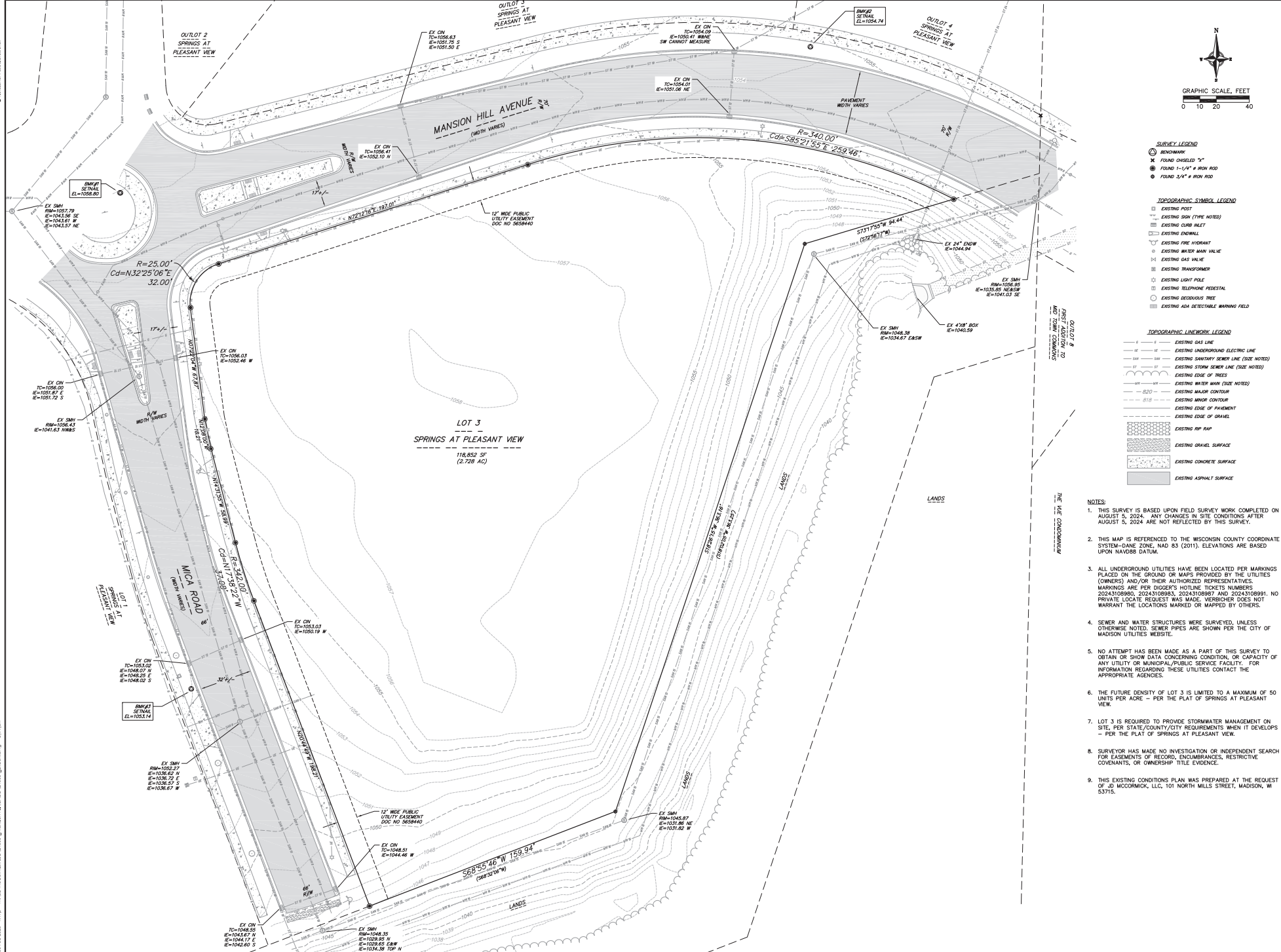


**8421 Mansion Hill Avenue**  
**Contract 9649**  
**MUNIS 15676**  
**Developer: 8421 Mansion Hill LLC**



**Summary of Improvements:**

- Restore existing public sidewalk, street terrace, curb & gutter, and pavement this is damaged or removed as part of the 8421 Mansion Hill Avenue development per plans approved by the City Engineer.
- Construct private sanitary and water service laterals within Mansion Hill Avenue and Mica Road needed to serve the development per plans approved by the City Engineer.
- Construct private storm sewer laterals within the existing public greenway to provide private site drainage for the development per plans approved by the City Engineer.
- Construct new private drive aprons on Mansion Hill Avenue and Mica Road.
- Protect existing public streetlights and wiring.
- Provide traffic control and obtain street occupancy per approvals from City Traffic Engineering.
- Plant new public street terrace trees as approved by City Forestry.



