

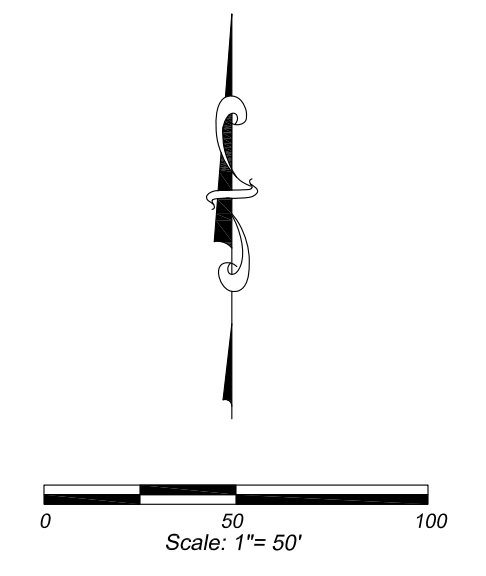
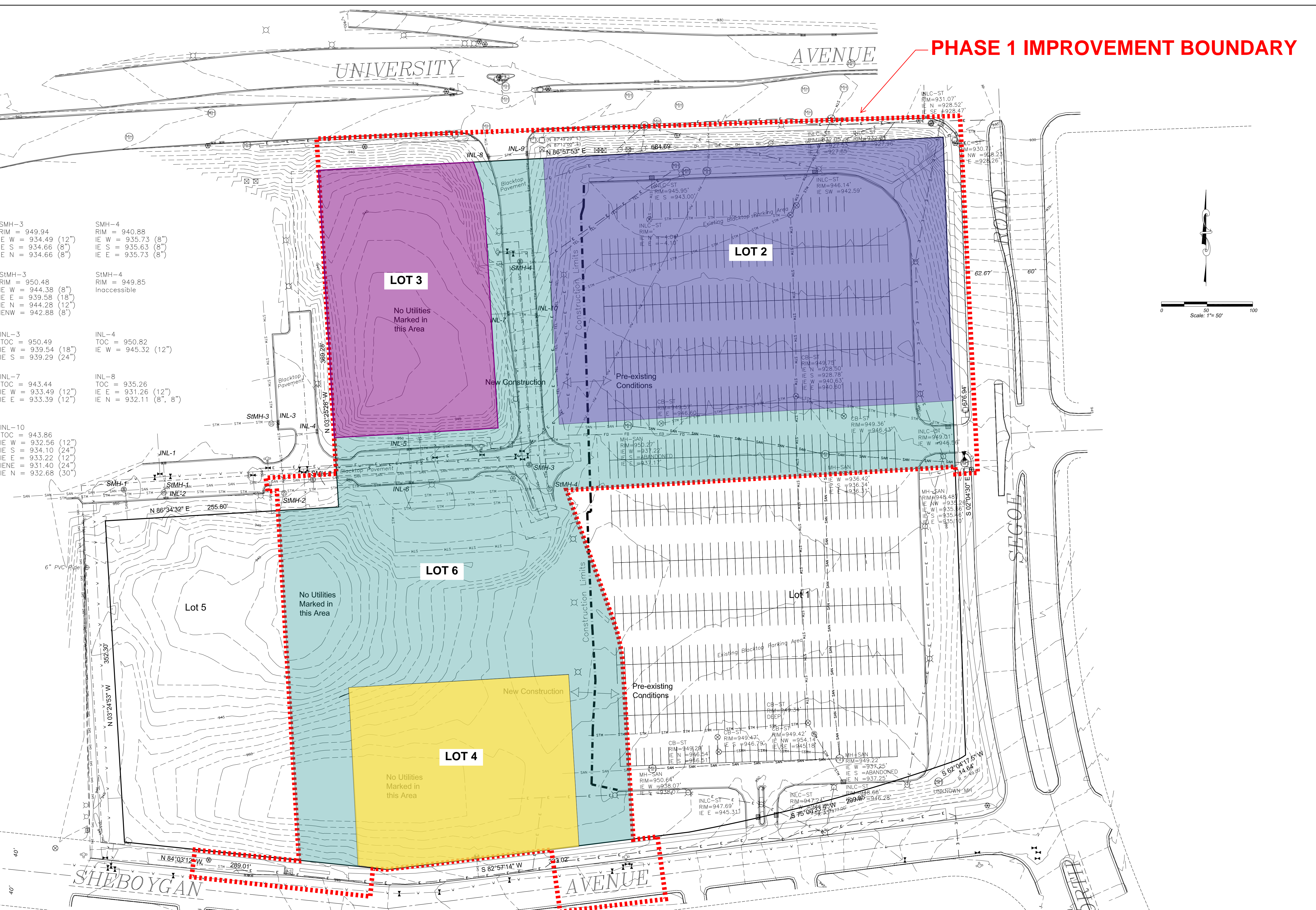
LOCATION MAP

PHASE 1 IMPROVEMENT BOUNDARY

SMH-1 RIM = 948.33 IE W = 929.91 (12") IE S = 936.23 (6") IE E = 929.95 (12")	SMH-2 RIM = 949.92 IE W = 933.00 (12") IE S = 933.27 (12") IE E = 933.14 (12")	SMH-3 RIM = 949.94 IE W = 934.49 (12") IE S = 934.66 (8") IE E = 934.66 (8")	SMH-4 RIM = 940.88 IE W = 935.73 (8") IE S = 935.63 (8") IE E = 935.73 (8")
SIMH-1 RIM = 948.98 IE W = 939.28 (30") IE S = 944.43 (12") IE E = 938.88 (24") IE N = 944.48 (12")	SIMH-2 RIM = 950.54 IE W = 938.49 (24") IE S = 945.64 (12") IE E = 938.84 (30") IE N = 938.89 (18")	SIMH-3 RIM = 950.48 IE W = 944.38 (8") IE S = 939.58 (18") IE E = 944.28 (30") IENW = 942.88 (8")	SIMH-4 RIM = 950.85 Inaccessible
INL-1 TOC = 950.48 IE S = 945.98 (12")	INL-2 TOC = 949.38 IE N = 944.66 (12")	INL-3 TOC = 950.49 IE W = 939.54 (18") IE S = 939.29 (24")	INL-4 TOC = 950.82 IE W = 945.32 (12")
INL-5 TOC = 949.34 IE S = 937.84 (24") IE E = 940.19 (24") IE N = 939.69 (12")	INL-6 TOC = 949.28 IE W = 937.48 (24") IE S = 936.78 (36") IE N = 936.98 (24")	INL-7 TOC = 943.44 IE W = 933.49 (12") IE E = 933.39 (12")	INL-8 TOC = 935.26 IE E = 931.26 (12") IE N = 932.11 (8", 8")
INL-9 TOC = 935.73 IE W = 931.03 (12") IE S = 929.27 (30") IE E = 929.17 (30")	INL-9 TOC = 943.86 IE W = 931.03 (12") IE S = 929.27 (30") IE E = 929.17 (30")	INL-10 TOC = 943.86 IE W = 932.56 (12") IE S = 934.10 (24") IE E = 933.22 (12") IENE = 931.40 (24") IE N = 932.68 (30")	

Legend

This survey is subject to any and all easements and agreements both recorded and unrecorded.
 The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.
 Wetlands, if present, have not been delineated.
 This survey shows visible, above-ground improvements only. No guarantee is made for below-ground structures.
 Contour interval = 1 foot



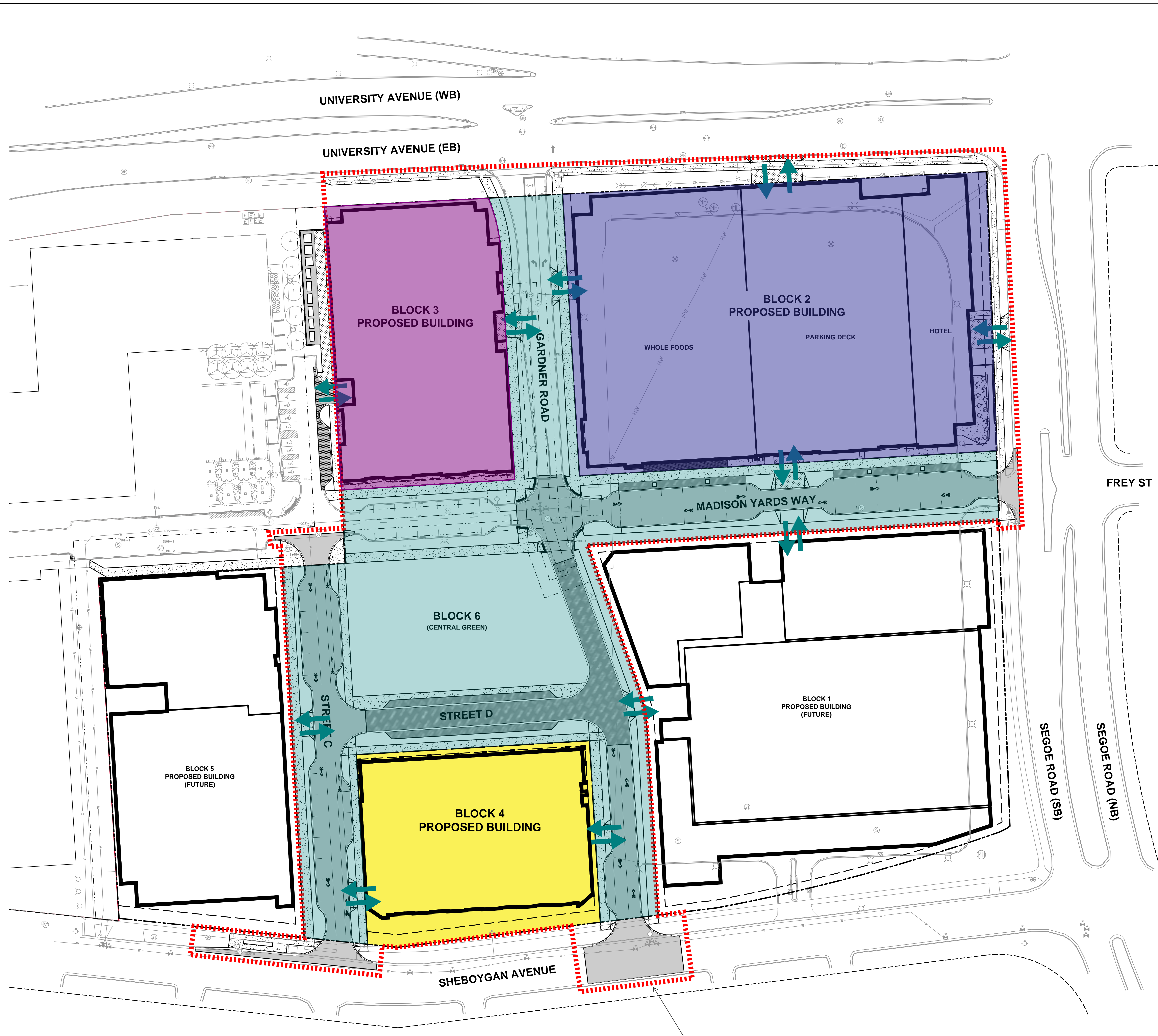
BIRRENKOTT SURVEYING INC.
 LAND SURVEYING & PERC TESTING
 P.O. BOX 237
 1677 N. BRISTOL ST. SUN PRAIRIE, WIS. 53590
 (608) 837-7463
 FAX (608) 837-1081

TOPOGRAPHIC SURVEY
 Rev: JANUARY 6, 2020 NOVEMBER 21, 2019

SURVEYED BY	T.A.S.
DRAWN BY	M.A.P.
CHECKED BY	M.A.P./D.V.B.
APPR'D BY	D.V.B.

