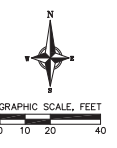
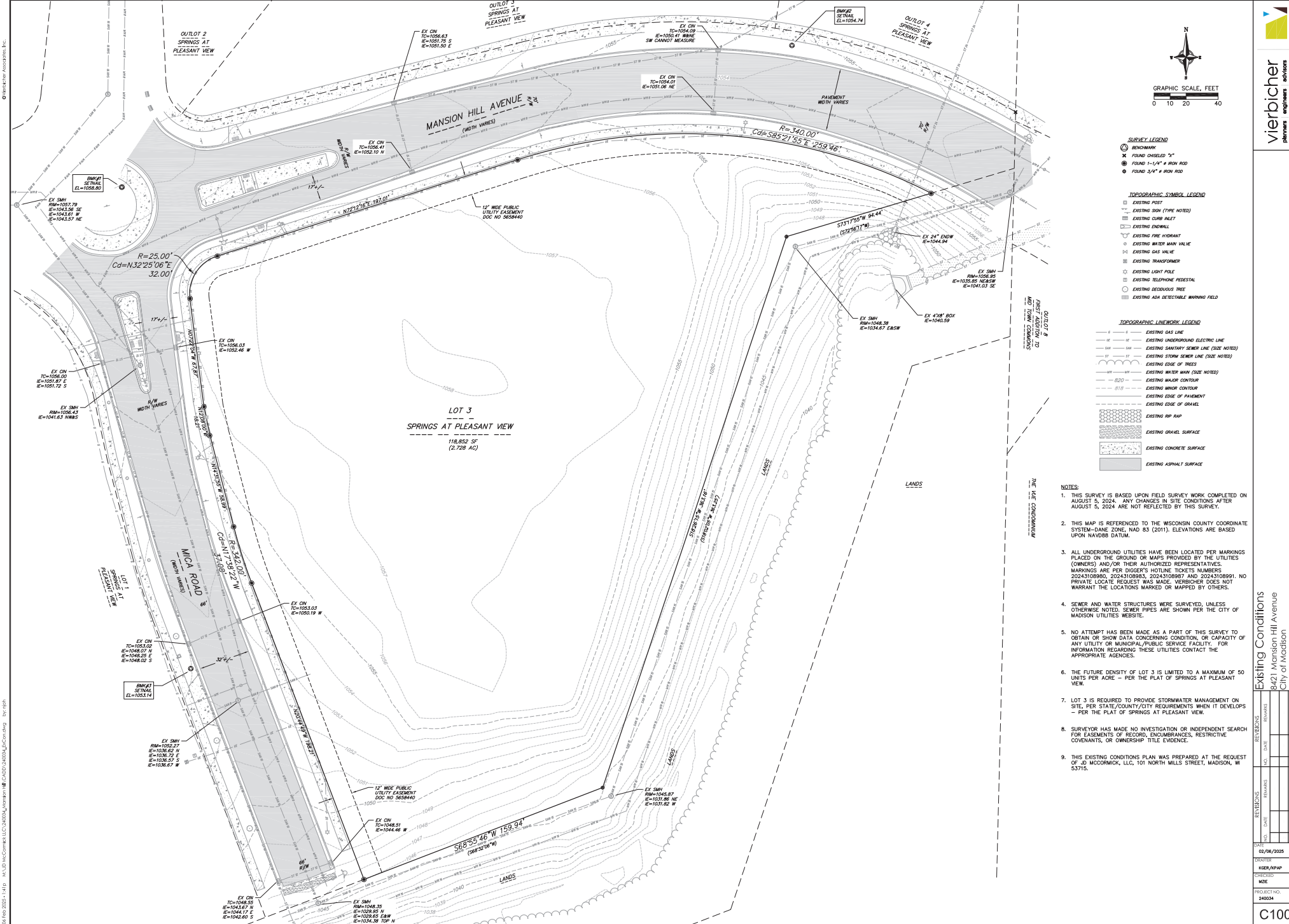


**8421 Mansion Hill Avenue
Contract 9649
MUNIS 15676
Developer: 8421 Mansion Hill LLC**



Summary of Improvements:

- Restore existing public sidewalk, street terrace, curb & gutter, and pavement this is damaged or removed as part of the 8421 Mansion Hill Avenue development per plans approved by the City Engineer.
- Construct private sanitary and water service laterals within Mansion Hill Avenue and Mica Road needed to serve the development per plans approved by the City Engineer.
- Construct private storm sewer laterals within the existing public greenway to provide private site drainage for the development per plans approved by the City Engineer.
- Construct new private drive aprons on Mansion Hill Avenue and Mica Road.
- Protect existing public streetlights and wiring.
- Provide traffic control and obtain street occupancy per approvals from City Traffic Engineering.
- Plant new public street terrace trees as approved by City Forestry.



