



Location
615 Forward Drive

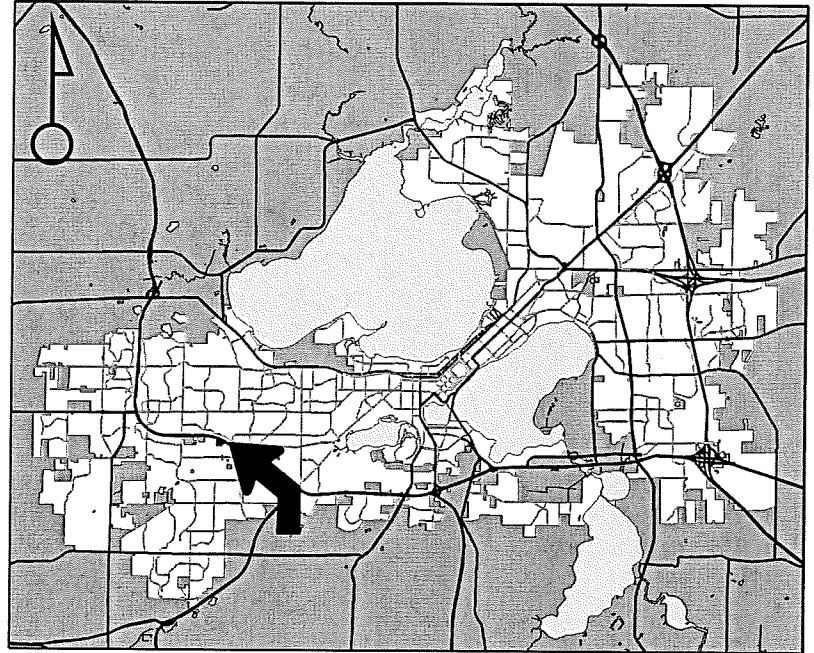
Project Name
WMTV Studios

Applicant
Jason Effinger – Gray TV/
Rich Van Zeyl – Partners by Design

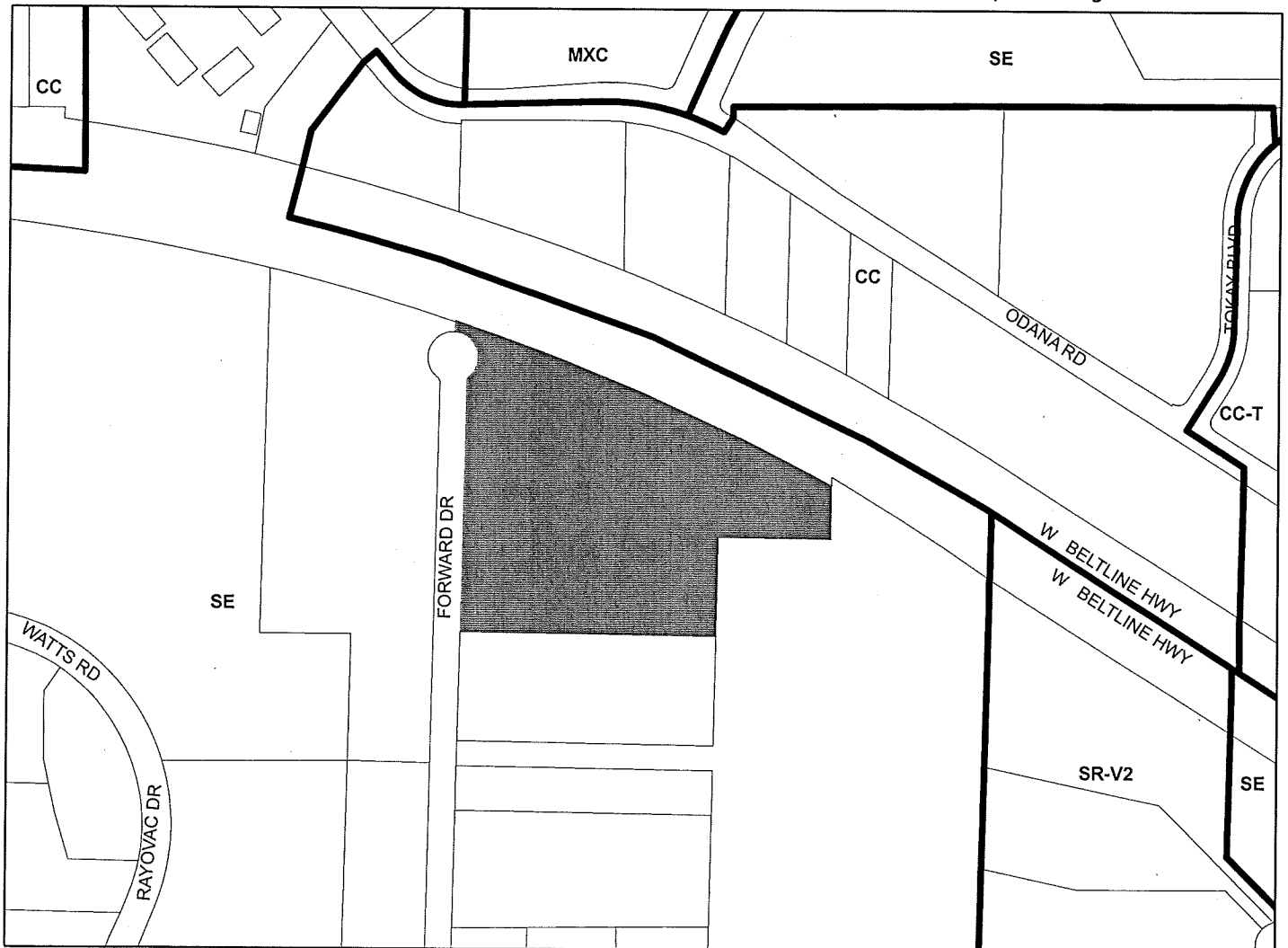
Existing Use
Television Studios

Proposed Use
Demolish existing television studio
and construct new television studio in
Urban Design Dist. 2

Public Hearing Date
Plan Commission
16 November 2015

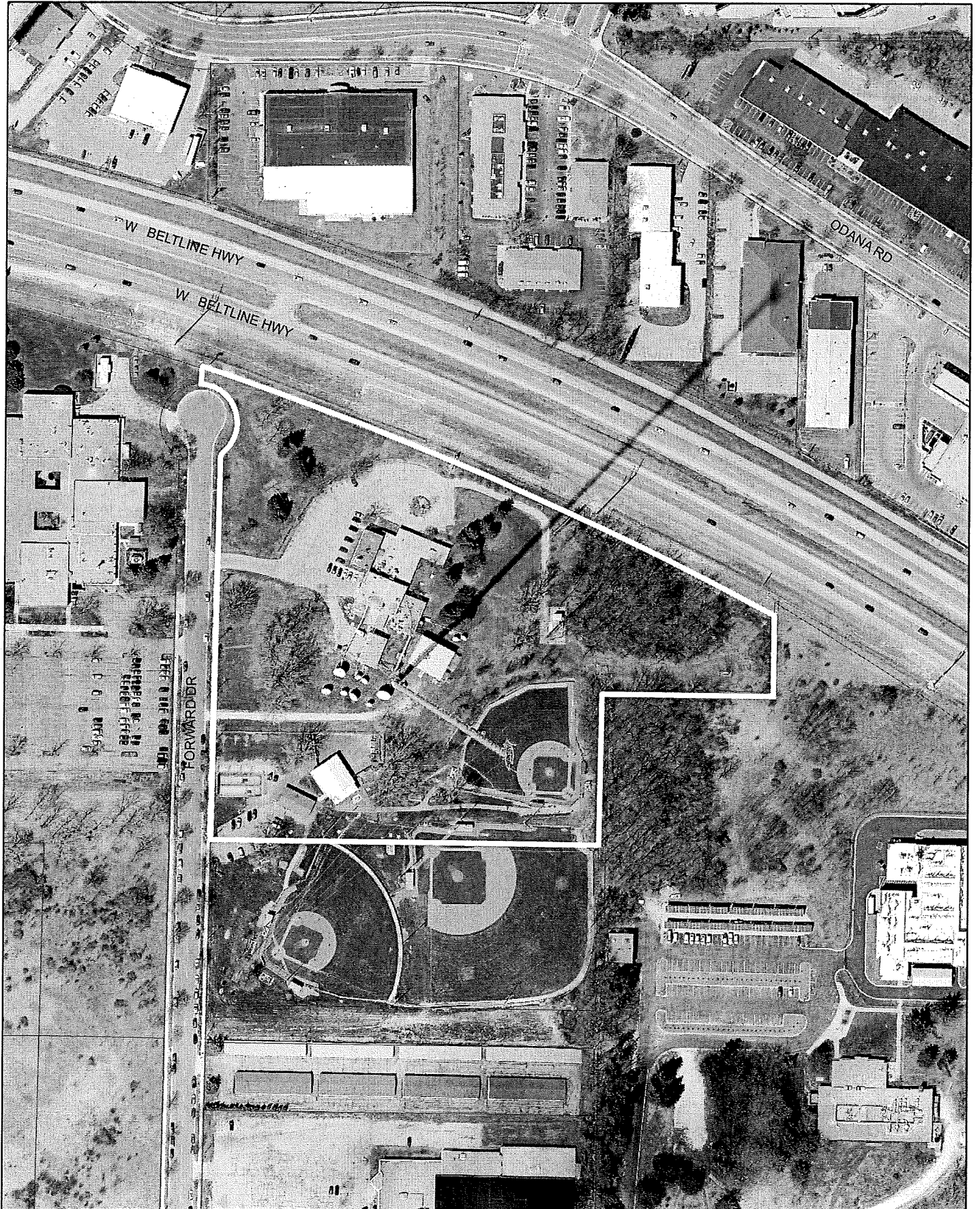


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 12 November 2015





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>\$ 600</u>	Receipt No. <u>8032-0004</u>
Date Received <u>9/16/15</u>	
Received By <u>SLW</u>	
Parcel No. <u>0708-254-0098-3</u>	
Aldermanic District <u>19-Mark & Clear</u>	
Zoning District <u>JE</u>	
Special Requirements <u>UDD-02, Existing CU</u>	
Review Required By:	
<input checked="" type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 615 FORWARD DRIVE
Project Title (if any): WMTV STUDIOS

