

Starkweather Plat Phase 1

Project No.: 15389

Contract No: 9559

Entity Name: Starkweather, LLC

Starkweather Plat Phase 1 - Surface Paving

Project No.: 15389

Contract No: 9570



Starkweather Plat Phase 1

Project No.: 15389, Contract No: 9559

Starkweather Plat Phase 1 - Surface Paving

Project No.: 15389, Contract No: 9570

The Developer, Starkweather, LLC, has been conditionally approved for the final plat of Starkweather Plat on property addressed as 3420-3614 Milwaukee Street, creating 13 lots for future residential and mixed-use development, four outlots for public uses, and five outlots for private uses. The Developer shall be responsible for public infrastructure required to serve the development. A Public Works project on Milwaukee Street, adjacent to the development is currently scheduled for late 2026 and 2027.

Developer Agreement items shall include:

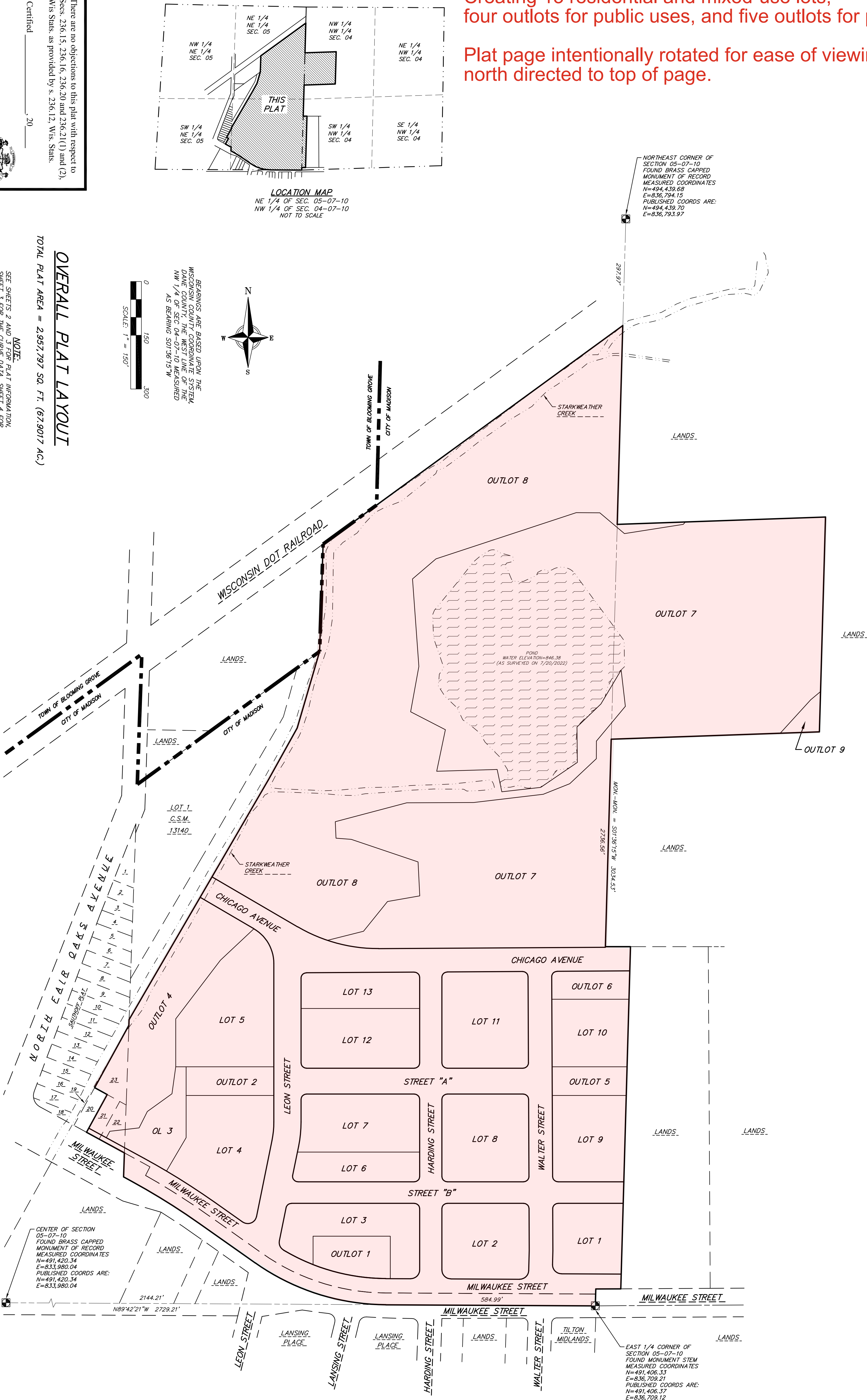
- Recording of the proposed Starkweather Plat and all conditions of approval stated in the Planning Division letter dated October 11, 2024.
- Provide all required street dedications along the frontage of Milwaukee Street as required in the Milwaukee Area Special Area Plan and as officially mapped.
- Provide all required interior street dedications and those required for Chicago Avenue as required and approved by City Engineering Division, Traffic Engineering Division, and Madison Fire Department.
- Outlots 4 and 8 shall be "Dedicated to the Public for Stormwater Management" as shown on the plat with Public Sidewalk and Bike Path Easement(s) Granted to the City over their entirety.
- Outlot 7 shall be "Dedicated to the Public for Park" as shown on the plat.
- Outlot 9 shall be "Dedicated to the Public for Stormwater Management" as shown on the plat.
- Construction of:
 - Madison standard streets and sidewalk improvements for all streets within the plat.
 - Multi-use path, 12' wide, along Milwaukee Street as approved by the City Engineer.
 - Raised concrete at the proposed Walter Street and Slow Street intersection.
 - Multi-use path, 10' wide, along Starkweather Creek from Milwaukee Street through Chicago Avenue according to a plan approved by the City Engineer
 - Public sanitary sewer, storm sewer, and drainage improvements as necessary to serve the lots within the plat.
 - Approximately 1,200 feet of 10" PVC of off-site public sanitary sewer main on Leon Street from Milwaukee Street to Starkweather Drive to account for increased sewer capacity requirements due to the development.
 - Public water distribution system and services required to serve the development.
 - Pavement repairs are required per City of Madison pavement patching requirements.
- City Forestry will determine street tree planting sites and tree species type. Street tree planting will be scheduled after there is substantial completion of the new plat development along the street segment.
- Streetlights and pavement markings are required by Traffic Engineering to serve the development.

