

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 3650 Milwaukee St. - Amazon

Title: Amazon CDR (Per drawings 89064 MON-02, 03, 04)

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested A.S.A.P.

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
 Signage Exception

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Deb Burton
Street address 922 S. 70th St.
Telephone 414-453-4010

Company Poblocki Sign Company LLC
City/State/Zip West Allis, WI 53214
Email dburton@poblocki.com

Project contact person Deb Burton
Street address 922 S. 70th St.
Telephone 414-453-4010

Company Poblocki Sign Company LLC
City/State/Zip West Allis, WI 53214
Email dburton@poblocki.com

Property owner (if not applicant) Leo Ritter & Co (Doing work for Amazon and Ryan Companies, Milwaukee, WI)
Street address 872 Madison Ave.
Telephone 414-918-6514 (Greg Nelson, Ryan Co.)

City/State/Zip New York, NY 10021
Email gregory.nelson@ryancompanies.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***
- Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Christina Thiele on August 2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Deb Burton, Poblocki Sign Co. LLC Relationship to property Sign Contractor
 Authorizing signature of property owner D Burton Date 9-10-20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



September 2nd, 2020

City of Madison
Urban Design Commission
215 Martin Luther King Jr. Blvd., #107
Madison, WI 53701

Re: **Amazon 3650 Milwaukee St. – Comprehensive Design Review**

To: Urban Design Commission –

On behalf of Amazon and Ryan Companies, enclosed you will find our application for a Comprehensive Design Review for this property that Amazon is taking over. As the sign contractor, we have received sign permits that could be approved and are now asking for additional signs that do not meet code.

They have had to add driveways to the site from Milwaukee St. to the south and West Corporate Dr. to the east – to accommodate the vehicles coming and going. We are asking for three additional free-standing signs – two on West Corporate Dr., and one on Milwaukee St. to identify these entrances. See drawing #'s 89064 MON-02, 03, 04 and site plan showing placement.

See also drawings of the approved signs – MON-01, LL-01 & 02. The main identification sign at the east entrance from Milwaukee St. is a larger version of the signs we are requesting here. The three smaller entrance signs will be mini versions of this sign to identify the driveways as all belonging to Amazon. This is especially important since there is a bus transfer point right on the south east corner of the block in front of the Amazon property. That property also has one entrance from West Corporate Dr. See Google map photos.

This is a unique site that will have trucks and vans entering and exiting all day. These additional signs will help with wayfinding and help the flow of traffic.

We look forward to presenting our proposal at the Urban Design Commission meeting.

Sincerely,

Poblocki Sign Company LLC
922 S. 70th St.
Milwaukee, WI 53214
414-453-4010
Deb Burton

WWW.POBLOCKI.COM

MILWAUKEE [BOSTON](#) [RALEIGH](#) [CHICAGO](#) [MINNEAPOLIS](#) [CHARLESTON](#) [MADISON](#) [GRAND RAPIDS](#) [ORLANDO](#) [TAMPA](#) [CHARLOTTE](#)

10-8-20

Re: **Amazon 3650 Milwaukee St.**

Points to be addressed for CDR

1 – Create Visual Harmony between signs, buildings, site...

This large property needs these additional signs that are in scale with the building and the signs that were approved. They will match the monument sign that was already approved and bring uniformity to the site.

2 – Each element shall be necessary due to unique aspects in the architecture or limitations on site and surrounding.

These signs need to be seen apart from the East Transfer Point property to avoid confusion. The building and surrounding lot has been transformed into a major redevelopment that is an improvement to the area.

3 – No violations to 31.02(1) and 33.24(2) Purpose Protect People and Property

These signs are intended to direct the public and the drivers in a safe manner that will be effective on this large site.

4 – Construction requirements 31.04(5)

The signs will be made to meet code in a professional manner.