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: NEW BUILDING CONSTRUCTION

3. Applicant, Agent & Property Owner Information:

Applicant Name: JASON EFFINGER Company: GRAY TV
Street Address: 3501 FAMAN ST. City/State: OMAHA, NE Zip: 68131
Telephone: (402) 440.1557 Fax: () Email: JASON.EFFINGER@GRAY.TV

Project Contact Person: RICH VAN ZEYL Company: PARTNERS BY DESIGN
Street Address: 213 W. INSTITUTE PLACE #203 City/State: CHICAGO, IL Zip: 60610
Telephone: (312) 870.1131 Fax: () Email: VANZEYL@PBDINC.COM

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: CONSTRUCTION OF NEW BUILDING FOR WMTV TELEVISION STUDIOS & DEMOLITION OF EXISTING STUDIO BUILDING
Development Schedule: Commencement DEC 2015 Completion DEC 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- *Seven (7) copies* of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- *Twenty Five (25) copies* of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- *One (1) copy* of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide *Fourteen (14) additional 11x17 copies* of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| ◦ Project Team | ◦ Building Square Footage | ◦ Value of Land |
| ◦ Existing Conditions | ◦ Number of Dwelling Units | ◦ Estimated Project Cost |
| ◦ Project Schedule | ◦ Auto and Bike Parking Stalls | ◦ Number of Construction & Full-Time Equivalent Jobs Created |
| ◦ Proposed Uses (and ft ² of each) | ◦ Lot Coverage & Usable Open Space Calculations | ◦ Public Subsidy Requested |
| ◦ Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

SUBMITTED VIA WEBSITE ON 7/30/2015

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: AL MARTIN Date: 7/16/2015 Zoning Staff: _____ Date: _____
MATT TUCKER

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JASON EFFINGER Relationship to Property: OWNER

Authorizing Signature of Property Owner [Signature] Date 9/14/2015

City of Madison
Urban Design Commission
210 Martin Luther King Jr Blvd
Room LL-100
Madison, WI 53703

September 16, 2015

RE: Land Use Application for 615 Forward Drive

Dear Sir or Madame,

On behalf of the design team and WMTV, I would like to make our second formal submittal of the proposed project at 615 Forward Drive. We originally submitted plans for the project on August 19, 2015, and had an informational presentation to the UDC on September 2, 2015. The initial feedback from the UDC was very favorable and had limited comments regarding the design.

WMTV desires to construct a new television studio and support facilities to replace the existing building as the current technology used in broadcasting demands a new facility. The development proposal would include construction of a new building between the old structure and the Beltline Highway beginning this fall/winter, and the removal of the old building in late 2016 once the new facility is up and running. The new building will house two television studios, as well as office space for the news and support staff of the station. Site improvements include parking for visitors, employees, and news vehicles, as well as meeting the requirements for all landscape and storm water management regulations.

Also, note that in our drawings, the signage we are currently showing is for illustration purposes only. Our intent is to have a pre-application meeting related specifically to signage to review our proposal and the applicable regulations with city staff. We plan on submitting a separate signage package by October 7th, to allow us to be on a parallel track with the building for final approval at the November 4th UDC meeting.

The project team includes:

Owner: WMTV/Gray TV
Architect: Partners By Design
Interior Architect: Hendrick
Civil Engineer/Landscape Architect: Ayers Associates
MEP Engineer: ESD, Inc.
Structural Engineer: Swift Structural Design
Project Management: Huffman Facility Development, Inc.

Project Statistics:

Total Gross Area: 29,638 sf (26,823 sf ground floor + 2,815 sf mezzanine)
Lot Coverage: 38% (including existing and new buildings and paved areas)



Auto Parking Stalls: 77 total spaces (10 visitor, 54 employee, 10 covered news vans, 3 interior garage spaces)

Bike Parking: 18 spaces

Hours of Operation: 24/7

Estimated Project Cost: TBD

Number of Construction Jobs: TBD

Please find attached our drawing submission that describes the design for the project. If you have any questions about the project, please feel free to contact me to discuss. Thank you so much for your attention.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Rich Van Zeyl', is positioned below the text 'Kind Regards,'.

Rich Van Zeyl, AIA, LEED-AP

Director

Partners by Design

213 W Institute Place | Suite 203

Chicago, IL 60610

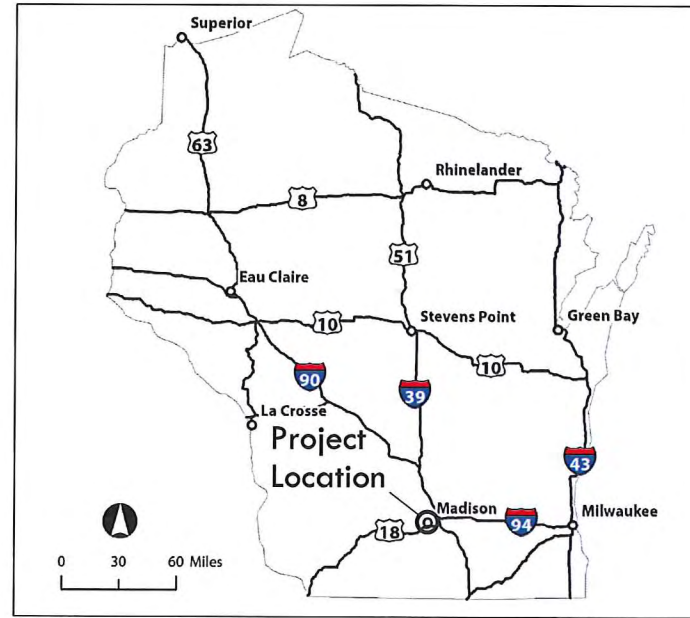
T 312.649.1111 | D 312.870.1131 | M 708.522.4253

vanzeyl@pbdinc.com

GRAY TV - WMTV

615 FORWARD DRIVE
MADISON, WISCONSIN

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A1.1.02B	MEZZANINE FLOOR PLAN - PRESENTATION
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A2.01B	RENDERED BUILDING PERSPECTIVES
A2.02	RENDERED ELEVATIONS
A2.6	EXTERIOR SIGNAGE



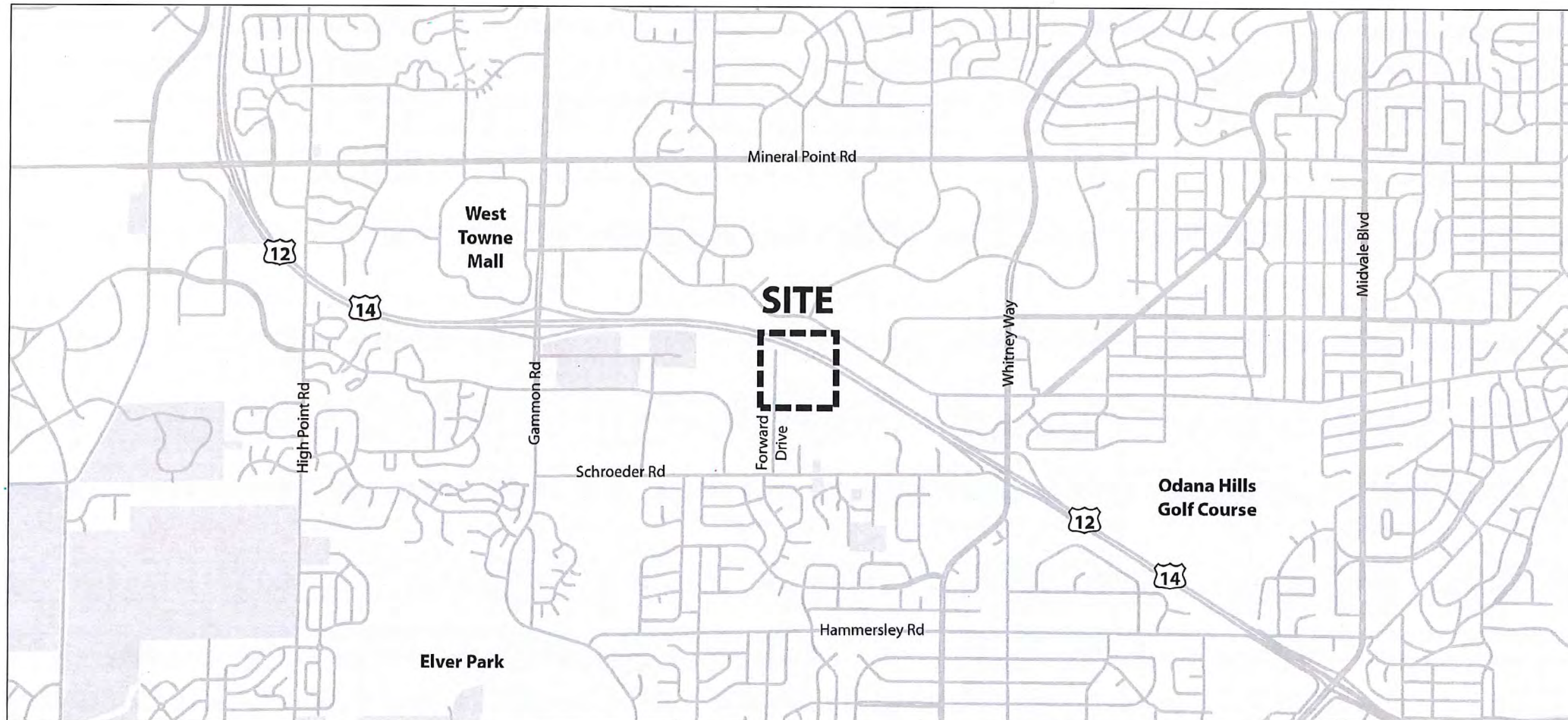
LOCATION MAP

1" = 30 Miles



SITE AERIAL

1" = 100 Feet



VICINITY MAP

1" = 1,000 Feet

AYRES ASSOCIATES

101 East Badger Road
Madison, WI 53713
608.255.0800
www.saa-madison.com

pbd
Partners by Design
213 W. INSTITUTE PLACE SUITE 203
CHICAGO, IL 60610
312.648.1111
www.pbdinc.com