PREPARED FOR:
SG HILL FARMS LLC
 889 E. JOHNSON STREET
 FOND DU LAC, WI 54935
 414-453-0110

JOB NO.	171132
SHEET	1 OF 1
FB	375/42



PROPERTY LIMITS

- BLOCK 2
- BLOCK 3
- BLOCK 4
- BLOCK 6

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
606 LIBERTY AVENUE
PITTSBURGH, PA 15222

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 6

PROJECT LOCATION:
MADISON, WI
DANE

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
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Design/Drawn:
Approved:

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO.: 19-0306

PHASE 1 IMPROVEMENT BOUNDARY

north

SCALE IN FEET

40' 0 40'

DIGGERS HOTLINE

Toll Free (800) 242-8511

File: I:\2019\190306\DC\190306_02_Site_Plan.dwg Layer: C2.0 - SITE PLAN.dwg User: hysaka Plot Date: Jan 22, 2020 7:17am Xref:

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MADISON YARDS AT HILLS FARMS

BLOCK 3 PRIVATE IMPROVEMENTS SET

CITY OF MADISON, WISCONSIN
702 GARDENER ROAD, MADISON, WI 53705



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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
HILL FARMS
BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

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1	02.28.2020	GMP SET
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Design/Drawn:
Approved:

SHEET TITLE:
BLOCK 3
TITLE SHEET

SHEET NUMBER:
B3-TS

JSD PROJECT NO: 19-0366

DRAWING INDEX

B3-TS	BLOCK 3 TITLE SHEET
	TOPOGRAPHIC SURVEY
B3-C0.1	BLOCK 3 NOTES & LEGEND
B3-C1.0	BLOCK 3 OVERALL SITE PLAN
B3-C1.1	BLOCK 3 DETAILED SITE PLAN - NORTH
B3-C1.2	BLOCK 3 DETAILED SITE PLAN - SOUTH
B3-C2.0	BLOCK 3 OVERALL GRADING & EROSION CONTROL PLAN
B3-C2.1	BLOCK 3 DETAILED GRADING PLAN - NORTH
B3-C2.2	BLOCK 3 DETAILED GRADING PLAN - SOUTH
B3-C3.0	BLOCK 3 UTILITY PLAN
B3-C4.0	BLOCK 3 DETAILS - EROSION CONTROL & UTILITIES
B3-C4.1	BLOCK 3 DETAILS - SITE
B3-L1.0	BLOCK 3 OVERALL LANDSCAPE PLAN
B3-L1.1	BLOCK 3 DETAILED LANDSCAPE PLAN - NORTH
B3-L1.2	BLOCK 3 DETAILED LANDSCAPE PLAN - SOUTH
B3-L2.0	BLOCK 3 LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
SMITH - GILBANE
PROJECT CONTACT: SEAN ROBERTS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
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E: sroberts@summitsmith.com

CONSTRUCTION MANAGER
SMITH - GILBANE
PROJECT CONTACT: JASON BOS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
C: 920-948-0692
E: jbos@cdsmith.com

PROJECT CONSULTANT / LANDSCAPE ARCHITECT
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: KEVIN YESKA
161 Horizon Drive, Suite 101
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C: 608-609-6794
E: kevin.yeska@jsdinc.com

ARCHITECT
KTGY ARCHITECTURE + PLANNING
CONTACT: CRAIG PRYDE
217 N. Jefferson, Suite 400
Chicago, IL 60661
P: 312-549-4905
C: 630-881-3950
E: cpryde@ktgy.com

CIVIL ENGINEERING
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: TOMAS TORO
161 Horizon Drive, Suite 101
Verona, WI 53593
P: 608-848-5060
C: 608-963-2133
E: tomas.toro@jsdinc.com

MUNICIPAL CONTACTS

CITY OF MADISON DEPARTMENT OF PUBLIC WORKS/ENGINEER
CONTACT: JANET SCHMIDT
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703
P: 608-261-9688
E: jschmidt@cityofmadison.com

CITY OF MADISON FORESTRY
CONTACT: BRAD HOFMANN
P: 608-267-4908
C: 608-220-6796
E: bhofmann@cityofmadison.com

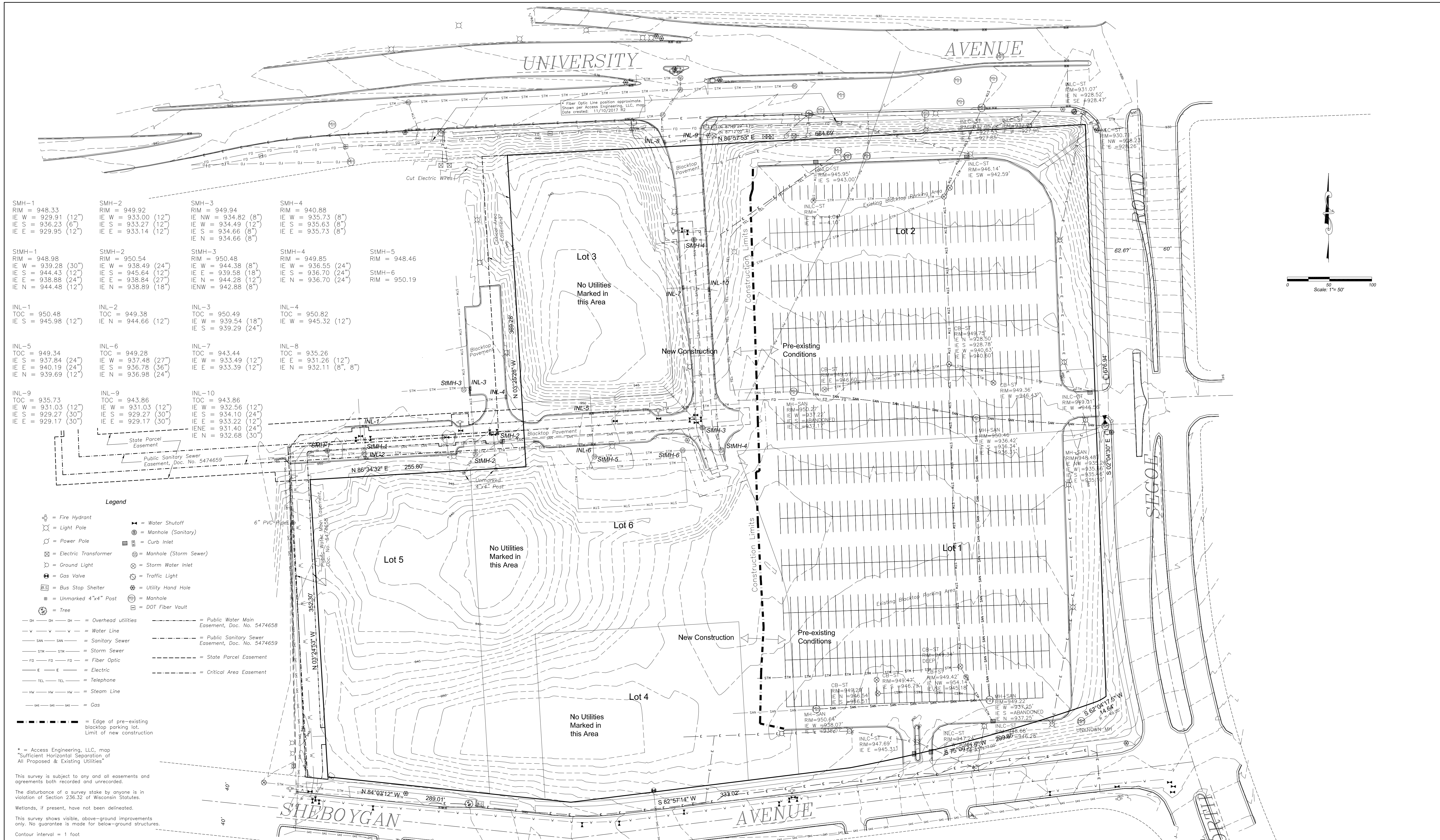
UTILITY CONTACTS

GAS
Madison Gas & Electric Company
CONTACT: STEVE BEVERSDORF
133 South Blair Street
Madison, WI 53788
P: 608-252-1552
C: 608-444-9620
E: sbeversdorf@mge.com

ELECTRIC
Madison Gas & Electric Company
CONTACT: BRIAN BIGGE
623 Railroad Street
Madison, WI 53703
P: 608-252-7338
E: bbigge@mge.com



Toll Free (800) 242-8511



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- Legend**
- ⊕ = Fire Hydrant
 - ⊙ = Light Pole
 - ⊙ = Power Pole
 - ⊙ = Electric Transformer
 - ⊙ = Ground Light
 - ⊙ = Gas Valve
 - ⊙ = Bus Stop Shelter
 - ⊙ = Unmarked 4"x4" Post
 - ⊙ = Tree
 - = Overhead utilities
 - = Water Line
 - = Sanitary Sewer
 - = Storm Sewer
 - = Fiber Optic
 - = Electric
 - = Telephone
 - = Steam Line
 - = Gas
 - ⊙ = Water Shutoff
 - ⊙ = Manhole (Sanitary)
 - ⊙ = Curb Inlet
 - ⊙ = Manhole (Storm Sewer)
 - ⊙ = Storm Water Inlet
 - ⊙ = Traffic Light
 - ⊙ = Utility Hand Hole
 - ⊙ = Manhole
 - ⊙ = DOT Fiber Vault
 - = Public Water Main Easement, Doc. No. 5474658
 - = Public Sanitary Sewer Easement, Doc. No. 5474659
 - = State Parcel Easement
 - = Critical Area Easement
 - = Edge of pre-existing blacktop parking lot. Limit of new construction

* = Access Engineering, LLC, map
 † Sufficient Horizontal Separation of
 All Proposed & Existing Utilities

This survey is subject to any and all easements and
 agreements both recorded and unrecorded.

The disturbance of a survey stake by anyone is in
 violation of Section 236.32 of Wisconsin Statutes.

Wetlands, if present, have not been delineated.

This survey shows visible, above-ground improvements
 only. No guarantee is made for below-ground structures.

Contour interval = 1 foot

BIRRENKOTT SURVEYING INC.
 LAND SURVEYING & PERC TESTING

P.O. BOX 237
 1677 N. BRISTOL ST.
 SUN PRAIRIE, WIS. 53590

(608) 837-7463
 FAX (608) 837-1081

Rev: MARCH 2, 2020
 Rev: FEBRUARY 20, 2020

TOPOGRAPHIC MAP
 FEBRUARY 10, 2020

SURVEYED BY	T.A.S.
DRAWN BY	M.A.P.
CHECKED BY	M.A.P./D.V.B.
APPRV'D BY	D.V.B.