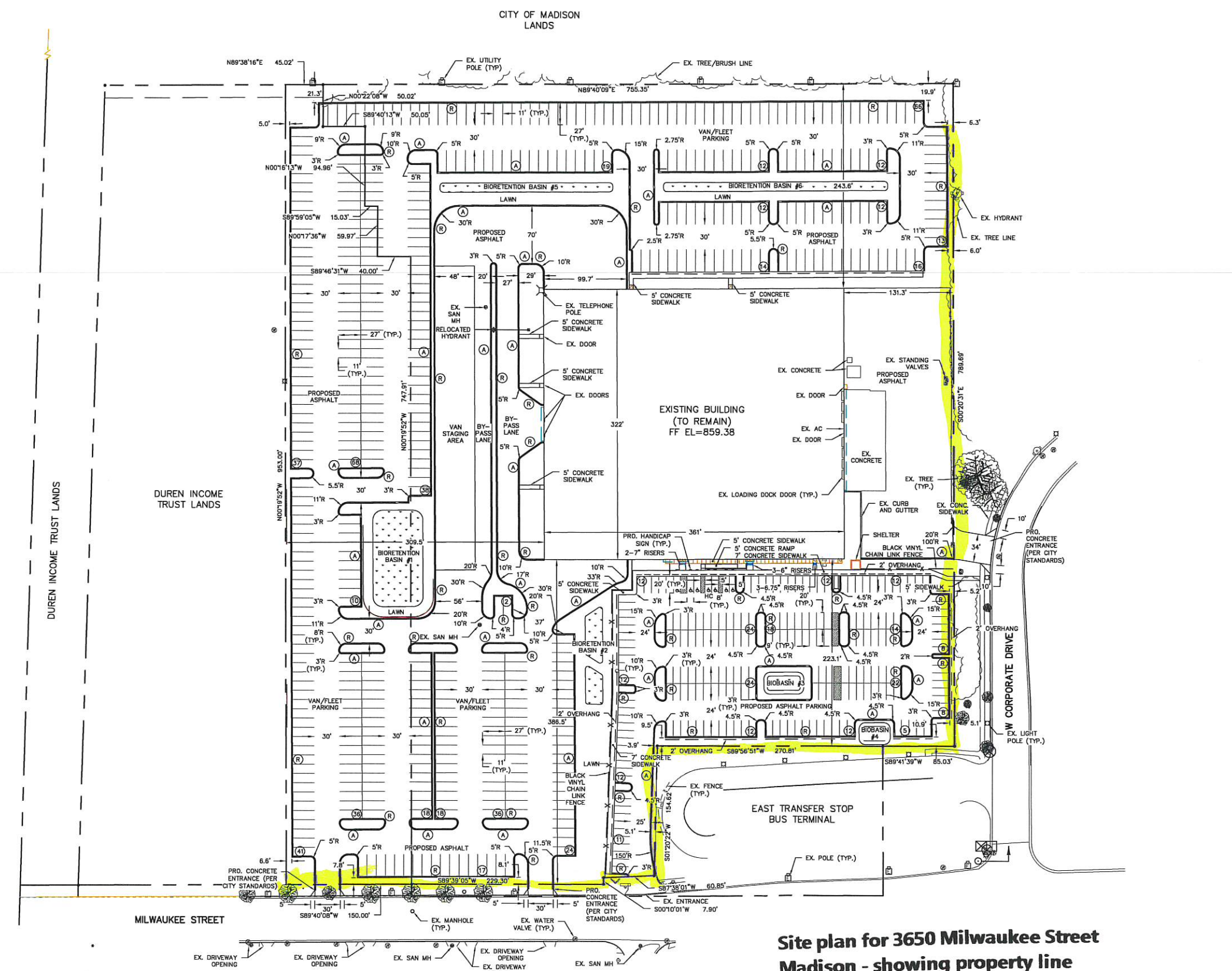
5 – Advertising signs – All signs will be on the property.

6 - a – no hazards to vehicular or pedestrians; b – no obstruction for entering and exiting for the neighbors; c – no obstruction for other signs; d – no negative impact of public or private open space.

These signs have been designed and located so they will not be a visual obstruction for pedestrians or vehicles and are intended to clarify how to safely enter and exit the property. They will not obstruct any existing signs. We can see no negative effects for the public or the neighbors.

7 – Per the site plan, all signs will be on property.

EXISTING SITE INFORMATION AND CONTOURS OBTAINED FROM THE FOLLOWING:
 1) ALTA SURVEY DATED 9/15/2018 PREPARED BY KL ENGINEERING
 2) ALTA SURVEY DATED 9/05/2008 PREPARED BY AYRES ASSOCIATES.
 3) SUPPLEMENTAL TOPOGRAPHIC COLLECTION ON 9/19/2019 PROVIDED BY QUAM ENGINEERING



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 3650 MILWAUKEE STREET
 Site acreage (total): 16.15 Acres

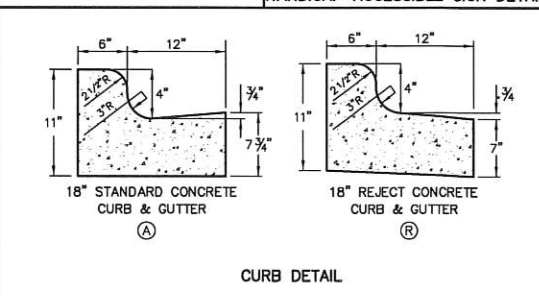
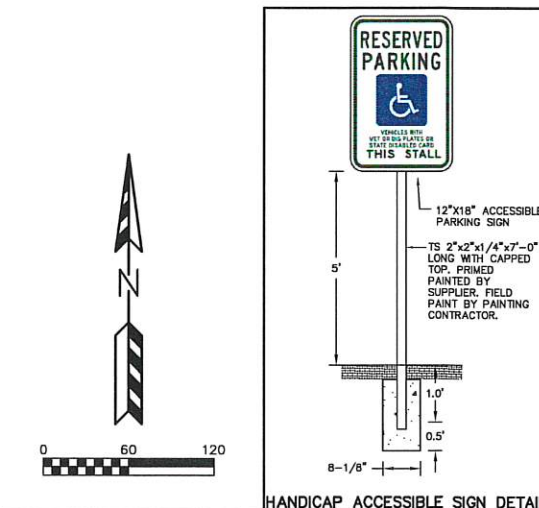
Number of building stories (above grade): 1
 Building height: 28'
 DSPS type of construction (new structures or additions): N/A
 Total square footage of building: 116,238 S.F.
 Total square footage of garage: N/A