Hendrick

1201 PEACHTREE STREET, NE
400 COLONY SQUARE
SUITE 1900
ATLANTA, GA 30361
402.261.9383
www.hendrickinc.com

ISSUES AND REVISIONS:

No.	DOC. SUBMITTAL Description	DATE

GRAY TV - WMTV
615 FORWARD DRIVE
MADISON, WI



TITLE SHEET

PROJECT: T100
DRAWN BY:



- LEGEND**
- BRUSH LINE
 - CONTOUR - INDEX
 - CONTOUR - INTERMEDIATE
 - EASEMENT
 - ELECTRICAL SERVICE
 - FENCE LINE
 - FIBER OPTIC
 - GAS SERVICE
 - GUY WIRE
 - OVERHEAD UTILITY
 - PARCEL LINE
 - SANITARY SEWER
 - SECTION LINE
 - STORM SEWER
 - TREE LINE
 - WATER MAIN
 - TREE (DECIDUOUS)
 - TREE (CONIFEROUS)

NOTES:
 1. SHEETS ARE INTENDED AS 36"x48" FULL SIZE.
 2. BASEMAP CREATED FROM SURVEY COMPLETED BY AYRES ASSOCIATES ON JULY 24, 2015.

AYRES ASSOCIATES
 101 East Badger Road
 Madison, WI 53713
 608.255.0800
 www.aya-madison.com

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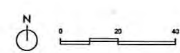
No.	DATE	DESCRIPTION

GRAY TV - WMTV
 615 FORWARD DRIVE
 MADISON, WI




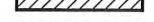


EXISTING CONDITIONS

PROJECT: **C100**
 DRAWN BY:

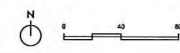
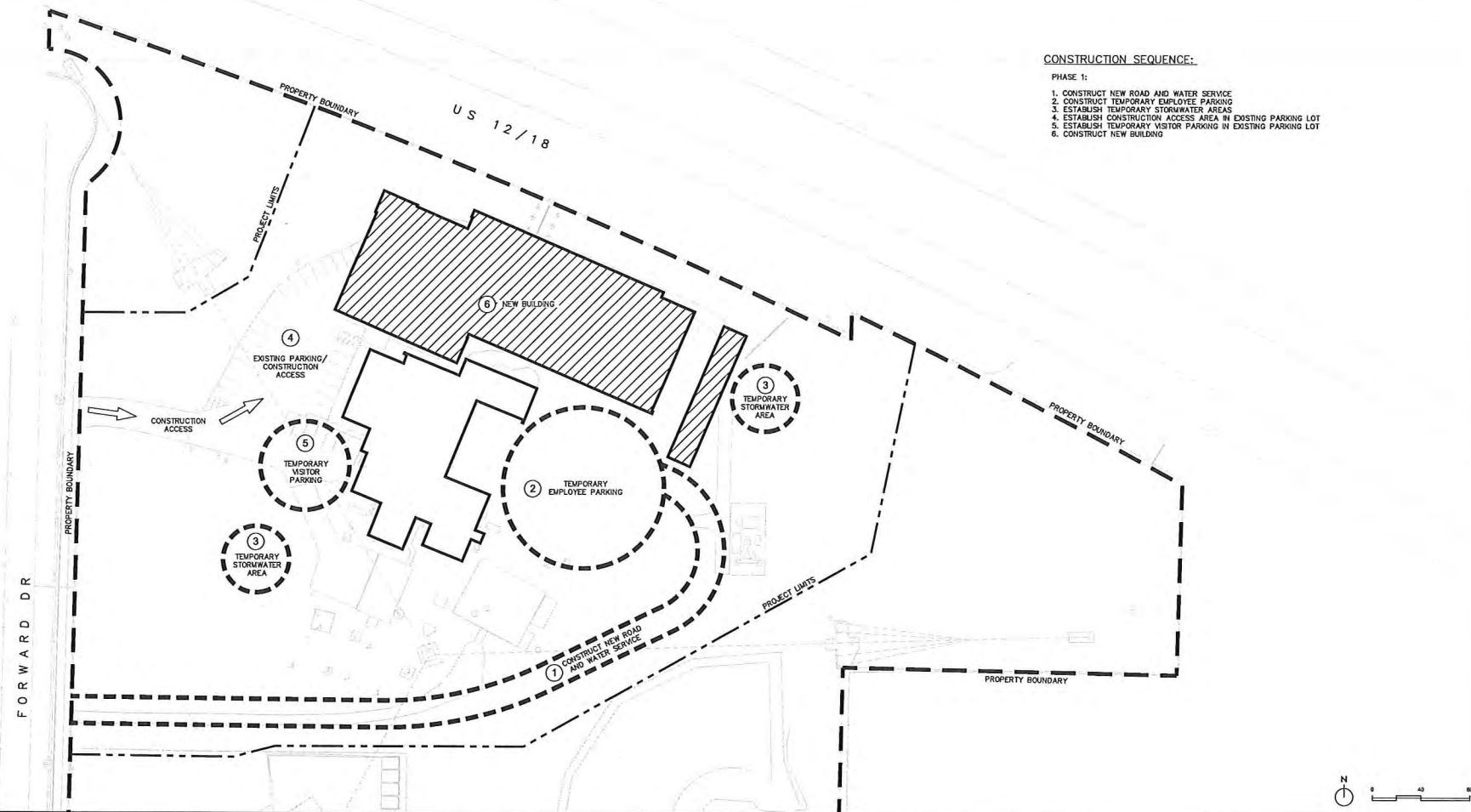


PHASE 1

- LEGEND**
-  PROJECT LIMITS
 -  EXISTING BUILDING
 -  NEW BUILDING
 -  CONSTRUCTION AREAS

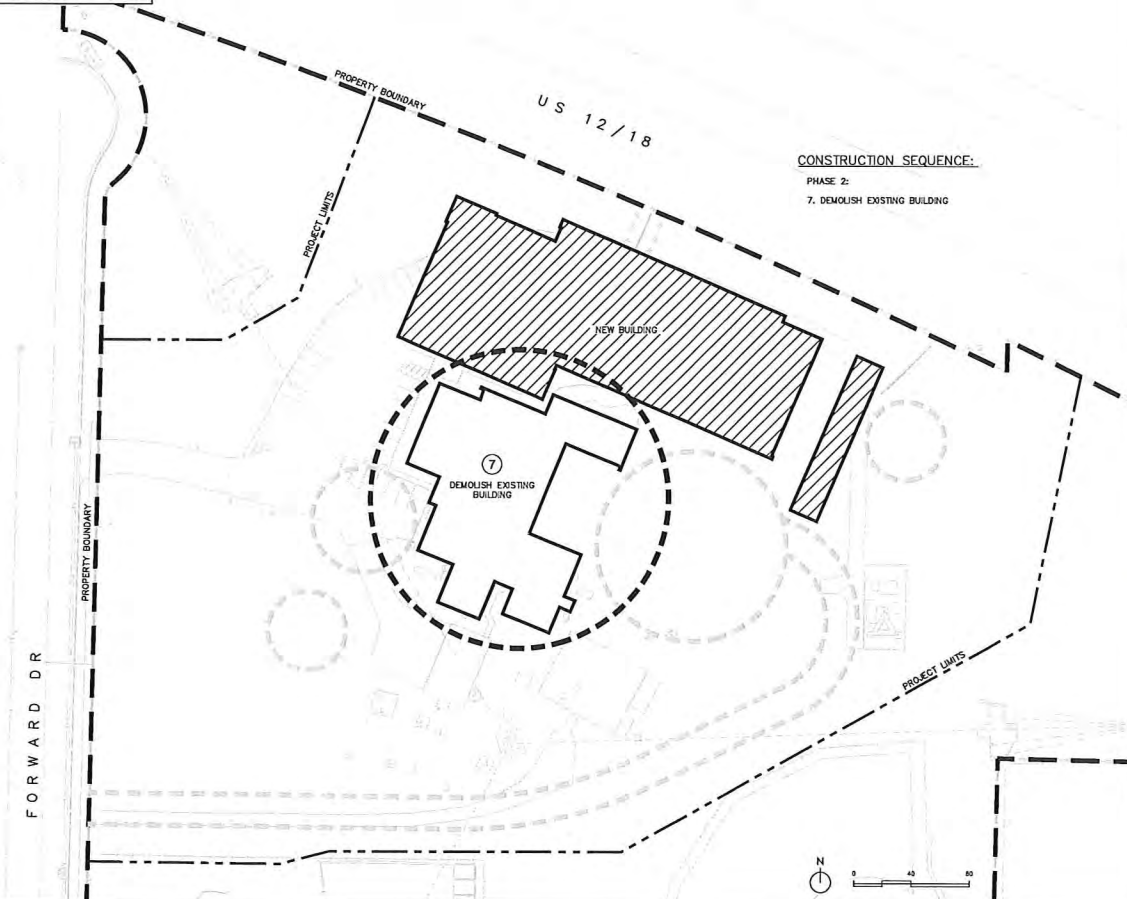
NOTES:
1. SHEETS ARE INTENDED AS 36"x48" FULL SIZE.