PREPARED FOR:
 SG HILL FARMS LLC
 889 E. JOHNSON STREET
 FOND DU LAC, WI 54935
 414-453-0110

JOB NO.	171132
SHEET	1 of 1
FB	375/42

UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

BLOCK 3	
SITE INFORMATION BLOCK	
SITE ADDRESS	702 GARDENER ROAD
PROPERTY ACREAGE	1.20 ACRES
NUMBER OF BUILDING STORIES	6
TOTAL BUILDING SQUARE FOOTAGE	47,294
GROSS BUILDING SQUARE FOOTAGE	(REFER TO ARCHITECTURAL)
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	0
ACCESSIBLE	0
TOTAL SURFACE	0
UNDERGROUND	
LARGE	(REFER TO ARCHITECTURAL)
ACCESSIBLE	(REFER TO ARCHITECTURAL)
TOTAL UNDERGROUND	(REFER TO ARCHITECTURAL)
ON-STREET BICYCLE STALLS:	36
INDOOR BICYCLE STALLS:	185
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	52,272 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	51,059 SF
PROPOSED PERVIOUS SURFACE AREA	1,213 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.98



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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS
BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION

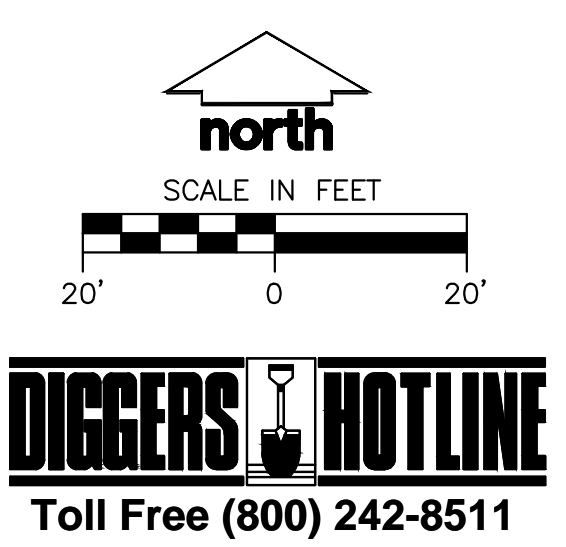
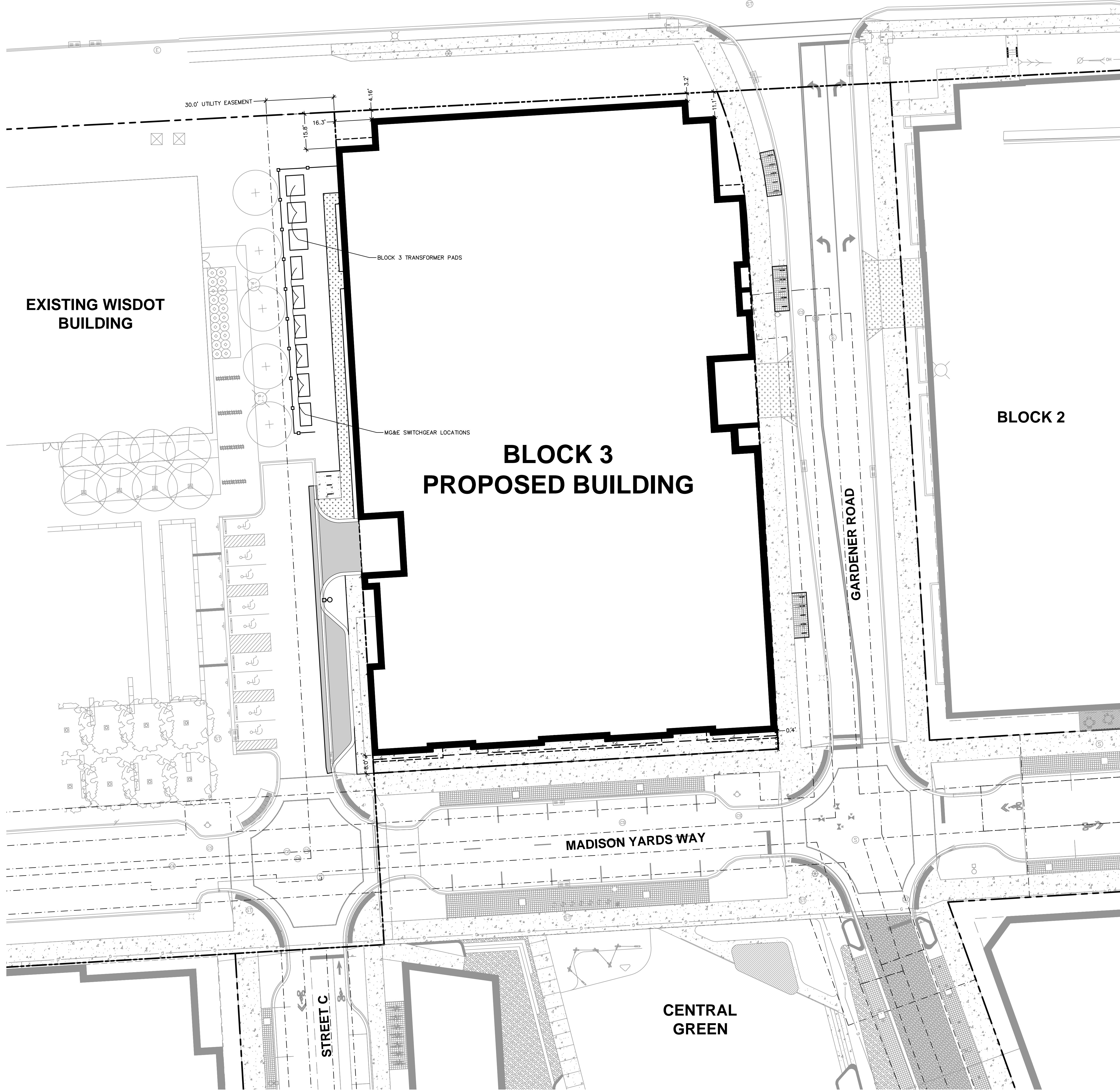
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 3
OVERALL SITE PLAN**

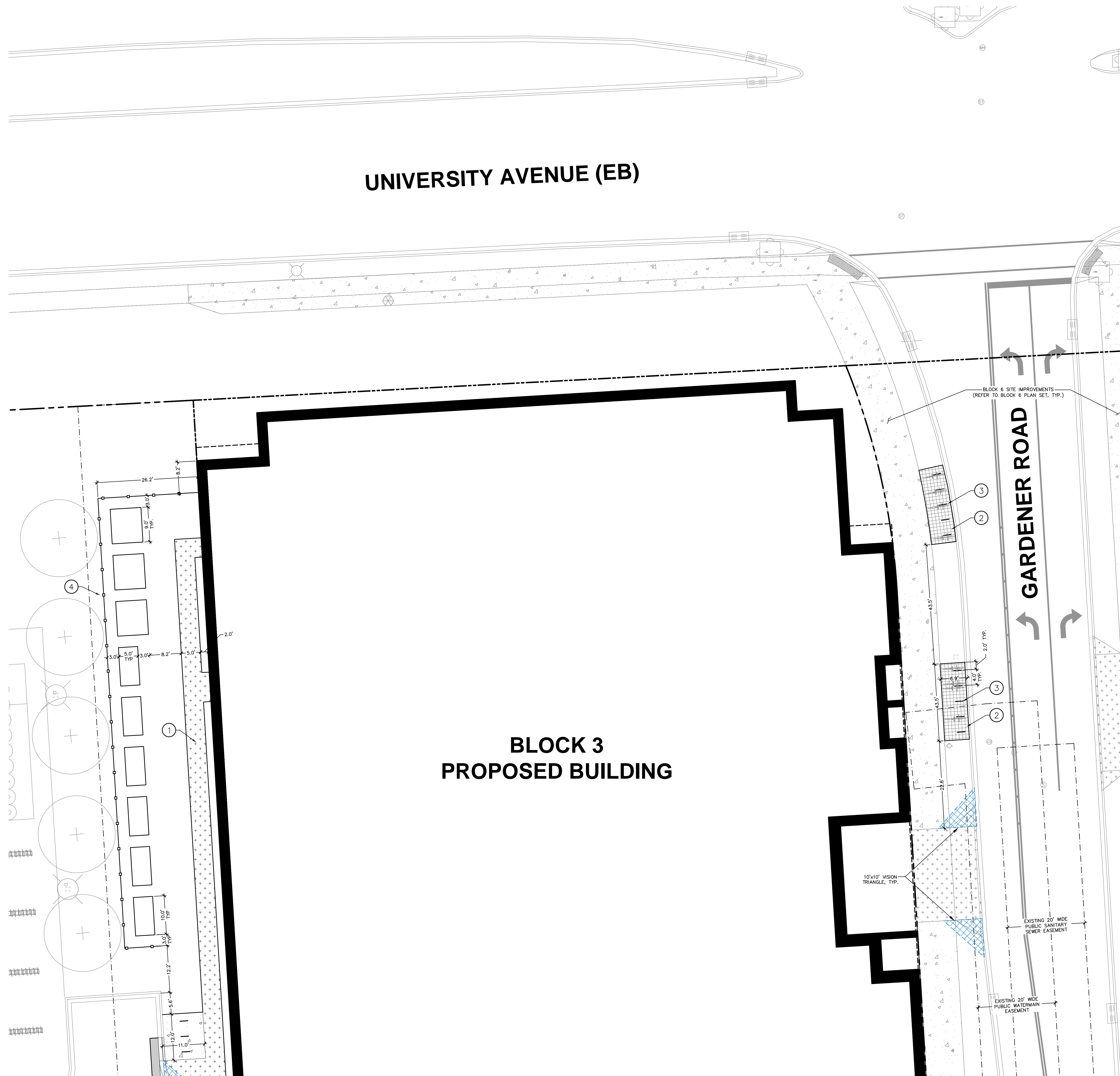
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B3-C1.0

JSD PROJECT NO: 19-0366



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UNIVERSITY AVENUE (EB)

BLOCK 3
PROPOSED BUILDING

GARDENER ROAD

- LEGEND**
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION
- NOTES**
1. HEAVY-DUTY CONCRETE PAVEMENT SECTION. SEE DETAIL.
 2. ARCHITECTURAL PAVERS. SEE DETAIL.
 3. CORTEN STEEL BIKE RACKS. SEE DETAIL.
 4. SCREENING FENCE. (REFER TO ARCHITECTURAL)