- SURVEY LEGEND**
- ⊙ BENCHMARK
 - ⊕ FOUND ORHOLED "2"
 - ⊕ FOUND 1-1/4" IRON ROD
 - ⊕ FOUND 3/4" IRON ROD

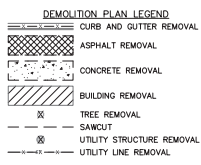
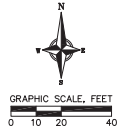
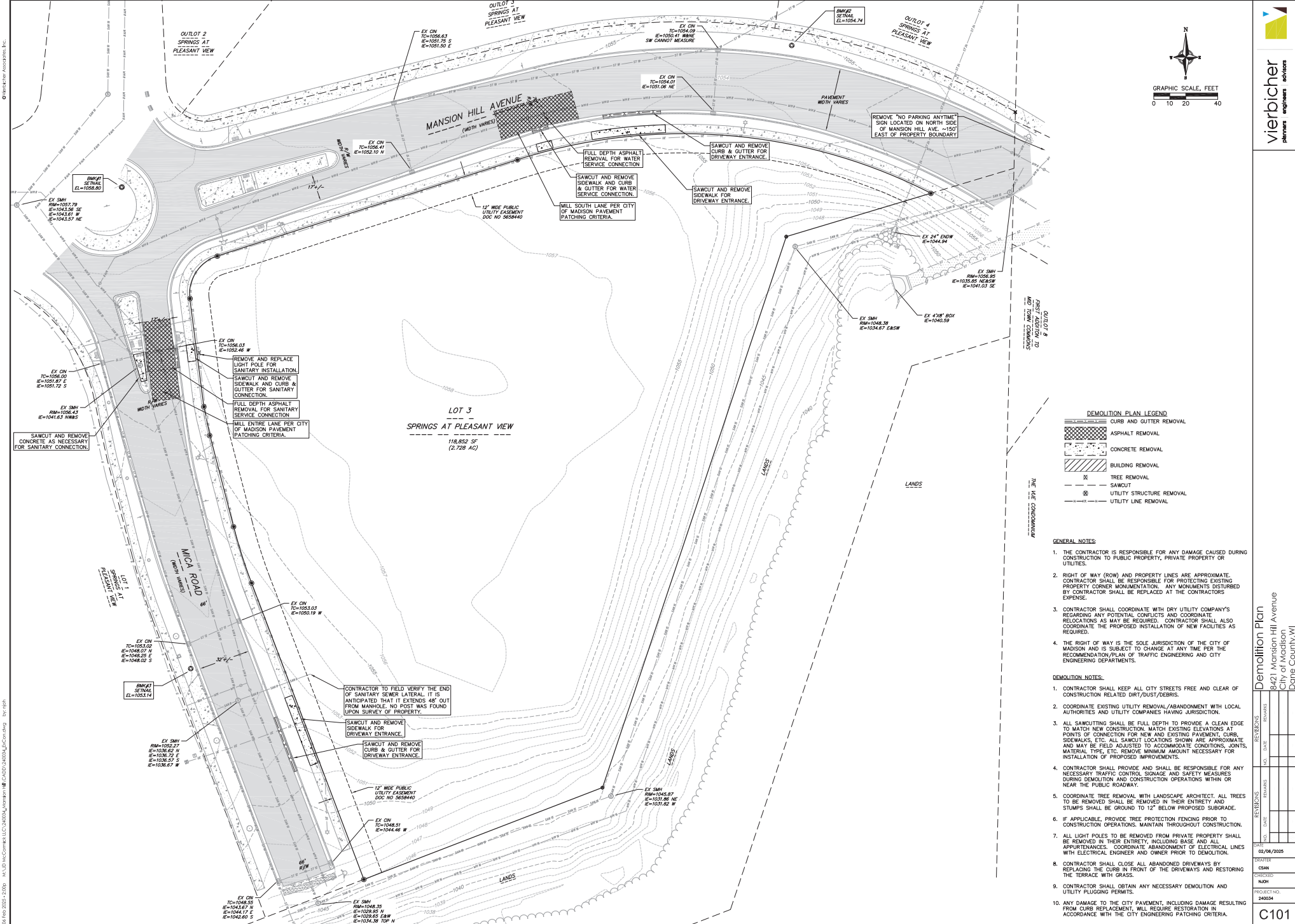
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POST
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING CURB INLET
 - EXISTING ENDWALL
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING GAS VALVE
 - EXISTING TRANSFORMER
 - EXISTING LIGHT POLE
 - EXISTING TELEPHONE PESTAL
 - EXISTING DECIDUOUS TREE
 - EXISTING ADA DETECTABLE WARNING FIELD