- CONSTRUCTION SEQUENCE:**
PHASE 1:
1. CONSTRUCT NEW ROAD AND WATER SERVICE
 2. CONSTRUCT TEMPORARY EMPLOYEE PARKING
 3. ESTABLISH TEMPORARY STORMWATER AREAS
 4. ESTABLISH CONSTRUCTION ACCESS AREA IN EXISTING PARKING LOT
 5. ESTABLISH TEMPORARY VISITOR PARKING IN EXISTING PARKING LOT
 6. CONSTRUCT NEW BUILDING



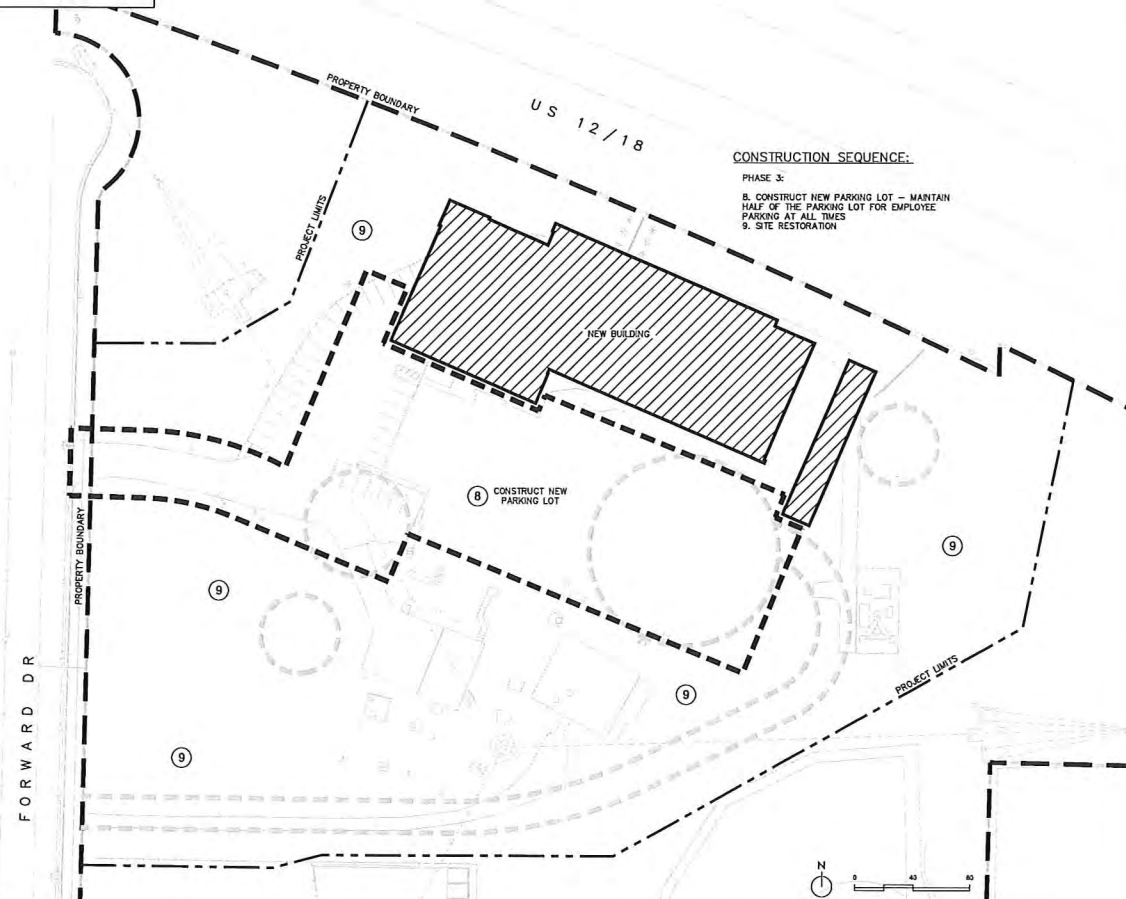
PHASE 2

- CONSTRUCTION SEQUENCE:**
PHASE 2:
7. DEMOLISH EXISTING BUILDING



PHASE 3

- CONSTRUCTION SEQUENCE:**
PHASE 3:
8. CONSTRUCT NEW PARKING LOT - MAINTAIN HALF OF THE PARKING LOT FOR EMPLOYEE PARKING AT ALL TIMES
 9. SITE RESTORATION



AYRES ASSOCIATES
101 East Badger Road
Madison, WI 53713
608.255.0800
www.aa-madison.com

pbd PARTNERS BY DESIGN
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ISSUES AND REVISIONS:

No.	Description	Date

GRAY TV - WMTV
615 FORWARD DRIVE
MADISON, WI

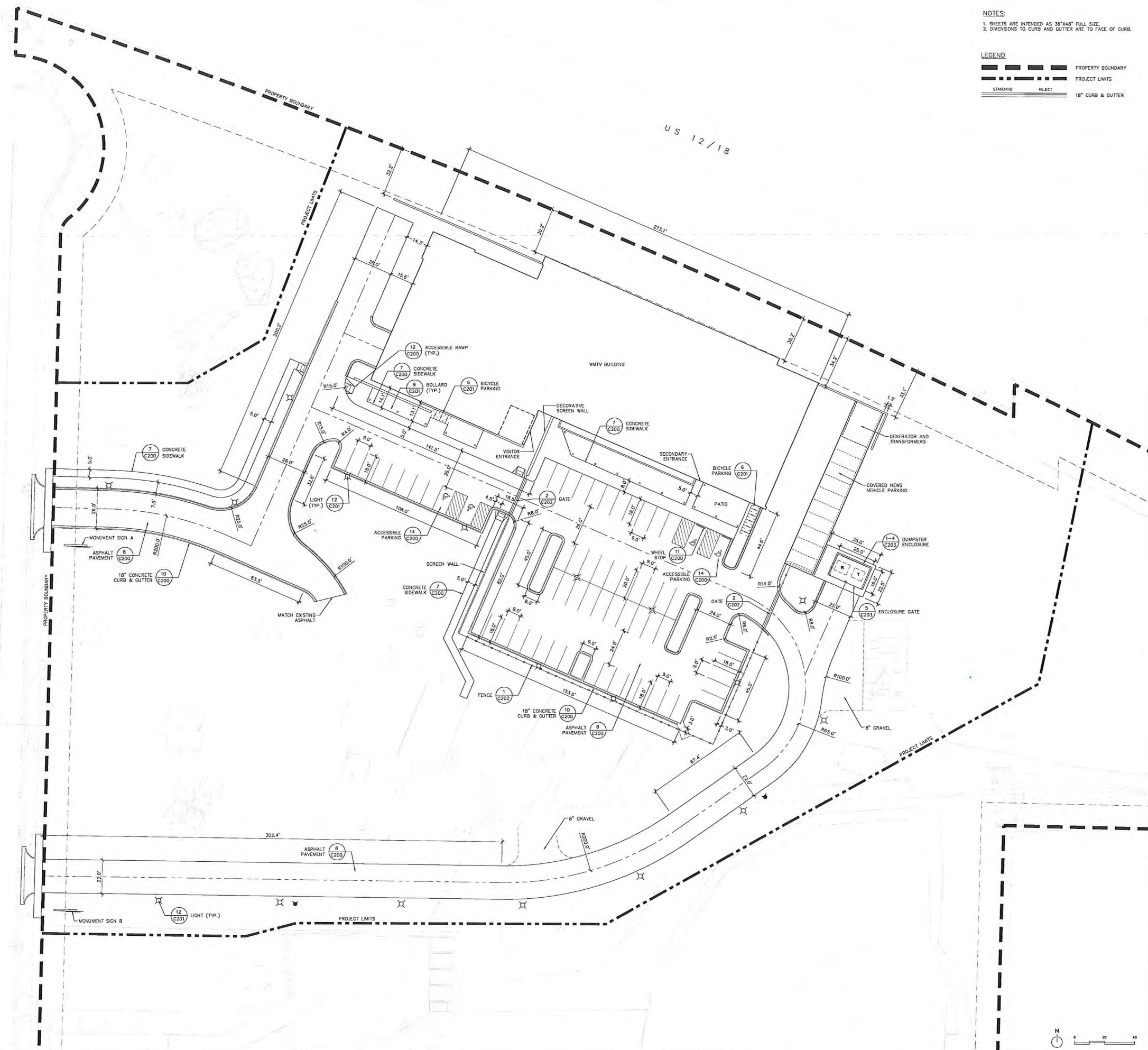


STAGING PLAN

PROJECT: **C101**
DRAWN BY:

NOTES:
 1. SHEETS ARE INTENDED AS 36"x48" FULL SIZE.
 2. DIMENSIONS TO CURB AND GUTTER ARE TO FACE OF CURB.

LEGEND:
 - - - - - PROPERTY BOUNDARY
 - - - - - PROJECT LIMITS
 - - - - - 18" CURB & GUTTER



ISSUES AND REVISIONS:

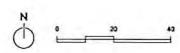
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GRAY TV - WMTV
 615 FORWARD DRIVE
 MADISON, WI



