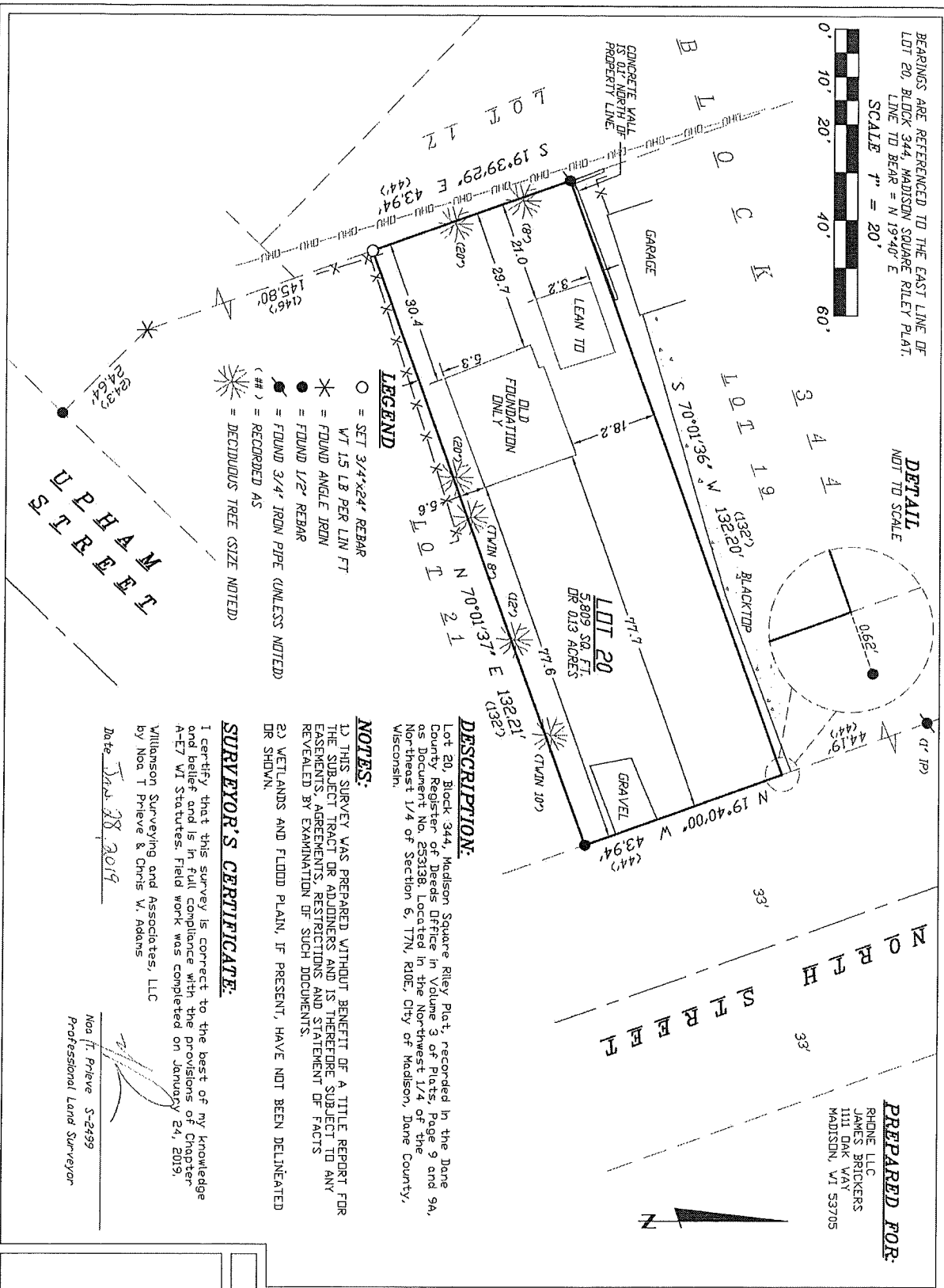
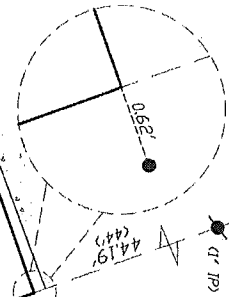


BEARINGS ARE REFERENCED TO THE EAST LINE OF
 LOT 20, BLOCK 344, MADISON SQUARE RILEY PLAT.
 LINE TO BEAR = N 19°40' E
 SCALE 1" = 20'



DETAIL
 NOT TO SCALE



LEGEND

- = SET 3/4"x24" REBAR
- WT 1.5 LB PER LIN FT
- * = FOUND ANGLE IRON
- = FOUND 1/2" REBAR
- = FOUND 3/4" IRON PIPE (UNLESS NOTED)
- (#) = RECORDED AS
- ☼ = DECIDUOUS TREE (SIZE NOTED)

DESCRIPTION:

Lot 20, Block 344, Madison Square Riley Plat, recorded in the Dane County Register of Deeds Office in Volume 3 of Plats, Page 9 and 9A, as Document No. 253138. Located in the Northwest 1/4 of the Northeast 1/4 of Section 6, T7N, R10E, City of Madison, Dane County, Wisconsin.

NOTES:

- 1) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADDENDERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.

SURVEYOR'S CERTIFICATE:

I certify that this survey is correct to the best of my knowledge and belief and is in full compliance with the provisions of Chapter 4-E7 WI Statutes. Field work was completed on January 24, 2019.

Williamson Surveying and Associates, LLC
 by Noa T. Prieve & Chris W. Adams

Date: Jan 28 2019

Noa T. Prieve S-2499
 Professional Land Surveyor

PREPARED FOR:
 RHONE LLC
 JAMES BRICKERS
 1111 DAK WAY
 MADISON, WI 53705

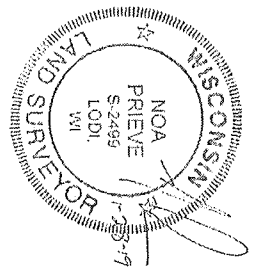


PLAT OF SURVEY

A parcel of land located in the Northwest 1/4 of the Northeast 1/4 of Section 6, T7N, R10E, City of Madison, Dane County, Wisconsin.

DATE	JANUARY 24, 2019	REVISION DATE:	CHECK BY	N.T.P.
SCALE:	1" = 20'		DRAWING NO.	19W-06
DRAWN BY	NEIL BORTZ		SHEET	1 OF 1

SURVEYOR'S SEAL



WILLIAMSON SURVEYING & ASSOCIATES, LLC
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597,
 NOA T. PRIEVE & CHRIS W. ADAMS
 PROFESSIONAL LAND SURVEYORS
 PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

ALL DIMENSIONS TAKEN FROM LOT LINE AND/OR FACE OF FOUNDATION

EXISTING LEAN-TO/CARPORT TO BE REMOVED

10' RADIUS

S 19° 39' 29" W 43.94'

LOT 20

N 70° 01' 36" W 132.20'

2'-0"

10'-0"

32'-0"

6'-1 1/2"

20'-1 1/2"

2'-0"

N 70° 01' 37" E 132.21'

5' RADIUS

EXISTING FOUNDATION TO BE FILLED AND COMPACTED IN 12" LIFTS.

N 19° 40' 00" W 43.94'

33'

NORTH STREET

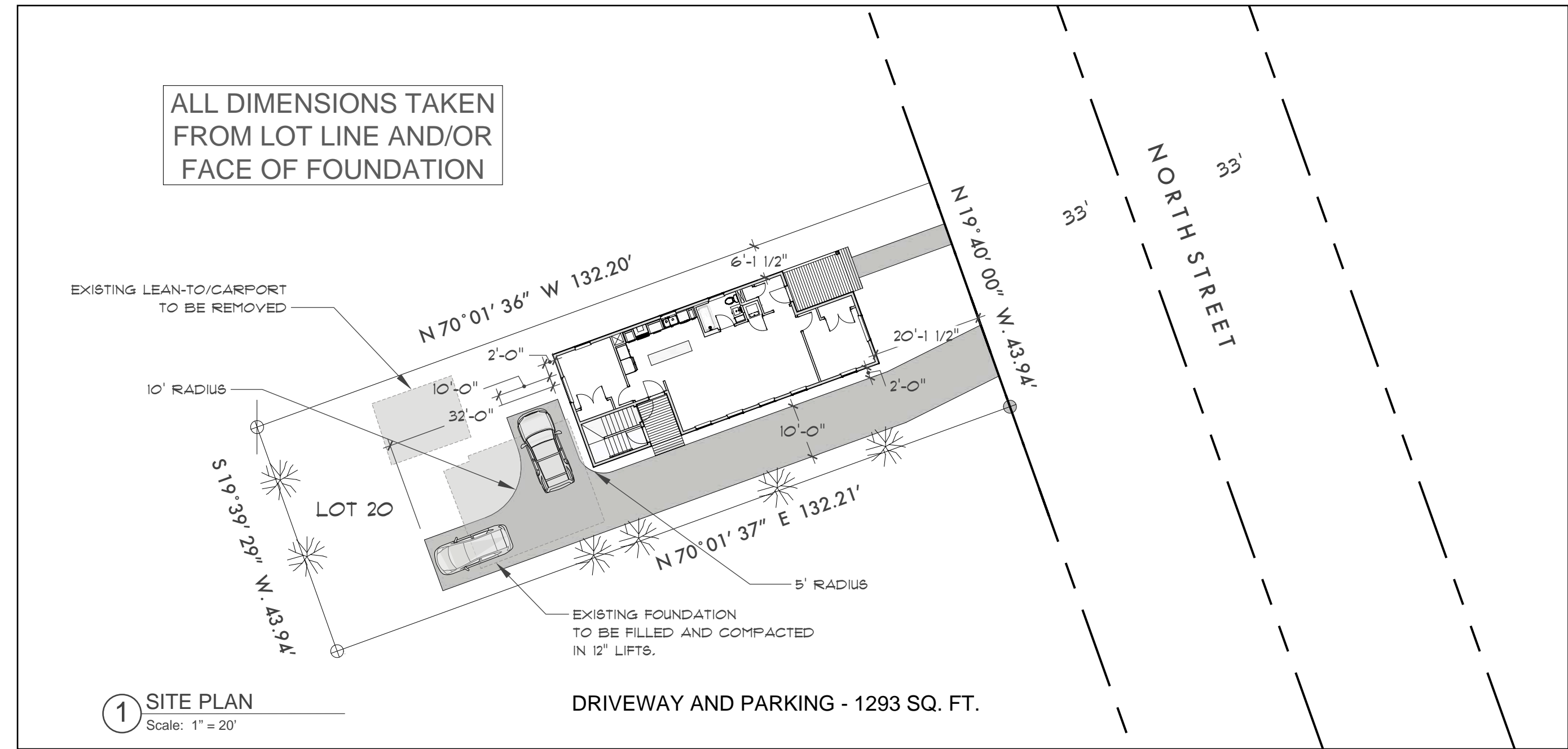
33'

1

SITE PLAN

Scale: 1" = 20'

DRIVEWAY AND PARKING - 1293 SQ. FT.