Use of property: OFFICE AND PACKAGE DELIVERY
 Gross square feet of office: 777 S.F.
 IMPERVIOUS AREA (PER CITY STANDARDS): 584,914 S.F.
 OPEN SPACE AREA: 116,658 S.F.
 LOT COVERAGE: 83.1%

Number of bicycle stalls shown: 0
 Number of Parking stalls:

	SHOWN
Van/Fleet Parking	521
Employee Parking	211
Accessible	7
Total	739

Number of trees shown: (See Landscape Plan)



Site plan for 3650 Milwaukee Street
 Madison - showing property line

Sign Face Legend

SYMBOL	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3(mod)	Speed Bump Sign w/ 5 MPH Placard
S-4	Speed Limit, 10 MPH
S-4(mod)	Speed Hump Sign w/ 10 MPH Placard
S-5(L)	Pedestrian Crossing, Left Arrow (S-5(R) OPP.)
S-7(L)	One Way, Left Arrow (S-7(R) OPP.)
S-9(L)	Left Turn Only (S-9(R) OPP.)
S-11(L)	No Left Turn (S-11(R) OPP.)
S-12	No U Turn
S-13	Trucks Prohibited
S-14	No Parking
S-15	ADA Accessible Car Parking
S-16	ADA Accessible Van Parking
S-17	No Trespassing

Tenant Sign Face Legend

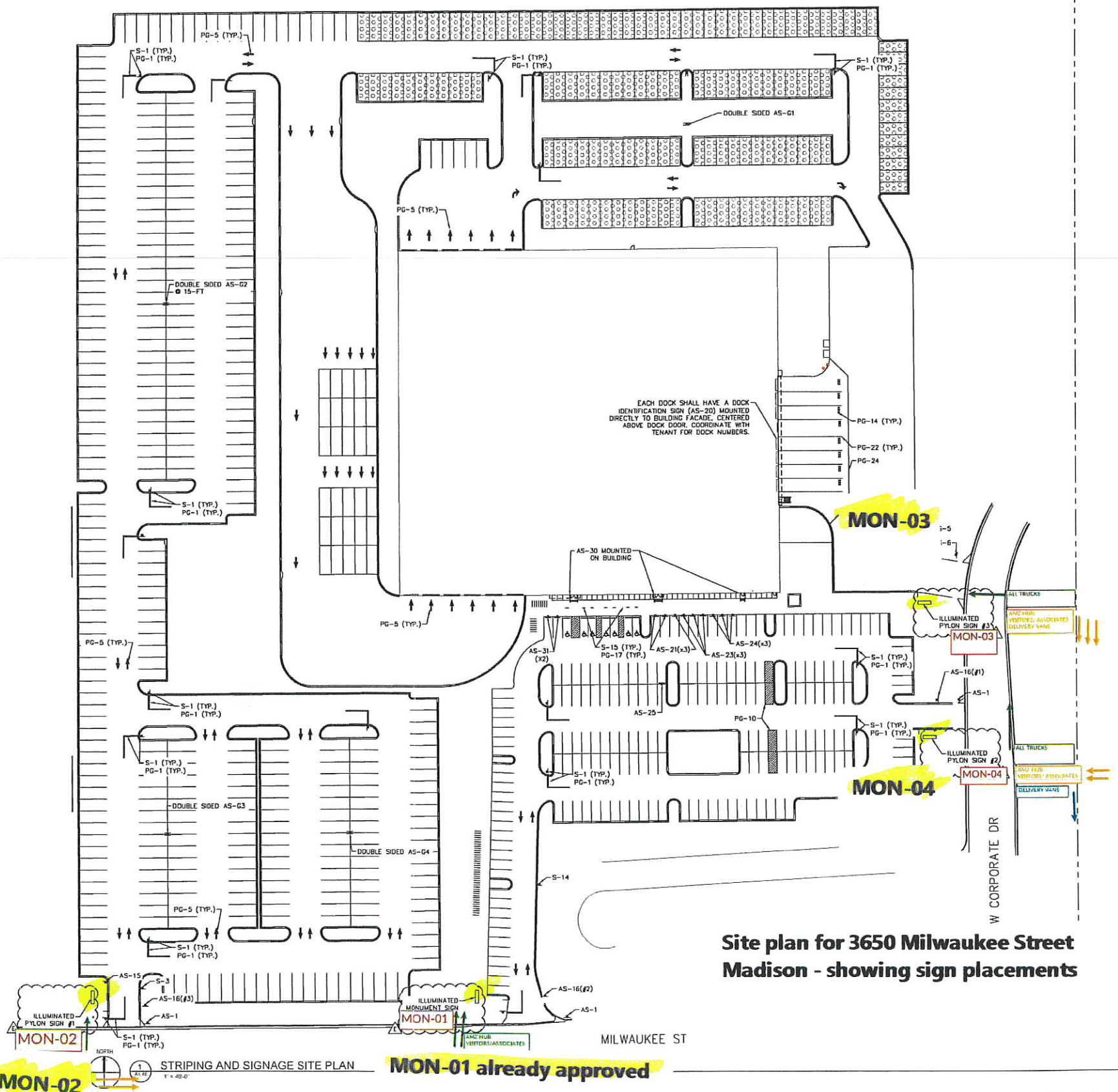
SYMBOL	SIGN TYPE
AS-1	Address Sign
AS-2	Trucks/Visitor Usher
AS-5	Yard Rules
AS-6	Truck Entrance
AS-7	Driver's Lounge
AS-8	Receiving Driver Entrance
AS-9	Shipping Driver Entrance
AS-10	Tractor Parking
AS-12	Trailer 3FT From Wall
AS-13	No Entrance
AS-14	No Exit
AS-15	Exit
AS-16	Wayfinding
AS-17(L)	Drop-Off/Pick-Up Area, Left Arrow (AS-17(R) OPP) (S-7(S) Straight Arrow)
AS-20	Dock Numbers
AS-22	Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Muster Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-31	Customer Parking
AS-C#	Parking Location (AS-OH, AS-B#, AS-R#, AS-G#, AS-P#, AS-Y#)