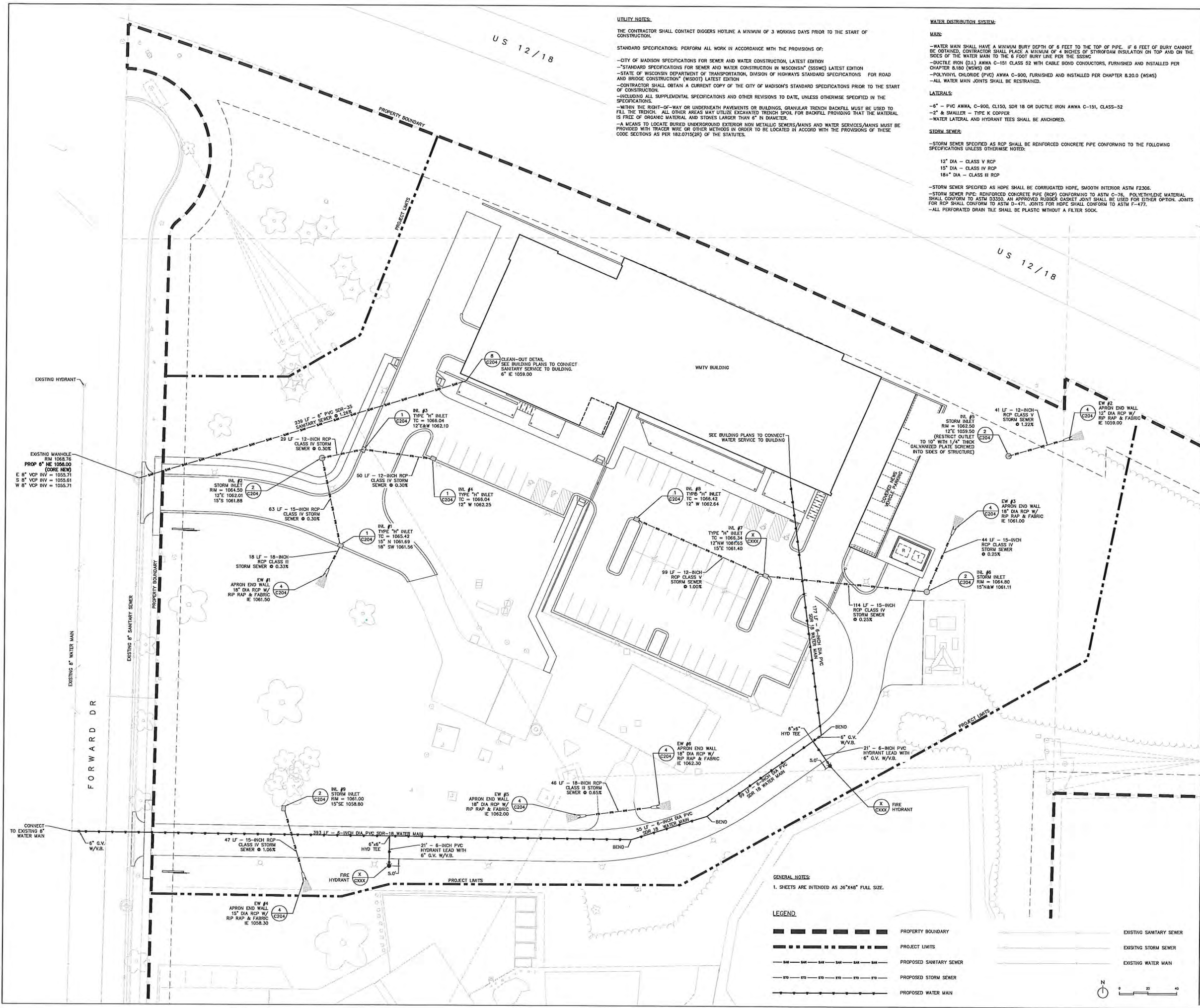
SITE LAYOUT PLAN

PROJECT: **C103**
 DRAWN BY:



UTILITY NOTES:
 THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:
 -CITY OF MADISON SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, LATEST EDITION
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWC) LATEST EDITION
 -STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (MSD07) LATEST EDITION
 -CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
 -INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.
 -WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPILL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.
 -A MEANS TO LOCATE BURIED UNDERGROUND EXISTING NON METALLIC SEWERS/MANS AND WATER SERVICES/MANS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(28) OF THE STATUTES.

WATER DISTRIBUTION SYSTEM:
MAIN:
 -WATER MAIN SHALL HAVE A MINIMUM BURY DEPTH OF 6 FEET TO THE TOP OF PIPE. IF 6 FEET OF BURY CANNOT BE OBTAINED, CONTRACTOR SHALL PLACE A MINIMUM OF 4 INCHES OF STYROFOAM INSULATION ON TOP AND ON THE SIDES OF THE WATER MAIN TO THE 6 FOOT BURY LINE PER THE SSSWC
 -DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSSW) OR
 -POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSSW)
 -ALL WATER MAIN JOINTS SHALL BE RESTRAINED.
LATERALS:
 -8" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
 -2" & SMALLER - TYPE K COPPER
 -WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.
STORM SEWER:
 -STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS UNLESS OTHERWISE NOTED:
 12" DIA - CLASS V RCP
 15" DIA - CLASS IV RCP
 18" DIA - CLASS II RCP
 -STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR ASTM F2306.
 -STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76. POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.
 -ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.



GENERAL NOTES:
 1. SHEETS ARE INTENDED AS 36"x48" FULL SIZE.

LEGEND

---	PROPERTY BOUNDARY	---	EXISTING SANITARY SEWER
---	PROJECT LIMITS	---	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER	---	EXISTING WATER MAIN
---	PROPOSED STORM SEWER		
---	PROPOSED WATER MAIN		

ISSUES AND REVISIONS:

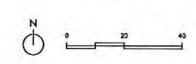
No.	DESCRIPTION	DATE

GRAY TV - WMTV
 615 FORWARD DRIVE
 MADISON, WI



UTILITY PLAN

PROJECT: **C105**
 DRAWN BY:



LANDSCAPE PLANT SCHEDULE

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
TREES					
cv	<i>Carex whippleoides</i>	Brown Fox Sedge	3" Plug	1250	18" OC
cm	<i>Carex muskingumensis</i>	Palm Sedge	3" Plug	1250	18" OC
ls	<i>Labelia aliphilica</i>	Great Blue Lobelia	3" Plug	416	18" OC
ta	<i>Troscandria ohlensis</i>	Spiderwort	3" Plug	416	18" OC
Stormwater Management Area Type II					
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	3" Plug	1112	18" OC
bc	<i>Bouteloua curtipendula</i>	Side-oats Grama Grass	3" Plug	1112	18" OC
cp	<i>Carex pensylvanica</i>	Common Oak Sedge	3" Plug	1112	18" OC
aa	<i>Aster azureus</i>	Sky Blue Aster	3" Plug	556	18" OC
cr	<i>Companula rotundifolia</i>	Horebell	3" Plug	556	18" OC

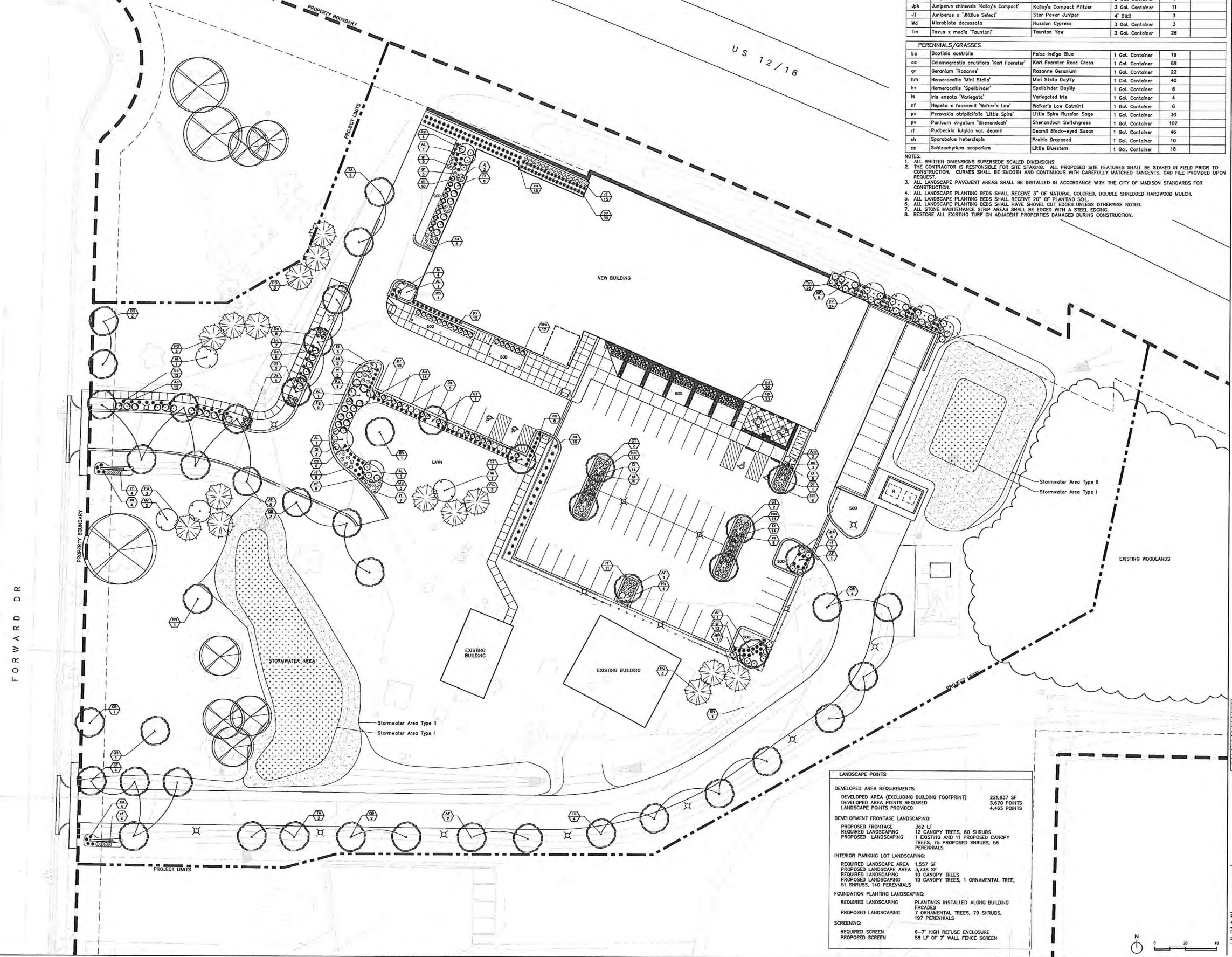
Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
TREES					
AF	<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	2.5" Cal-B&B	11	
AL	<i>Amelanchier x grandiflora 'Cala's Select'</i>	Cala's Select Serviceberry	6" B&B	5	Multitier clump
BN	<i>Betula nigra</i>	River Birch	2.5" Cal-B&B	2	Multitier clump
CC	<i>Cornus caroliniana</i>	American Hornbeam	1.5" Cal-B&B	2	
GT	<i>Gleditsia tricanthos 'Sunburst'</i>	Sunburst Honeylocust	2" Cal-B&B	15	
MI	<i>Morus 'Indian Magic'</i>	Indian Magic Crabapple	1.5" Cal-B&B	2	
MP	<i>Morus 'Prairiefire'</i>	Prairiefire Crabapple	1.5" Cal-B&B	7	
PG	<i>Picea glauca var. 'Densata'</i>	Black Hills Spruce	6" B&B	15	
QB	<i>Quercus bicolor</i>	Swamp White Oak	2" Cal-B&B	11	
TA	<i>Tilia americana 'Redmond'</i>	Redmond Linden	2" Cal-B&B	8	