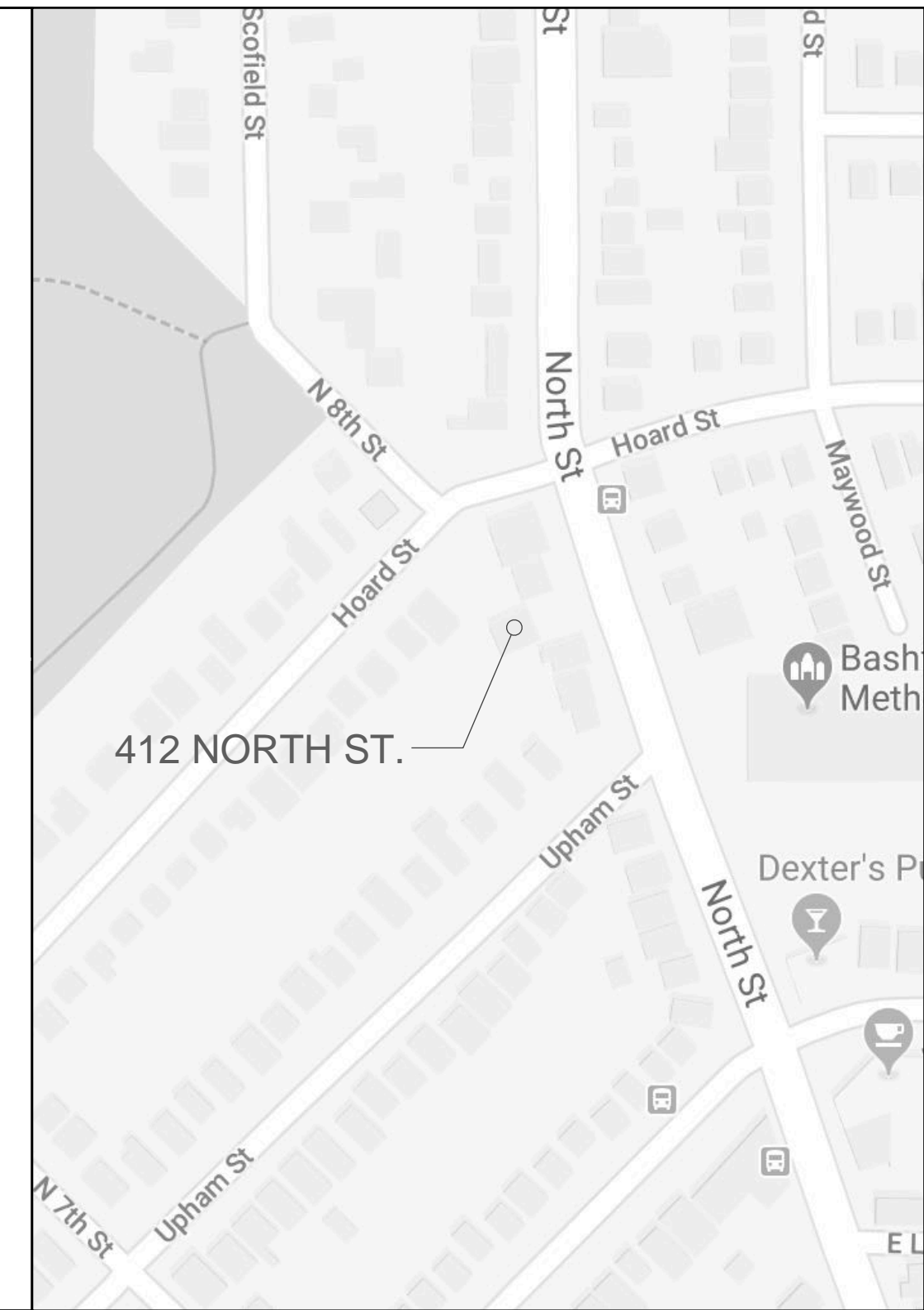
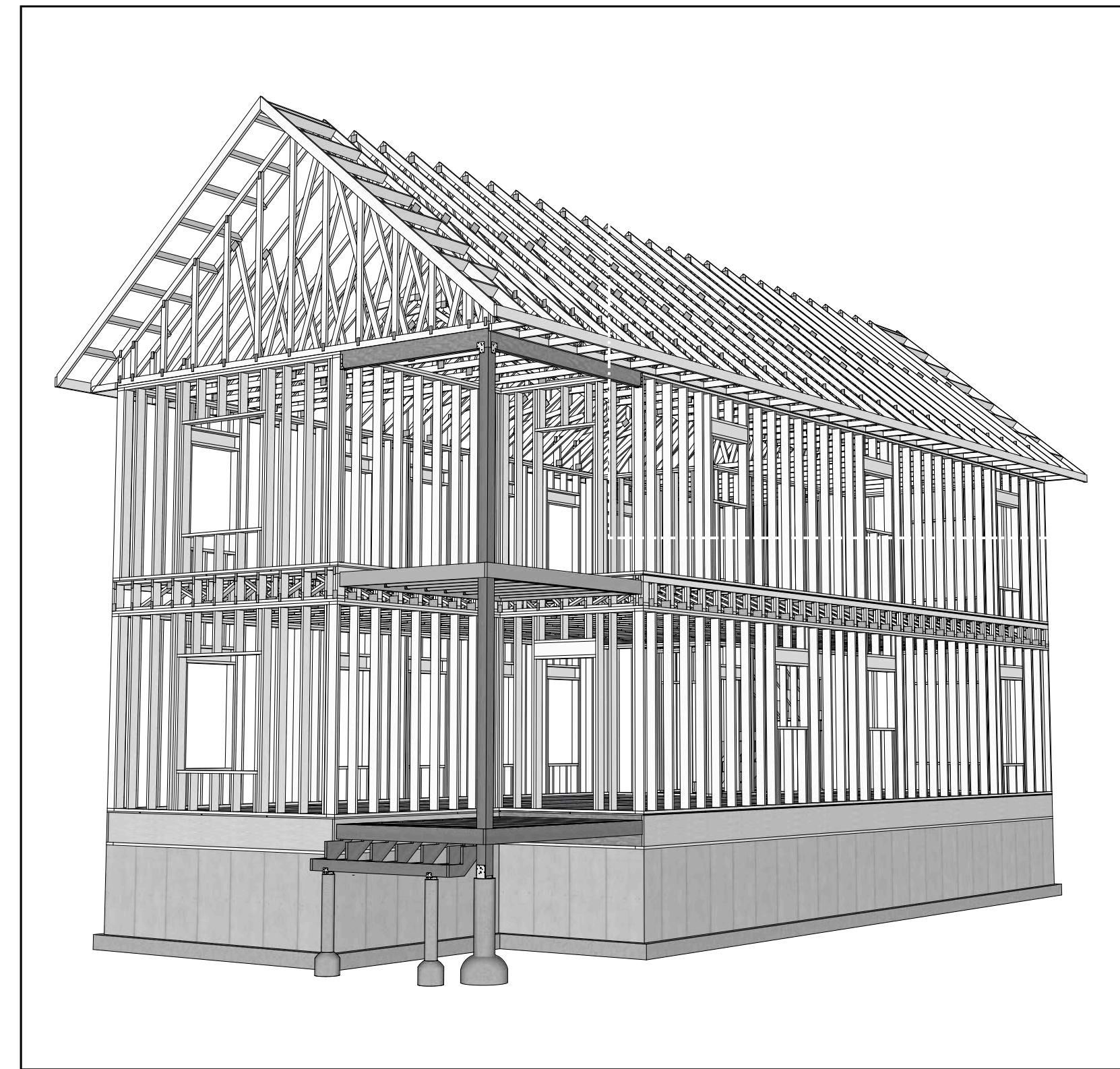


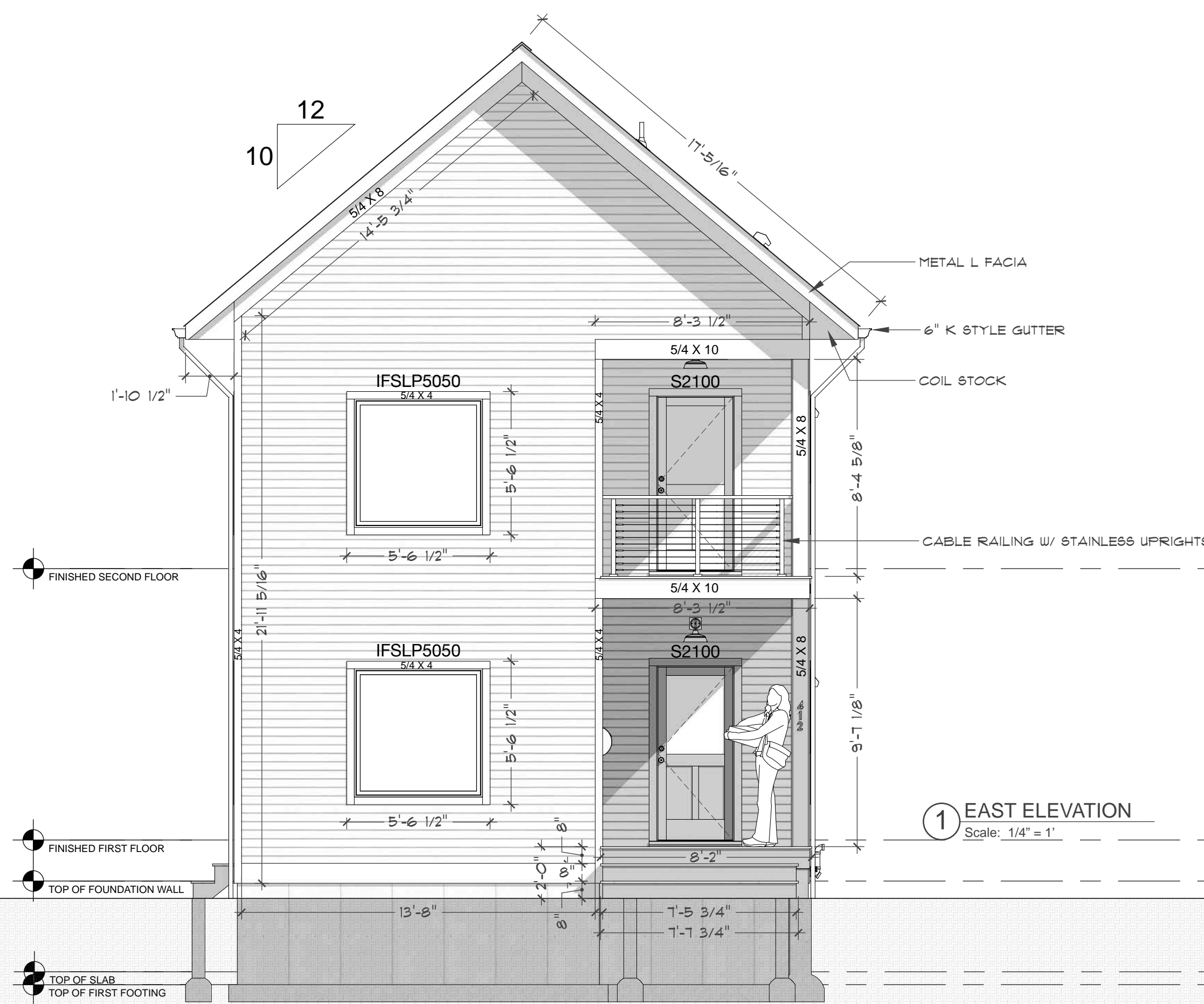
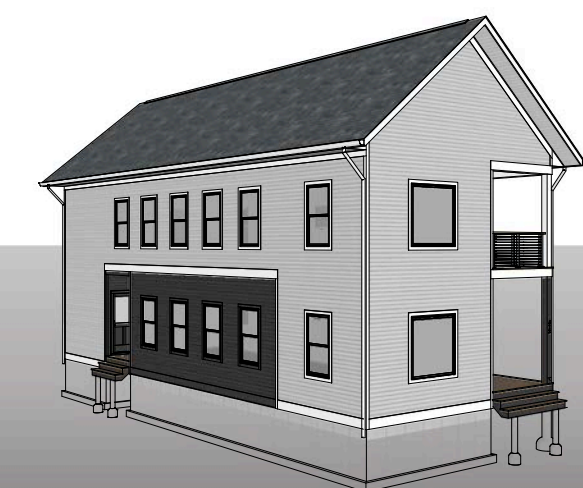
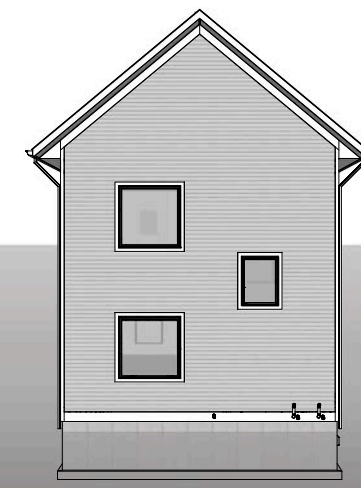
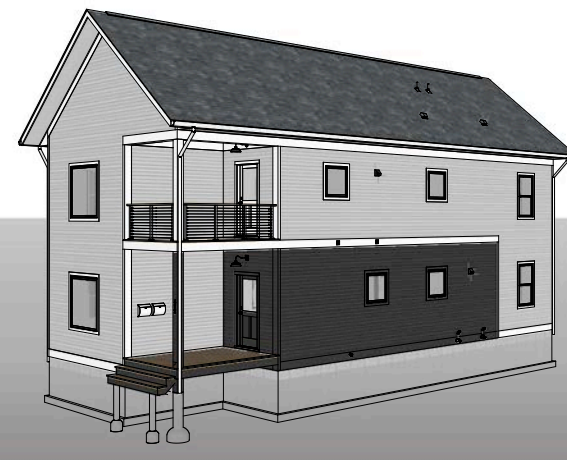
TR-C4 DISTRICT:

- FRONT YARD SETBACK. - 20'
- MAXIMUM FRONT YARD SETBACK - 30' OR UP TO 20% GREATER THAN THE BLOCK AVERAGE
- SIDE YARD SETBACK. - TWO-STORY. - 6'
- REAR YARD SET BACK. - LESSER OF 30% LOT DEPTH OR 30'
- MAXIMUM HEIGHT. - TWO-STORIES/ 35'
- MAXIMUM LOT COVERAGE. - 65%
- USABLE OPEN SPACE (SQ. FT. PER D.U.). - 750 SQ. FT.

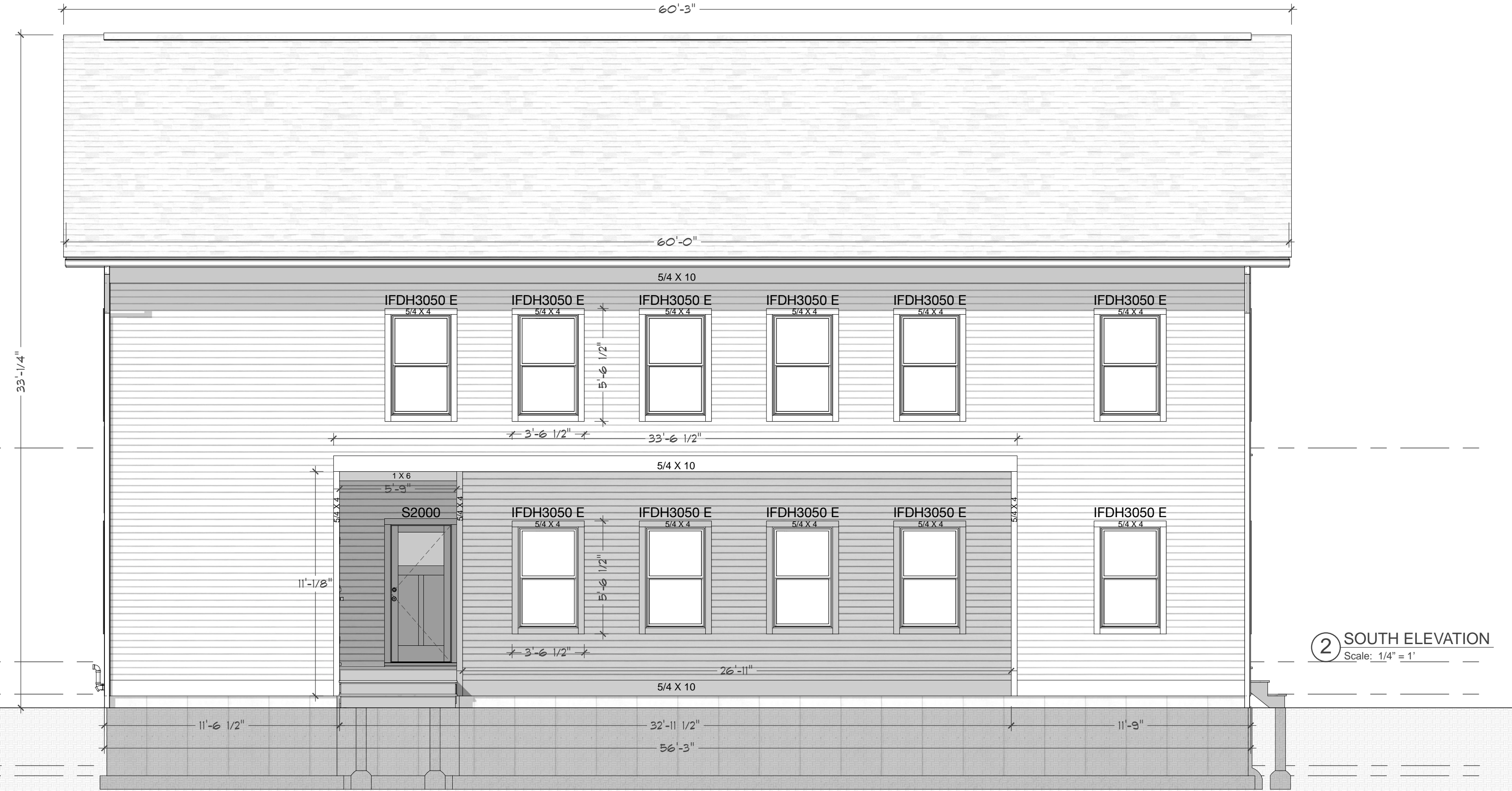
SHEET INDEX:

- A1 - ELEVATIONS
- A2 - FIRST & SECOND FLOOR PLANS
- A3 - FOUNDATION PLAN
& FIRST FLOOR JOIST LAYOUT
- A4 - CROSS SECTIONS
- A5 - SECOND FLOOR JOIST LAYOUT &
ROOF TRUSS LAYOUT

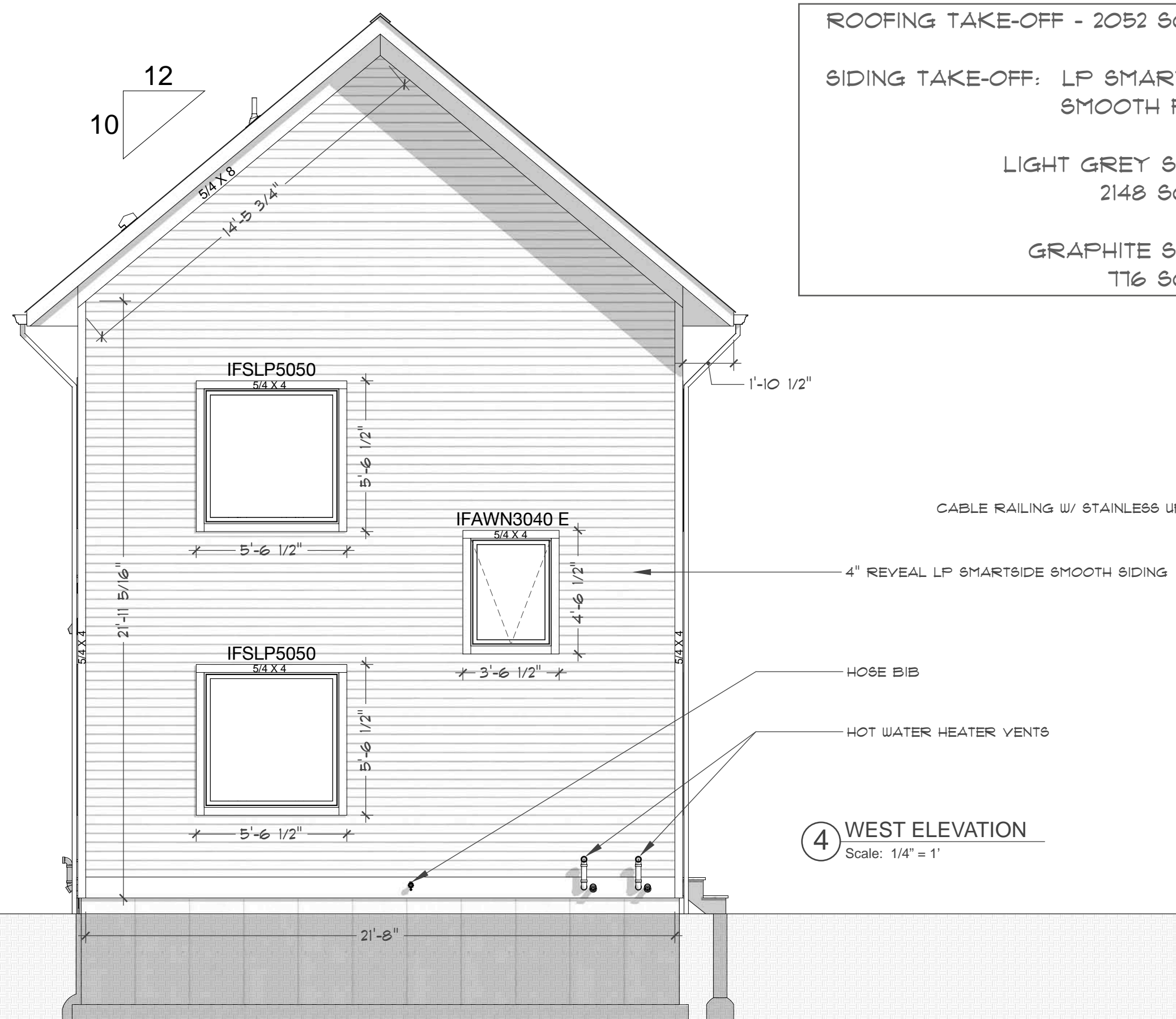




① EAST ELEVATION
Scale: 1/4" = 1'

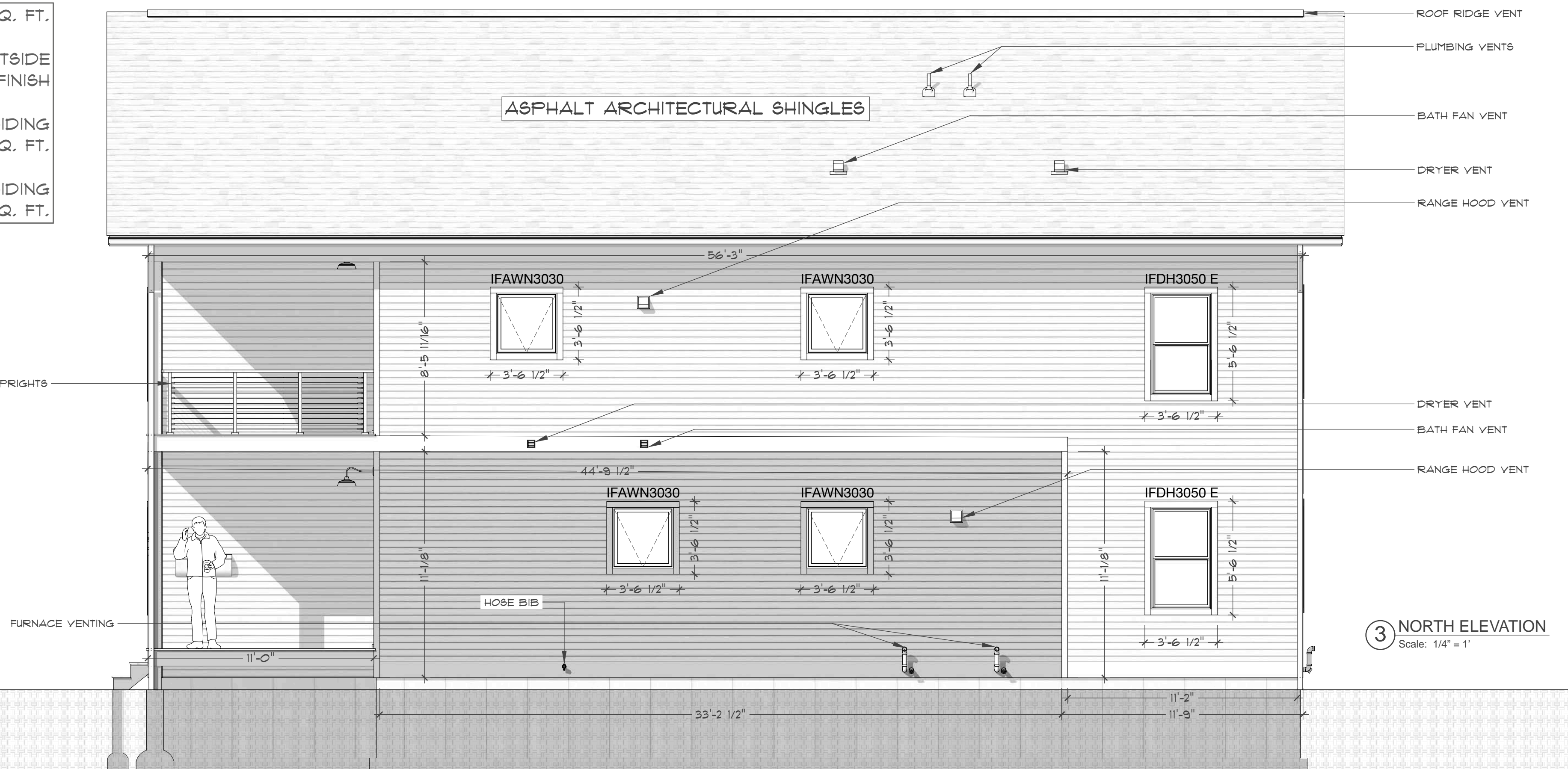


② SOUTH ELEVATION
Scale: 1/4" = 1'

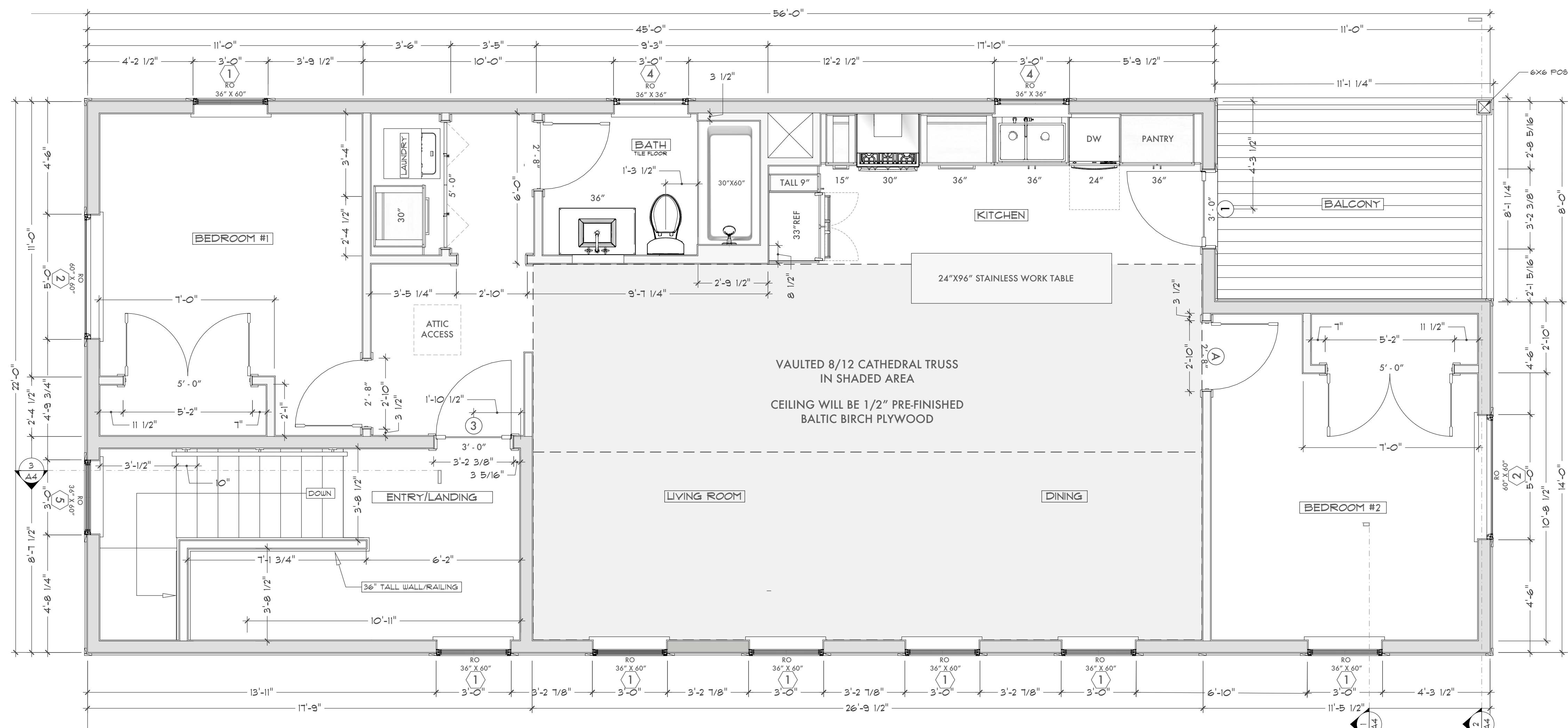


④ WEST ELEVATION
Scale: 1/4" = 1'

ROOFING TAKE-OFF - 2052 SQ. FT.
SIDING TAKE-OFF: LP SMARTSIDE SMOOTH FINISH
LIGHT GREY SIDING 2148 SQ. FT.
GRAPHITE SIDING 716 SQ. FT.

