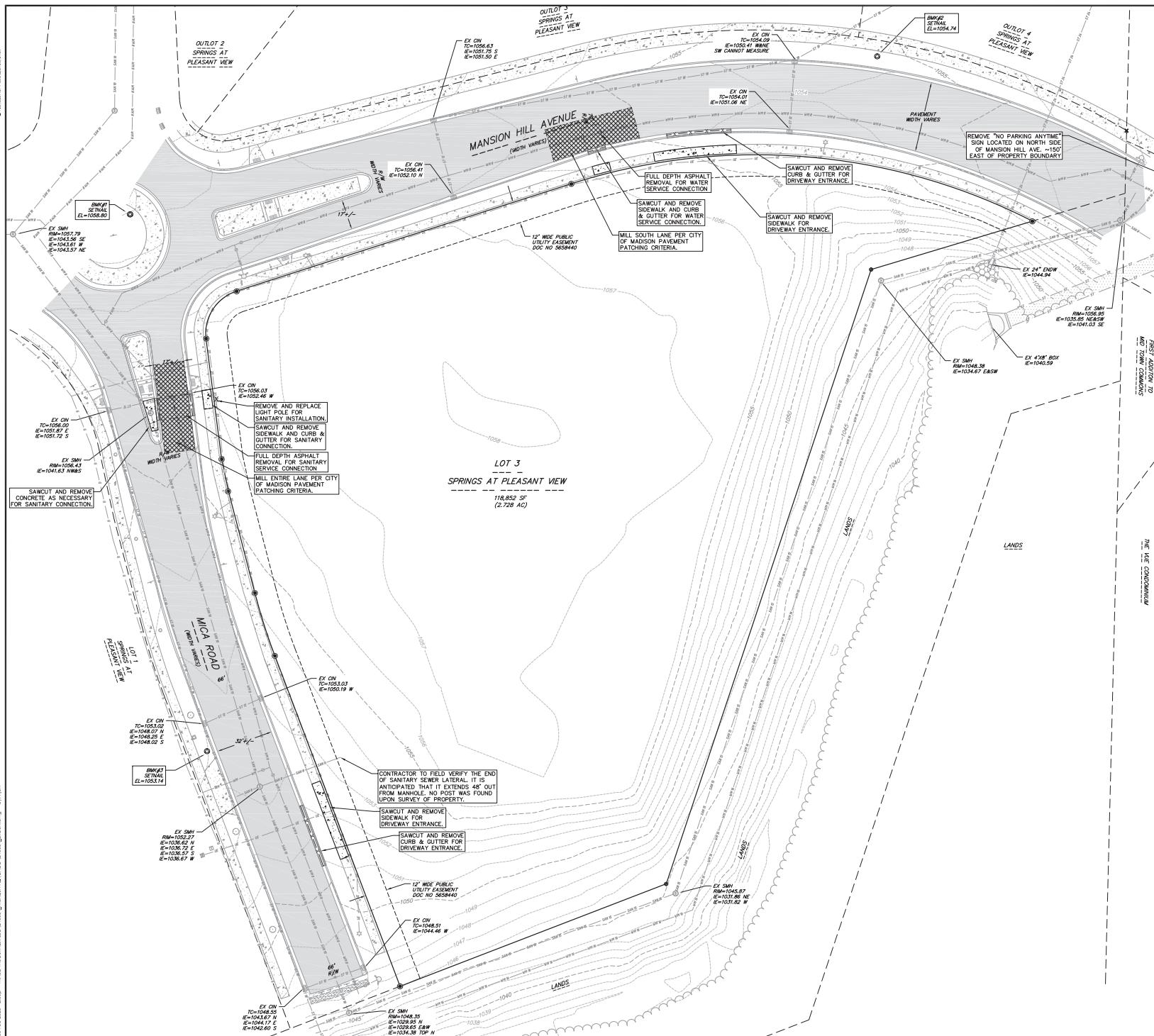
BEEN MADE AS A PART OF THIS SURVEY TO
DATA CONCERNING CONDITION, OR CAPACITY OF
MUNICIPAL/PUBLIC SERVICE FACILITY. FOR
ORDING THESE UTILITIES CONTACT THE
CIES.