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
SHRUBS					
Aa	<i>Aronia melanocarpa 'Autumn Magic'</i>	Autumn Magic Chokeberry	3 Gal. Container	32	
Am	<i>Aronia melanocarpa</i>	Black Chokeberry	3 Gal. Container	2	
Di	<i>Diervilla lonicera 'Coppo'</i>	Copper Bush Honeysuckle	3 Gal. Container	34	
Da	<i>Diervilla saxatilis 'POC Podaras'</i>	Cool Splash Dwarf Honeysuckle	3 Gal. Container	20	
Fg	<i>Foraythia x intermedia 'Courtsof'</i>	Gold Tide Forsythia	3 Gal. Container	9	
Ho	<i>Hydrangea arborescens 'Annabella'</i>	Annabella Hydrangea	5 Gal. Container	4	
Iv	<i>Ilex verticillata 'Red Sprite'</i>	Red Sprite Winterberry	5 Gal. Container	6	
Ro	<i>Rhus aromatica 'Gra-Low'</i>	Gra-Low Sumac	5 Gal. Container	4	
Wm	<i>Wigelia florida 'Minuet'</i>	Minuet Wigelia	3 Gal. Container	17	

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
EVERGREEN SHRUBS					
Cp	<i>Chamaecyparis platifera 'Sungold'</i>	Sungold Falsecypress	5 Gal. Container	23	
Jep	<i>Juniperus chinensis 'Pfitzeriana'</i>	Pfitzer Juniper	5 Gal. Container	4	
Jpk	<i>Juniperus chinensis 'Yatfa's Compact'</i>	Katya's Compact Pfitzer	3 Gal. Container	11	
JJ	<i>Juniperus x 'JNBlue Select'</i>	Star Power Juniper	4" B&B	3	
Md	<i>Microbiota decussata</i>	Russian Cypress	3 Gal. Container	3	
Tm	<i>Taxus x media 'Townton'</i>	Townton Yew	3 Gal. Container	26	

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
PERENNIALS/GRASSES					
ba	<i>Boehmeria australis</i>	Fatsie Indigo Blue	1 Gal. Container	18	
ca	<i>Calamagrostis australis 'Karl Foerster'</i>	Karl Foerster Reed Grass	1 Gal. Container	89	
gr	<i>Geranium 'Rosanna'</i>	Rosanna Geranium	1 Gal. Container	22	
hm	<i>Hemerocallis 'Mid Stella'</i>	Mid Stella Daylily	1 Gal. Container	40	
hs	<i>Hemerocallis 'Spellbinder'</i>	Spellbinder Daylily	1 Gal. Container	6	
la	<i>Iris ensata 'Variegata'</i>	Variegated Iris	1 Gal. Container	4	
nf	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	1 Gal. Container	6	
pa	<i>Parosela atriplicifolia 'Little Spire'</i>	Little Spire Russian Sage	1 Gal. Container	30	
pv	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switchgrass	1 Gal. Container	102	
rf	<i>Rudbeckia fulgida var. 'deamii'</i>	Deamii Black-eyed Susan	1 Gal. Container	46	
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 Gal. Container	10	
ss	<i>Schizochyrium scoparium</i>	Little Bluestem	1 Gal. Container	18	

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE PROVIDED UPON REQUEST.
 - ALL LANDSCAPE PAVEMENT AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION.
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 - ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 20" OF PLANTING SOIL.
 - ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES UNLESS OTHERWISE NOTED.
 - ALL STONE MAINTENANCE SLOP AREAS SHALL BE EDGED WITH A STEEL EDGING.
 - RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.



LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	221,837 SF
DEVELOPED AREA POINTS REQUIRED	3,970 POINTS
LANDSCAPE POINTS PROVIDED	4,465 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	362 LF
REQUIRED LANDSCAPING	12 CANOPY TREES, 60 SHRUBS
PROPOSED LANDSCAPING	1 EXISTING AND 11 PROPOSED CANOPY TREES, 75 PROPOSED SHRUBS, 56 PERENNIALS
INTERIOR PARKING LOT LANDSCAPING:	
REQUIRED LANDSCAPE AREA	1,557 SF
PROPOSED LANDSCAPE AREA	3,708 SF
REQUIRED LANDSCAPING	10 CANOPY TREES
PROPOSED LANDSCAPING	10 CANOPY TREES, 1 ORNAMENTAL TREE, 51 SHRUBS, 140 PERENNIALS
FOUNDATION PLANTING LANDSCAPING:	
REQUIRED LANDSCAPING	PLANTINGS INSTALLED ALONG BUILDING FACADES
PROPOSED LANDSCAPING	7 ORNAMENTAL TREES, 79 SHRUBS, 197 PERENNIALS
SCREENING:	
REQUIRED SCREEN	6-7" HIGH REFUSE ENCLOSURE
PROPOSED SCREEN	58 LF OF 7" WALL FENCE SCREEN

AYRES ASSOCIATES
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ISSUES AND REVISIONS:

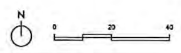
No.	DATE	DESCRIPTION

GRAY TV - WMTV
 615 FORWARD DRIVE
 MADISON, WI



LANDSCAPE PLAN

PROJECT: **C106**
 DRAWN BY: **C106**



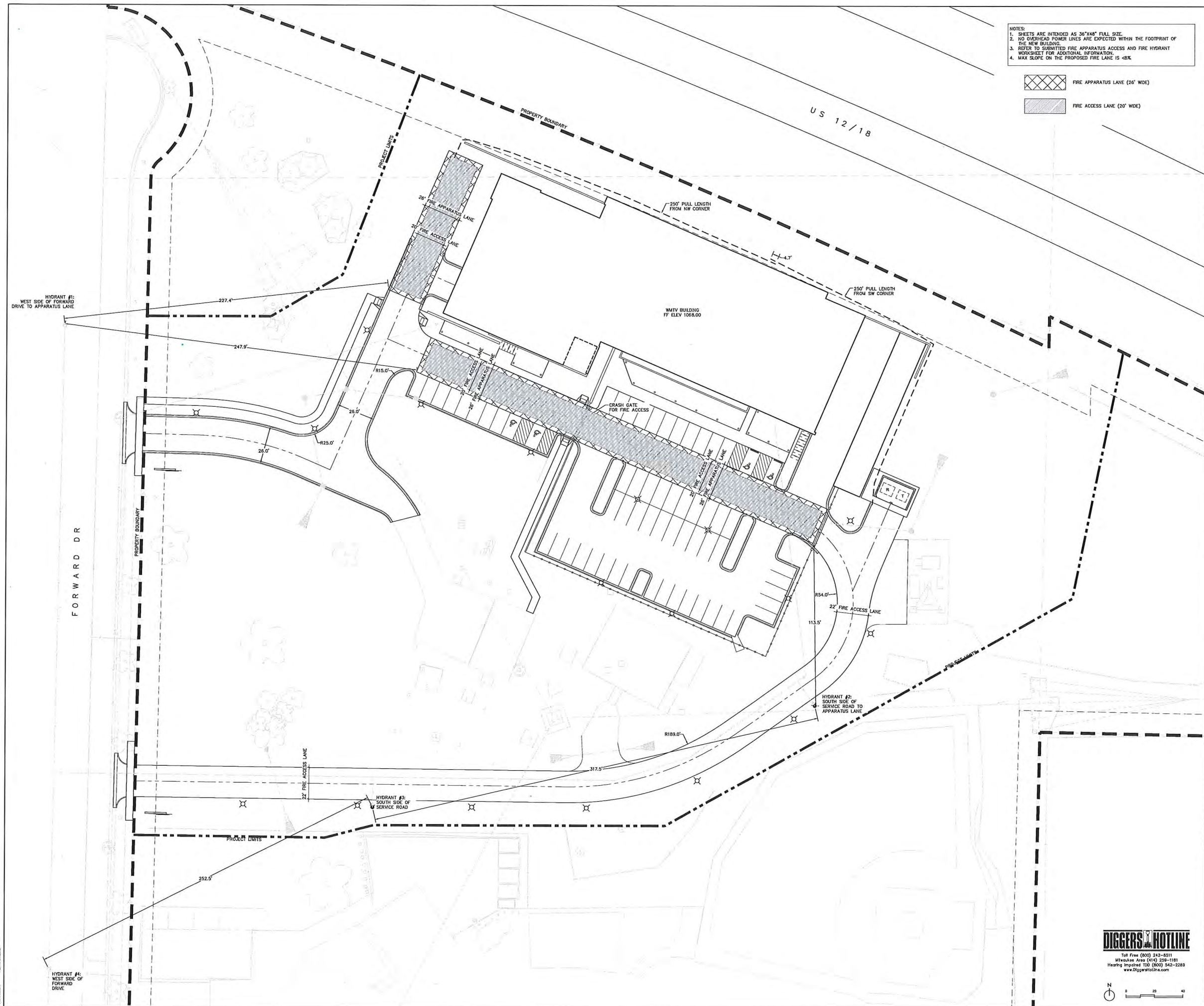
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- NOTES:
 1. SHEETS ARE INTENDED AS 36"x48" FULL SIZE.
 2. NO OVERHEAD POWER LINES ARE EXPECTED WITHIN THE FOOTPRINT OF THE NEW BUILDING.
 3. REFER TO SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
 4. MAX SLOPE ON THE PROPOSED FIRE LANE IS $\leq 8\%$.