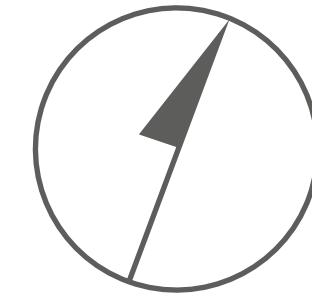


③ NORTH ELEVATION
Scale: 1/4" = 1'



2 UNIT #2 FLOOR PLAN
Scale: 3/8" = 1'

ALL MEASUREMENTS FROM FACE OF ROUGH FRAMING



WINDOW SCHEDULE (UNIT #2)

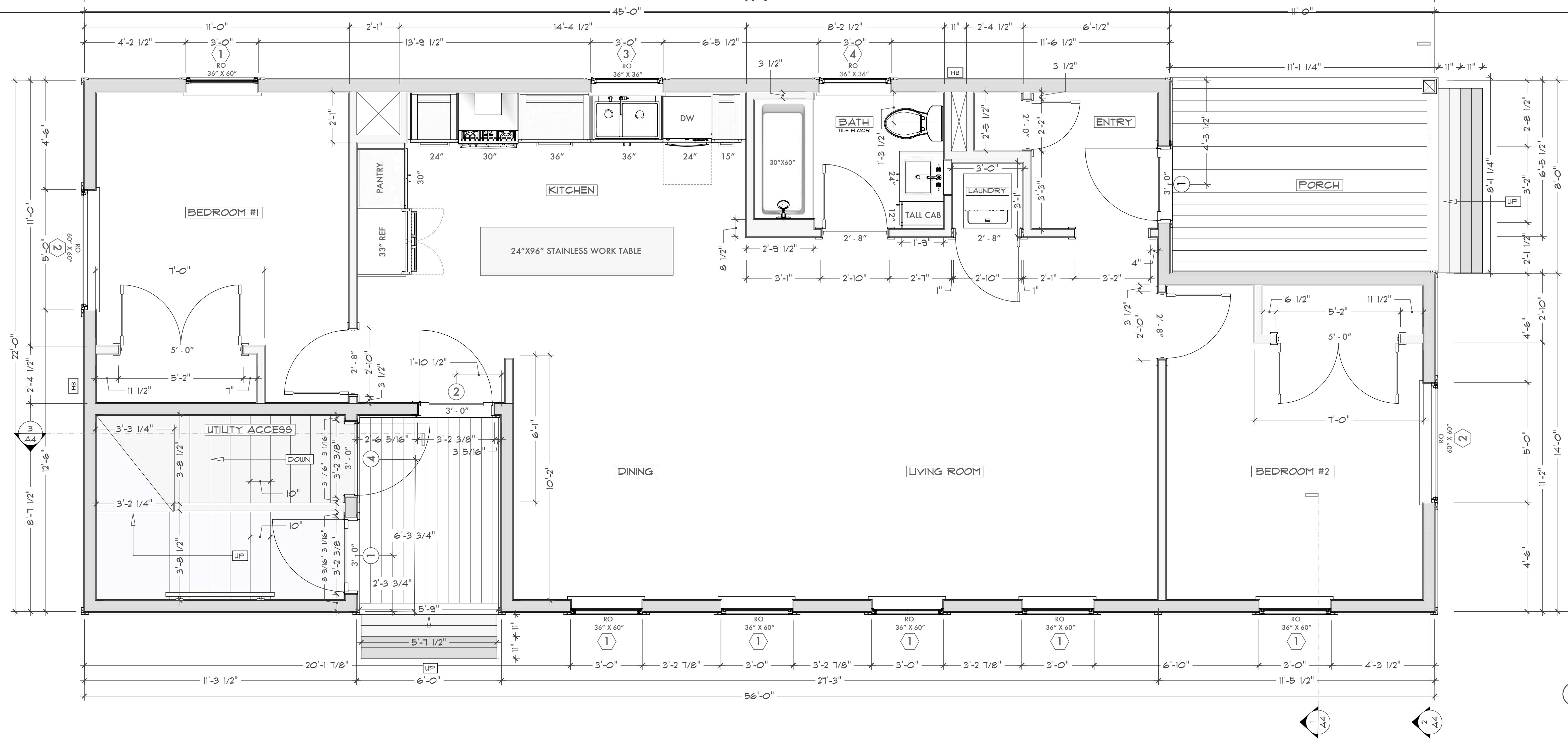
NUMBER	SIZE	TYPE	MANUFACTURE #	GLASS	QTY.
1	36"X60"	DHG	IFDH3050 E		7
2	60"X60"	FIXED	IFSLP5050		2
3	36"X36"	AWNING	IFAWN3030		1
4	36"X36"	AWNING	IFAWN3030	TEMPERED	1
5	36"X48"	AWNING	IFAWN3040 E	TEMPERED	1
TOTAL					13

WINDOW NOTES:
 1. All windows will all be Marvin INTEGRITY All Ultrax Windows finished in Ebony (both interior and exterior). No jamb extensions required.
 2. All windows will have Low E3 / Low ERS - Argon Insulated Glass. U-Factor 0.25, SHGC 0.20, VT 0.50

EXTERIOR DOOR SCHEDULE (UNIT #2)

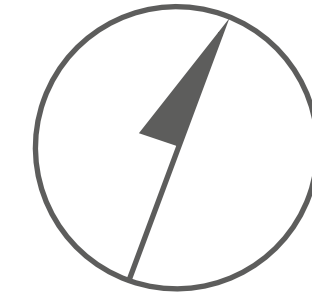
NUMBER	SIZE	RO	MANUFACTURE #	SWING	QTY.
1	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S2100	RH INSWING	1
2	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S2000	LH INSWING	1
3	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S4810	RH INSWING	1
4	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S81000	LH OUTSWING	1
TOTAL					2

DOOR NOTES:
 1. All door will all be Therna Tru - Smooth Star.



1 UNIT #1 FLOOR PLAN
Scale: 3/8" = 1'

ALL MEASUREMENTS FROM FACE OF ROUGH FRAMING



WINDOW SCHEDULE (UNIT #2)

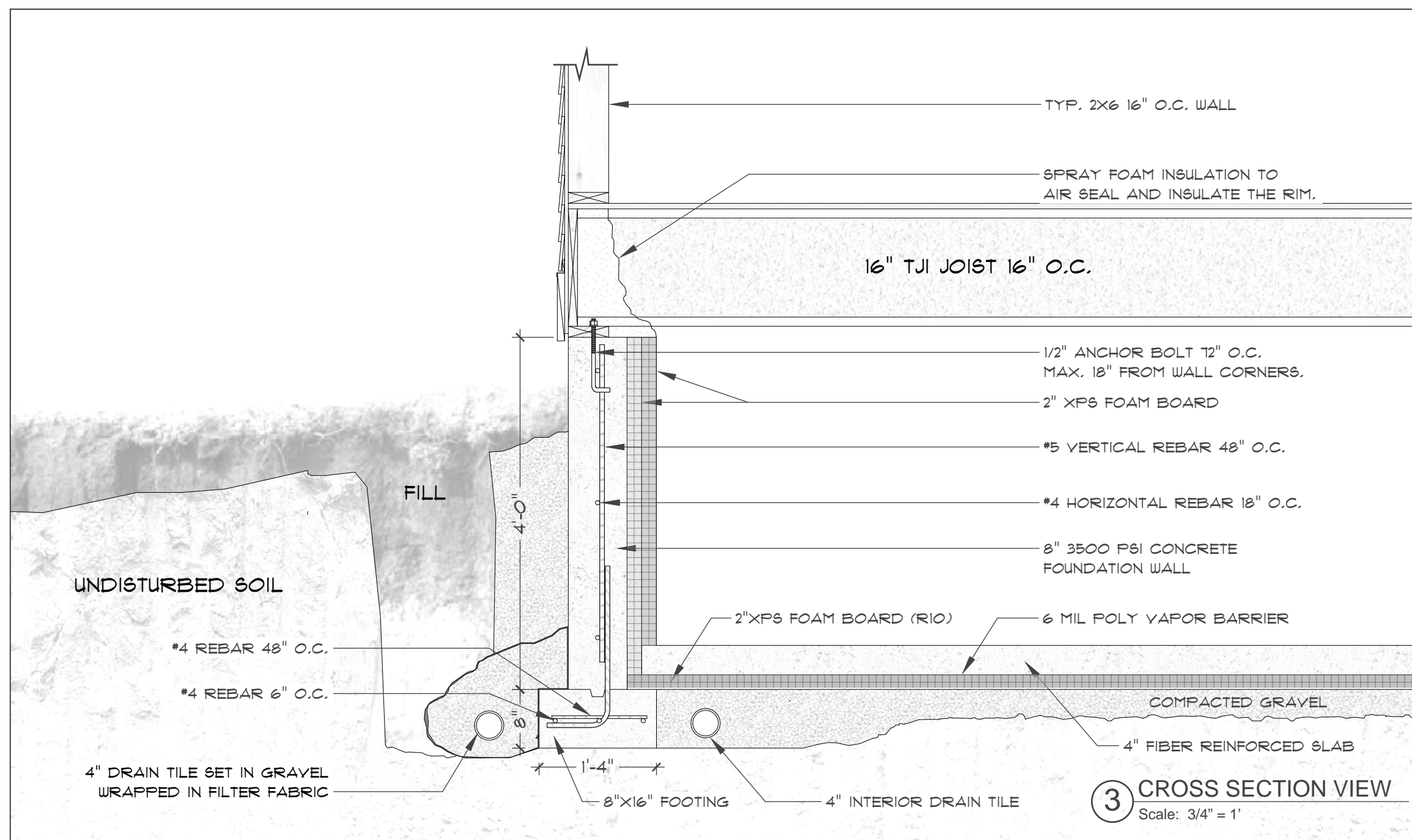
NUMBER	SIZE	TYPE	MANUFACTURE #	GLASS	QTY.
1	36"X60"	DHG	IFDH3050 E		6
2	60"X60"	FIXED	IFSLP5050		2
3	36"X36"	AWNING	IFAWN3030		1
4	36"X36"	AWNING	IFAWN3030	TEMPERED	1
5	36"X48"	AWNING	IFAWN3040 E	TEMPERED	1
TOTAL					10

WINDOW NOTES:
 1. All windows will all be Marvin INTEGRITY All Ultrax Windows finished in Ebony (both interior and exterior). No jamb extensions required.
 2. All windows will have Low E3 / Low ERS - Argon Insulated Glass. U-Factor 0.25, SHGC 0.20, VT 0.50