STARKWEATHER PLAT

PART OF LOTS 21 AND 22, AND ALL OF LOT 23, SAUTHOFF PLAT, AS RECORDED IN VOLUME 4 OF PLATS, ON PAGE 94, AS DOCUMENT NUMBER 342008, DANE COUNTY REGISTRY AND ALSO PART OF THE NORTHEAST QUARTER, THE SOUTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 05 AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 04, ALL IN TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

STARKWEATHER PLAT
Creating 13 residential and mixed-use lots,
four outlots for public uses, and five outlots for private uses.

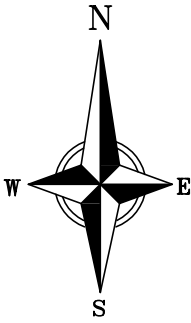
Plat page intentionally rotated for ease of viewing and
north directed to top of page.



LOCATION MAP
NE 1/4 OF SEC. 05-07-10
NW 1/4 OF SEC. 04-07-10
NOT TO SCALE

BEARINGS ARE BASED UPON THE
WISCONSIN COUNTY COORDINATE SYSTEM,
DANE COUNTY. THE WEST LINE OF THE
NW 1/4 OF SEC. 04-07-10 MEASURED
AS BEARING S01°36'15"W

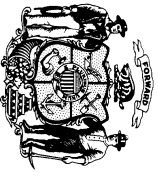
0 150 300
SCALE: 1" = 150'



OVERALL PLAT LAYOUT
TOTAL PLAT AREA = 2,957,797 SQ. FT. (67,9017 AC.)

NOTE:
SEE SHEETS 2 AND 3 FOR PLAT INFORMATION,
SHEET 3 FOR THE CURVE DATA, SHEET 4 FOR
EASEMENT DETAILS AND SHEETS 5 AND 6 FOR
EXISTING SITE CONDITIONS.

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis Stats. as provided by s. 236.12, Wis. Stats.
Certified _____, 20____
Department of Administration



veribicher
planners | engineers | advisors



Checked by: MZIE
Checked by: RKOL
PL: 220031
Date: 08/22/2024
Rev:
Rev:
Rev:

SUBMITTED BY:
Veribicher Associates, Inc.
By: Michael J. Ziehr
999 Tanager Drive
Suite 200 W. 53717
(608) 821-3962
mzie@veribicher.com