ISSUES AND REVISIONS:

No.	DESCRIPTION	DATE

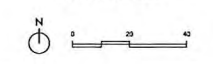
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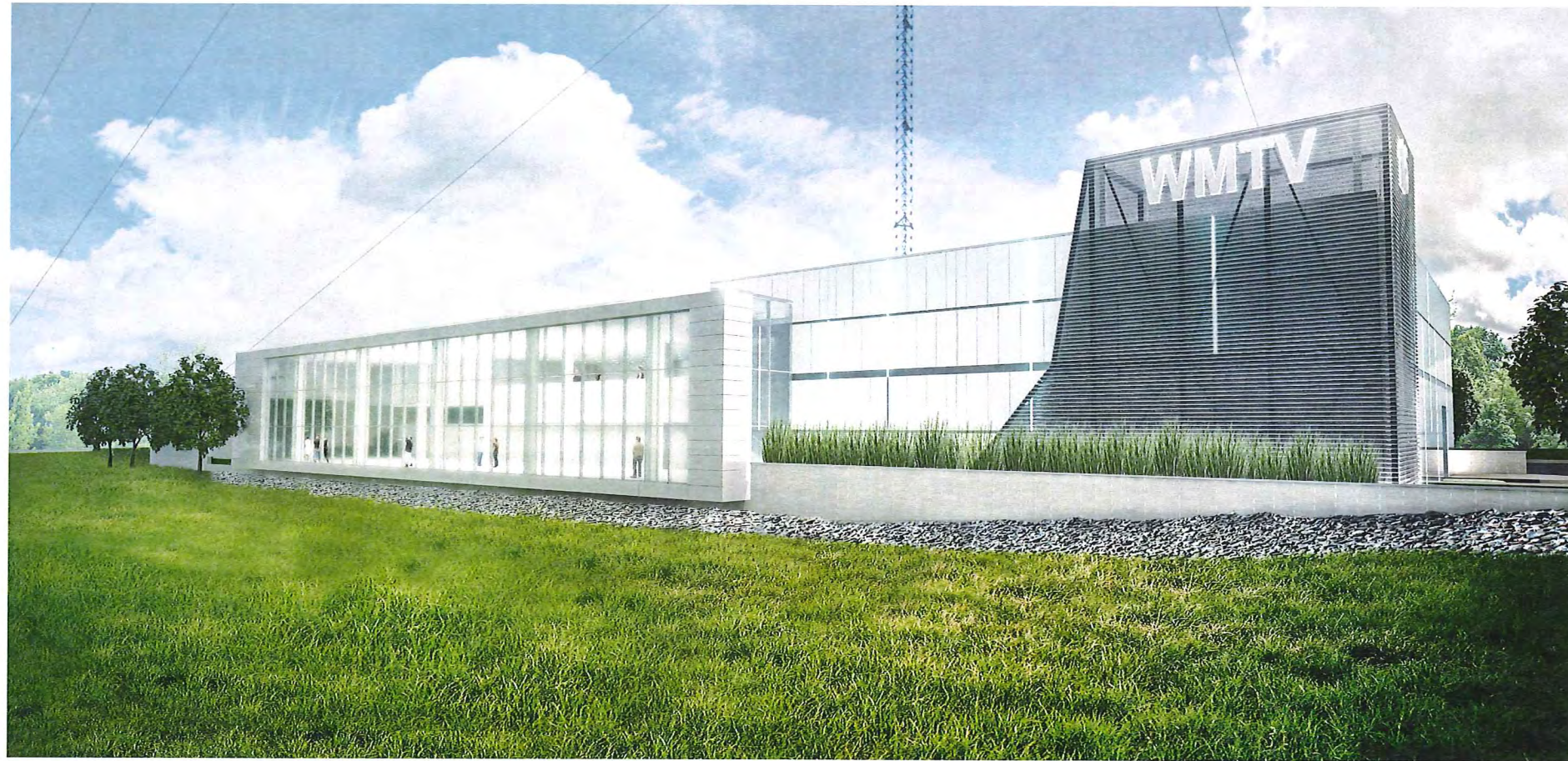


FIRE ACCESS PLAN

PROJECT:
 Project Number
 DRAWN BY:
 DATE: **C107**

DIGGERS HOTLINE
 Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (608) 542-2289
 www.DiggersHotline.com





① FREEWAY RENDERED PERSPECTIVE



② ENTRANCE RENDERED PERSPECTIVE

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ISSUES AND REVISIONS:

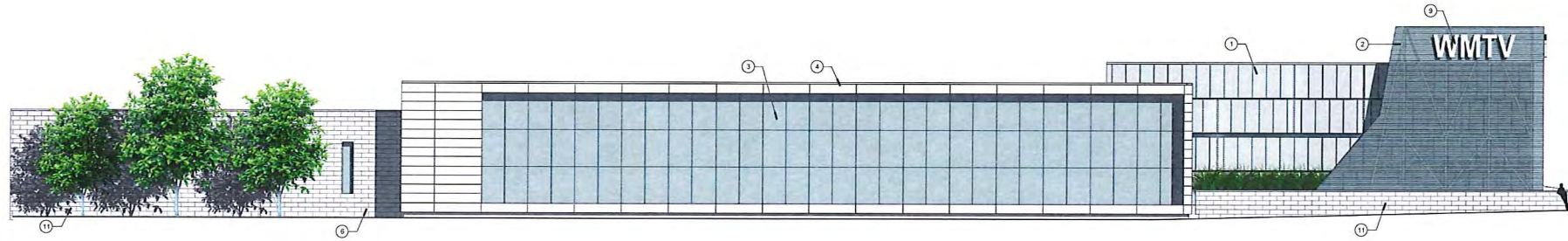
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615 FORWARD DRIVE
MADISON, WI

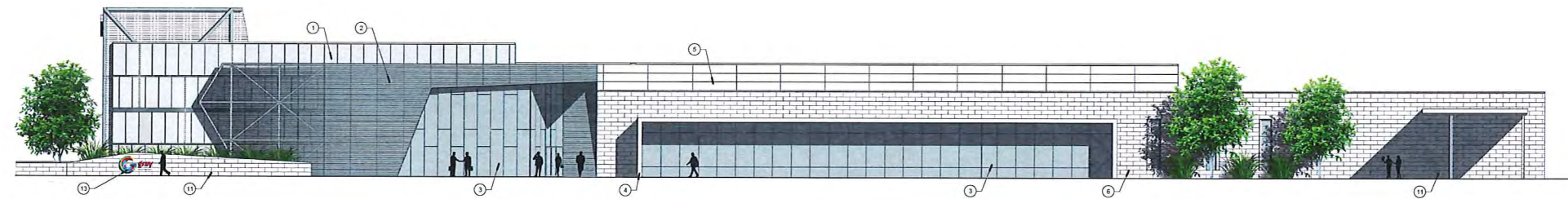


RENDERED BUILDING
PERSPECTIVES

PROJECT
15-0000
DRAWN BY
LH
A2.01A



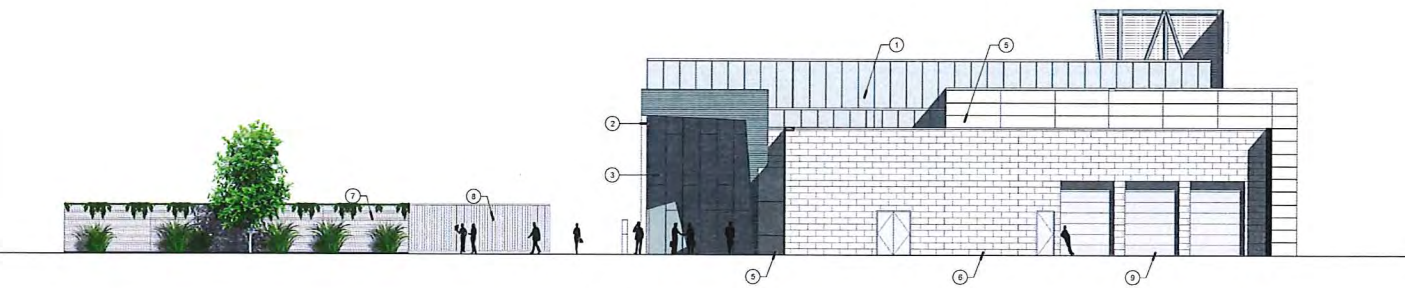
1 NORTH ELEVATION - RENDERED
3/32" = 1'-0"



2 SOUTH ELEVATION - RENDERED
3/32" = 1'-0"



3 WEST ELEVATION - RENDERED
3/32" = 1'-0"



4 EAST ELEVATION - RENDERED
3/32" = 1'-0"

KEYNOTES

- 1 COMPOSITE METAL PANEL - VERTICALLY ORIENTED PANELS - SILVER
- 2 BACKLIT PERFORATED STAINLESS STEEL MESH PANELS
- 3 GLASS CURTAIN WALL - CLEAR
- 4 METAL FRAMING - WHITE
- 5 COMPOSITE METAL PANEL - HORIZONTALLY ORIENTED PANELS - WHITE
- 6 EXTERIOR MASONRY WALL CONSTRUCTION
- 7 STAINLESS STEEL PERFORATED SCREEN WALL AT SECURED PARKING LOT
- 8 CRASH GATE AT DRIVEABLE
- 9 WALL SIGN 'K'
- 10 OVER-HEAD DOOR
- 11 EXTERIOR MASONRY SITE WALL (SCREENING OR RETAINING)
- 12 WALL SIGN 'B'
- 13 WALL SIGN 'C'

ISSUES AND REVISIONS:

No.	Description	Date

GRAY TV - WMTV
615 FORWARD DRIVE
MADISON, WI



RENDERED
ELEVATIONS

PROJECT:
15-0090
DRAWN BY:
A

A2.02

LANDSCAPE PLANT SCHEDULE

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
TREES					
cv	Carex vulpinoidea	Brown Fox Sedge	3" Plug	1250	18" OC
cm	Carex muskingumensis	Palm Sedge	3" Plug	1250	18" OC
lb	Lobelia siphilitica	Great Blue Lobelia	3" Plug	416	18" OC
ts	Tradescantia virginiana	Spiderwort	3" Plug	416	18" OC
Stormwater Management Area Type II					
sh	Sporobolus heterolepis	Prairie Dropseed	3" Plug	1112	18" OC
bc	Bouteloua curtipendula	Birds-foot Grass	3" Plug	1112	18" OC
cp	Carex pensylvanica	Common Oak Sedge	3" Plug	1112	18" OC
aa	Aster asturicus	Shy Blue Aster	3" Plug	556	18" OC
cr	Campanula rotundifolia	Hamamelis	3" Plug	556	18" OC
af	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5" Cal-B&B	11	
al	Amelanchier x grandiflora 'Cole's Select'	Cole's Select Serviceberry	6" BB	5	Walkway strip
bn	Betula nigra	River Birch	2.5" Cal-B&B	2	Walkway strip
cc	Carpinus caroliniana	American Hornbeam	1.5" Cal-B&B	2	
gt	Gleditsia tricanthos 'Sunburst'	Sunburst Honeylocust	2" Cal-B&B	15	
mt	Malus 'Indian Magic'	Indian Magic Crabapple	1.5" Cal-B&B	2	
mp	Malus 'Prairiefire'	Prairiefire Crabapple	1.5" Cal-B&B	7	
pg	Picea glauca var. 'Denata'	Black Hills Spruce	6" BB	15	
os	Quercus bicolor	Swamp White Oak	2" Cal-B&B	11	
ta	Tilia americana 'Redmond'	Redmond Linden	2" Cal-B&B	8	

Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
SHRUBS					
aa	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Chokeberry	3 Gal. Container	32	
am	Aronia melanocarpa	Black Chokeberry	3 Gal. Container	2	
di	Dieris laevis 'Copper'	Copper Bush Honeysuckle	3 Gal. Container	34	
ds	Dieris laevis 'L'PDC Pedara'	Cool Splash Dwarf Honeysuckle	3 Gal. Container	20	
fg	Forsythia x intermedia 'Courtast'	Gold Tide Forsythia	3 Gal. Container	9	
ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 Gal. Container	4	
ir	Ilex verticillata 'Red Spirit'	Red Spruce Winterberry	5 Gal. Container	6	
ra	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 Gal. Container	4	
wh	Vibegia bonia 'Minot'	Minot Wigeia	3 Gal. Container	17	
EVERGREEN SHRUBS					
cp	Chamaecyparis pifera 'Sungold'	Sungold Falsecypress	5 Gal. Container	23	
jp	Juniperus chinensis 'Pfitzeriana'	Pfitzer Juniper	5 Gal. Container	4	
jk	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Pfitzer	3 Gal. Container	11	
jj	Juniperus x 'JillBlue Select'	Star Power Juniper	4" B&B	3	
ku	Microbiota decussata	Russian Cypress	3 Gal. Container	3	
tm	Taxus x media 'Tautoni'	Tautoni Yew	3 Gal. Container	28	

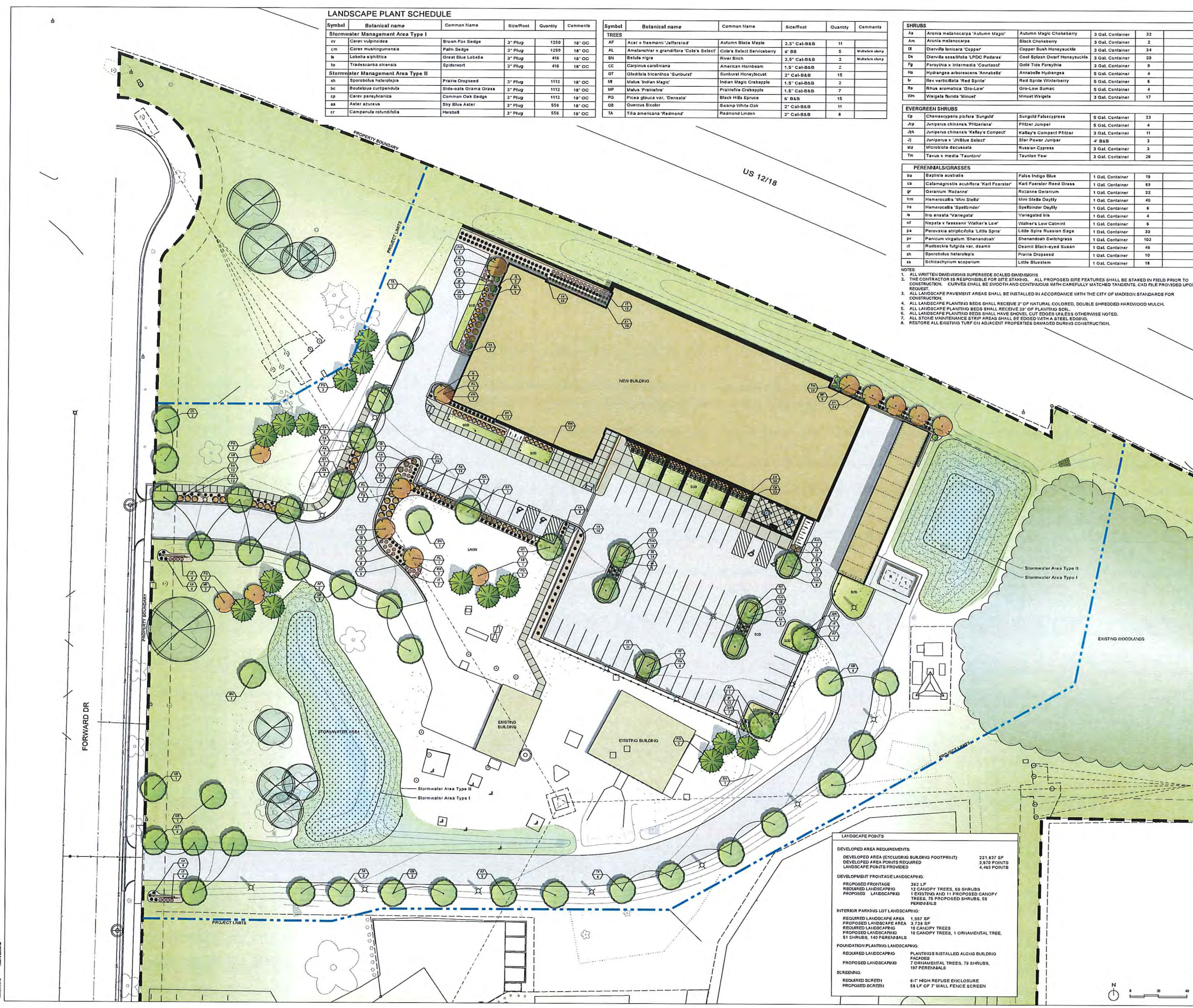
Symbol	Botanical name	Common Name	Size/Root	Quantity	Comments
PERENNIALS/GRASSES					
ba	Baptisia australis	False Indigo Blue	1 Gal. Container	19	
ca	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	1 Gal. Container	63	
gr	Geranium 'Rozanne'	Rozanne Geranium	1 Gal. Container	22	
hm	Hemerocallis 'Mini Stella'	Mini Stella Daylily	1 Gal. Container	40	
hs	Hemerocallis 'Spider'	Spider Daylily	1 Gal. Container	6	
ia	Iris sibirica 'Vanguard'	Vanguard Iris	1 Gal. Container	6	
ol	Nepeta x 'faassenii' 'Walker Low'	Walker's Low Catmint	1 Gal. Container	6	
pa	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 Gal. Container	20	
pr	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal. Container	102	
rt	Rudbeckia fulgida var. 'deamii'	Deamii Black-eyed Susan	1 Gal. Container	46	
sh	Sporobolus heterolepis	Prairie Dropseed	1 Gal. Container	10	
ss	Schizachyrium scoparium	Little Bluestem	1 Gal. Container	18	

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 - ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES UNLESS OTHERWISE NOTED.
 - ALL STORM MAINTENANCE STRIP AREAS SHALL BE EDED WITH A STEEL EDGE.
 - RESTORE ALL EXISTING TURF OR ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.

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US 12/18

FORWARD DR

LANDSCAPE POINTS	
DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	221,637 SF
DEVELOPED AREA POINTS REQUIRED	3,870 POINTS
LANDSCAPE POINTS PROVIDED	4,465 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	282 LF
REQUIRED LANDSCAPING	12 CANOPY TREES, 60 SHRUBS
PROPOSED LANDSCAPING	1 EXISTING AND 11 PROPOSED CANOPY TREES, 75 PROPOSED SHRUBS, 55 PERENNIALS
INTERIOR PARKING LOT LANDSCAPING:	
REQUIRED LANDSCAPE AREA	1,557 SF
PROPOSED LANDSCAPE AREA	2,738 SF
REQUIRED LANDSCAPING	10 CANOPY TREES
PROPOSED LANDSCAPING	10 CANOPY TREES, 1 ORNAMENTAL TREE, 51 SHRUBS, 140 PERENNIALS
FOUNDATION PLANTING LANDSCAPING:	
REQUIRED LANDSCAPING	PLANTINGS INSTALLED ALONG BUILDING FACADES
PROPOSED LANDSCAPING	7 ORNAMENTAL TREES, 79 SHRUBS, 197 PERENNIALS
SCREENING:	
REQUIRED SCREEN	6'-7" HIGH REFUSE ENCLOSURE
PROPOSED SCREEN	59 LF OF 7' WALL FENCE SCREEN

ISSUES AND REVISIONS:		
No.	DESCRIPTION	DATE

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LANDSCAPE PLAN

PROJECT: C106
 DRAWN BY: DRV