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING EDGE OF PAVEMENT
 - EXISTING RIP RAP
 - EXISTING GRAVEL SURFACE
 - EXISTING CONCRETE SURFACE
 - EXISTING ASPHALT SURFACE

- NOTES:**
1. THIS SURVEY IS BASED UPON FIELD SURVEY WORK COMPLETED ON AUGUST 5, 2024. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 5, 2024 ARE NOT REFLECTED BY THIS SURVEY.
 2. THIS MAP IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM-DANE ZONE, NAD 83 (2011). ELEVATIONS ARE BASED UPON NAVD88 DATUM.
 3. ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND OR MAPS PROVIDED BY THE UTILITIES (OWNERS) AND/OR THEIR AUTHORIZED REPRESENTATIVES. MARKINGS ARE PER DIGGER'S HOTLINE TICKETS NUMBERS 20243108960, 20243108963, 20243108987 AND 20243108991. NO PRIVATE LOCATE REQUEST WAS MADE. VERBICHER DOES NOT WARRANT THE LOCATIONS MARKED OR MAPPED BY OTHERS.
 4. SEWER AND WATER STRUCTURES WERE SURVEYED, UNLESS OTHERWISE NOTED. SEWER PIPES ARE SHOWN PER THE CITY OF MADISON UTILITIES WEBSITE.
 5. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION, OR CAPACITY OF ANY UTILITY OR MUNICIPAL PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES CONTACT THE APPROPRIATE AGENCIES.
 6. THE FUTURE DENSITY OF LOT 3 IS LIMITED TO A MAXIMUM OF 50 UNITS PER ACRE - PER THE PLAT OF SPRINGS AT PLEASANT VIEW.
 7. LOT 3 IS REQUIRED TO PROVIDE STORMWATER MANAGEMENT ON SITE, PER STATE/COUNTY CITY REQUIREMENTS WHEN IT DEVELOPS - PER THE PLAT OF SPRINGS AT PLEASANT VIEW.
 8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
 9. THIS EXISTING CONDITIONS PLAN WAS PREPARED AT THE REQUEST OF JD MCCORMACK, LLC, 101 NORTH MILLS STREET, MADISON, WI 53715.

NO.	DATE	BY	FOR	REVISIONS

DATE: 02/08/2025
CHECKED BY: KGER/ADP
DATE:
PROJECT NO.: 24004
C100



- GENERAL NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
 2. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 3. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

- DEMOLITION NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROWWAY.
 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRUNDED TO 12" BELOW PROPOSED SUBGRADE.
 6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
 9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