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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
HILL FARMS
BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
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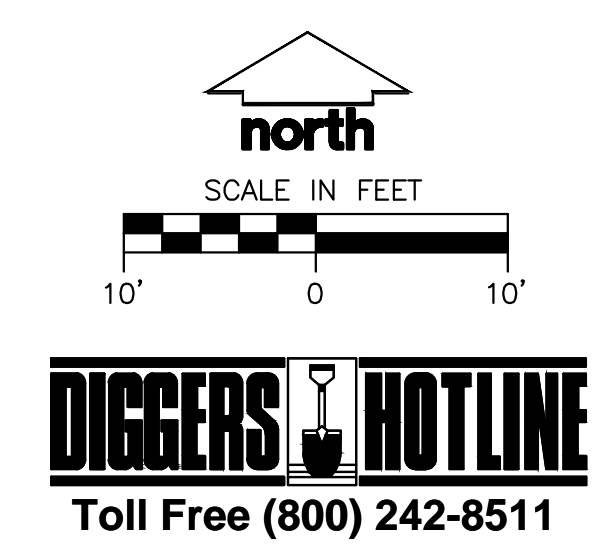
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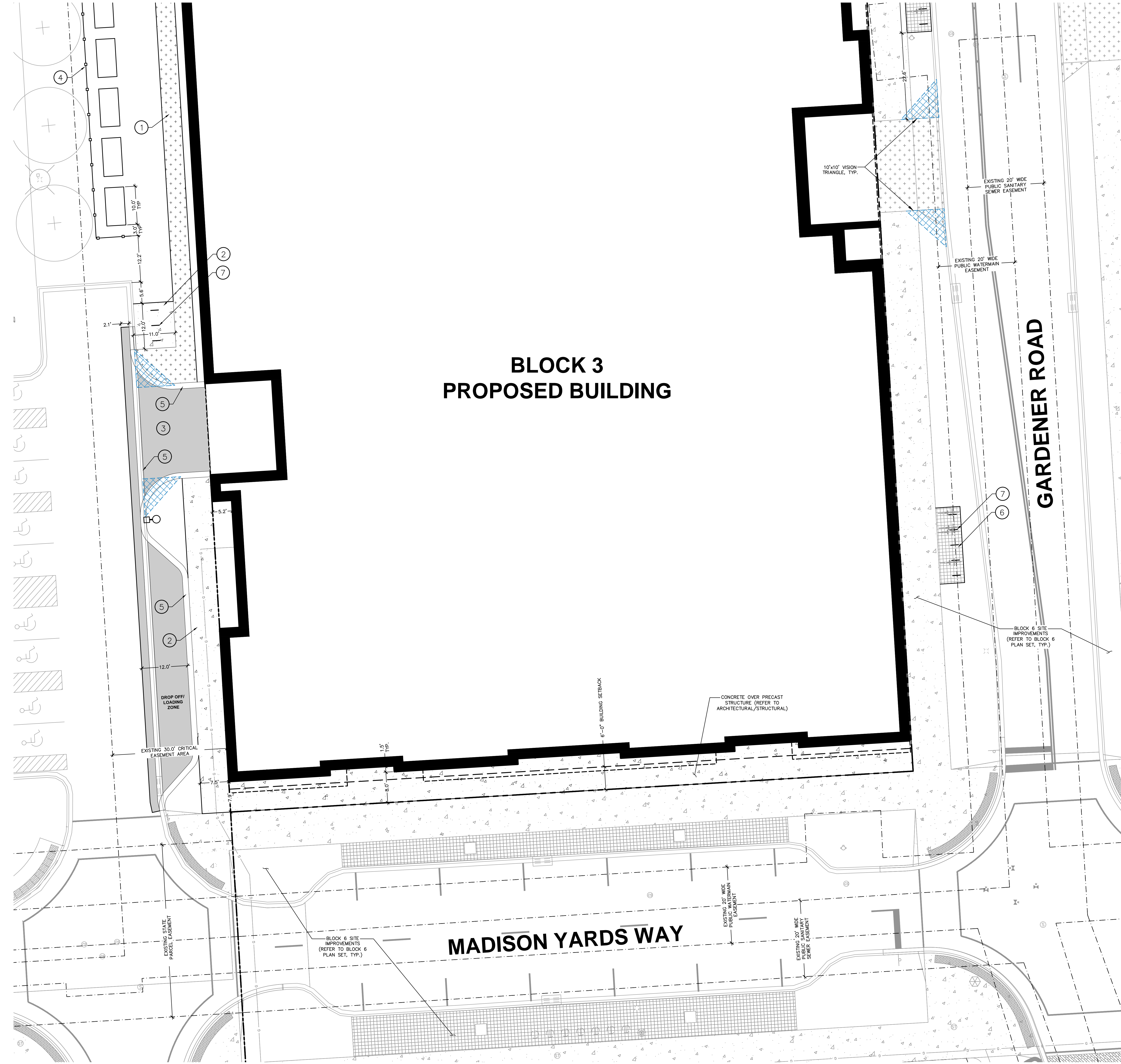
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Approved:

SHEET TITLE:
**BLOCK 3
DETAILED SITE PLAN
NORTH**

SHEET NUMBER:
B3-C1.1



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BLOCK 3 PROPOSED BUILDING

GARDENER ROAD

MADISON YARDS WAY

LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. HEAVY-DUTY CONCRETE PAVEMENT SECTION. SEE DETAIL.
2. CONCRETE SIDEWALK PAVEMENT SECTION. SEE DETAIL.
3. ASPHALT PAVEMENT. SEE DETAIL.
4. SCREENING FENCE. (REFER TO ARCHITECTURAL)
5. 18" VALLEY CURB. SEE DETAIL.
6. ARCHITECTURAL PAVERS. SEE DETAIL.
7. CORTEN STEEL BIKE RACKS. SEE DETAIL.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

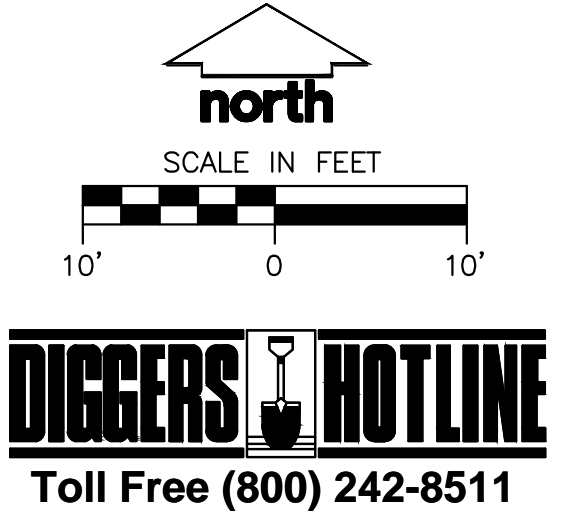
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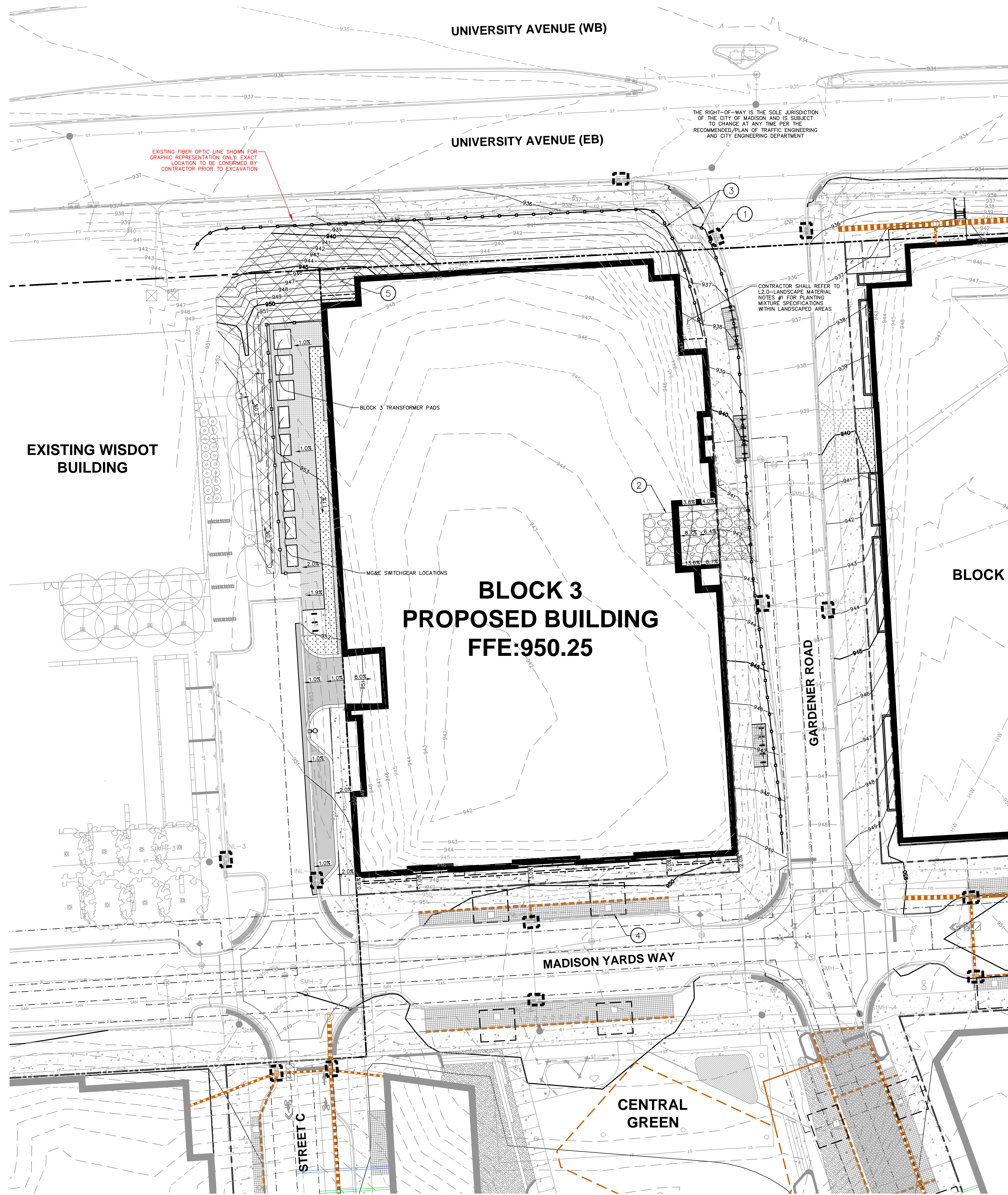
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 3
DETAILED SITE PLAN
SOUTH**