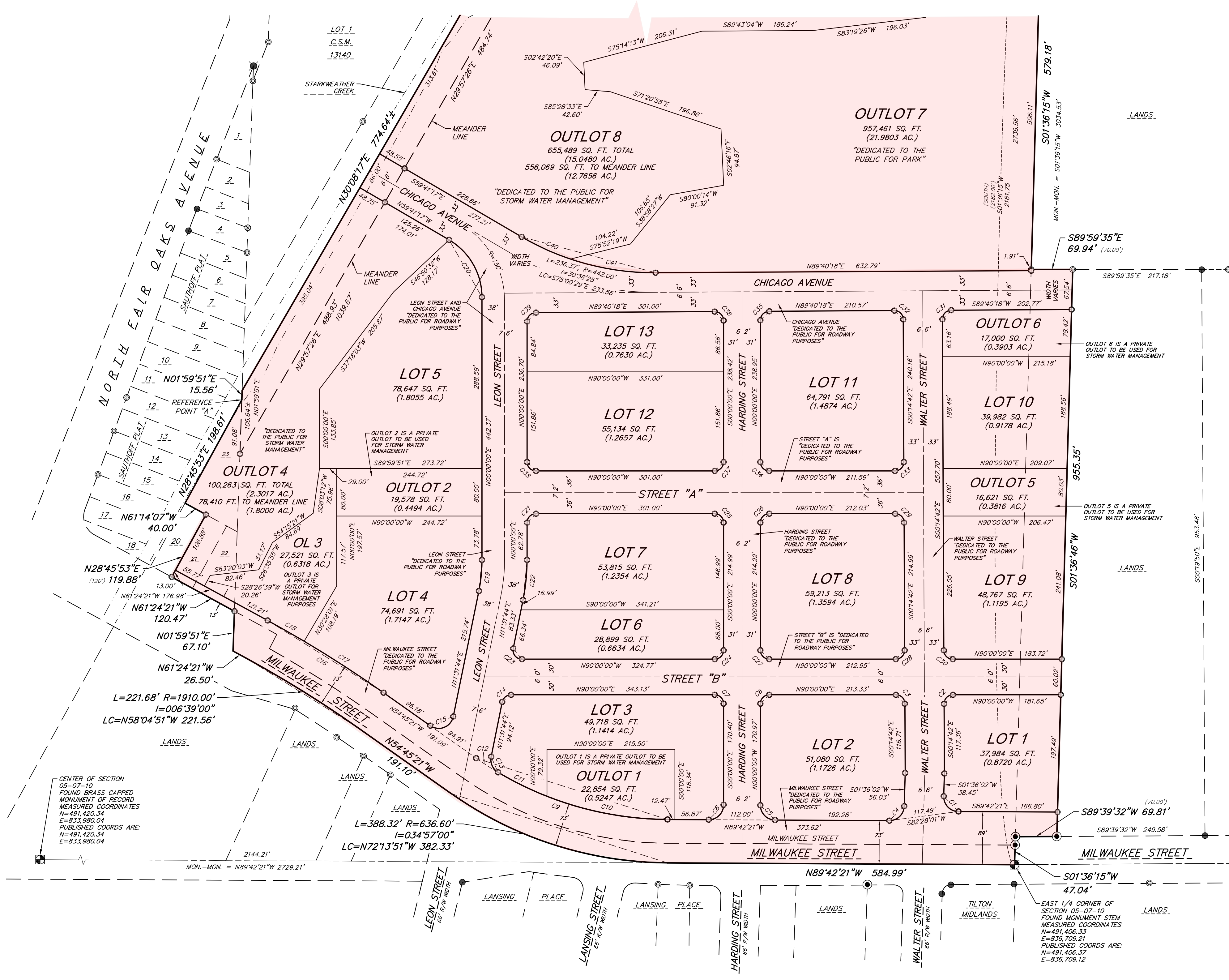
SUBMITTED FOR:
Voit Land, LLC
3450 Milwaukee Street
Madison, WI 53714