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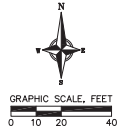
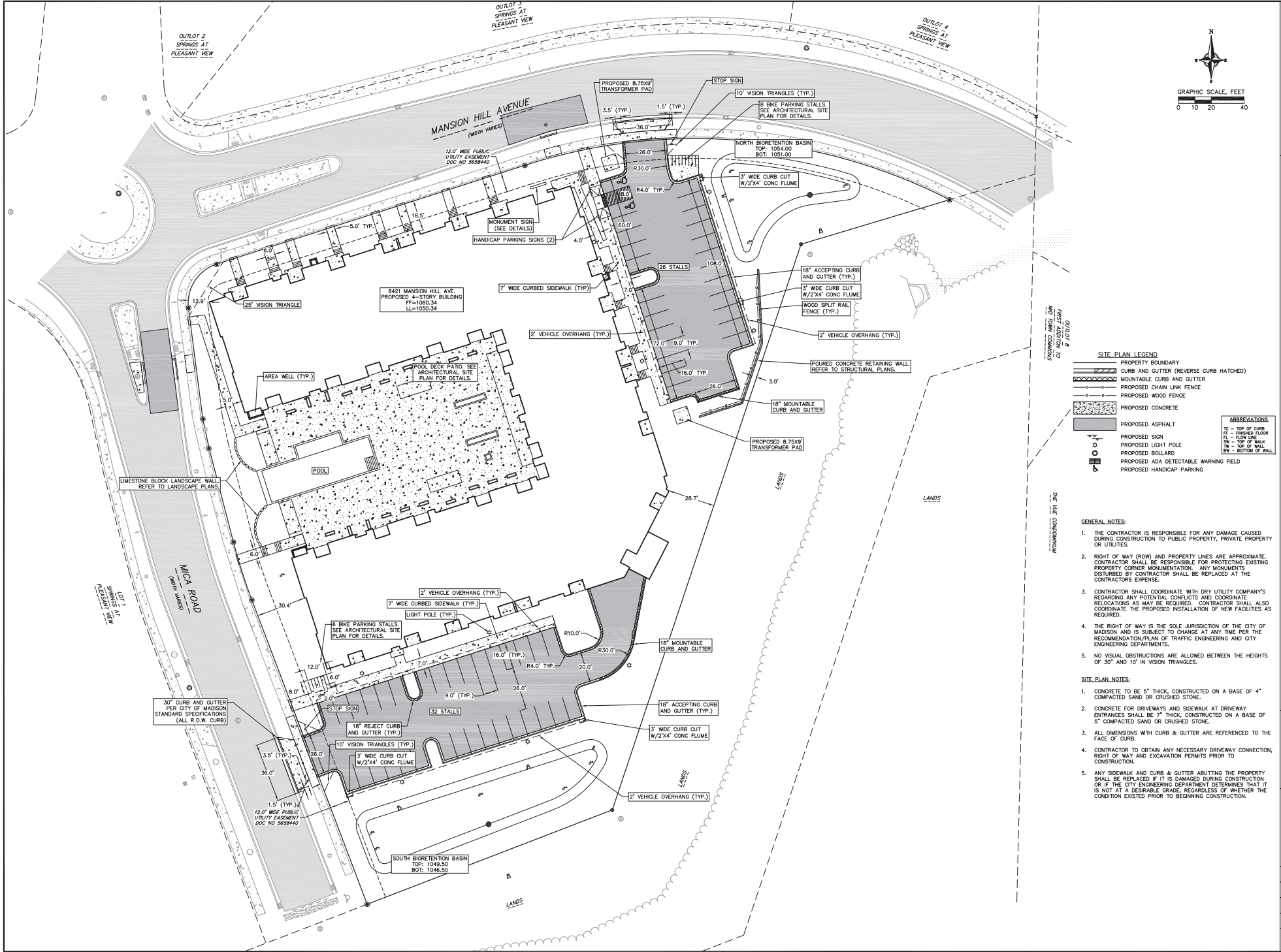
vierbicher
planners engineers architects

Demolition Plan
8421 Mansion Hill Avenue
City of Madison
Dane County, WI

REV.	DATE	BY	CHK.	REVISIONS

DATE: 02/06/2025
DESIGNER: CSAN
CHECKED: NACH
PROJECT NO.: 24004

C101



SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- MOUNTABLE CURB AND GUTTER
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS

- TC - TOP OF CURB
- FF - FINISHED FLOOR
- FL - FLOW LINE
- TR - TOP OF WALK
- BT - TOP OF WALK
- BW - BOTTOM OF WALK

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 3. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 5. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30" AND 10' IN VISION TRIANGLES.

- SITE PLAN NOTES**
1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 4. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPAIRED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