- SURVEY LEGEND**
- BENCHMARK
  - FOUND CHISELED "X"
  - FOUND 1-1/4" x IRON ROD
  - FOUND 3/4" x IRON ROD
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POST
  - EXISTING DITCH (TYPE NOTED)
  - EXISTING DRAIN
  - EXISTING ENDWALL
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING GAS VALVE
  - EXISTING TRANSFORMER
  - EXISTING LIGHT POLE
  - EXISTING BELLEFONTAINE PISTON
  - EXISTING DECIDUOUS TREE
  - EXISTING ADA DETECTABLE WARNING FIELD
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING EDGE OF TREES
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING EDGE OF PAVEMENT
  - EXISTING EDGE OF GRAVEL
  - EXISTING RIP RAP
  - EXISTING GRAVEL SURFACE
  - EXISTING CONCRETE SURFACE
  - EXISTING ASPHALT SURFACE

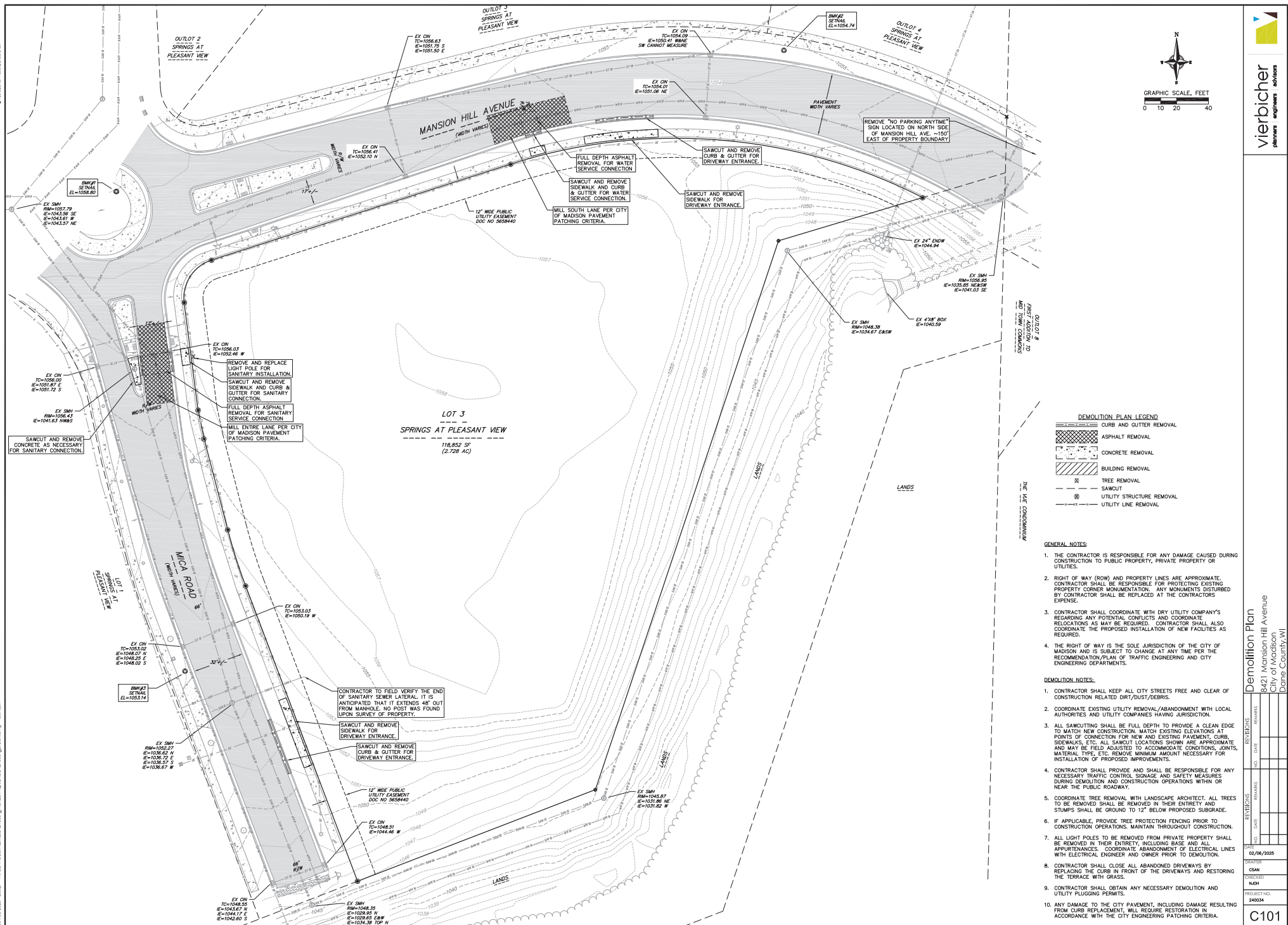
- NOTES:**
1. THIS SURVEY IS BASED UPON FIELD SURVEY WORK COMPLETED ON AUGUST 5, 2024. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 5, 2024 ARE NOT REFLECTED BY THIS SURVEY.
  2. THIS MAP IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM-DANE ZONE, NAD 83 (2011). ELEVATIONS ARE BASED UPON NAVD88 DATUM.
  3. ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND OR MAPS PROVIDED BY THE UTILITIES (OWNERS) AND/OR THEIR AUTHORIZED REPRESENTATIVES. MARKINGS ARE PER DIGGER'S HOTLINE TICKETS NUMBERS 20243108960, 20243108963, 20243108967 AND 20243108991. NO PRIVATE LOCATE REQUEST WAS MADE. VIERBICHER DOES NOT WARRANT THE LOCATIONS MARKED OR MAPPED BY OTHERS.
  4. SEWER AND WATER STRUCTURES WERE SURVEYED, UNLESS OTHERWISE NOTED. SEWER PIPES ARE SHOWN PER THE CITY OF MADISON UTILITIES WEBSITE.
  5. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION, OR CAPACITY OF ANY UTILITY OR MUNICIPAL PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES CONTACT THE APPROPRIATE AGENCIES.
  6. THE FUTURE DENSITY OF LOT 3 IS LIMITED TO A MAXIMUM OF 50 UNITS PER ACRE - PER THE PLAT OF SPRINGS AT PLEASANT VIEW.
  7. LOT 3 IS REQUIRED TO PROVIDE STORMWATER MANAGEMENT ON SITE, PER STATE/COUNTY/CITY REQUIREMENTS WHEN IT DEVELOPS - PER THE PLAT OF SPRINGS AT PLEASANT VIEW.
  8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OR OWNERSHIP TITLE EVIDENCE.
  9. THIS EXISTING CONDITIONS PLAN WAS PREPARED AT THE REQUEST OF JD MCCORMICK, LLC, 101 NORTH MILLS STREET, MADISON, WI 53715.