TY OF LOT 3 IS LIMITED TO A MAXIMUM OF 50
- PER THE PLAT OF SPRINGS AT PLEASANT

TO PROVIDE STORMWATER MANAGEMENT ON COUNTY/CITY REQUIREMENTS WHEN IT DEVELOPS DE SPRINGS AT PLEASANT VIEW

DE NO INVESTIGATION OR INDEPENDENT SEARCH
F RECORD, ENCUMBRANCES, RESTRICTIVE
WERSHIP, TITLE, EVIDENCE.

DITIONS PLAN WAS PREPARED AT THE REQUEST
LLC, 101 NORTH MILLS STREET, MADISON, WI

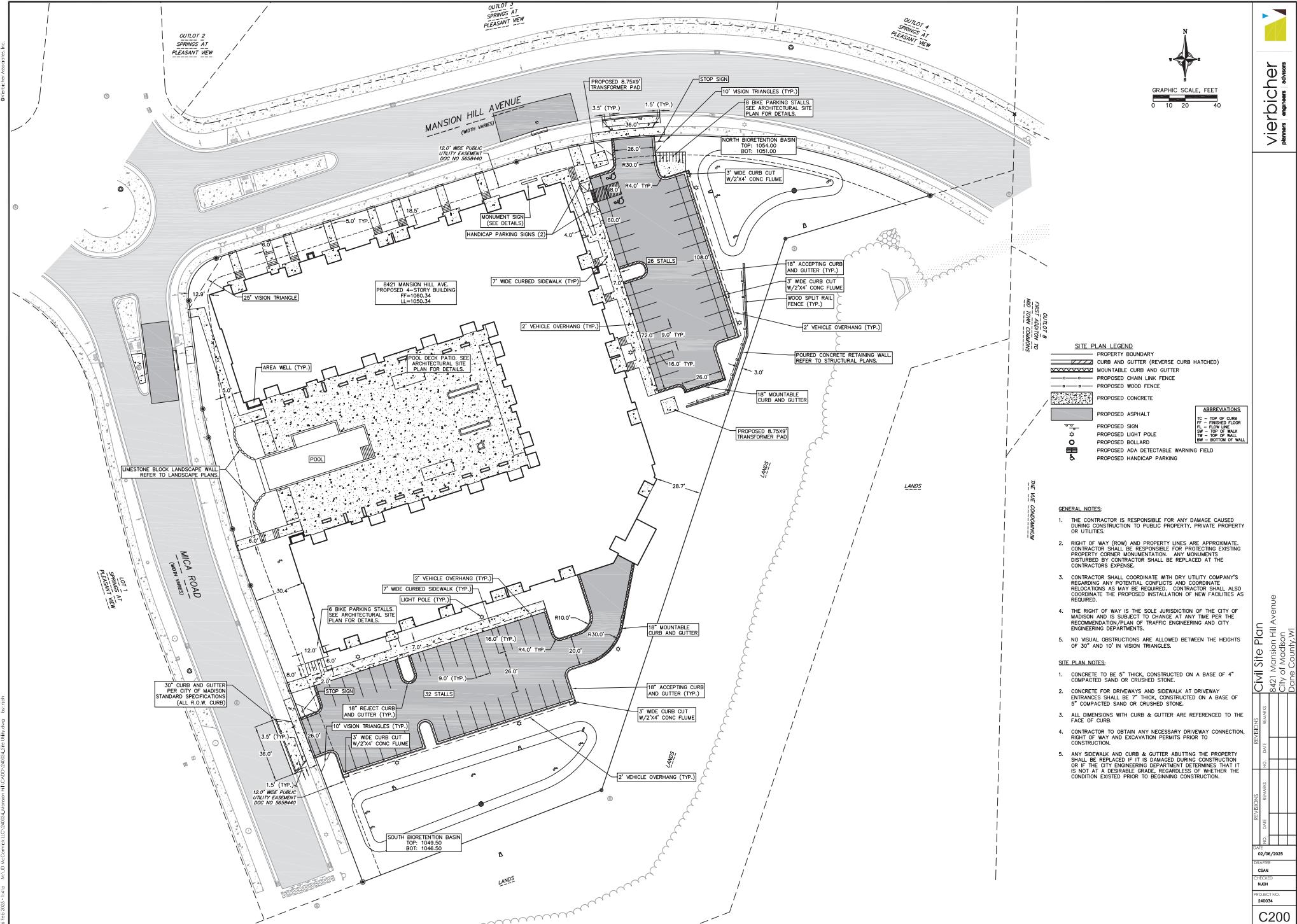


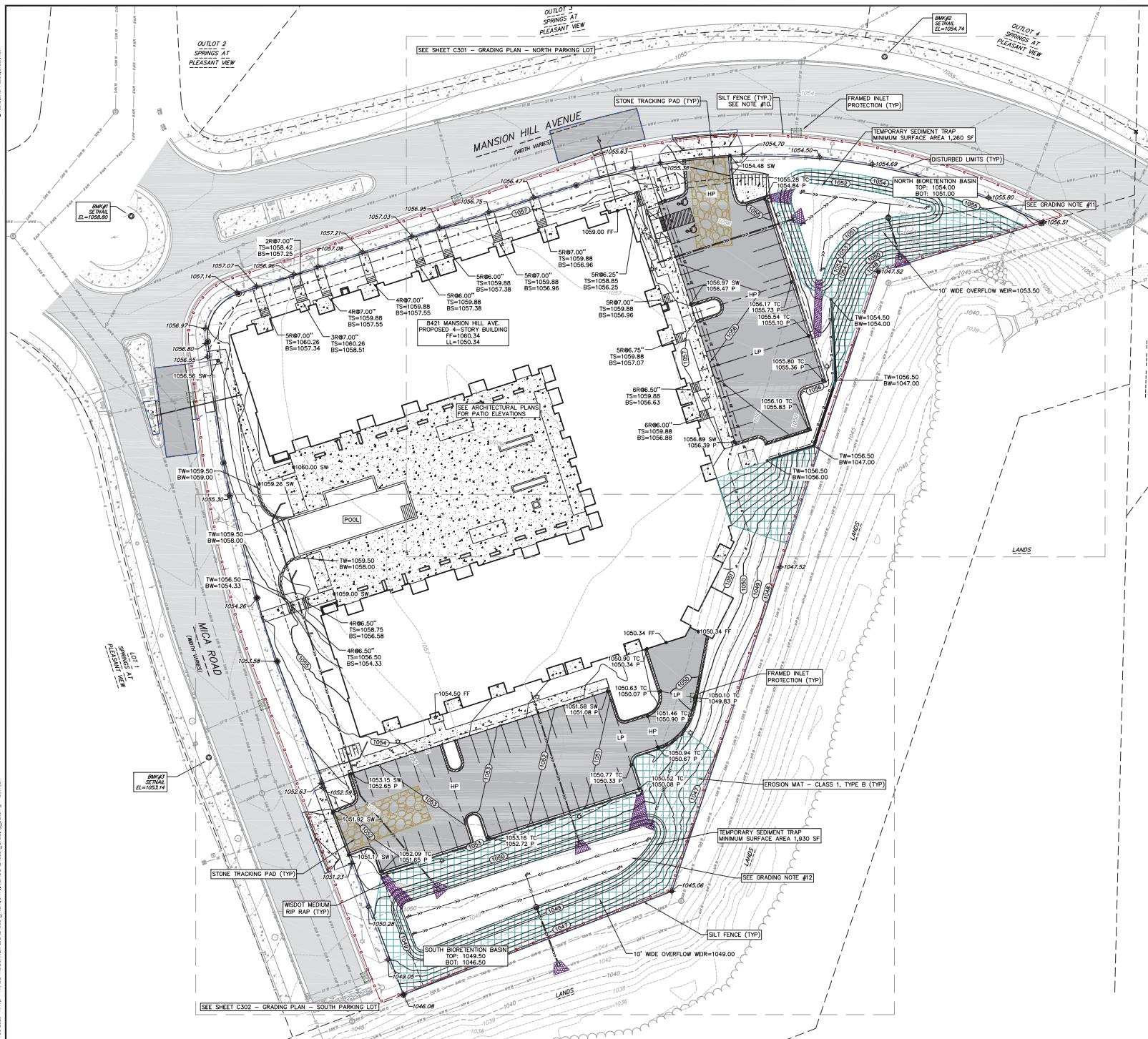
GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S CONTRACTOR FOR ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED BY THE DRY UTILITY COMPANY.
4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

DEMOLITION NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/ROCK/DEBRIS.
2. CONTRACTOR NOTIFICATION: CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION, MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURE DURING CONSTRUCTION, AND LOCATE NEW CONSTRUCTION UTILITIES AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF NEW UTILITIES.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUNDED TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MANTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL UPFARMS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND CONSTRUCTION PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.





Grading and Erosion Control Plan

3421 Mansion Hill Avenue
City of Madison
Dane County, WI