Civil Site Plan
8421 Mansion Hill Avenue
City of Madison
Dane County, WI

REVISIONS		DATE	BY	REASON

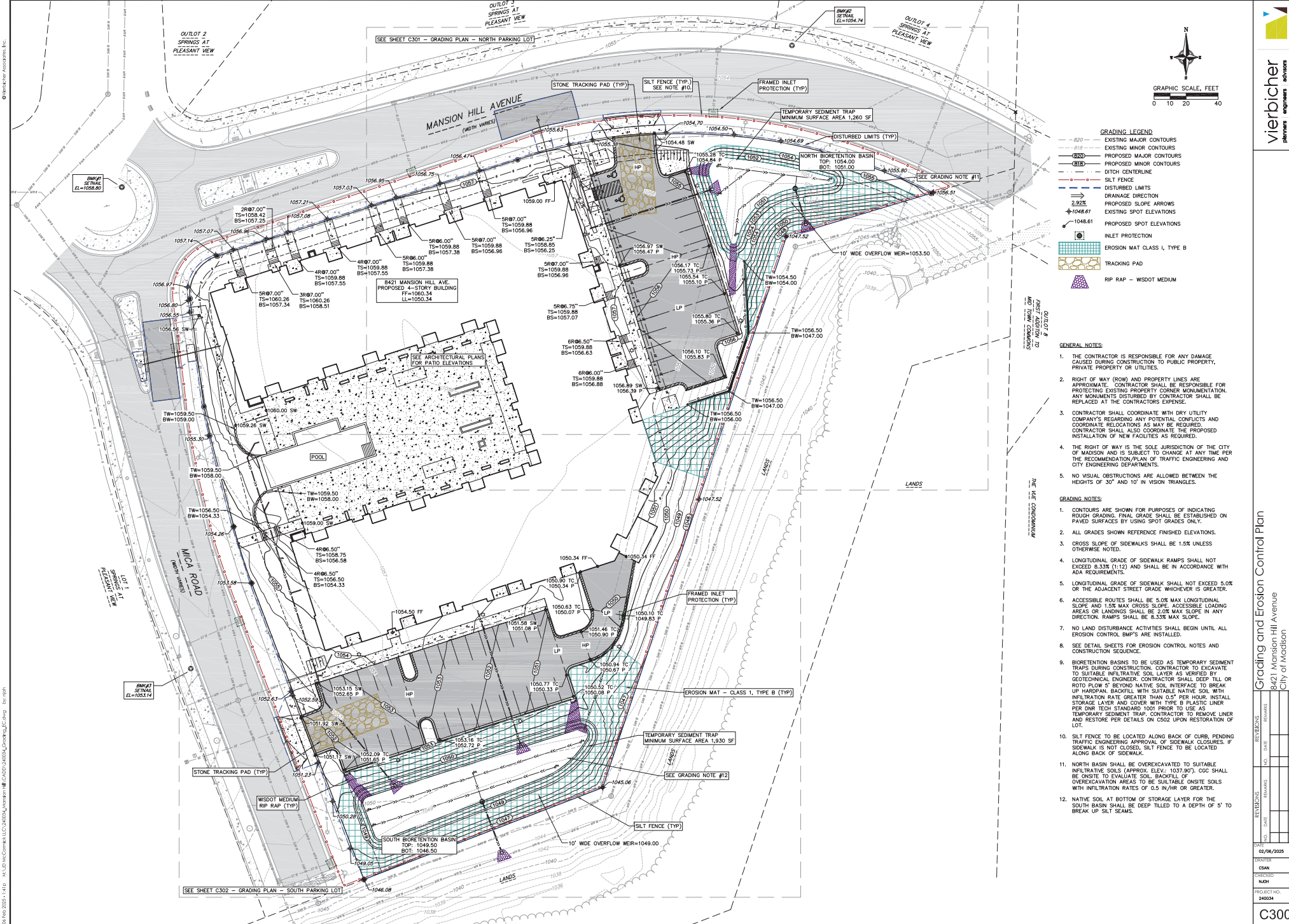
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PROJECT NO.: 24004