Pavement Graphic Legend

SYMBOL	GRAPHIC TYPE
PG-1	Stop Bar
PG-5	Straight Arrow
PG-6(L)	Left Turn Arrow (PG-6(R) OPP.)
PG-7(R)	Straight or Right Turn Arrows (PG-7(L) OPP.)
PG-8	Left or Right Turn Arrow
PG-9	Left, Straight, or Right Turn Arrows
PG-10	18" Striping Outline and Fill at 45 Degrees
PG-11	12" Striping Outline and Hatch @ 36" O.C. (White)
PG-12	12" Striping Outline and Hatch @ 36" O.C. (Yellow)
PG-14	Trailer Space Numbering
PG-15	Speed Hump
PG-16	Speed Bump
PG-17	ADA Accessible Car Parking
PG-18	ADA Accessible Van Parking
PG-20	Pedestrian Table
PG-21	Empty Trailer Slip
PG-22	Tractor Dock Parking
PG-23	Jack Stand Area
PG-24	Warning Line

SIGNAGE NOTES:

- REFER TO SIGNAGE AND STRIPING PLAN FOR LOCATIONS OF SIGNS AND PAVEMENT MARKINGS.
- ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
- COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.
- ASPHALT SPEED HUMPS AND SPEED BUMPS SHALL BE USED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS AND SPEED BUMPS MAY BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.
- ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019.
- FINAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.
- ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLAN (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR AHJ. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL AHJ AND PROVIDE AS REQUIRED.
- MOUNT SIGNAGE ACCORDING TO LOCAL CODES.
- TYPICAL SIGN FONT IS SET IN AERIAL.



Site plan for 3650 Milwaukee Street Madison - showing sign placements



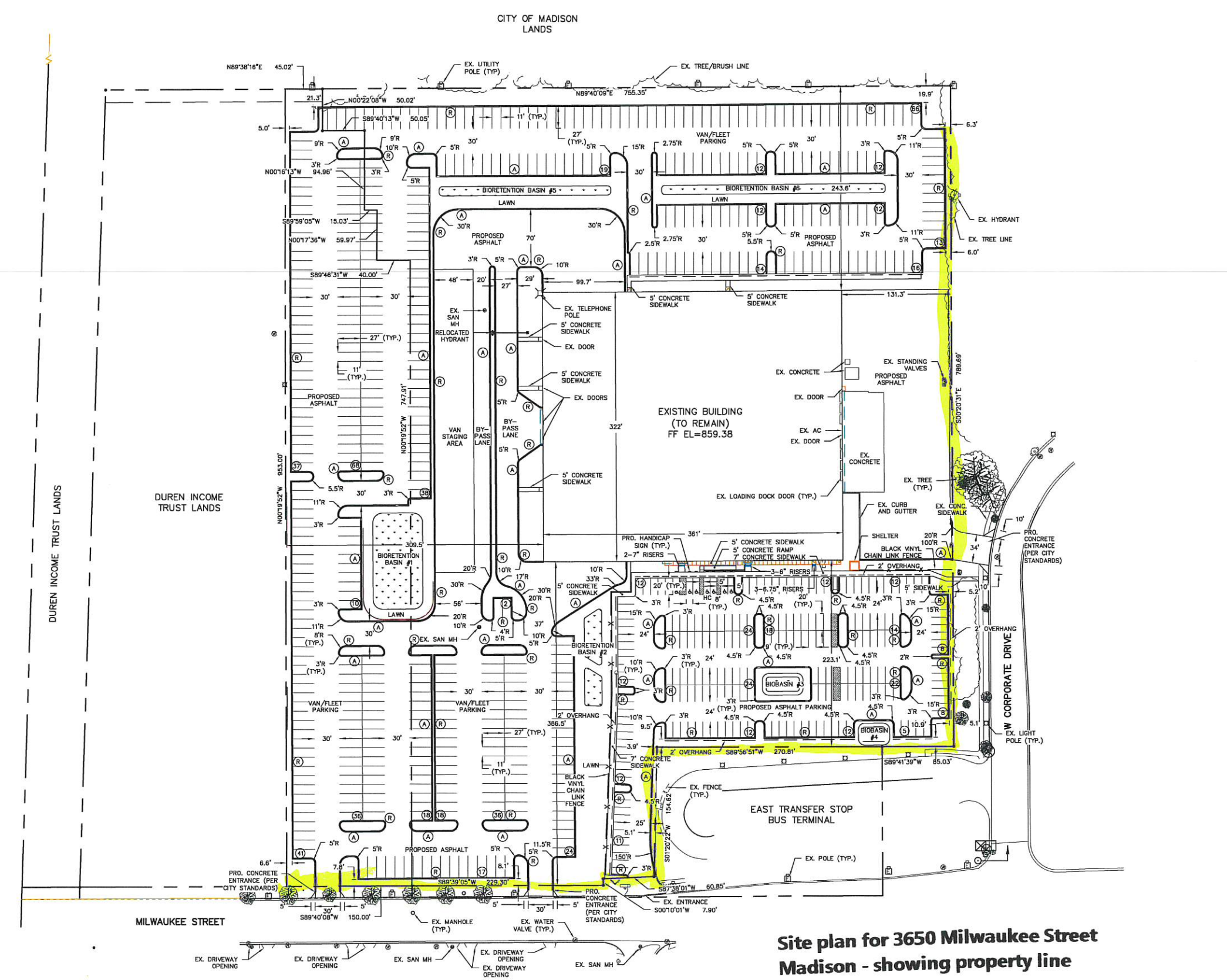
DATE	07/22/19
BY	SCU
REVISION	
DESCRIPTION	
DATE	06/02/19