**vierbicher**  
planning engineers architects

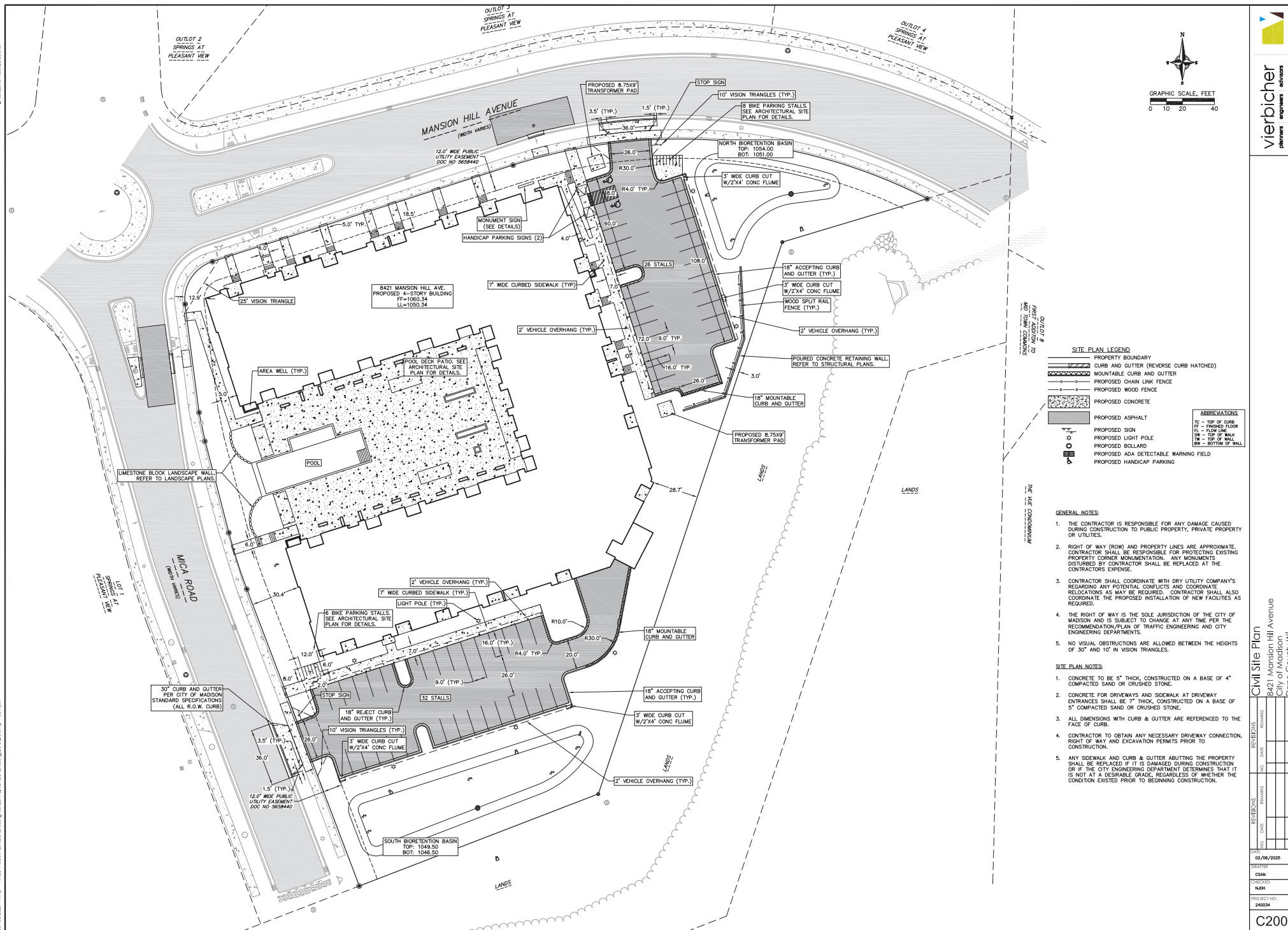
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**C100**