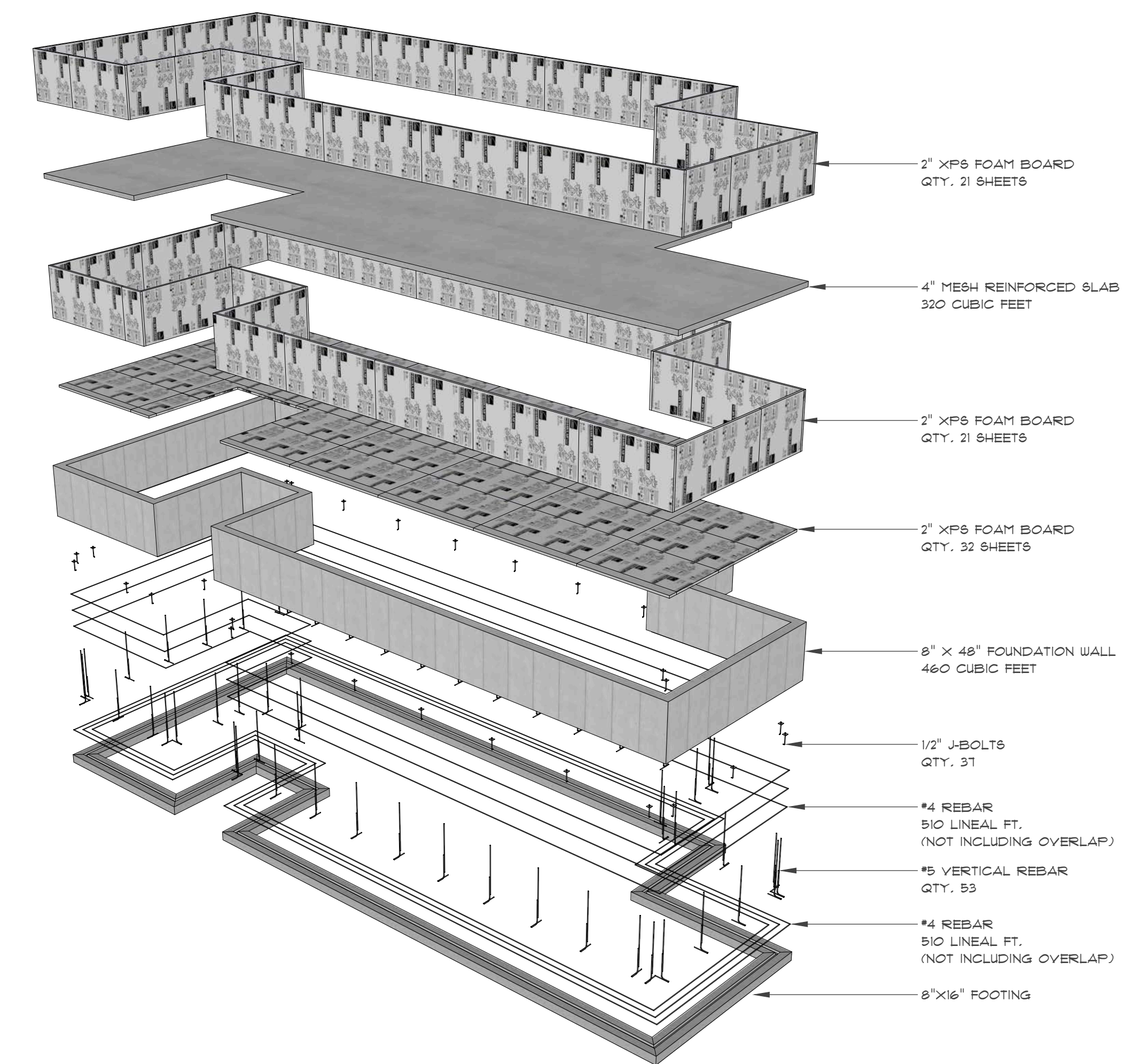
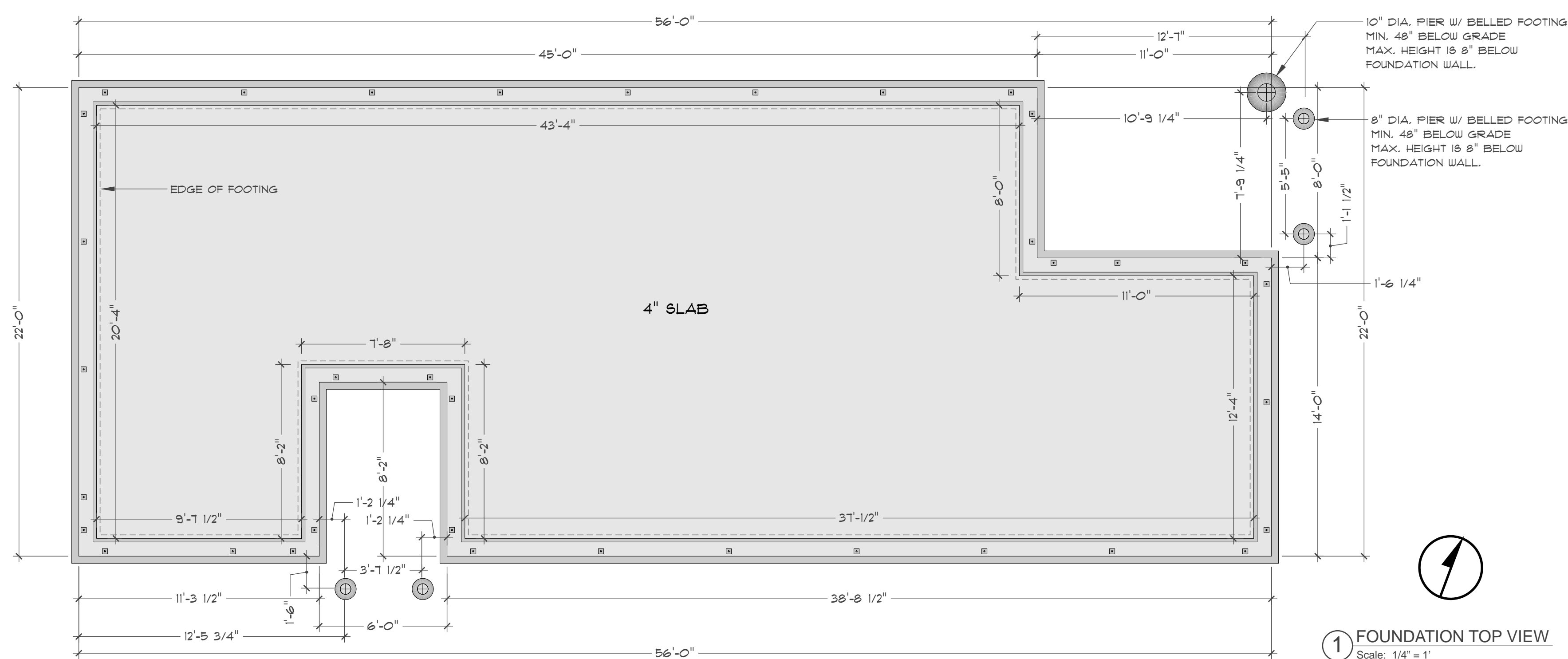
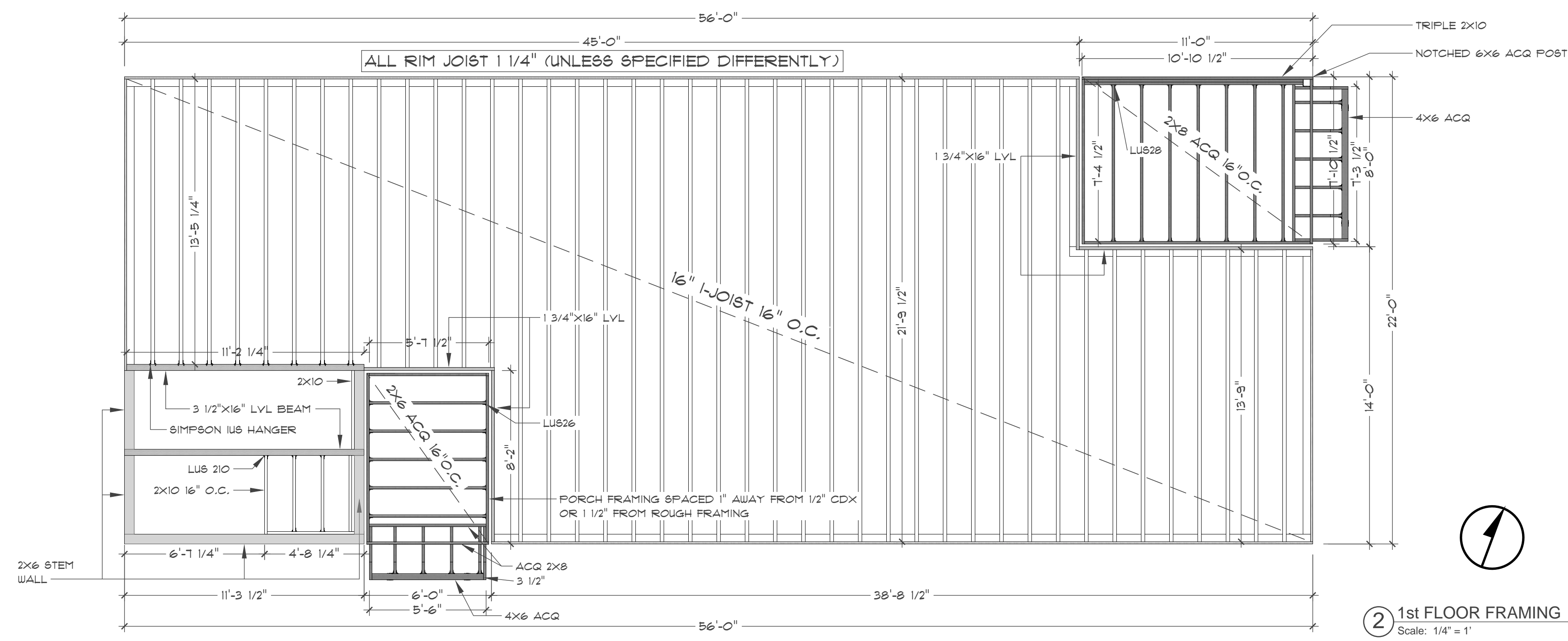
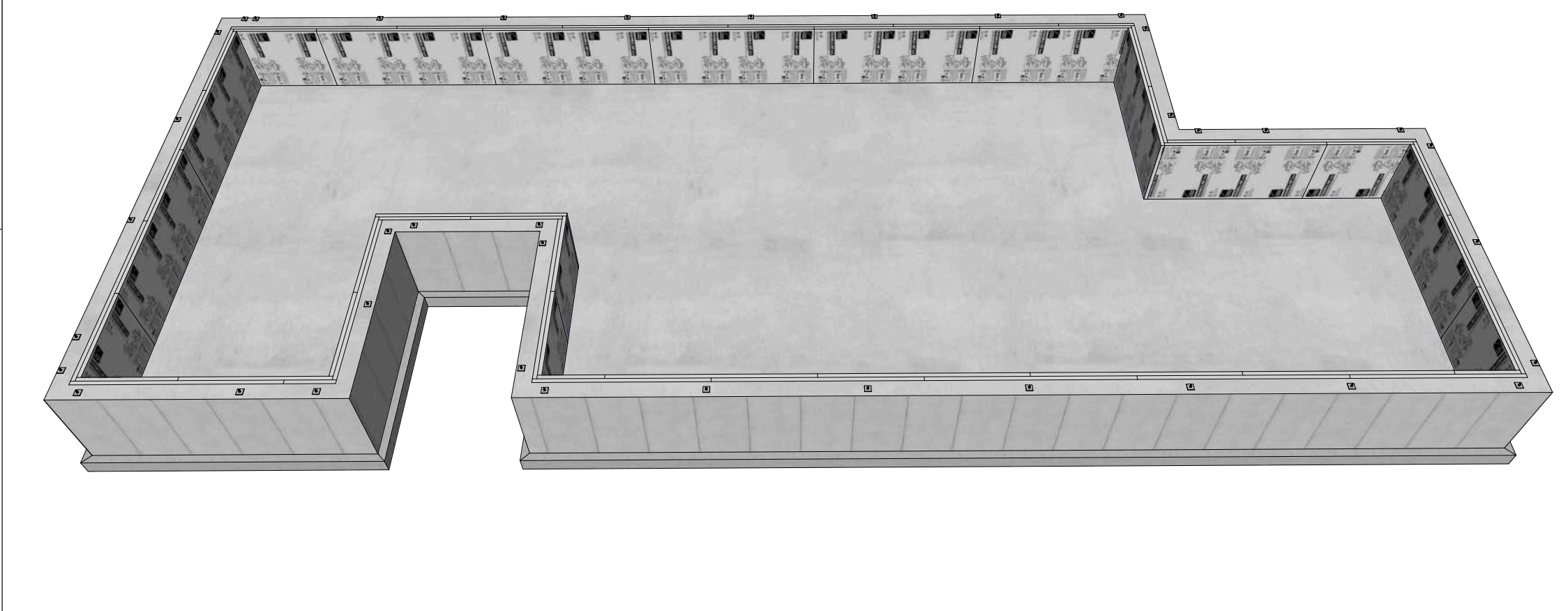
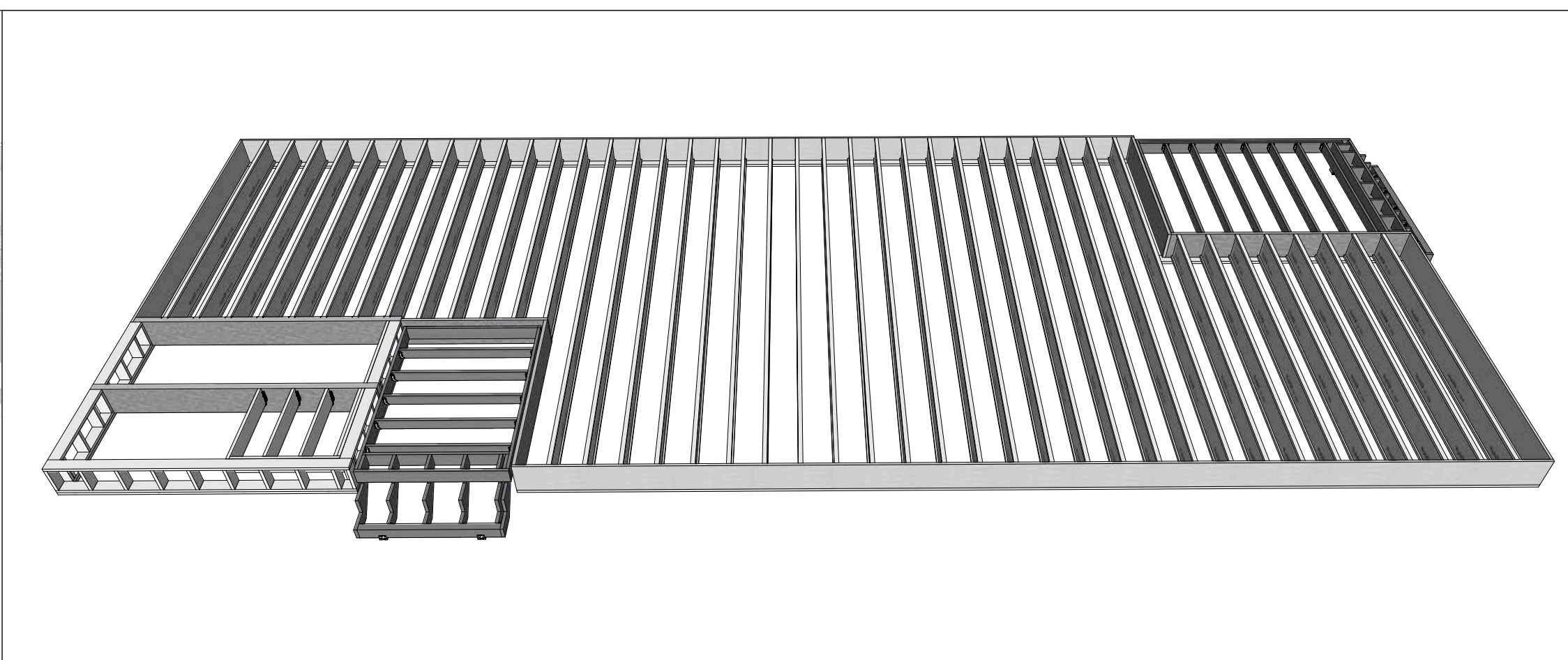
EXTERIOR DOOR SCHEDULE (UNIT #2)

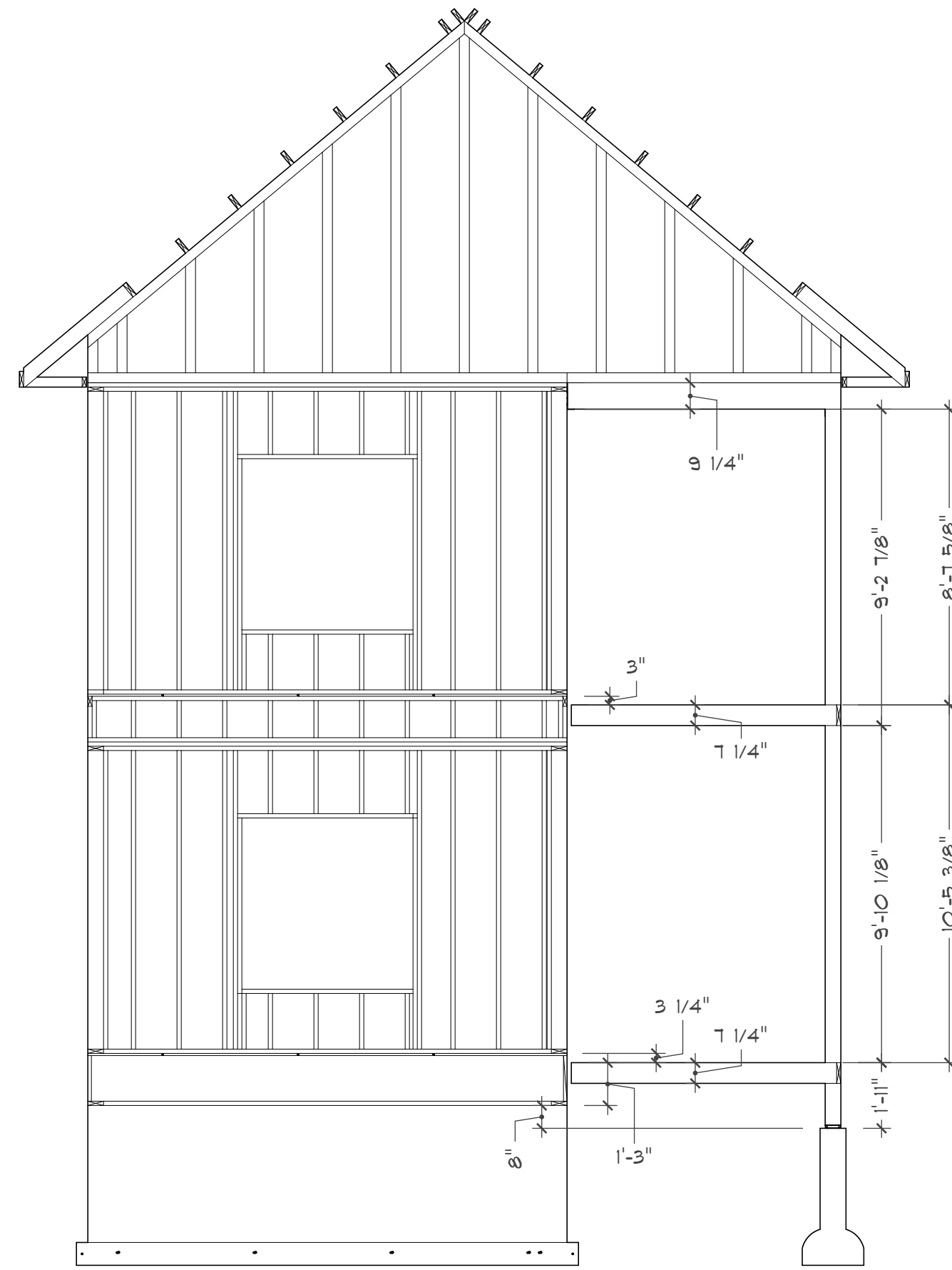
NUMBER	SIZE	RO	MANUFACTURE #	SWING	QTY.
1	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S2100	RH INSWING	2
2	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S2000	LH INSWING	1
3	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S4810	RH INSWING	1
4	3'-0" X 6'-8"	38 3/8" X 82 1/2"	S81000	LH OUTSWING	1
TOTAL					4

DOOR NOTES:
 1. All door will all be Therna Tru - Smooth Star.