AMAZON DELIVERY STATION - DWI4
 3650 MILWAUKEE STREET
 MADISON, WI 53714

Project No.	750698-01
Scale	AS NOTED
Drawn	CH
Checked	SCU
Date	07/22/19

STRIPING AND SIGNAGE SITE PLAN
 Drawing No. **A1.4B**

EXISTING SITE INFORMATION AND CONTOURS OBTAINED FROM THE FOLLOWING:
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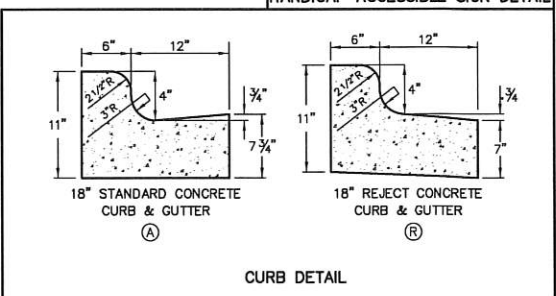
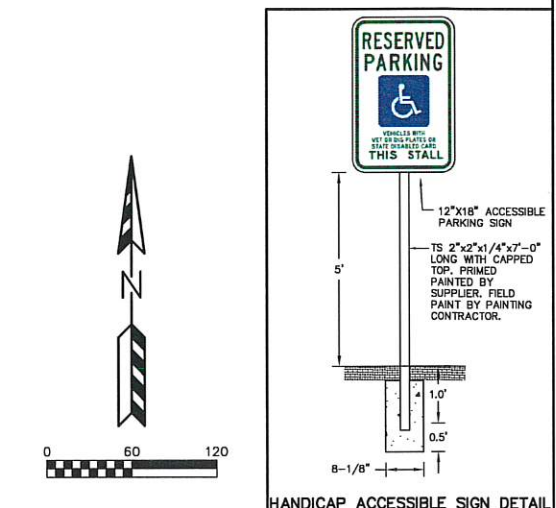
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 LOT COVERAGE: 83.1%

Number of bicycle stalls shown: 0
 Number of Parking stalls:

	SHOWN
Van/Fleet Parking	521
Employee Parking	211
Accessible	7
Total	739

Number of trees shown: (See Landscape Plan)



**Site plan for 3650 Milwaukee Street
 Madison - showing property line**

3650 MILWAUKEE STREET, CITY OF MADISON
 PRELIMINARY PROPOSED SITE PLAN
 PAGE: 2 OF 6
 DATED: OCTOBER 22, 2019

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

Sign Face Legend

SYMBOL	SIGN TYPE
S-1	Stop Sign
S-2	Do Not Enter
S-3	Speed Limit, 5 MPH
S-3(mod)	Speed Bump Sign w/ 5 MPH Placard
S-4	Speed Limit, 10 MPH
S-4(mod)	Speed Hump Sign w/ 10 MPH Placard
S-5(L)	Pedestrian Crossing, Left Arrow (S-5(R) OPP.)
S-7(L)	One Way, Left Arrow (S-7(R) OPP.)
S-9(L)	Left Turn Only (S-9(R) OPP.)
S-11(L)	No Left Turn (S-11(R) OPP.)
S-12	No U Turn
S-13	Trucks Prohibited
S-14	No Parking
S-15	ADA Accessible Car Parking
S-16	ADA Accessible Van Parking
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Tenant Sign Face Legend