SHEET
1 OF 7

STARKWEATHER PLAT

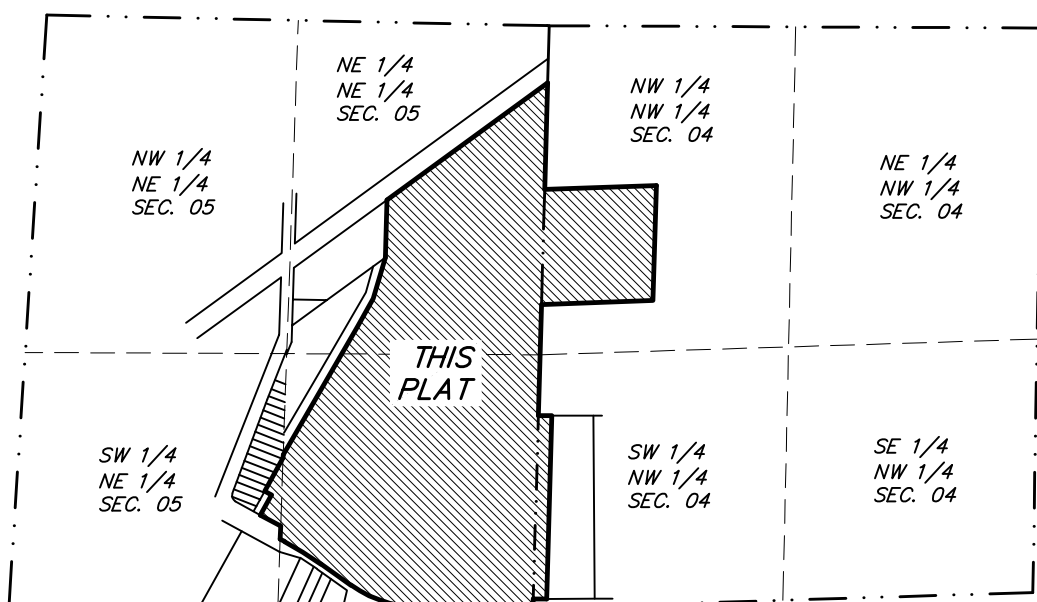
Southern portion of Plat

PART OF LOTS 21 AND 22, AND ALL OF LOT 23, SAUTHOFF PLAT, AS RECORDED IN VOLUME 4 OF PLATS, ON PAGE 9A, AS DOCUMENT NUMBER 342008, DANE COUNTY REGISTRY AND ALSO PART OF THE NORTHEAST QUARTER, THE SOUTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 05 AND PART OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 04, ALL IN TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



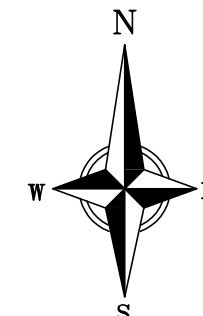
SURVEY LEGEND

- PUBLIC LAND CORNER AS NOTED
- FOUND RAILROAD SPIKE
- FOUND 1" # IRON PIPE
- FOUND 2" # IRON PIPE
- FOUND 1-1/4" # SOLID IRON RE-ROD
- FOUND 3/4" # SOLID IRON RE-ROD
- SET 1-1/4" x 18" SOLID IRON RE-ROD, MIN. WT. 4.30 lbs./ft. ALL OTHER LOT AND OUTLOT CORNERS MARKED BY A 3/4" x 18" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT

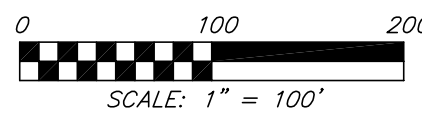


LOCATION MAP

NE 1/4 OF SEC. 05-07-10
NW 1/4 OF SEC. 04-07-10
NOT TO SCALE



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF THE NW 1/4 OF SEC 04-07-10 MEASURED AS BEARING S01°36'15"W



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20__

Department of Administration



vierbicher
planners | engineers | advisors



Drafted by: MZIE
Checked by: RKOL
FN: 220031
Date: 08/22/2024
Rev:
Rev:
Rev:

SURVEYED BY:
Vierbicher Associates, Inc.
By: Michael J. Ziehr
999 Fourier Drive,
Suite 201
Madison, WI 53717
(608) 821-3962
mzie@vierbicher.com

SURVEYED FOR:
Vot Land, LLC
3450 Milwaukee Street
Madison, WI 53714

SHEET
2 OF 7

STARKWEATHER PLAT

Northern portion of plat

PART OF LOTS 21 AND 22, AND ALL OF LOT 23, SAUTHOFF PLAT, AS RECORDED IN VOLUME 4 OF PLATS, ON PAGE 9A, AS DOCUMENT NUMBER 342008, DANE COUNTY REGISTRY AND ALSO PART OF THE NORTHEAST QUARTER, THE SOUTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 05 AND PART OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 04, ALL IN TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