SHEET NUMBER:
B3-C1.2



DIGGERS HOTLINE
Toll Free (800) 242-8511



- LEGEND**
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION
- NOTES**
1. FRAMED INLET PROTECTION, TYP. (REFER TO BLOCK 6 PLAN SET)
 2. CONSTRUCTION ENTRANCE, SEE DETAIL.
 3. SILT FENCE, TYP. SEE DETAIL.
 4. SOIL CELL EXTENTS (REFER TO BLOCK 6 PLAN SET)
 5. EROSION MATTING, REFER TO EROSION CONTROL NOTE 13 AND DETAIL.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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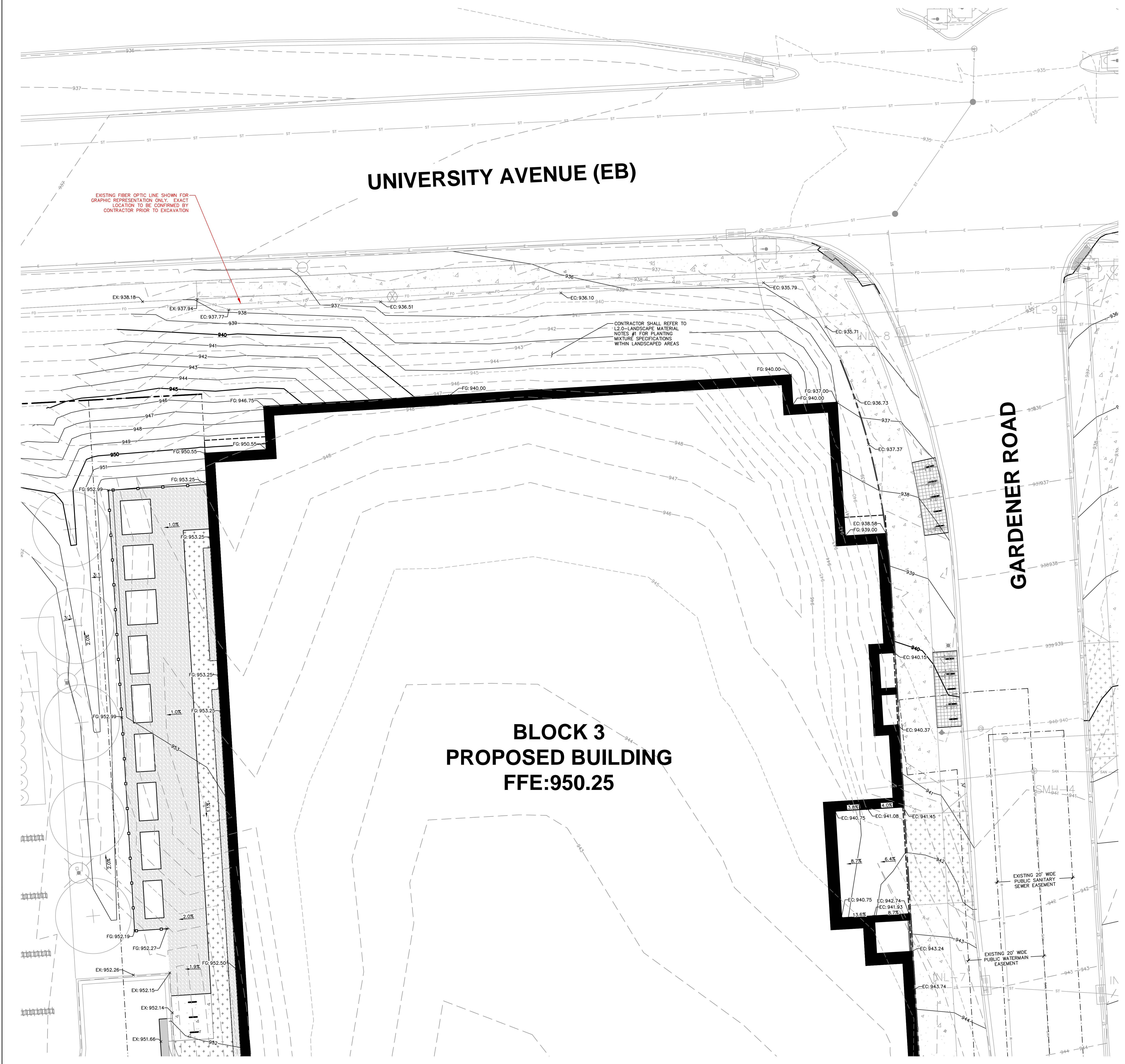
SHEET TITLE:
BLOCK 3 OVERALL GRADING & EROSION CONTROL PLAN

SHEET NUMBER:
B3-C2.0

JSD PROJECT NO: 19-0366

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LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



CREATE THE VISION TELL THE STORY

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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION

PLAN MODIFICATIONS:

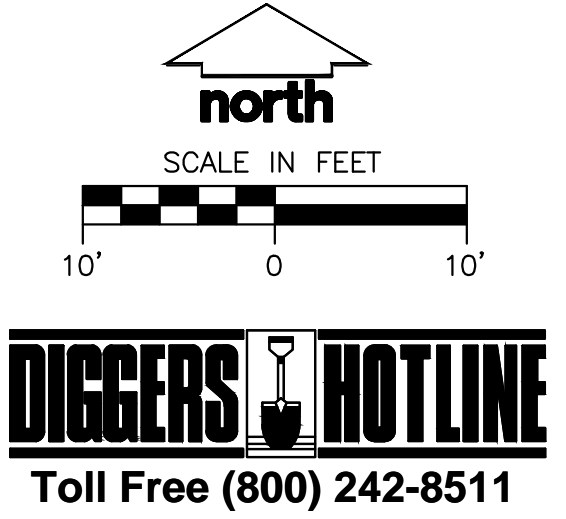
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Approved:

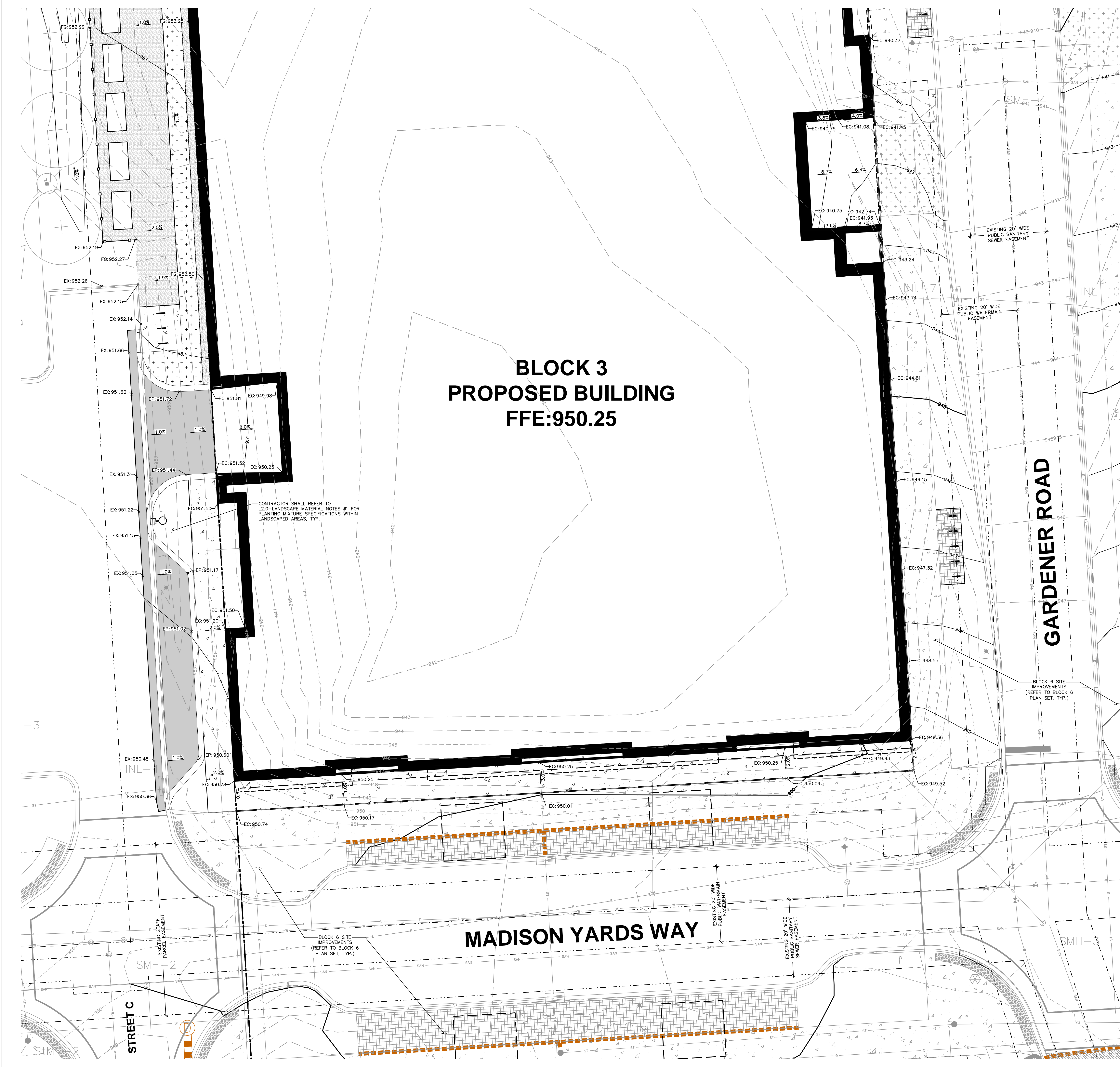
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**BLOCK 3
DETAILED GRADING PLAN
NORTH**

SHEET NUMBER:
B3-C2.1

JSD PROJECT NO: 19-0366



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LEGEND
 REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
 241 N. BROADWAY, SUITE 400
 MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
 702 GARDENER ROAD
 MADISON, WI 53705

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION

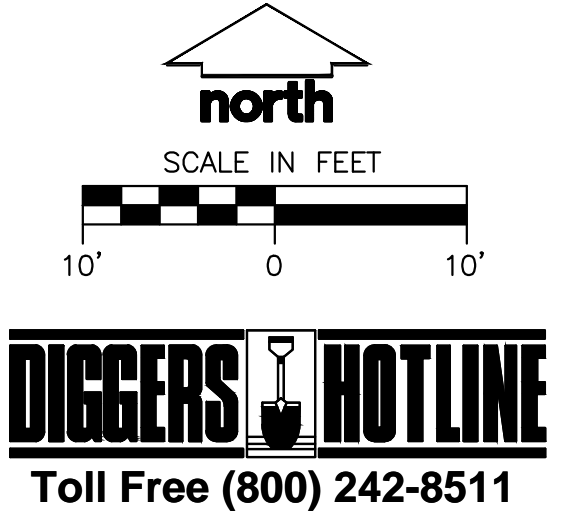
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Design/Drawn:
 Approved:

SHEET TITLE:
**BLOCK 3
 DETAILED GRADING PLAN
 SOUTH**

SHEET NUMBER:
B3-C2.2



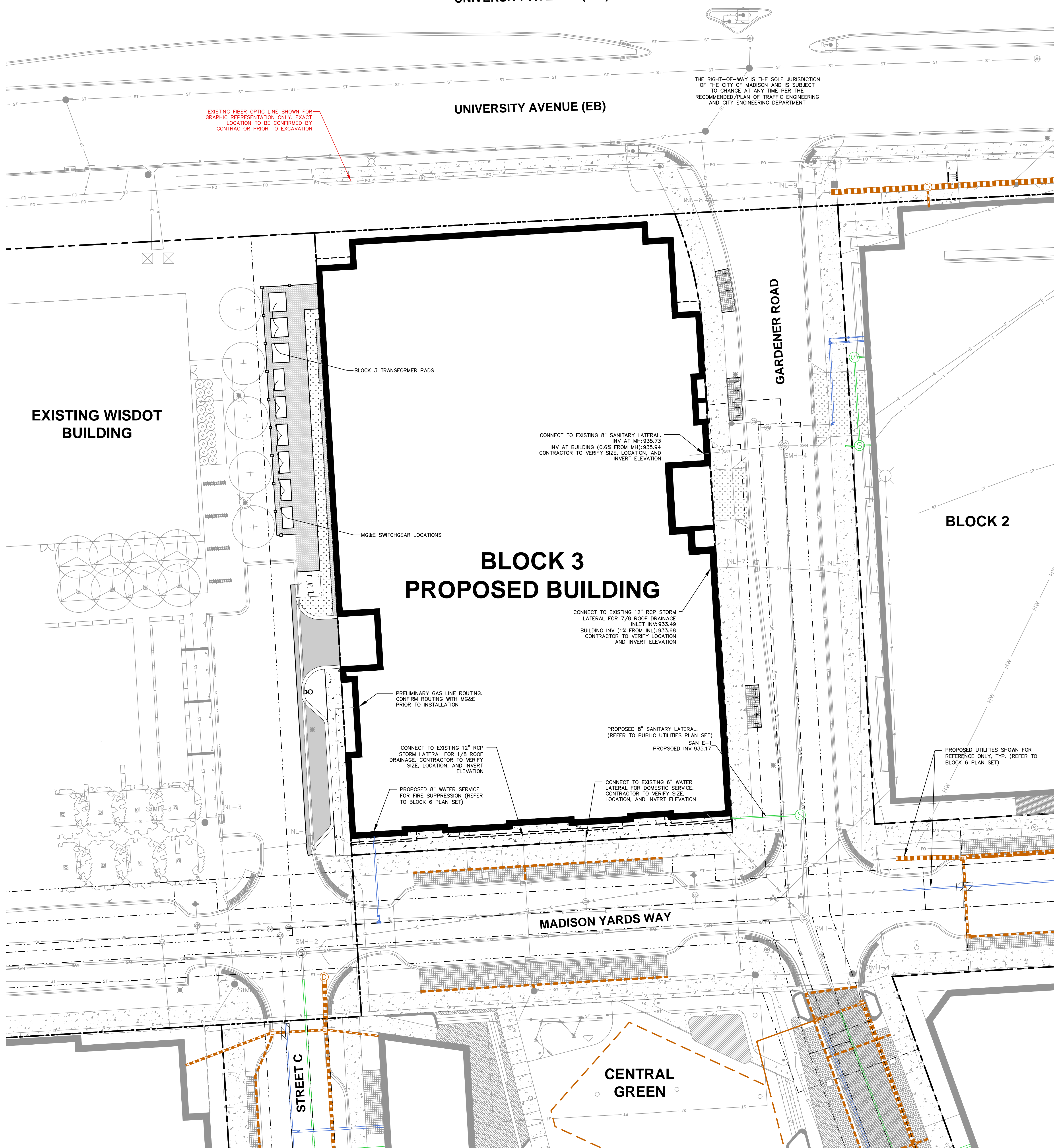
DIGGERS HOTLINE
 Toll Free (800) 242-8511

UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

EXISTING FIBER OPTIC LINE SHOWN FOR GRAPHIC REPRESENTATION ONLY. EXACT LOCATION TO BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION



EXISTING WISDOT BUILDING

BLOCK 3 PROPOSED BUILDING

GARDENER ROAD

BLOCK 2

MADISON YARDS WAY

STREET C

CENTRAL GREEN

LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
HILL FARMS
BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

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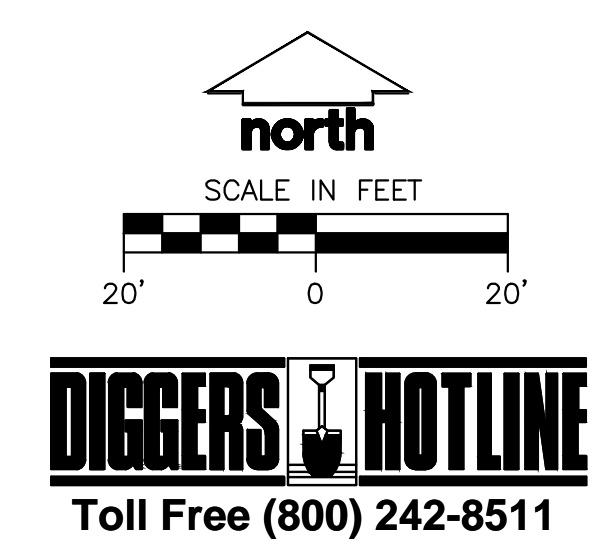
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Approved:

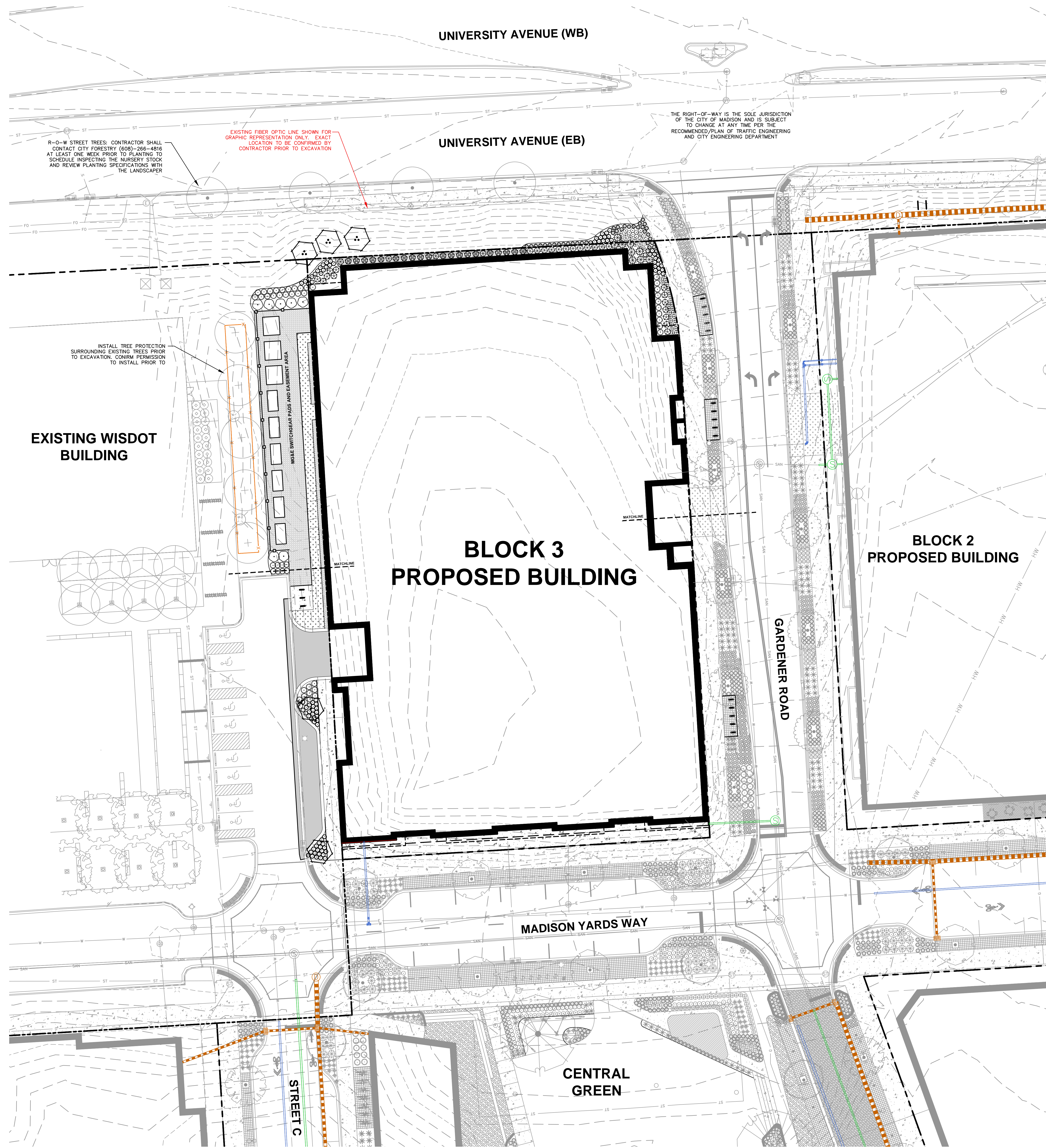
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BLOCK 3
UTILITY PLAN

SHEET NUMBER:
B3-C3.0

JSD PROJECT NO: 19-0366

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LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AJ	<i>Amelanchier laevis</i> 'JFS-Arb' / Spring Flurry Serviceberry	
	AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	
	AB	<i>Aronia melanocarpa</i> 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	HT	<i>Hydrangea macrophylla</i> 'Twist-n-Shout' / Twist-n-Shout Hydrangea	
	HLQ	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	<i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	TME	<i>Taxus x media</i> 'Everlow' / Yew	
	TMT	<i>Taxus x media</i> 'Tautonii' / Tauton Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CN	<i>Calamintha nepeta</i> 'Montrose White' / Montrose White Catmint	
	PVS	<i>Panicum virgatum</i> 'Shenandoah' / Switch Grass	
	RFS	<i>Rudbeckia fulgida speciosa</i> / Showy Coneflower	
	SC	<i>Salvia nemorosa</i> 'Caradonna' / Cardonna Perennial Salvia	
	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

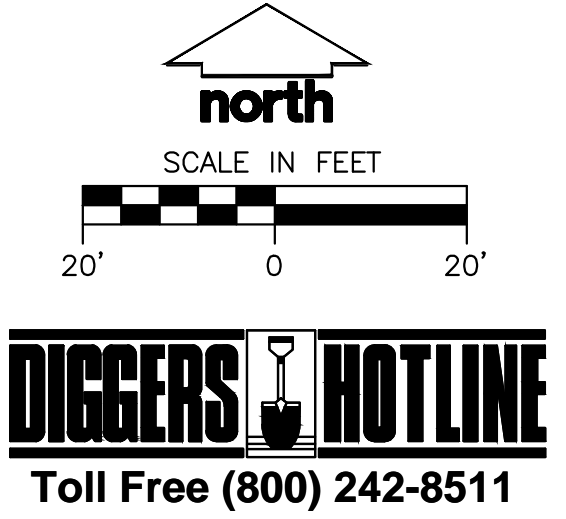
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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
BLOCK 3 OVERALL LANDSCAPE PLAN