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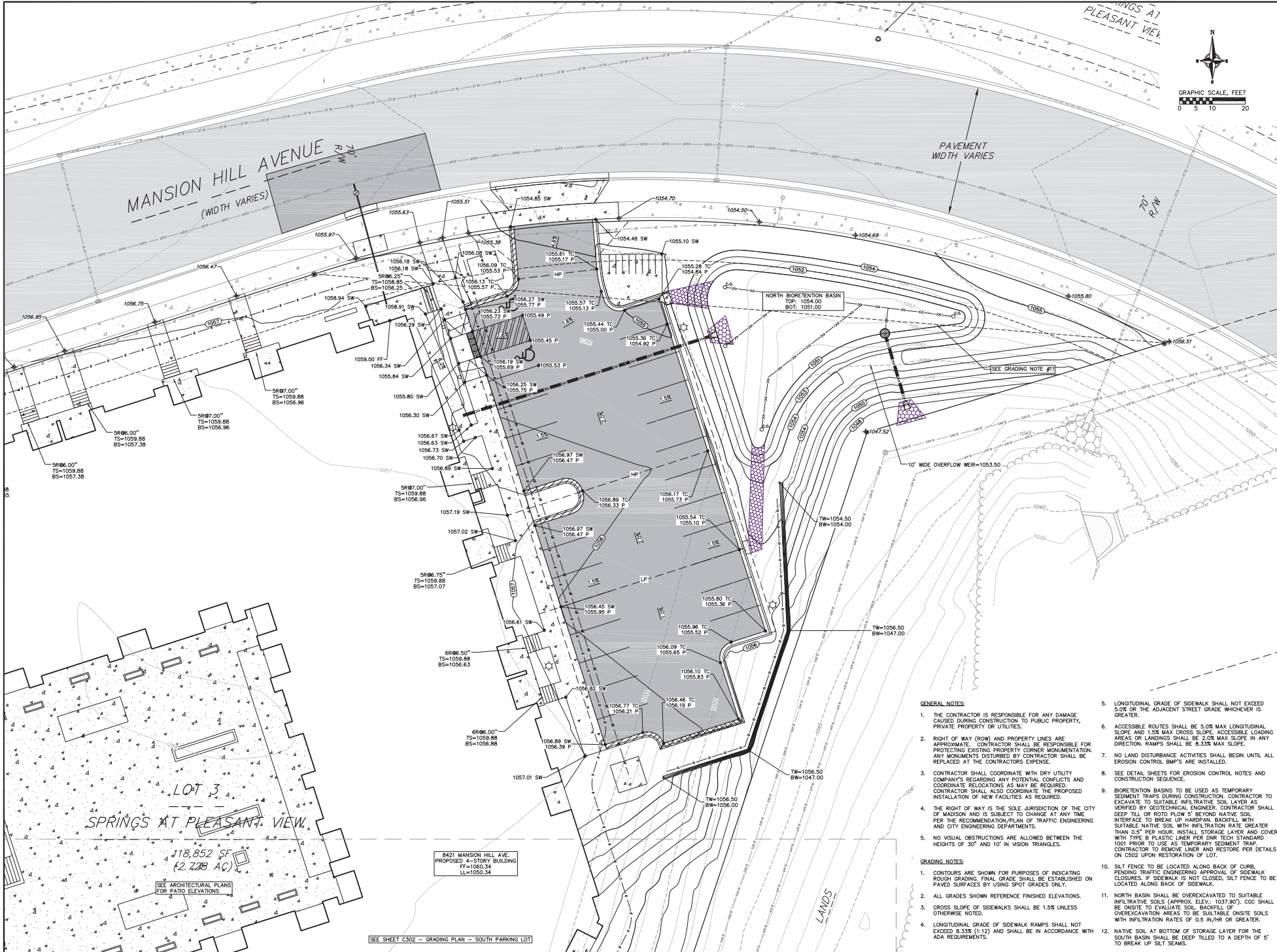


- GRADING LEGEND**
- - - - - EXISTING MAJOR CONTOURS
 - - - - - EXISTING MINOR CONTOURS
 - - - - - PROPOSED MAJOR CONTOURS
 - - - - - PROPOSED MINOR CONTOURS
 - - - - - DITCH CENTERLINE
 - - - - - SILT FENCE
 - - - - - DISTURBED LIMITS
 - - - - - DRAINAGE DIRECTION
 - - - - - PROPOSED SLOPE ARROWS
 - - - - - EXISTING SPOT ELEVATIONS
 - - - - - PROPOSED SPOT ELEVATIONS
 - - - - - INLET PROTECTION
 - - - - - EROSION MAT CLASS 1, TYPE B
 - - - - - TRACKING PAD
 - - - - - RIP RAP - WISDOT MEDIUM

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 5. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30' AND 10' IN VISION TRIANGLES.