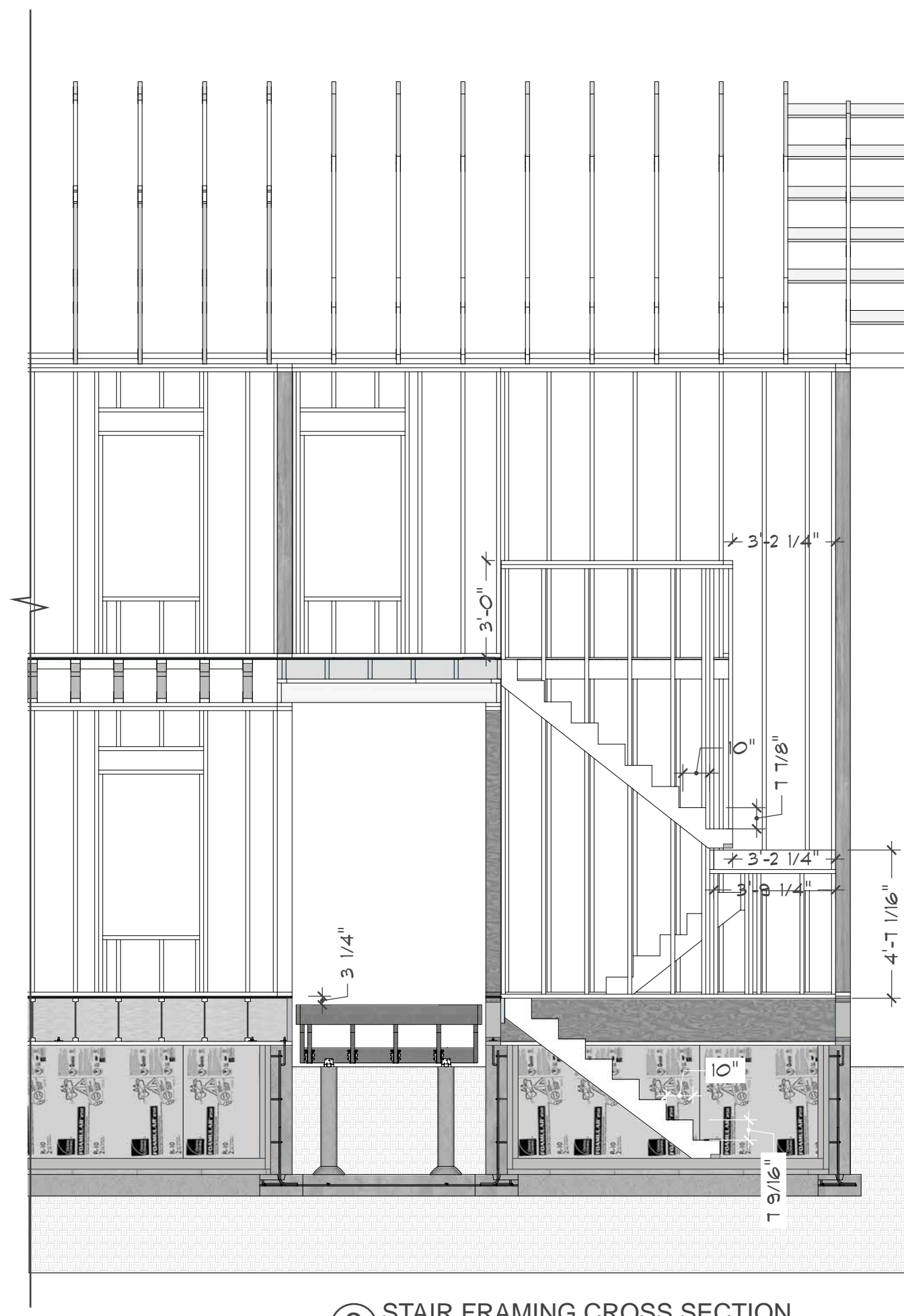
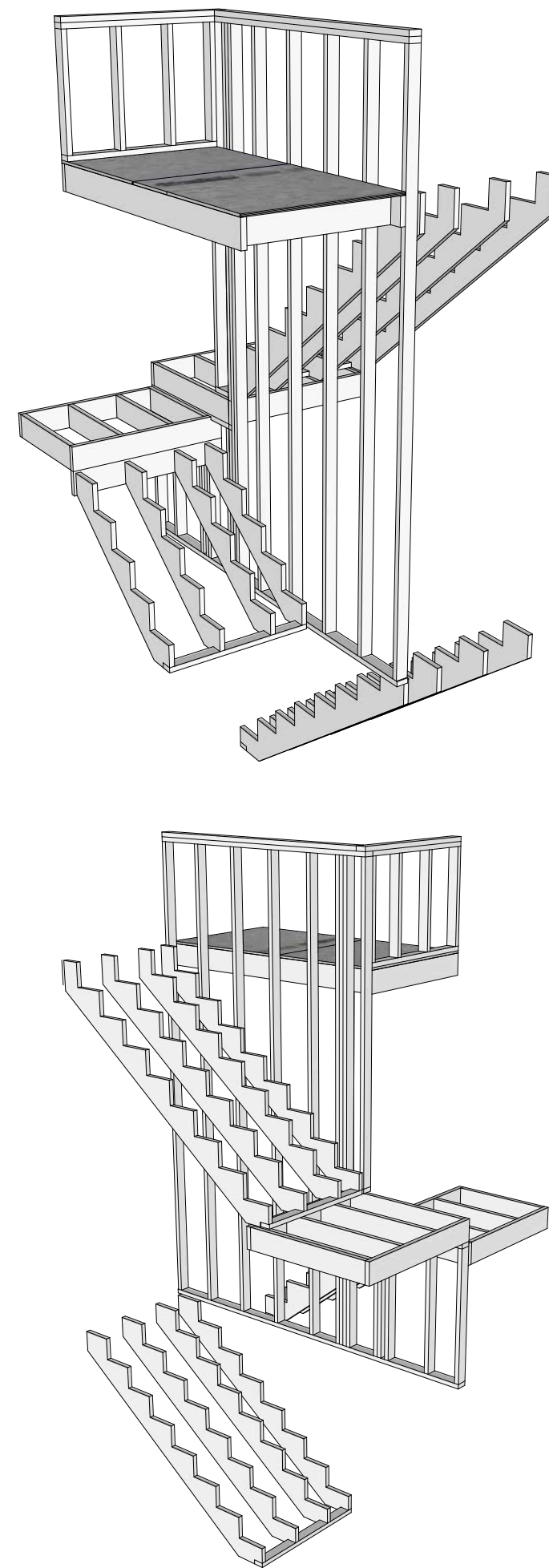
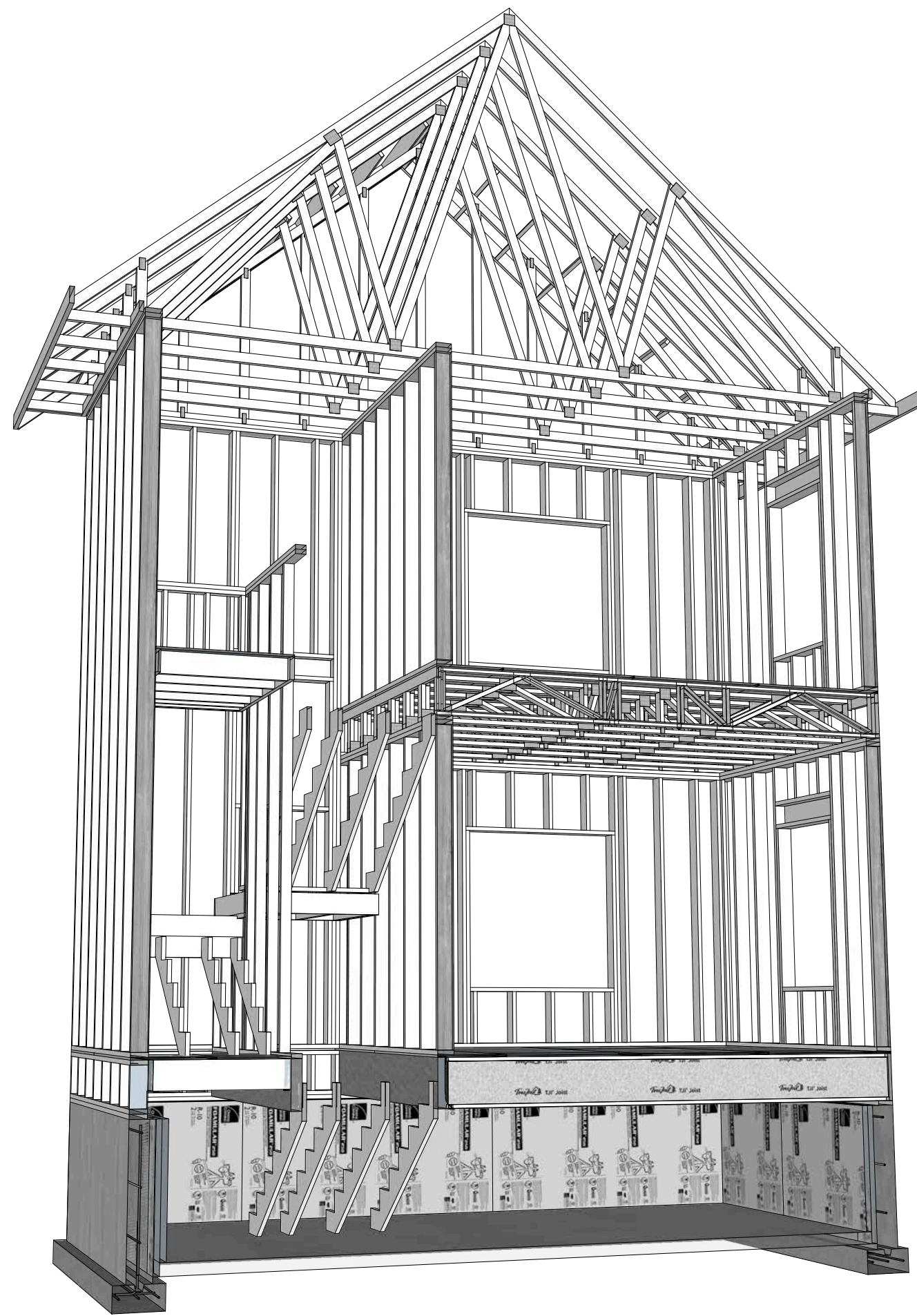


ALL DIMENSIONS ARE FROM OUTSIDE OF FOUNDATION WALL, OUTSIDE OF FOOTING, CENTER OF PIER, OR ROUGH FRAMING.





② PORCH FRAMING CROSS SECTION
Scale: 1/4" = 1'



③ STAIR FRAMING CROSS SECTION
Scale: 1/4" = 1'

VENTED ROOF:

ASPHALT ARCHITECTURAL SHINGLE
OVER ROOFING WATER RESISTANT BARRIER
OVER 5/8" OSB
OVER 24" O.C. 8/12 ROOF TRUSS

MIN. 14" CELLULOSE INSULATION (R49)
OVER 6MIL VAPOR BARRIER
OVER 5/8" GYP. BOARD

6" ALUMINUM GUTTER
OVER ALUMINUM L FASCIA
OVER 2X6 SUB FASCIA

ALUMINUM VENTED SOFFIT
OVER 24" O.C. 2X4 FRAMING

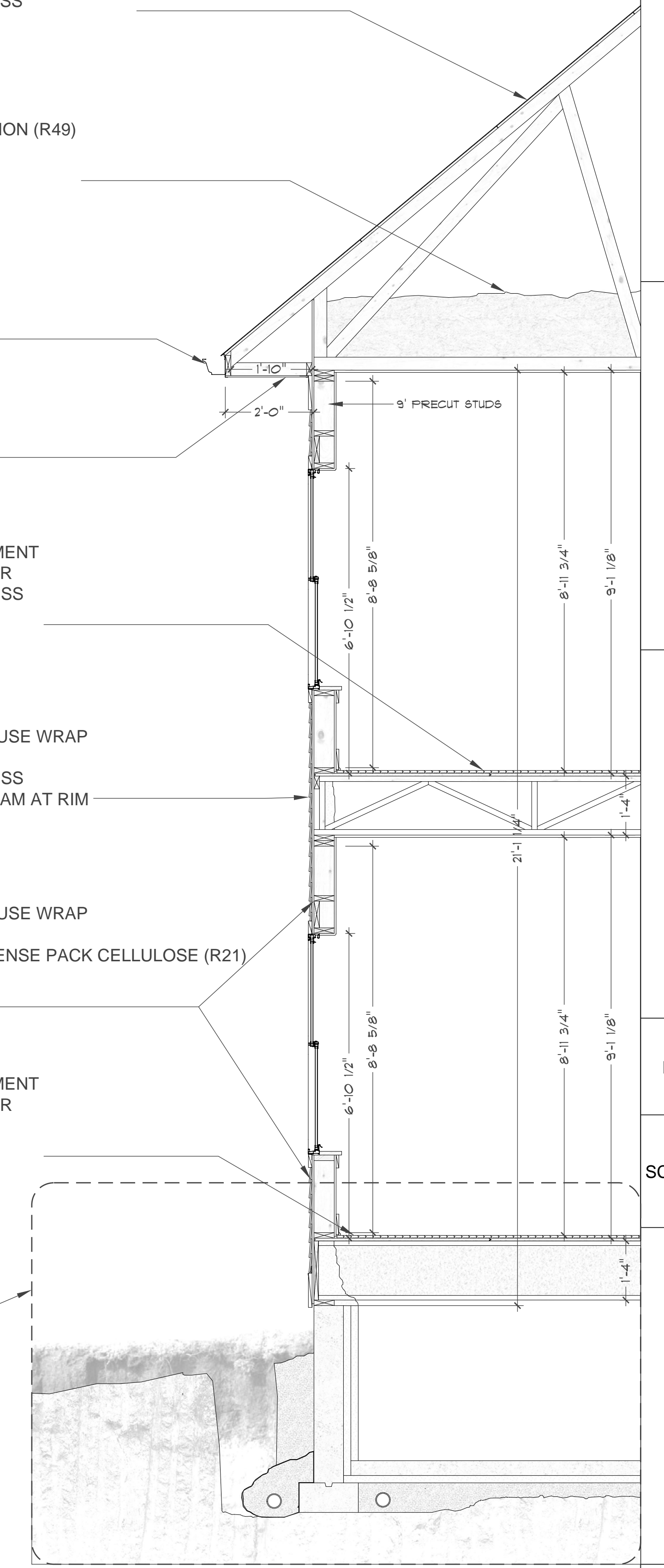
1X HARDWOOD FLOORING
OVER FLOORING UNDERLAYMENT
OVER 3/4" T&G OSB SUBFLOOR
OVER 16" O.C. 16" FLOOR TRUSS
OVER 5/8" GYP. BOARD

4" REVEAL SMARTSIDING
OVER WATER RESISTANT HOUSE WRAP
OVER 7/16" OSB SHEATHING
OVER 16" O.C. 16" FLOOR TRUSS
OVER CLOSE CELL SPRAY FOAM AT RIM

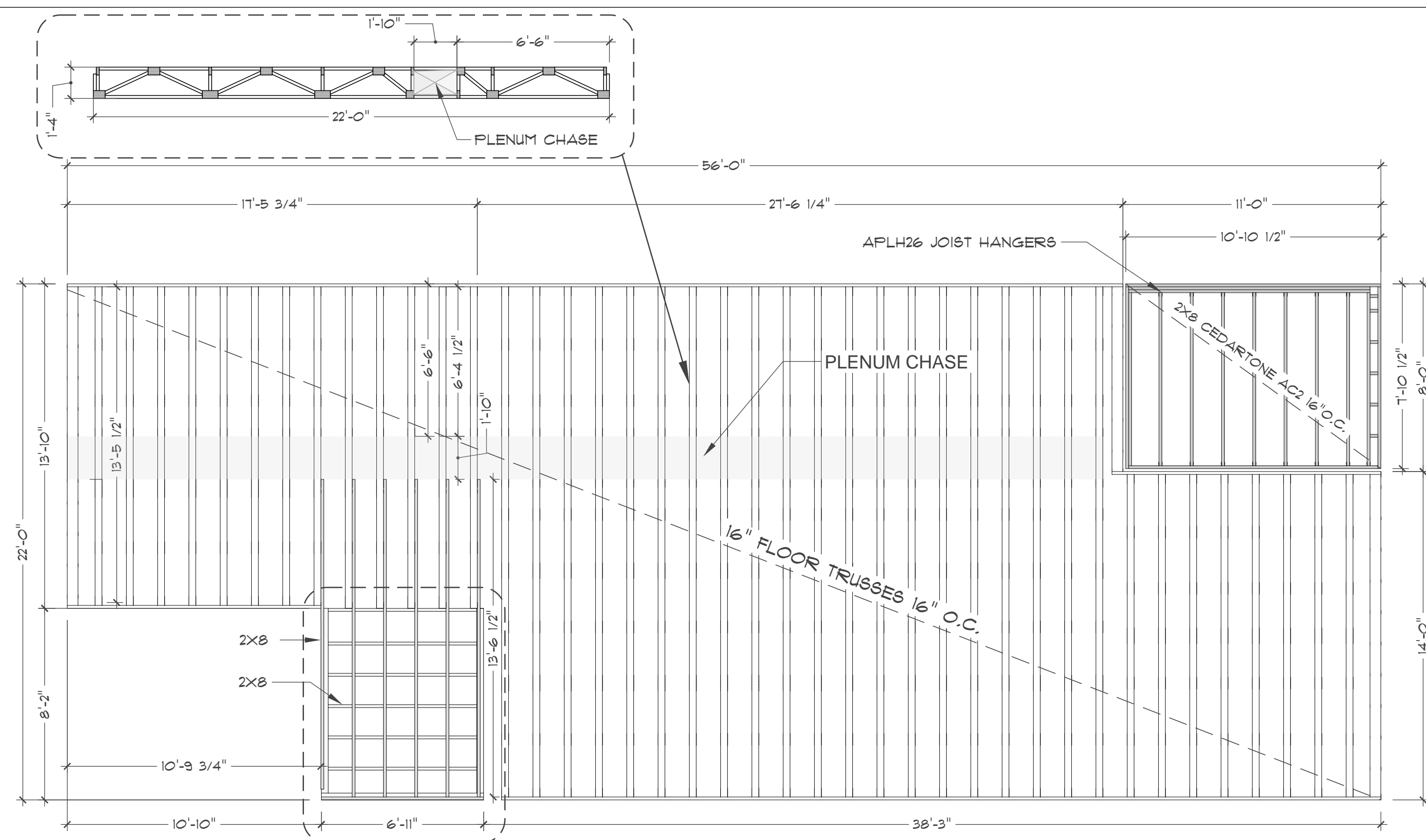
4" REVEAL SMARTSIDING
OVER WATER RESISTANT HOUSE WRAP
OVER 7/16" OSB SHEATHING
OVER 16" O.C. FRAMING W/ DENSE PACK CELLULOSE (R21)
OVER 6 MIL VAPOR BARRIER
OVER 1/2 GYP. BOARD