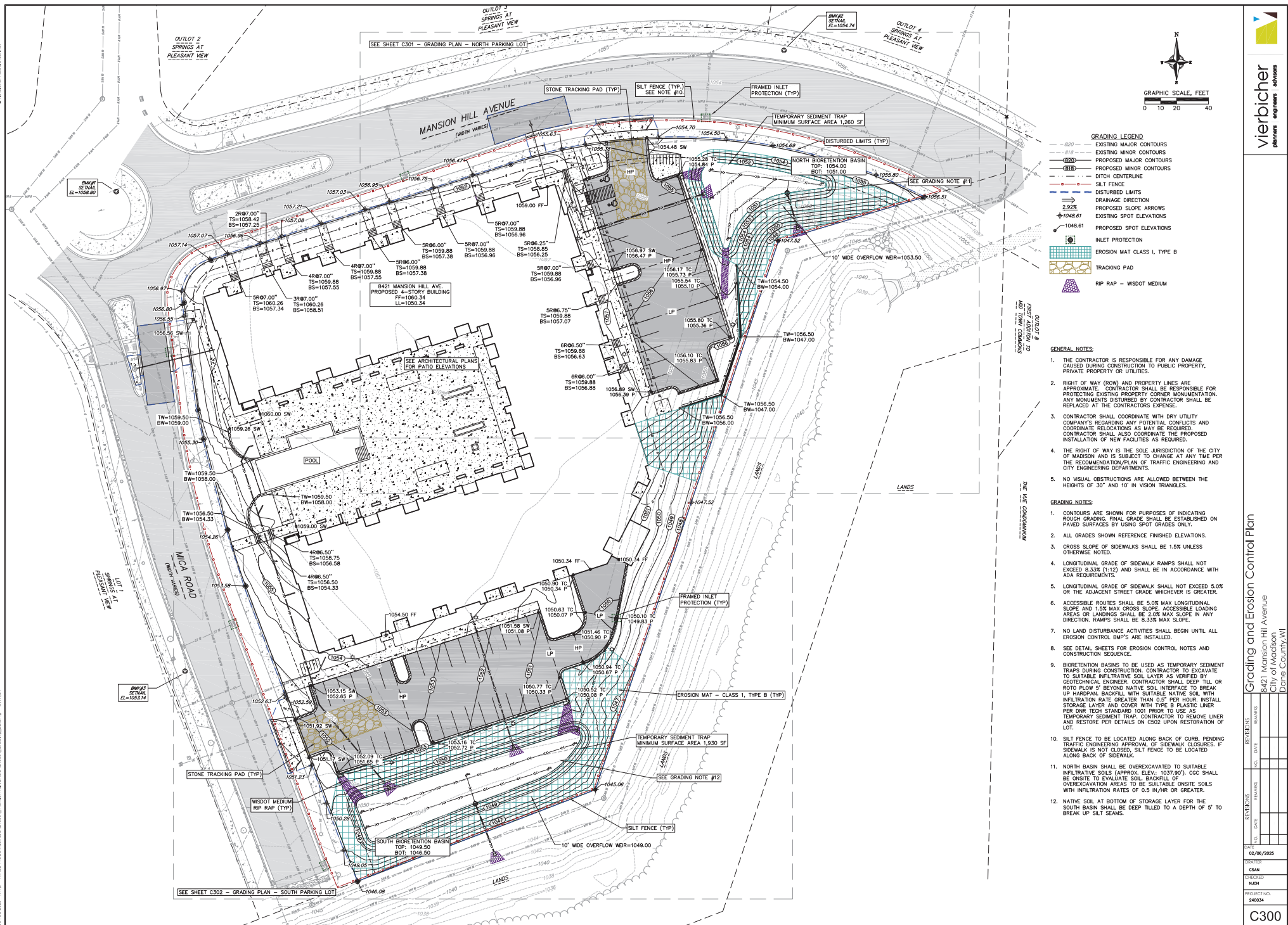


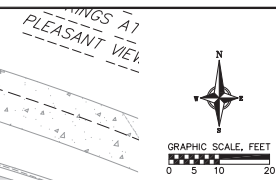