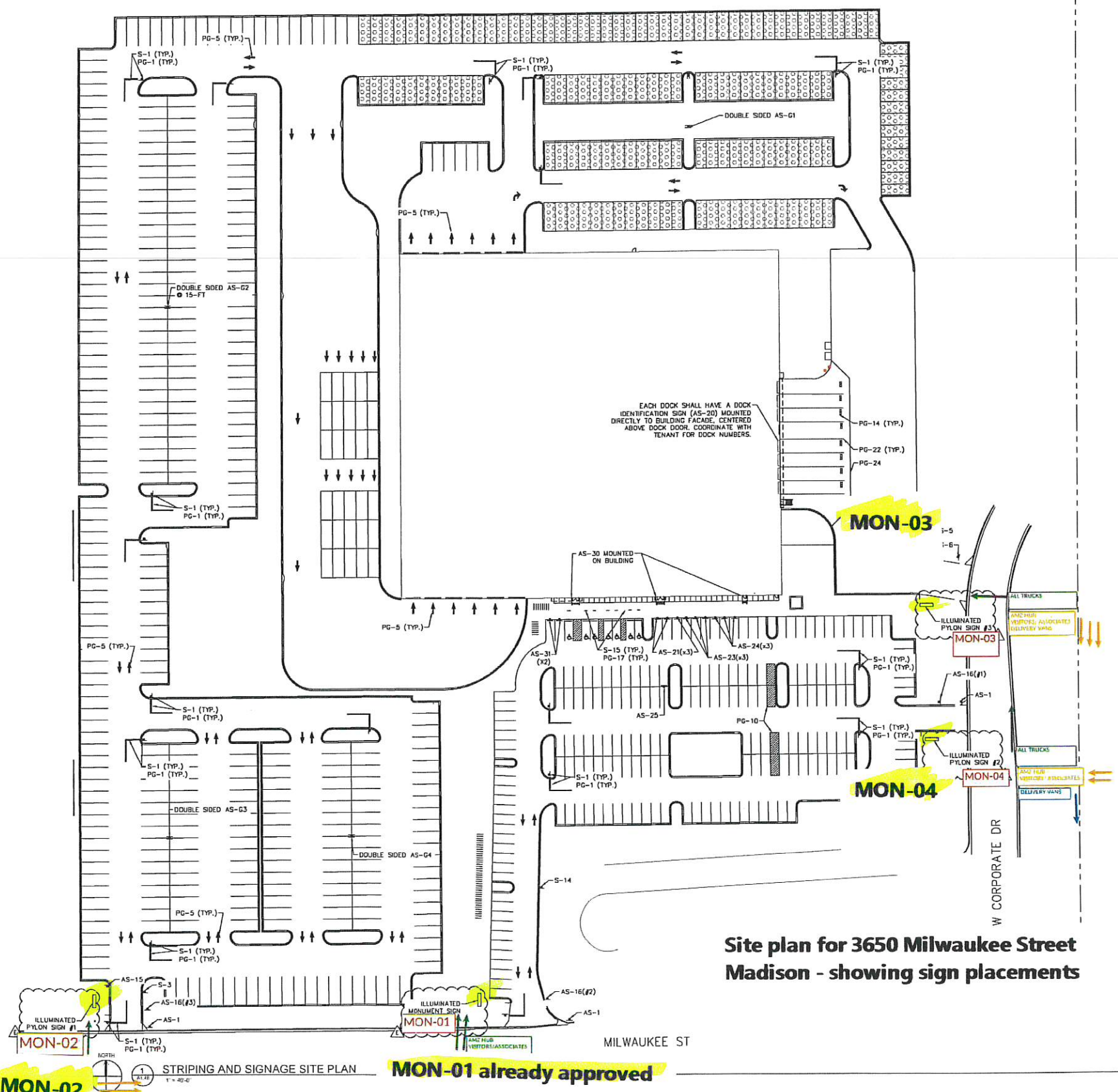
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AS-15	Exit
AS-16	Wayfinding
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AS-20	Dock Numbers
AS-22	Drop-Off and Pick-Up
AS-23	Associate of the Month
AS-24	Visitor Parking
AS-25	Vendor Parking
AS-26	Mustering Area
AS-29	Motorcycle Parking
AS-30	Non-Smoking Area
AS-31	Customer Parking
AS-CH	Parking Location (AS-OR, AS-BH, AS-RH, AS-GH, AS-PH, AS-YH)

Pavement Graphic Legend

SYMBOL	GRAPHIC TYPE
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PG-20	Pedestrian Table
PG-21	Empty Trailer Slip
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PG-23	Jack Stand Area
PG-24	Warning Line

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- MOUNT SIGNAGE ACCORDING TO LOCAL CODES.
- TYPICAL SIGN FONT IS SET IN AERIAL.