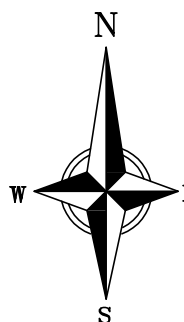
Certified _____, 20____

Department of Administration

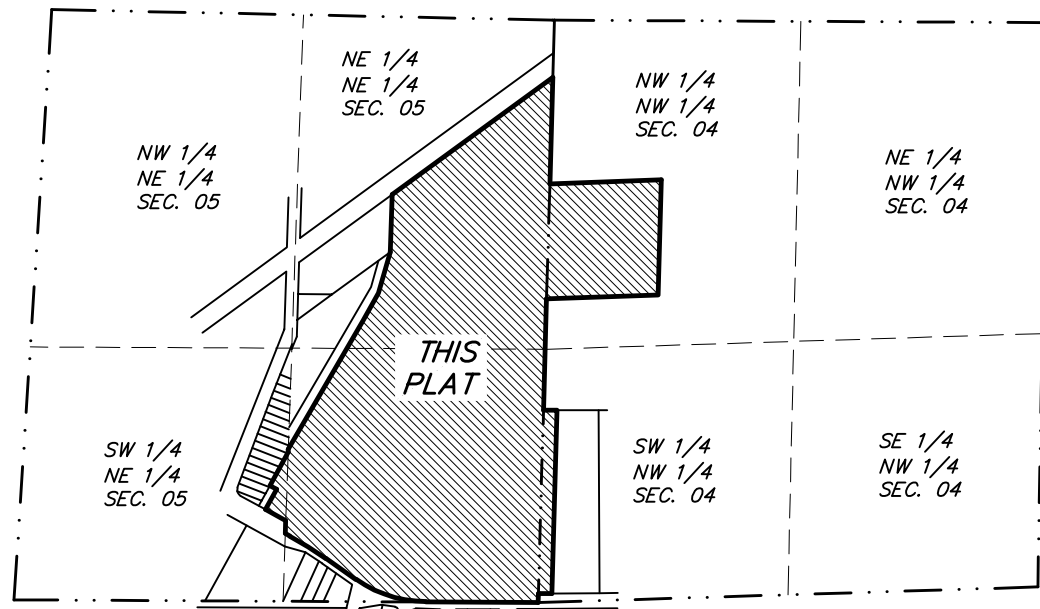
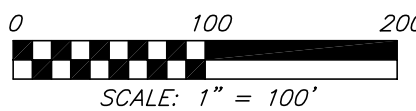


SURVEY LEGEND

- PUBLIC LAND CORNER AS NOTED
 - FOUND RAILROAD SPIKE
 - FOUND 1" \varnothing IRON PIPE
 - FOUND 2" \varnothing IRON PIPE
 - FOUND 1-1/4" \varnothing SOLID IRON RE-ROD
 - FOUND 3/4" \varnothing SOLID IRON RE-ROD
 - SET 1-1/4" x 18" SOLID IRON RE-ROD, MIN. WT. 4.30 lbs./ft. ALL OTHER LOT AND OUTLOT CORNERS MARKED BY A 3/4" x 18" SOLID IRON RE-ROD WT. 1.50 lbs./ft.
 - INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT

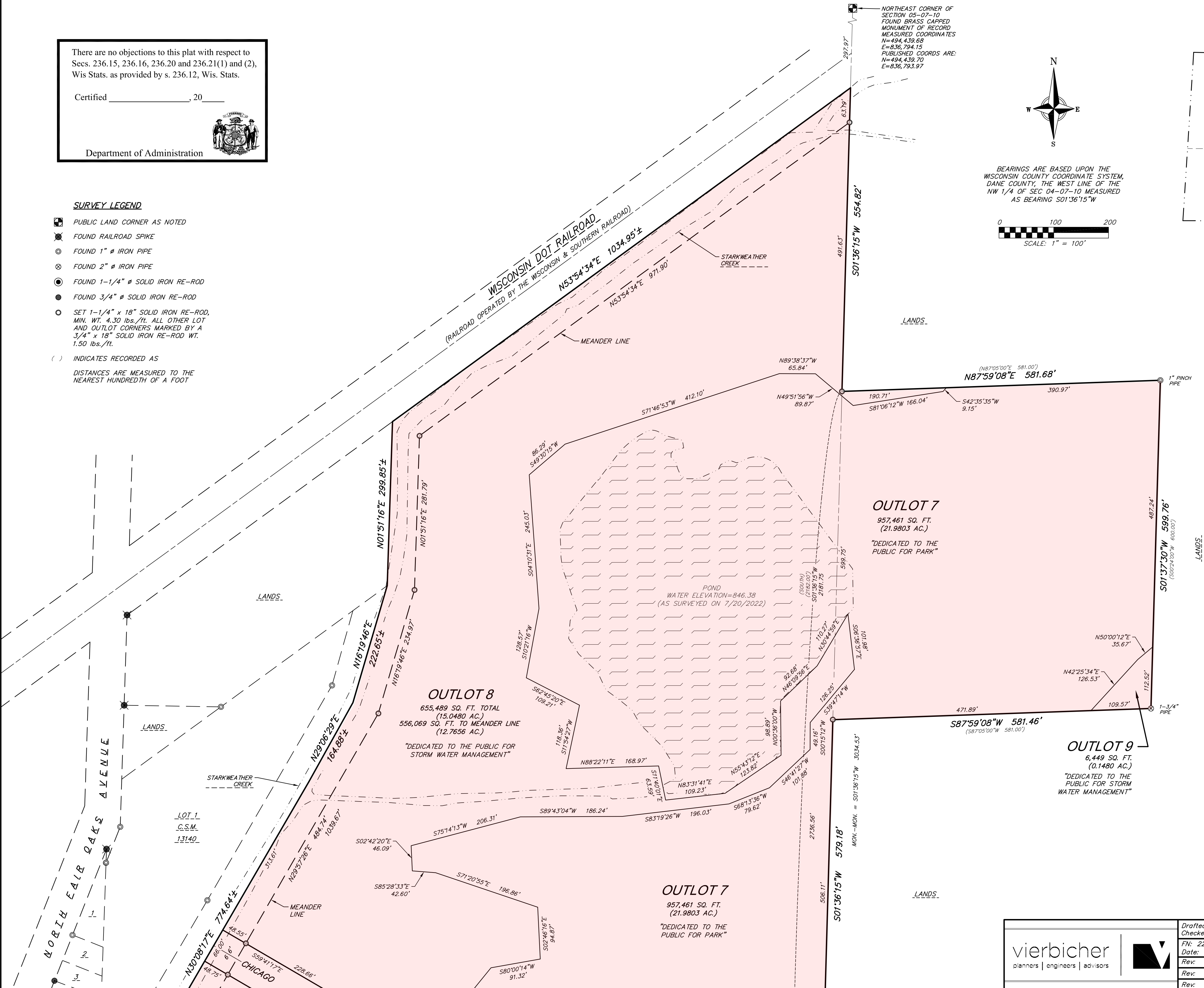


BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF THE NW 1/4 OF SEC. 04-07-10 MEASURED AS BEARING S01°36'15"W



LOCATION MAP
NE 1/4 OF SEC. 05-07-10
NW 1/4 OF SEC. 04-07-10
NOT TO SCALE

22 Aug 2024 - 7:54p N:\Stone House Development\220031_Volt Farm\CADD\220031_Final Plat.dwg by: mzie



CURVE DATA					
CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD	CHORD DIRECTION
C1	39.84'	25.00'	91°18'23"	35.76'	S44° 03' 10"E
C2	23.63'	15.00'	90°14'42"	21.26'	S44° 52' 39"W
C3	23.50'	15.00'	89°45'18"	21.17'	S45° 07' 21"E
C4	38.70'	25.00'	88°41'37"	34.95'	S45° 56' 50"W
C5	39.14'	25.00'	89°42'21"	35.26'	N44° 51' 11"W
C6	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"E
C7	23.56'	15.00'	90°00'00"	21.21'	S45° 00' 00"E
C8	39.40'	25.00'	90°17'39"	35.45'	S45° 08' 49"W
C9	343.79'	563.60'	34°57'00"	338.49'	N72° 13' 51"W
C10	207.91'	563.60'	21°08'10"	206.73'	N79° 08' 17"W
C11	91.90'	563.60'	09°20'32"	91.79'	N63° 53' 56"W
C12	43.99'	563.60'	04°28'18"	43.98'	N56° 59' 31"W
C13	30.87'	25.00'	70°45'24"	28.95'	N23° 50' 58"W
C14	20.54'	15.00'	78°28'16"	18.98'	N50° 45' 52"E
C15	49.62'	25.00'	113°42'55"	41.87'	N68° 23' 11"E
C16	230.16'	1983.00'	06°39'01"	230.03'	N58° 04' 51"W
C17	159.35'	1983.00'	04°36'16"	159.31'	N57° 03' 28"W
C18	70.81'	1983.00'	02°02'45"	70.80'	N60° 22' 59"W
C19	52.72'	262.00'	11°31'44"	52.63'	N05° 45' 52"E
C20	116.68'	112.00'	59°41'17"	111.47'	N29° 50' 38"W
C21	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"E
C22	68.01'	338.00'	11°31'44"	67.90'	N05° 45' 52"E
C23	26.58'	15.00'	101°31'44"	23.24'	N39° 14' 08"W
C24	23.56'	15.00'	90°00'00"	21.21'	S45° 00' 00"W
C25	23.56'	15.00'	90°00'00"	21.21'	S45° 00' 00"E
C26	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"E
C27	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"W
C28	23.63'	15.00'	89°14'42"	21.26'	S44° 52' 39"W
C29	23.50'	15.00'	89°45'18"	21.17'	S45° 07' 21"E
C30	23.50'	15.00'	89°45'18"	21.17'	S45° 07' 21"E
C31	23.54'	15.00'	89°55'00"	21.20'	S44° 42' 48"W
C32	23.58'	15.00'	90°05'00"	21.23'	S45° 17' 12"E
C33	23.63'	15.00'	90°14'42"	21.26'	S44° 52' 39"W
C34	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"W
C35	23.48'	15.00'	89°40'18"	21.15'	N44° 50' 09"E
C36	23.65'	15.00'	90°19'42"	21.27'	S45° 09' 51"E
C37	23.56'	15.00'	90°00'00"	21.21'	S45° 00' 00"W
C38	23.56'	15.00'	90°00'00"	21.21'	N45° 00' 00"W
C39	23.48'	15.00'	89°40'19"	21.15'	N44° 50' 10"E
C40	90.56'	442.00'	11°44'21"	90.40'	S65° 33' 27"E
C41	145.81'	442.00'	18°54'04"	145.15'	S80° 52' 40"E