- GRADING NOTES**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.0% UNLESS OTHERWISE NOTED.
 4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.25 MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 9. BIORETENTION BASINS TO BE USED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. CONTRACTOR TO EXCAVATE TO SUITABLE INFILTRATIVE SOIL LAYER AS VERIFIED BY GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DEEP TILL OR ROTO PLOW 4' BEYOND NATIVE SOIL INTERFACE TO BREAK UP HORIZONTAL BACKFILL WITH SUITABLE NATIVE SOIL WITH INFILTRATION RATE GREATER THAN 0.5" PER HOUR. INSTALL STORAGE LAYER AND COVER WITH TYPE B PLASTIC LINER PER DNR TECH STANDARD 1001 PRIOR TO USE AS TEMPORARY SEDIMENT TRAP. CONTRACTOR TO REMOVE LINER AND RESTORE PER DETAILS ON C502 UPON RESTORATION OF LOT.
 10. SILT FENCE TO BE LOCATED ALONG BACK OF CURB, PENDING TRAFFIC ENGINEERING APPROVAL OF SIDEWALK CLOSURES. IF SIDEWALK IS NOT CLOSED, SILT FENCE TO BE LOCATED ALONG BACK OF SIDEWALK.
 11. NORTH BASIN SHALL BE OVEREXCAVATED TO SUITABLE INFILTRATIVE SOILS (APPROX. ELEV. 1037.90'). COG SHALL BE ON SITE TO EVALUATE SOILS. BACKFILL OF OVEREXCAVATION AREAS TO BE SUITABLE ON SITE SOILS WITH INFILTRATION RATES OF 0.5 IN/HR OR GREATER.
 12. NATIVE SOIL AT BOTTOM OF STORAGE LAYER FOR THE SOUTH BASIN SHALL BE DEEP TILLED TO A DEPTH OF 5' TO BREAK UP SILT SEAMS.

REVISIONS		DATE	REASON
NO.	DATE	BY	REASON



LOT 3
 SPRINGS AT PLEASANT VIEW
 118,852 SF
 (2.228 AC)

8421 MANSION HILL AVE.
 PROPOSED 4-STORY BUILDING
 FF=1050.34
 LL=1050.34

SEE ARCHITECTURAL PLANS
 FOR PATIO ELEVATIONS

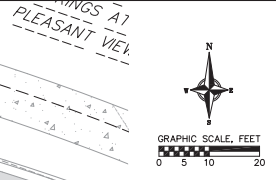
SEE SHEET C302 - GRADING PLAN - SOUTH PARKING LOT

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11. NORTH BASIN SHALL BE OVEREXCAVATED TO SUITABLE INFILTRATIVE SOILS (APPROX. ELEV. 1037.90'). CCG SHALL BE ONSITE TO EVALUATE SOIL BACKFILL OF OVEREXCAVATION AREAS TO BE SUITABLE ONSITE SOILS WITH INFILTRATION RATES OF 0.5 IN/HR OR GREATER.
12. NATIVE SOIL AT BOTTOM OF STORAGE LAYER FOR THE SOUTH BASIN SHALL BE DEEP TILLED TO A DEPTH OF 5' TO BREAK UP SILT SEAMS.

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
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3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.



NO.	DATE	REVISIONS	BY	CHK	DATE
1	02/06/2025	ISSUED FOR PERMITS	JMC	CSAN	
2		REVISED	JMC	NIJH	
3		REVISED	JMC	NIJH	
4		REVISED	JMC	NIJH	
5		REVISED	JMC	NIJH	
6		REVISED	JMC	NIJH	
7		REVISED	JMC	NIJH	
8		REVISED	JMC	NIJH	
9		REVISED	JMC	NIJH	
10		REVISED	JMC	NIJH	
11		REVISED	JMC	NIJH	
12		REVISED	JMC	NIJH	