Site plan for 3650 Milwaukee Street Madison - showing sign placements

STRIPING AND SIGNAGE SITE PLAN 1" = 40'-0"
MON-01 already approved
MON-02



Project No.	756898-01
Task	AS NOTED
Drawn	CH
Checked	SCU
Date	07.22.19
Drawn by	
Checked by	
Date	
Project Name	AMAZON DELIVERY STATION - DW14
Address	3650 MILWAUKEE STREET MADISON, WI 53714

AMAZON DELIVERY STATION - DW14
 3650 MILWAUKEE STREET
 MADISON, WI 53714

Project No. 756898-01
 Task AS NOTED
 Drawn CH
 Checked SCU
 Date 07.22.19

STRIPING AND SIGNAGE SITE PLAN

Drawn by
 Checked by
 Date

A1.4B

SIGN SPECIFICATIONS

[A] - CABINET
 Lighting: Non-Lit
 Material: Aluminum
 Face Color: Paint White
 Cabinet Color: Paint White
 Installation: New Structure

[B] - BLUE CABINET
 Lighting: Non-Lit
 Material: Aluminum
 Face Color: Paint To Match
 PMS Blue 2995c
 Cabinet Color: Paint To Match
 PMS Blue 2995c

[C] - COPY/ ARROWS
 Material: FCO Aluminum 1/8" Thick
 Color: Paint Black
 Installation: Stud Mount Flush

[D] - SMILE
 Material: FCO Aluminum 1/8" Thick
 Color: Paint to Match PMS Blue 2995c
 Installation: Stud Mount Flush

[E] - BASE
 Material: Concrete

[F] - DECOR
 Material: Channel Rail Aluminum
 Depth: 1/4"
 Color: Paint DORIAN GRAY SW7017

[G] - SIDE DECOR
 Material: Aluminum
 Color: Black

Approved 8-28-20

Main Identification monument



Proposed Layout Side A

Side View



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Project

Amazon
 Madison, WI

Scale: 3/4"=1'

Original Page Size: 11" x 17"

Notes

line 0003

Revisions

REV	DESCRIPTION	BY	DATE
01	non-lit	RJE	7/2/20
02	specs	jeb	08/06/20
03	copy	jeb	08/10/20
04	release	jeb	08/12/20

Rep: Jim Paoloni
 Drawn By: Jean Hardeman Orig. Date: 6/29/20

Sign Loc. No.

MON-01

D/F Monument
 Sign. Type

89064

OPP - Project - Job No.

J01

Design

SIGN SPECIFICATIONS

[A] - ILLUMINATED LETTERS

Lighting: White LED
 Voltage: 120/277
 Description: Face-Lit [Acrylic]
 Face Color: White with 3M Dual Color Film
 Black (Black During Day/White at Night)
 3" Deep Return Color: Std. Pre-coat Black
 Trimcap Color: Black
 Installation: Flush - Mechanically fastened to corrugated metal wall

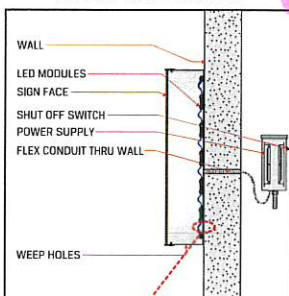
[B] - LOGO GRAPHIC

Lighting: White LED
 Voltage: 120/277
 Description: Face-Lit [Acrylic]
 Face Color: White with Translucent Vinyl To Match PMS Blue 2995c
 3" Deep Return Color: Paint To Match PMS Blue 2995c
 Trimcap Color: Paint To Match PMS Blue 2995c
 Installation: Flush - Mechanically fastened to corrugated metal wall

[C] - ILLUMINATED LETTERS

Lighting: White LED
 Voltage: 120/277
 Description: Face-Lit [Acrylic]
 Face Color: White with 3M Dual Color Film
 Black (Black During Day/White at Night)
 3" Deep Return Color: Black
 Trimcap Color: Black
 Installation: Flush - Mechanically fastened to corrugated metal wall

Detail View - Confirm Wall Surface



Proposed Layout Day View South Elevation



Approved 8-28-20



Proposed Layout Night View



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Project

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Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

line 0200

Revisions

REV	DESCRIPTION	BY	DATE
01	face lit	RJE	7/2/20
02	SIZE/ SQ FT	jeb	08/05/20
03	Black	jeb	08/10/20
04	release	jeb	08/12/20
05	depth/mount	jeb	08/14/20

Rep.: Jim Paoloni
 Drawn By: Jean Hardeman Orig. Date: 6/29/20

Sign Loc. No. south

LL-01

Lit Letters
 Sign. Type

89064

OPP - Project - Job No.

JO1

Design

SIGN SPECIFICATIONS

[A] - ILLUMINATED LETTERS

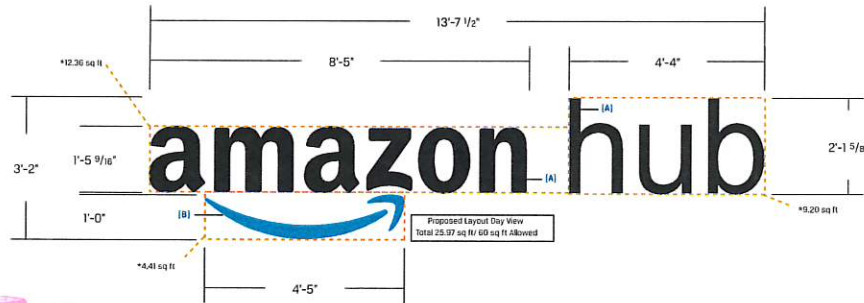
Lighting: White LED
 Voltage: 120/277
 Description: Face-Lit [Acrylic]
 Face Color: White with 3M Dual Color Film
 Black (Black During Day/White at Night)
 3" Deep Return Color: Std. Pre-coat Black
 Trimcap Color: Black
 Installation: Flush - Mechanically fastened to corrugated metal wall