vierbicher
planners | engineers | advisors

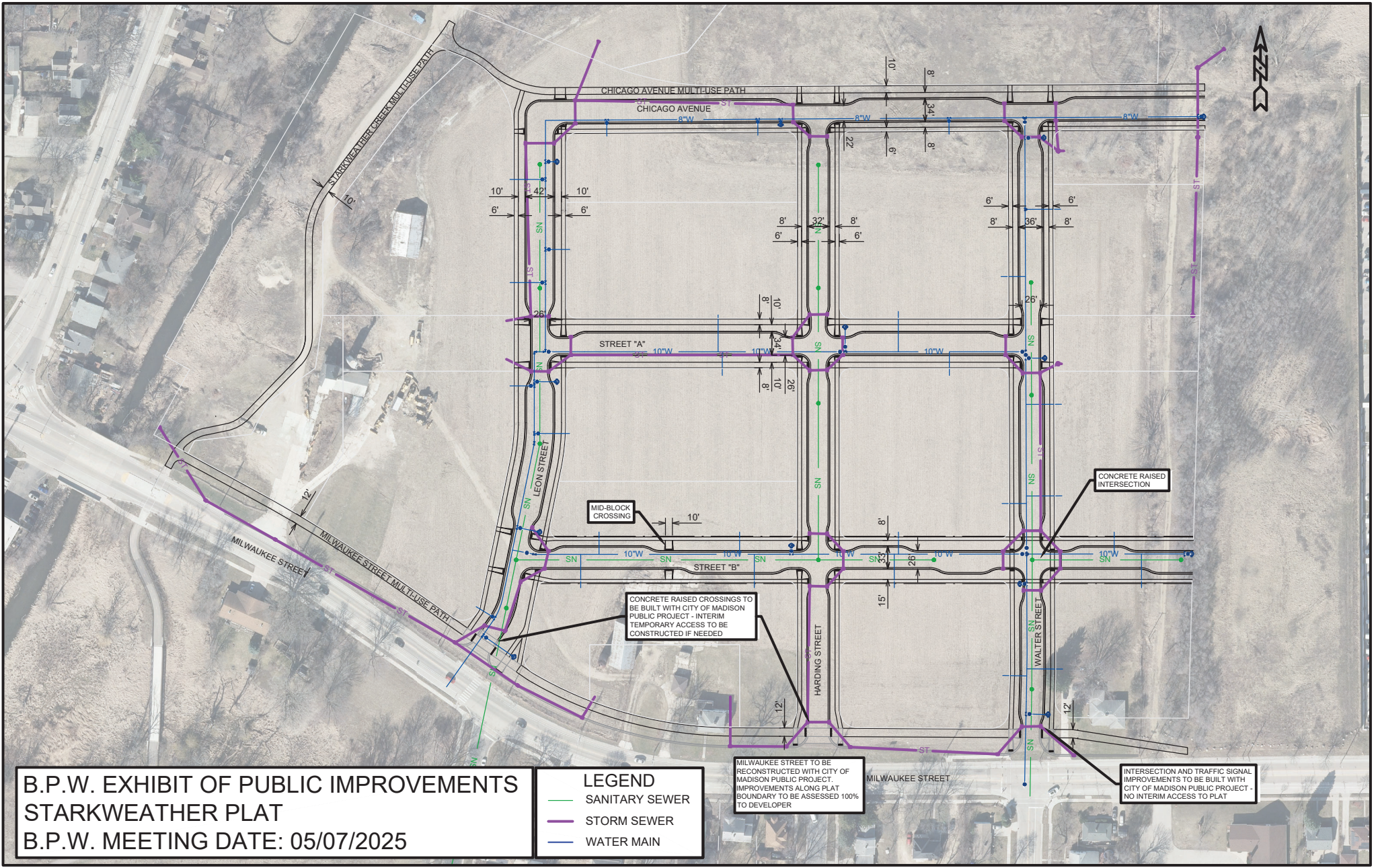


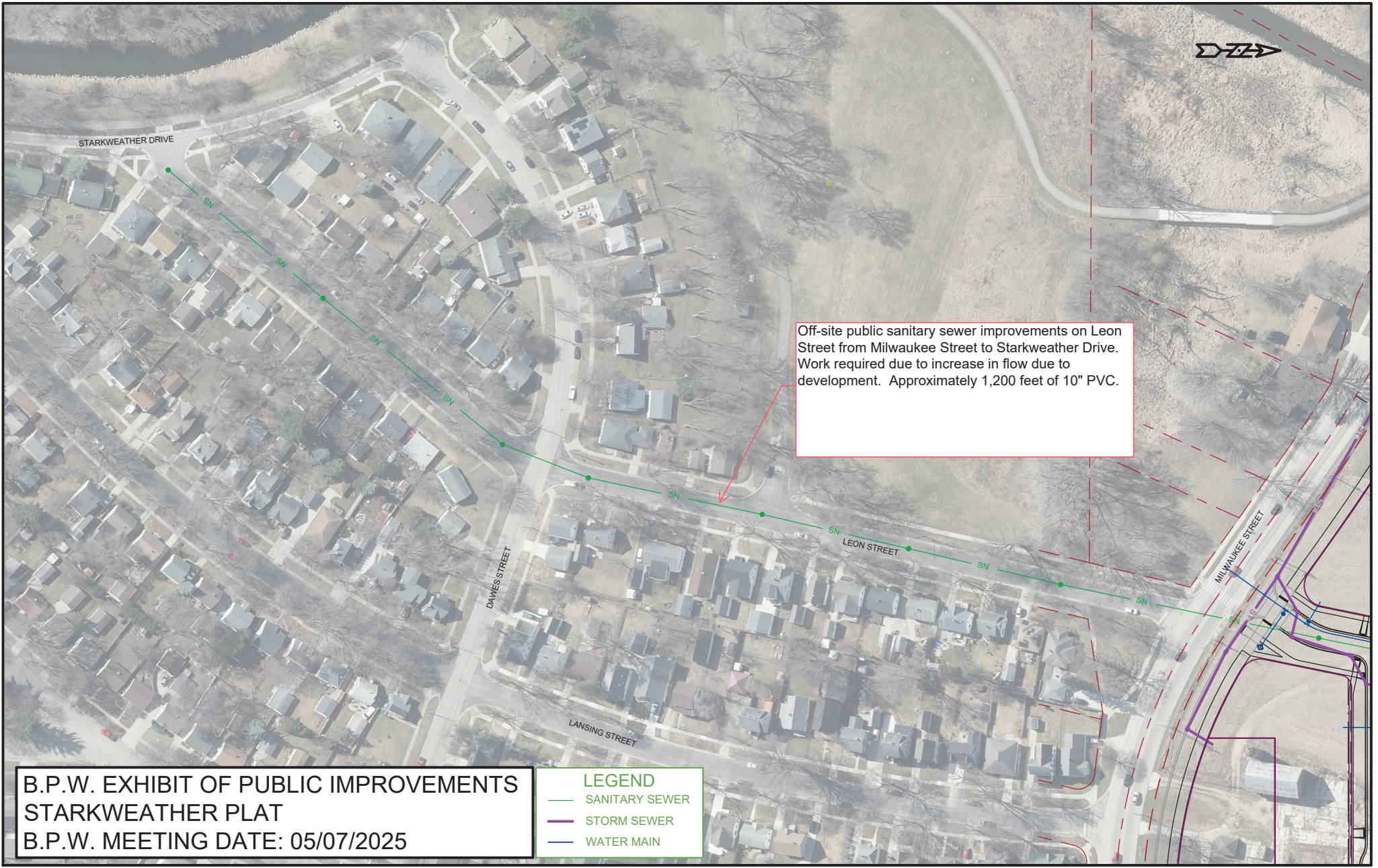
Drafted by: MZIE
Checked by: RKOL
FN: 220031
Date: 08/22/2024
Rev:
Rev:
Rev:

SURVEYED BY:
Vierbicher Associates, Inc.
By: Michael J. Ziehr
999 Fourier Drive,
Suite 201
Madison, WI 53717
(608) 821-3962
mzie@vierbicher.com

SURVEYED FOR:
Volt Land, LLC
3450 Milwaukee Street
Madison, WI 53714

SHEET
3 OF 7





B.P.W. EXHIBIT OF PUBLIC IMPROVEMENTS
STARKWEATHER PLAT
B.P.W. MEETING DATE: 05/07/2025

- LEGEND**
- SANITARY SEWER
 - STORM SEWER
 - WATER MAIN