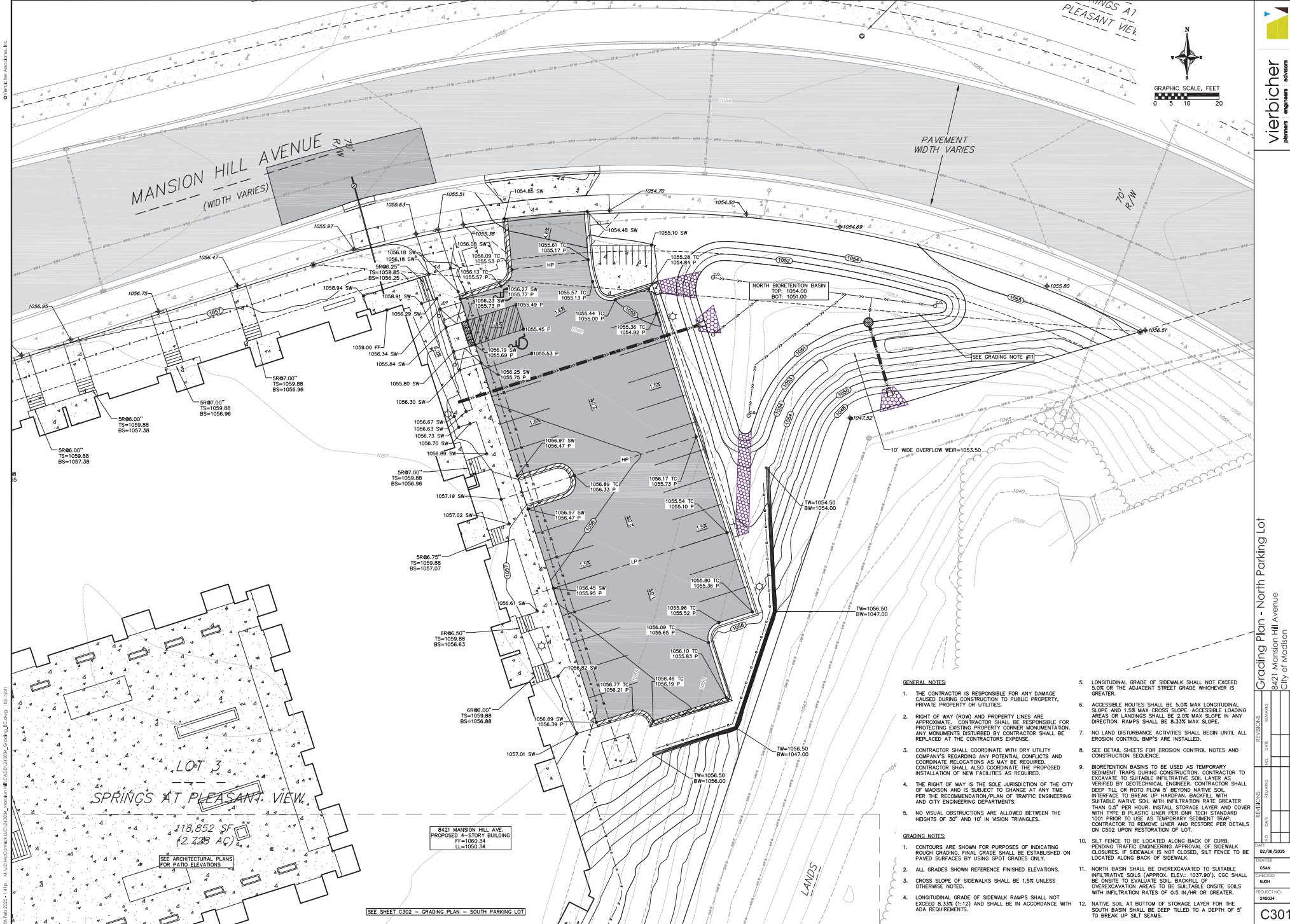