[B] - LOGO GRAPHIC

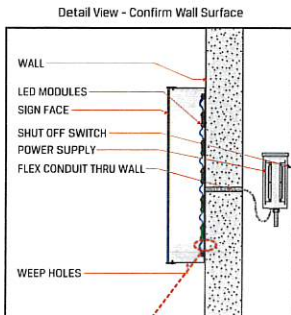
Lighting: White LED
 Voltage: 120/277
 Description: Face-Lit [Acrylic]
 Face Color: White with Translucent Vinyl To Match PMS Blue 2995c
 3" Deep Return Color: Paint To Match PMS Blue 2995c
 Trimcap Color: Paint To Match PMS Blue 2995c
 Installation: Flush - Mechanically fastened to corrugated metal wall



Proposed Layout Day View South Elevation



Approved 8-28-20



Proposed Layout Night View



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Notes

line 0200

Revisions

REV	DESCRIPTION	BY	DATE
01	face lit	RJE	7/2/20
02	50 FT	jeb	08/05/20
03	size/ 50 FT	jeb	08/06/20
04	release	jeb	08/12/20
05	depth/mount	jeb	08/14/20

Rep.: Jim Paolini

Drawn By: Jean Hardeman Orig. Date: 6/29/20

Sign Loc. No. south

LL-02

Lit Letters

Sign. Type

89064

OPP - Project - Job No.

JO1

Design

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint White
Cabinet Color: Paint White
Installation: New Structure

[B] - BLUE CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint To Match
PMS Blue 2995c
Cabinet Color: Paint To Match
PMS Blue 2995c

[C] - COPY/ ARROWS

Material: FCO Aluminum 1/8" Thick
Color: Paint Black
Installation: Stud Mount Flush

[D] - SMILE

Material: FCO Aluminum 1/8" Thick
Color: Paint to Match PMS Blue 2995c
Installation: Stud Mount Flush

[E] - BASE

Material: Concrete

[F] - DECOR

Material: Channel Rail Aluminum
Depth: 1/4"
Color: Paint DORIAN GRAY SW7017

[G] - SIDE DECOR

Material: Aluminum
Color: Black



Proposed Layout Side A

Side View



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Revisions

REV	DESCRIPTION	BY	DATE
01	non-lit	RJE	7/2/20
02	specs	jeb	08/06/20

Rep: Jim Pacioni
Drawn By: Jean Hardeman Orig. Date: 6/29/20

Sign Loc. No. .

MON-02

D/F Monument
Sign. Type

89064

OPP - Project - Job No.

J01

Design

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint White
Cabinet Color: Paint White
Installation: New Structure

[B] - BLUE CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint To Match
PMS Blue 2995c
Cabinet Color: Paint To Match
PMS Blue 2995c

[C] - COPY/ ARROWS

Material: FCO Aluminum 1/8" Thick
Color: Paint Black
Installation: Stud Mount Flush

[D] - SMILE

Material: FCO Aluminum 1/8" Thick
Color: Paint to Match PMS Blue 2995c
Installation: Stud Mount Flush

[E] - BASE

Material: Concrete

[F] - DECOR

Material: Channel Rail Aluminum
Depth: 1/4"
Color: Paint DORIAN GRAY SW7017

[G] - SIDE DECOR

Material: Aluminum
Color: Black



Proposed Layout Side B



Proposed Layout Side A

Side View



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Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Jim Paoloni

Drawn By: Sarah Biagianni Orig. Date: 09/08/20

Sign Loc. No. .

MON-03

D/F Monument
Sign Type

89064

OPP - Project - Job No.

COI

Design

SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint White
Cabinet Color: Paint White
Installation: New Structure

[B] - BLUE CABINET

Lighting: Non-Lit
Material: Aluminum
Face Color: Paint To Match
PMS Blue 2995c
Cabinet Color: Paint To Match
PMS Blue 2995c

[C] - COPY/ ARROWS

Material: FCO Aluminum 1/8" Thick
Color: Paint Black
Installation: Stud Mount Flush

[D] - SMILE

Material: FCO Aluminum 1/8" Thick
Color: Paint to Match PMS Blue 2995c
Installation: Stud Mount Flush

[E] - BASE

Material: Concrete

[F] - DECOR

Material: Channel Rail Aluminum
Depth: 1/4"
Color: Paint DORIAN GRAY SW7017

[G] - SIDE DECOR

Material: Aluminum
Color: Black



Proposed Layout Side B



Proposed Layout Side A

Side View



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Notes

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Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Jim Pacioni

Drawn By: Sarah Blagioni Orig. Date: 09/08/20

Sign Loc. No. .

MON-04

D/F Monument
Sign Type

89064

QPP - Project - Job No.

COI

Design

Google Maps 113 W Corporate Dr



Photo showing bus terminal driveway

Image capture: Jul 2019 © 2020 Google

Madison, Wisconsin

Google

Street View

Google Maps 3698 Milwaukee St



Photo showing bus terminal from Milwaukee St.

Image capture: Jul 2019 © 2020 Google