1X HARDWOOD FLOORING
OVER FLOORING UNDERLAYMENT
OVER 3/4" T&G OSB SUBFLOOR
OVER 16" O.C. 16" JOIST

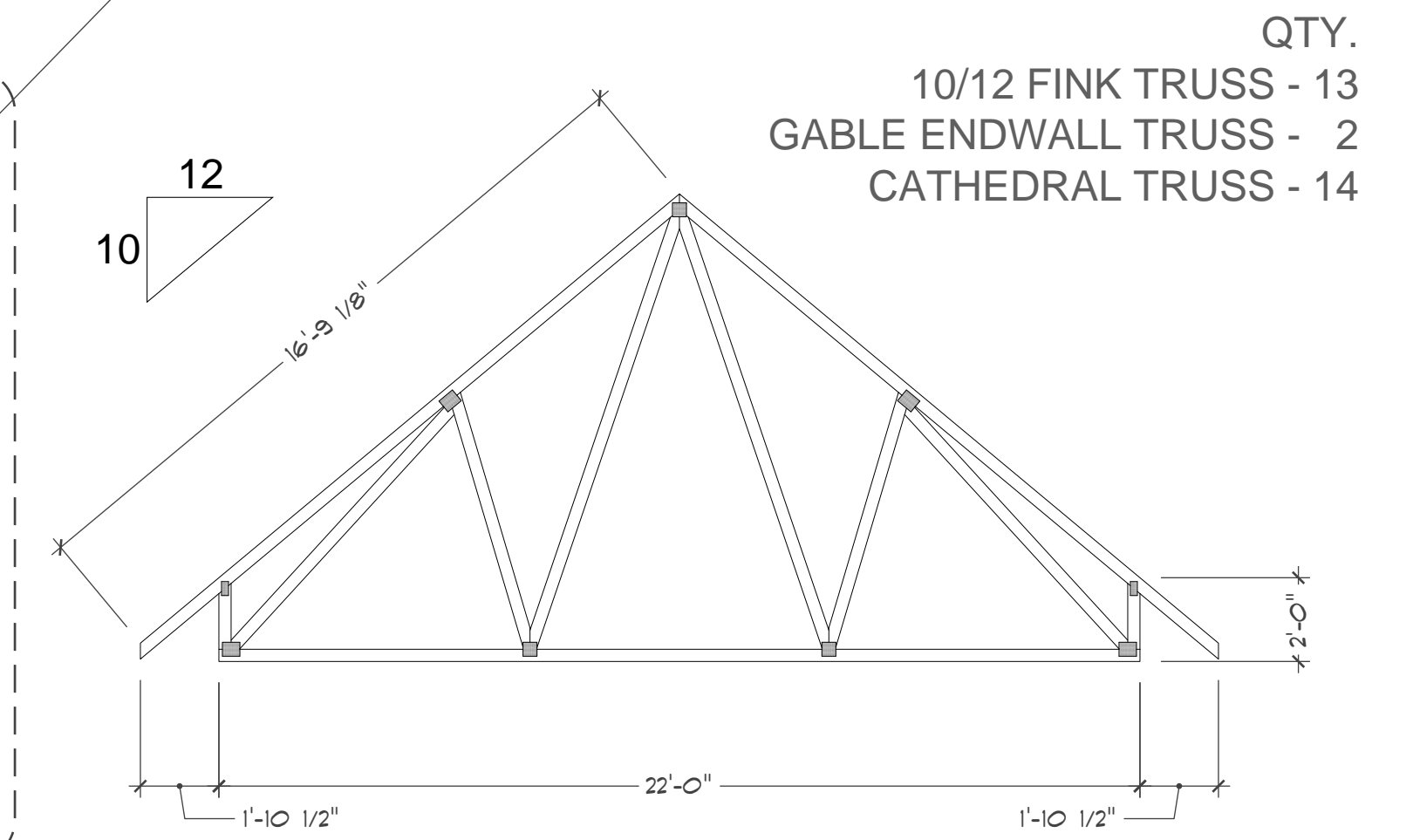
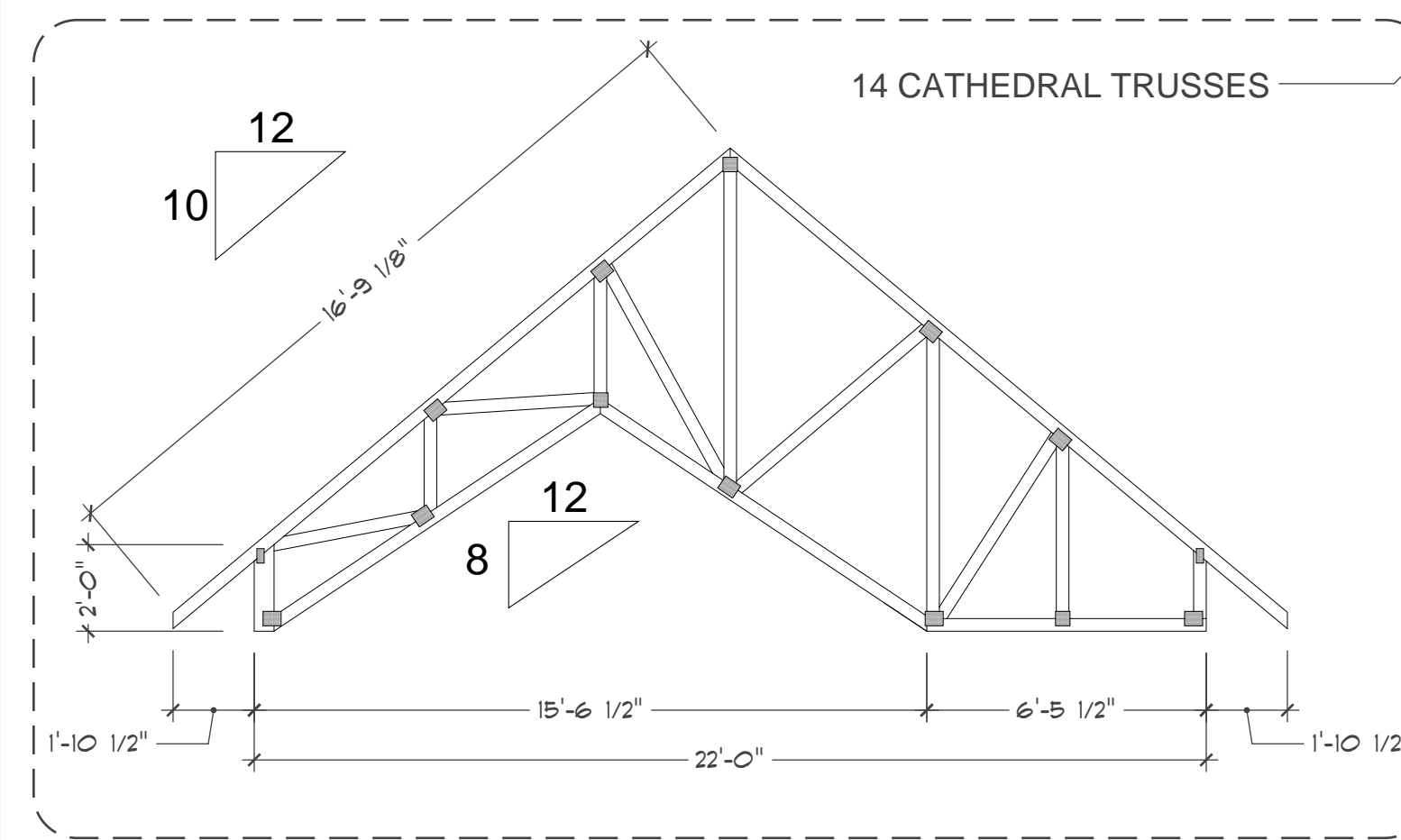
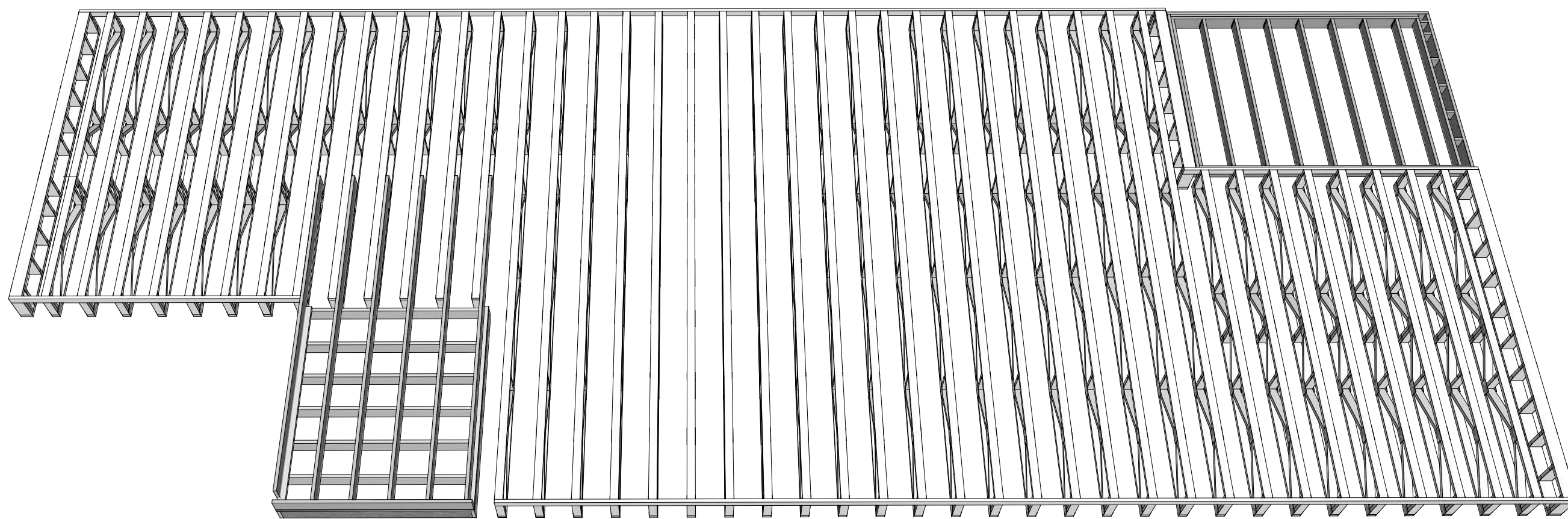
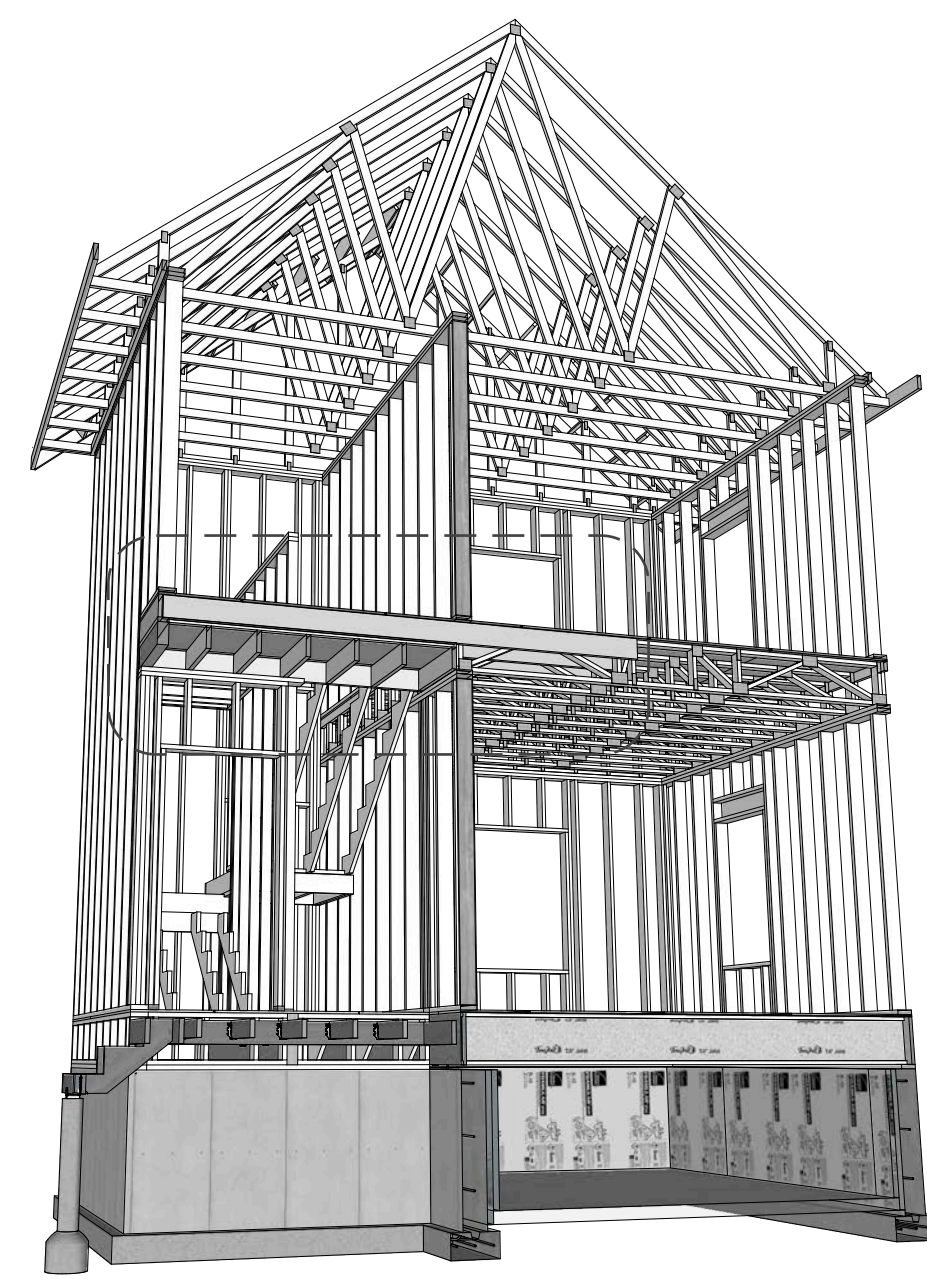
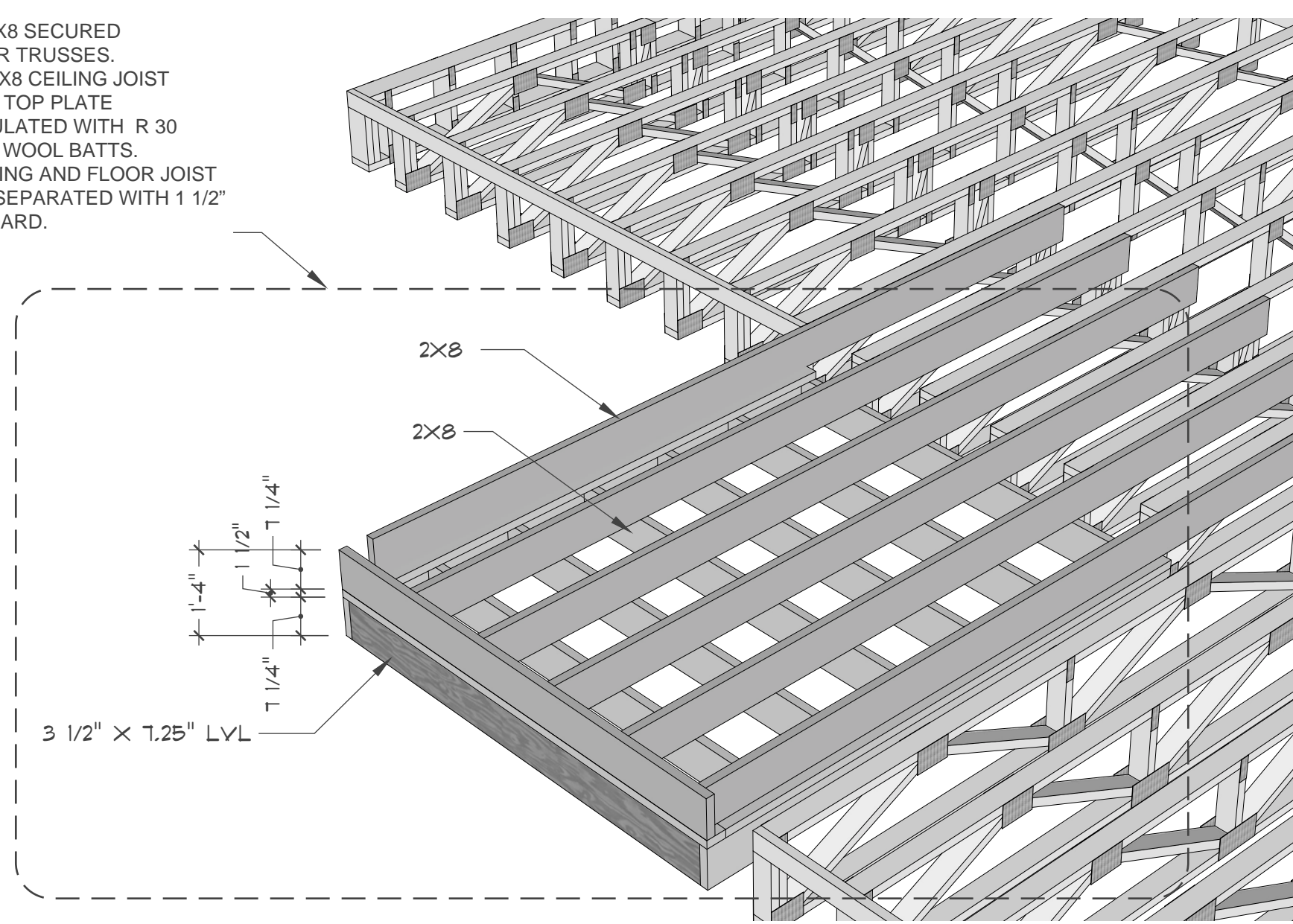
3
A3



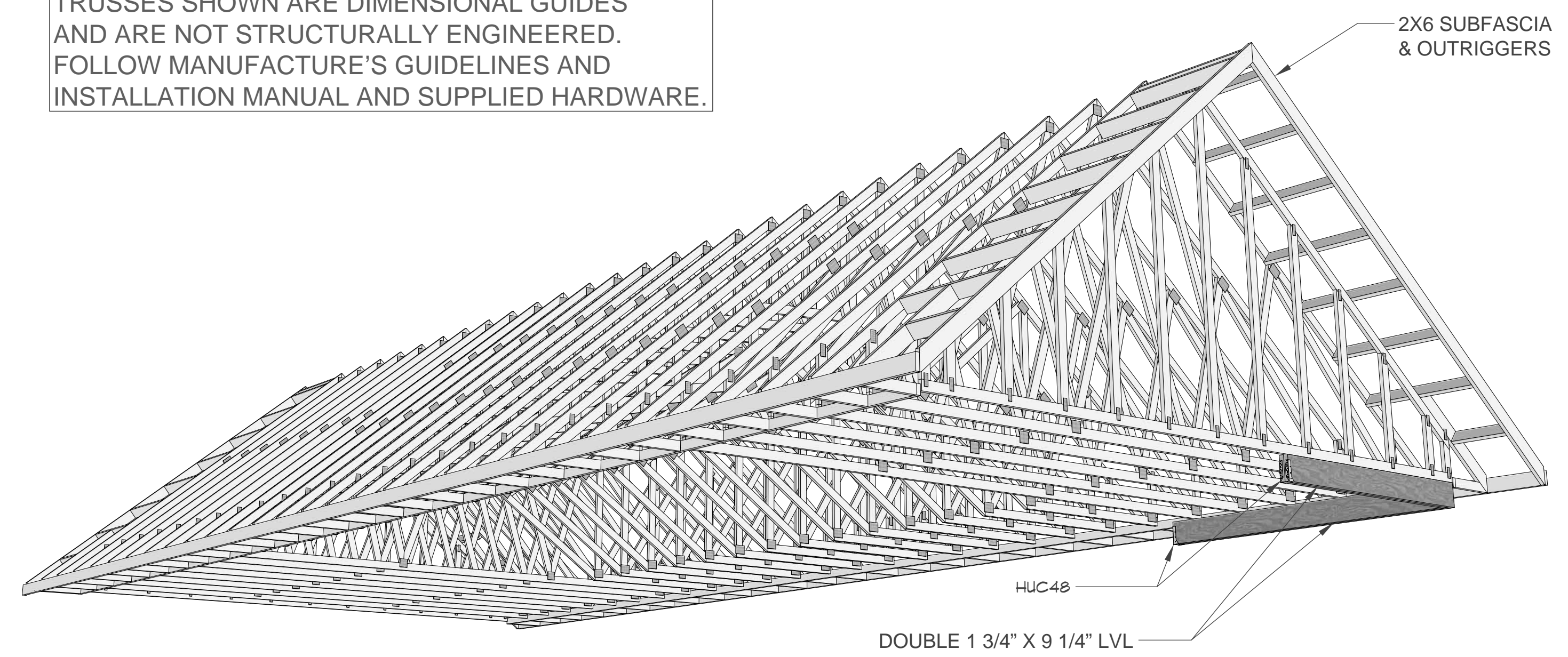
① CROSS SECTION
Scale: 1/2" = 1'



UPPER 2x8 SECURED TO FLOOR TRUSSES. LOWER 2x8 CEILING JOIST BEAR ON TOP PLATE AND INSULATED WITH R 30 MINERAL WOOL BATTS. THE CEILING AND FLOOR JOIST WILL BE SEPARATED WITH 1 1/2" FOAM BOARD.



TRUSSES SHOWN ARE DIMENSIONAL GUIDES AND ARE NOT STRUCTURALLY ENGINEERED. FOLLOW MANUFACTURE'S GUIDELINES AND INSTALLATION MANUAL AND SUPPLIED HARDWARE.



1 2nd FLOOR FRAMING
Scale: 1/4" = 1'

3 ROOF LAYOUT & TRUSS DESIGN
Scale: 1/4" = 1'