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- GENERAL NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
  2. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  3. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANIES REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  4. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
  5. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30' AND 10' IN VISION TRIANGLES.
  6. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  7. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
  8. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
  9. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
  10. BIORETENTION BASINS TO BE USED AS TEMPORARY SEDIMENT TRAPS DURING CONSTRUCTION. CONTRACTOR TO EXCAVATE TO SUITABLE INFILTRATIVE SOIL LAYER AS VERIFIED BY GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DEEP TILL OR ROTO FLOW 5' BEYOND NATIVE SOIL INTERFACE TO BREAK UP HARDPAN. BACKFILL WITH SUITABLE NATIVE SOIL WITH INFILTRATION RATE GREATER THAN 0.5" PER HOUR. INSTALL STORAGE LAYER AND COVER WITH TYPE B PLASTIC LINER PER DNR TECH STANDARD 1001 PRIOR TO USE AS TEMPORARY SEDIMENT TRAP. CONTRACTOR TO REMOVE LINER AND RESTORE PER DETAILS ON C502 UPON RESTORATION OF LOT.
  11. SILT FENCE TO BE LOCATED ALONG BACK OF CURB, FENCING TRAFFIC ENGINEERING APPROVAL OF SIDEWALK CLOSURES. IF SIDEWALK IS NOT CLOSED, SILT FENCE TO BE LOCATED ALONG BACK OF SIDEWALK.
  12. NORTH BASIN SHALL BE OVEREXCAVATED TO SUITABLE INFILTRATIVE SOILS (APPROX. ELEV. 1037.90'). CCG SHALL BE ONSITE TO EVALUATE SOIL BACKFILL OF OVEREXCAVATION AREAS TO BE SUITABLE ONSITE SOILS WITH INFILTRATION RATES OF 0.5 IN/HR OR GREATER.
  13. NATIVE SOIL AT BOTTOM OF STORAGE LAYER FOR THE SOUTH BASIN SHALL BE DEEP TILLED TO A DEPTH OF 5' TO BREAK UP SILT SENS.
- GRADING NOTES:**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
  3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
  4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.

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8421 MANSION HILL AVENUE PROPOSED 4-STORY BUILDING  
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LL=1050.34

**vierbicher**  
planning engineering architecture

**Grading Plan - North Parking Lot**  
8421 Mansion Hill Avenue  
City of Madison  
Dane County, WI

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