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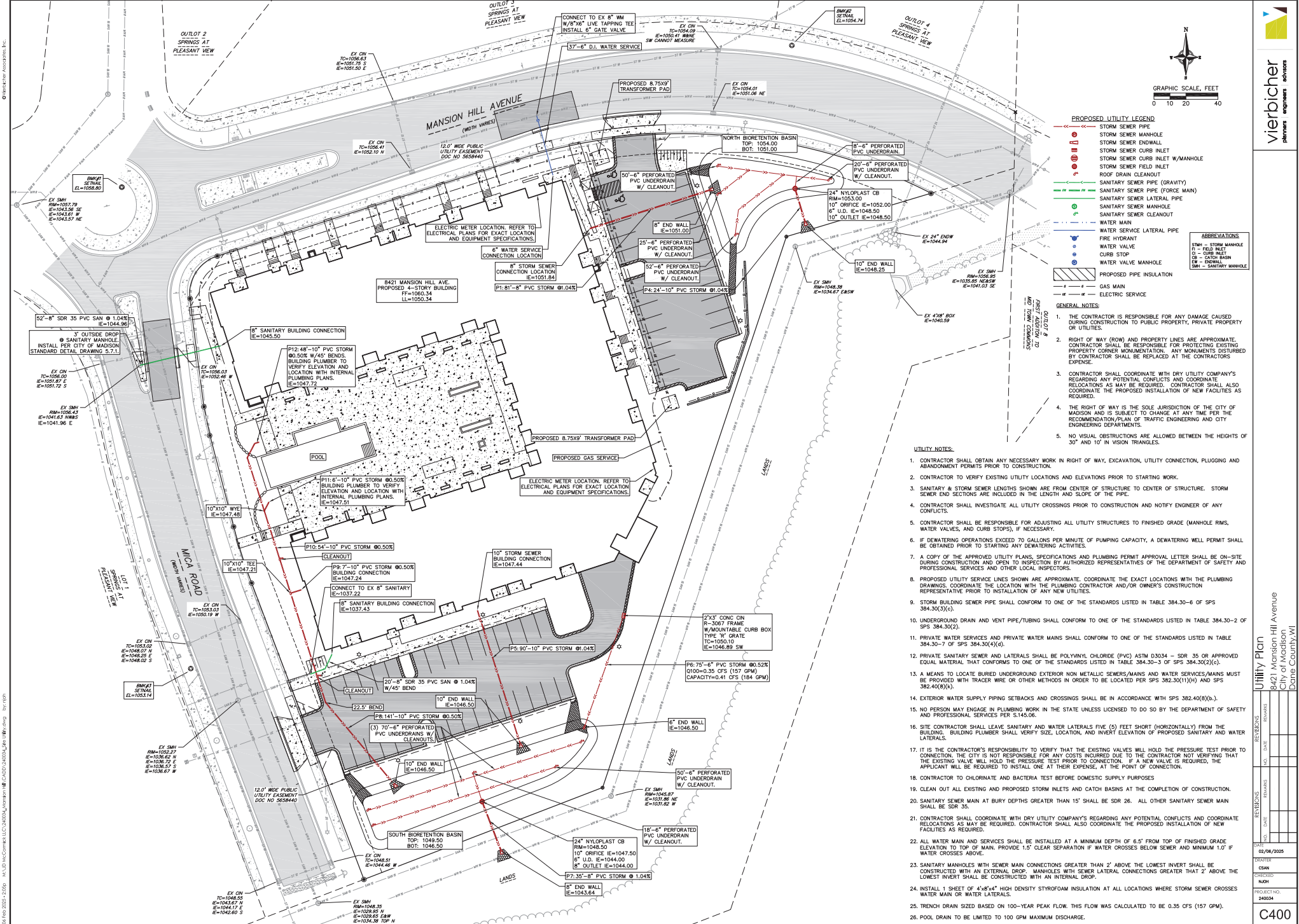

8421 Mansion Hill Avenue
 City of Madison
 Dane County, WI

Grading Plan - South Parking Lot
 REVISIONS:

NO.	DATE	BY	REVISIONS

DATE: 02/08/2025
 DRAWN BY: CSAN
 CHECKED BY: NJOH
 PROJECT NO.: 24004
C302

02/08/2025 - 1:10p - W:\JD\Projects\11\24004\Grading\11\24004\Grading\Grading.dwg - by: njoh



PROPOSED UTILITY LEGEND

- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

- SMH - STORM MANHOLE
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SM - SANITARY MANHOLE

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1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
3. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND NECESSARY RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
5. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30" AND 10' IN VISION TRIANGLES.

- UTILITY NOTES:**
1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
 10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
 11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(c).
 12. PRIVATE SANITARY SEWERS AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(1)(H) AND SPS 382.40(8)(A).
 14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
 15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.09.
 16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS OBTAINED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
 19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
 21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 1.0' IF WATER CROSSES ABOVE.
 23. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
 24. INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
 25. TRENCH DRAIN SIZED BASED ON 100-YEAR PEAK FLOW. THIS FLOW WAS CALCULATED TO BE 0.35 CFS (157 GPM).
 26. POOL DRAIN TO BE LIMITED TO 100 GPM MAXIMUM DISCHARGE.

Utility Plan

PROJECT NO.	8421 Mansion Hill Avenue
CITY	City of Madison
COUNTY	Dane County, WI
DATE	02/08/2025
DESIGNED BY	CSAN
CHECKED BY	NOEH
PROJECT NO.	24004