SHEET NUMBER:
B3-L1.0



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BLOCK 3
PROPOSED BUILDING

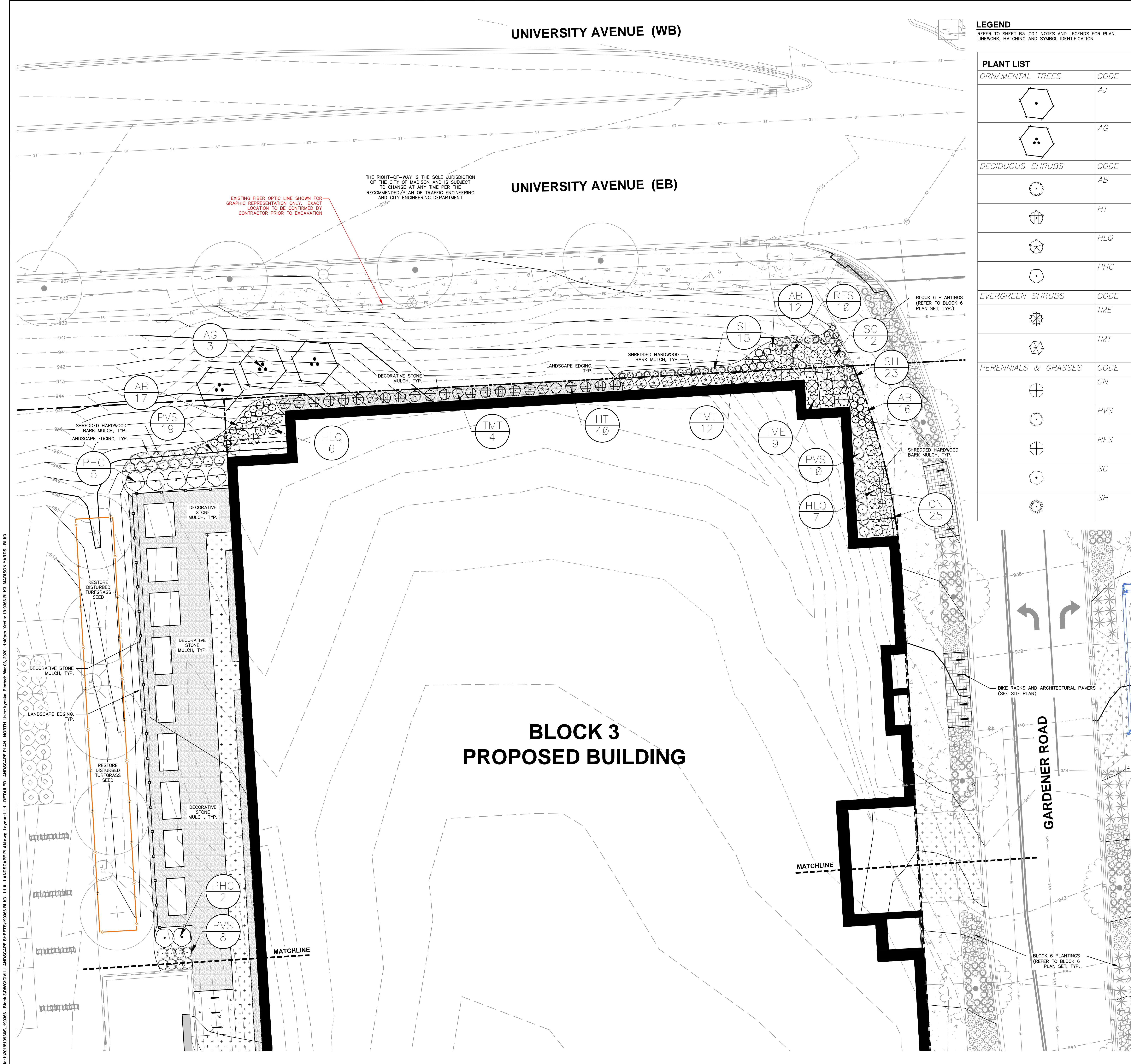
LEGEND

REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST

SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AJ	<i>Amelanchier laevis</i> 'JFS-Arb' / Spring Flurry Serviceberry
	AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	AB	<i>Aronia melanocarpa</i> 'UCONNAM166' TM / Low Scape Hedger Chokeberry
	HT	<i>Hydrangea macrophylla</i> 'Twist-n-Shout' / Twist-n-Shout Hydrangea
	HLQ	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea
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	SC	<i>Salvia nemorosa</i> 'Caradonna' / Caradonna Perennial Salvia
	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed



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161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

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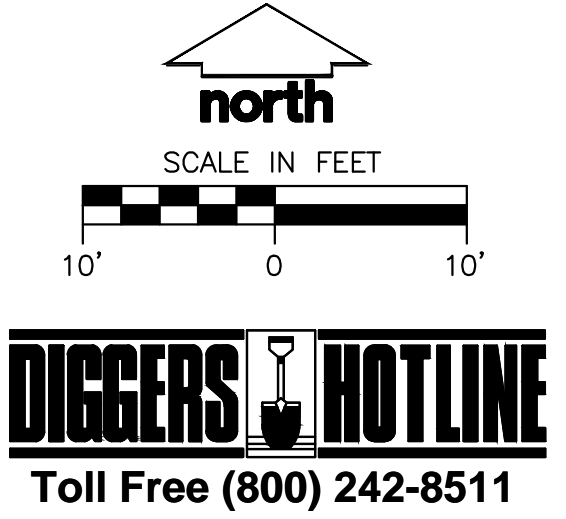
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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**BLOCK 3
DETAILED LANDSCAPE
PLAN - NORTH**

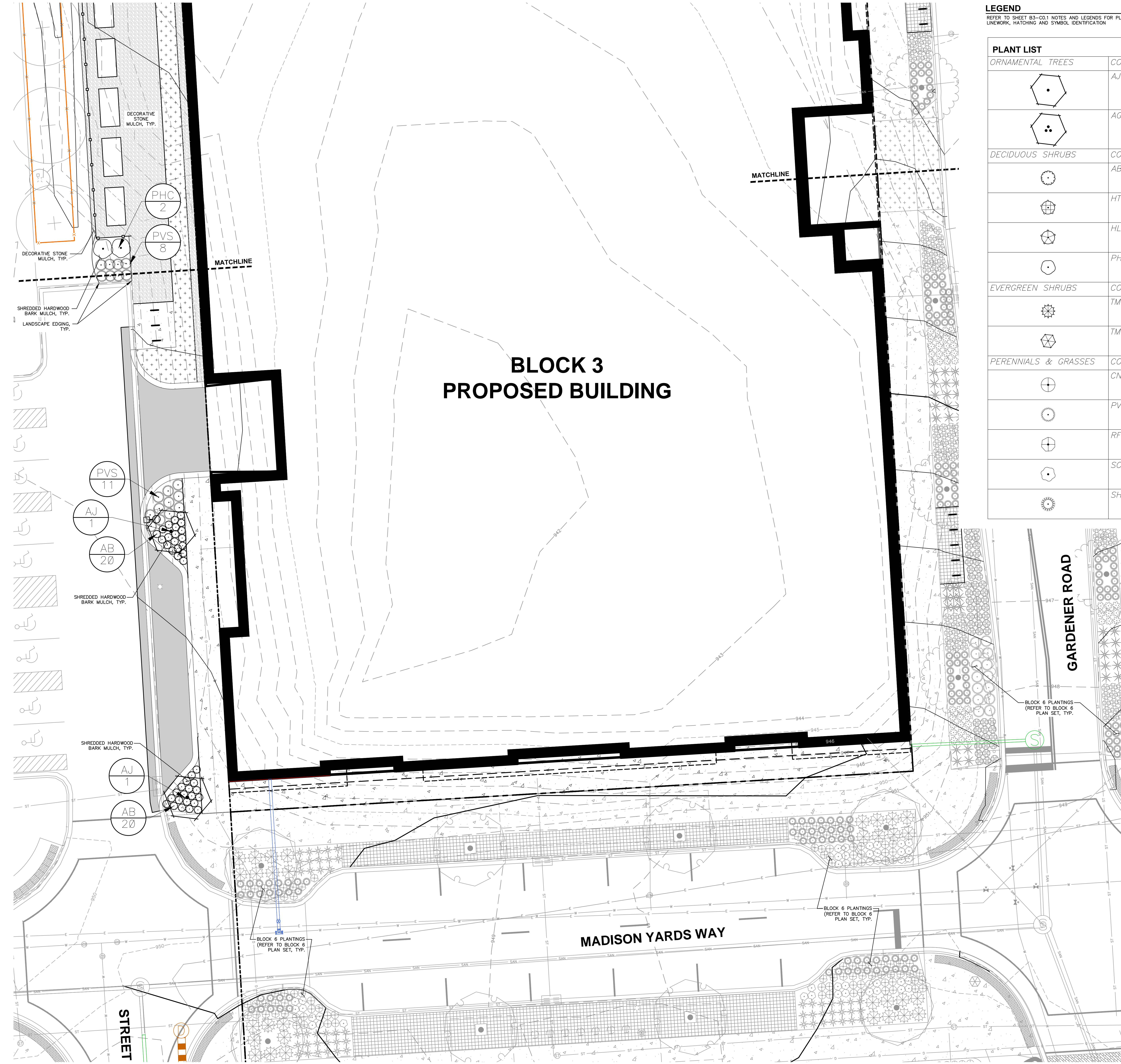
SHEET NUMBER:
B3-L1.1



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LEGEND
 REFER TO SHEET B3-CO.1 NOTES AND LEGENDS FOR PLAN
 LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AJ	<i>Amelanchier laevis</i> 'JFS-Arb' / Spring Flurry Serviceberry
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	AB	<i>Aronia melanocarpa</i> 'UCONNAM166' TM / Low Scape Hedger Chokeberry
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	TMT	<i>Taxus x media</i> 'Tauntonii' / Taunton Yew
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	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed



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MADISON REGIONAL OFFICE
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 VERONA, WISCONSIN 53593
 P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
 241 N. BROADWAY, SUITE 400
 MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
 702 GARDENER ROAD
 MADISON, WI 53705

REVIEW DRAWING
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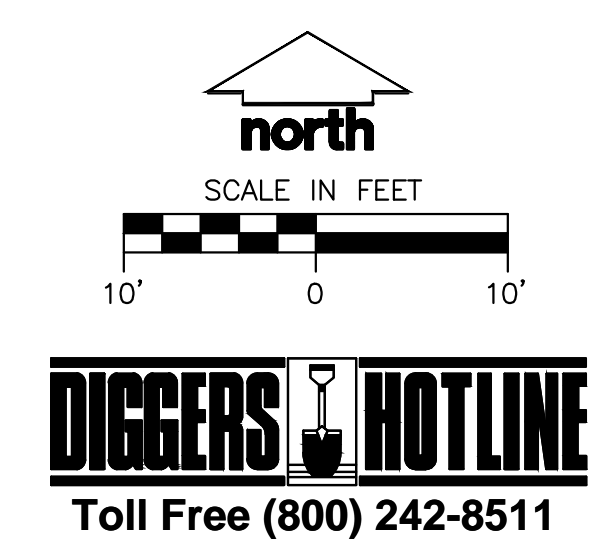
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Design/Drawn: MWS
 Approved: KJY

SHEET TITLE:
BLOCK 3 DETAILED LANDSCAPE PLAN - SOUTH

SHEET NUMBER:
B3-L1.2

JSD PROJECT NO: 19-036



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PLAN MODIFICATIONS:

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Design/Drawn:
Approved:

SHEET TITLE:
**BLK 3
FIRE ACCESS EXHIBIT**

SHEET NUMBER:
EX. A

JSD PROJECT NO: 19-0366

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	20' WIDE FIRE LANE
	26' WIDE FIRE LANE - AERIAL APPARATUS
	HYDRANT LOCATION
	PROPOSED STREET TREE LOCATION
	PROPOSED LIGHT POLE

NOTE:
ALL HOSE LAY ROUTES SHOWN
MEASURE 500 FEET OR LESS

City of Madison Fire Department
314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4728 Sheboygan Avenue
Contact Name & Phone #: Kevin Yeska, 608-848-5060

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

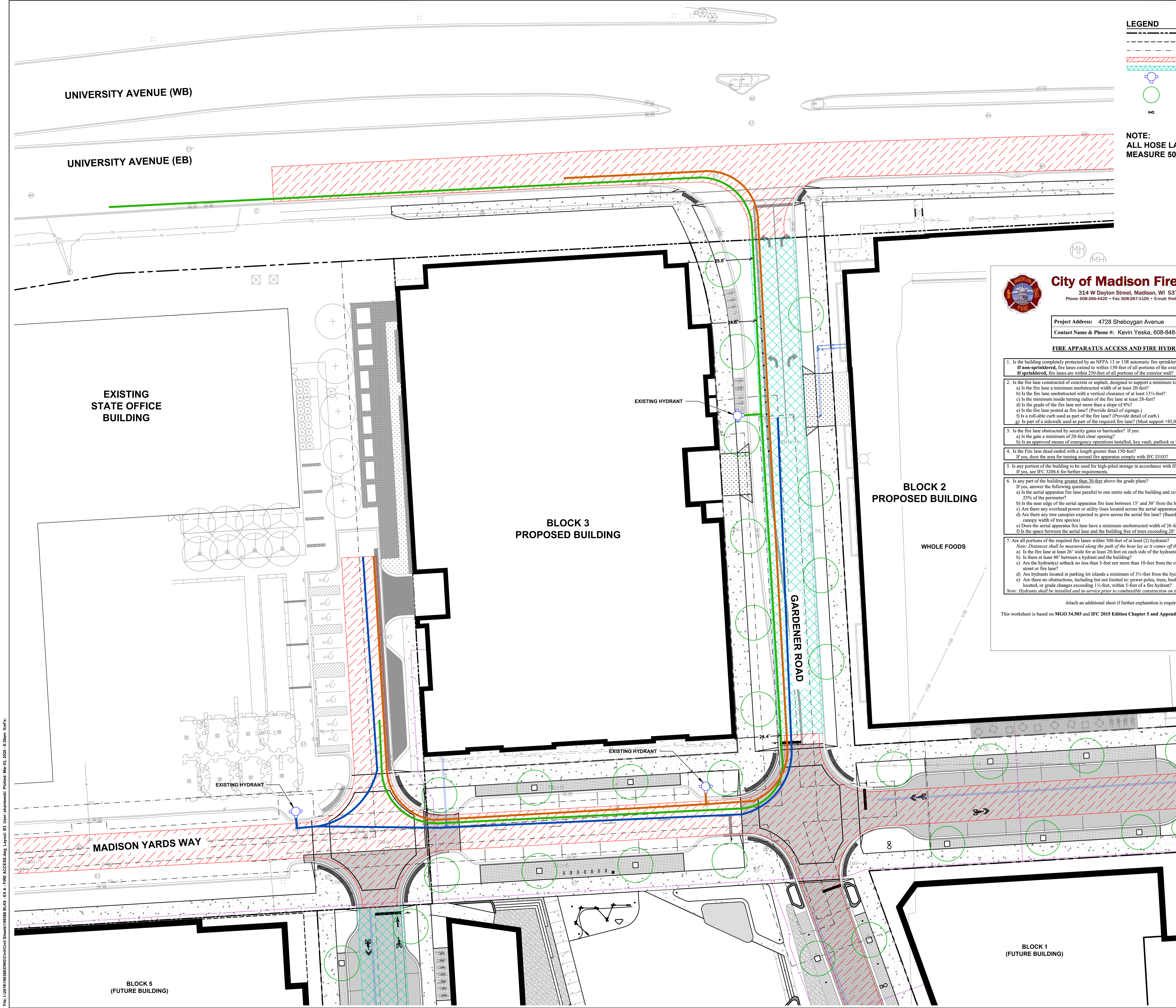
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	Yes	No	N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	Yes	No	N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	Yes	No	N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	Yes	No	N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	Yes	No	N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	Yes	No	N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	Yes	No	N/A
d) Is the grade of the fire lane not more than a slope of 8%?	Yes	No	N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	Yes	No	N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	Yes	No	N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	Yes	No	N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	Yes	No	N/A
a) Is the gate a minimum of 20-foot clear opening?	Yes	No	N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	Yes	No	N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	Yes	No	N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	Yes	No	N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	Yes	No	N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?	Yes	No	N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	Yes	No	N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	Yes	No	N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	Yes	No	N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	Yes	No	N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	Yes	No	N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	Yes	No	N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	Yes	No	N/A
If yes, answer the following questions:			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	Yes	No	N/A
b) Is there at least 40' between a hydrant and the building?	Yes	No	N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	Yes	No	N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	Yes	No	N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	Yes	No	N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

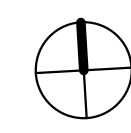
This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D, please see the codes for further information.

Revised 1/21/2018



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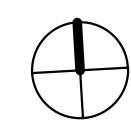
SITE MAP



VICINITY MAP



PROJECT LOCATION



CONSULTANTS

OWNER/DEVELOPER

SMITH GILBANE
 C/O - GILBANE DEVELOPMENT COMPANY
 225 W. WACKER DRIVE, SUITE 2160
 CHICAGO, IL 60606
 P:312.614. 4110
 SHAWN ZIMNY: SZIMNY@GILBANECO.COM

ARCHITECT

KTGY GROUP, INC.
 217 N. JEFFERSON ST., SUITE 400
 CHICAGO, IL 60661
 P:312.549.4900
 CRAIG PRYDE: CPRYDE@KTGY.COM

LANDSCAPE ARCHITECT

JSD PROFESSIONAL SERVICES, INC.
 161 HORIZON DRIVE, SUITE 101
 VERONA, WI 53593
 P:608.848.5060
 KEVIN YESKA: KEVIN.YESKA@JSDINC.COM

INTERIOR DESIGNER

MARY COOK ASSOCIATES
 4011 N. RAVENSWOOD AVE, #112
 CHICAGO, IL 60613
 P:773.975.9500
 CONTACT:

CIVIL

JSD PROFESSIONAL SERVICES, INC.
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 VERONA, WI 53593
 P:608.848.5060
 KEVIN YESKA: KEVIN.YESKA@JSDINC.COM

STRUCTURAL

PIERCE ENGINEERS, INC.
 181 N. BROADWAY
 MILWAUKEE, WI 53202
 P:414.278.6060
 ERIC P. FEILE: EFEILE@PIERCEENGINEERS.COM

MEP

LATIMER SOMMERS & ASSOCIATES
 3639 SW SUMMERFIELD DRIVE, SUITE A
 TOPEKA, KA 66614
 P:785. 233. 3232
 DAVID EVERHART: DEVERHART@LSAPA.COM



MADISON YARDS: BLOCK 3

NEW CONSTRUCTION
 UDC SIP SUBMISSION
 03.03.2020



KTGY Project No: #20170922

Project Contact: Anthony Margadonna
 Email: amargadonna@ktgy.com
 Principal: Craig Pryde
 Project Designer: Eric Lukasik

Developer



Gilbane Development Company
 Contact: Shawn Zimny
 Address: 225. W. Wacker Dr. Suite 2160
 Chicago, IL 60606
 Phone: 312.907.4493

MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thorough knowledge with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any deficits in construction if these procedures are not followed.

UDC SIP SUBMISSION
 03.03.2020

COVER



KTGY Project No: #20170922

Project Contact: Anthony Margadonna
 Email: amargadonna@ktgy.com
 Principal: Craig Pryde
 Project Designer: Eric Lukasik

Developer



Gilbane Development Company
 Contact: Shawn Zimny
 Address: 225. W. Wacker Dr. Suite 2160 Chicago, IL 60606
 Phone: 312.907.4493

- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
 - VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
 - FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC. PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
 - ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
 - SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK. TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
 - CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
 - PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
 - PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

- GENERAL NOTES - LEVEL 1**
- PODIUM BUILDING IS CONSTRUCTION TYPE IA, ALL MATERIALS AND FINISHES SHALL BE NON-COMBUSTIBLE AND AS REQUIRED BY THE BUILDING CODE.
 - DIMENSIONS ARE TO FACE OF STUD U.N.O.
 - SEE "C" DRAWINGS FOR ALL FINISH GRADE ELEVATIONS.
 - SEE "L" DRAWINGS FOR EXTERIOR CONCRETE SIDEWALKS/ CONNECTIONS TO GRADE LEVEL EXITS.
 - PROVIDE WATERPROOFING MEMBRANE PROTECTION ON THE OUTSIDE SURFACE OF ALL BASEMENT FOUNDATION WALLS ADJACENT TO OCCUPIED SPACES WITH SUB-SURFACE DRAINAGE. SEE SPECIFICATIONS FOR ADDITIONAL WATERPROOFING INFORMATION. SEE PLUMBING DRAWINGS FOR SUB-SURFACE DRAINAGE.
 - MIN. CLEAR HEIGHT IN DRIVE AISLES AND PARKING SPACES SHALL BE 7 FT ABOVE THE FINISH FLOOR AND 8'-2" CLEAR IN AREAS FOR ACCESSIBLE VAN PARKING/ ACCESS.
 - PROVIDE REMOTE CONTROLLED ACCESS TO RESIDENTIAL PARKING GARAGE. SEE SPECIFICATION FOR OVERHEAD COILING GATE REQUIREMENTS.
 - NOTE DELETED.
 - PROVIDE DIRECTIONAL SIGNAGE IN PARKING GARAGE, SUSPENDED FROM CEILING - MIN. 7 FT CLEAR TO BOTTOM OF SIGNAGE. COORDINATE WITH FIRE PROTECTION AND LIGHT FIXTURES FOR CLEAR VIEW OF SIGNAGE.
 - PROVIDE SIGNAGE FOR RETAIL PARKING AREA AND HANDICAPPED PARKING SPACES.
 - PROVIDE ELECTRIC VEHICLE CHARGING STATIONS AS INDICATED ON THE PLANS WITH REQUIRED SIGNAGE.
 - PROVIDE 4" WIDE PAINTED PARKING STRIPING IN LAYOUT INDICATED. PROVIDE DIAGONAL STRIPING IN NON-PARKING STALLS OR AS INDICATED. PROVIDE NUMBERED PARKING STALLS (PAINTED). MIN. STALL SIZE 8'-0" x 10'0"
 - PROVIDE MISC. STEEL PIPE PROTECTION AT ALL VERTICAL PLUMBING LOCATIONS. COORDINATE WITH PLUMBING DRAWINGS.
 - PROVIDE BROOM FINISH ON ALL CONCRETE PARKING SURFACES. SEE SPECIFICATIONS FOR CONCRETE SEALER REQUIREMENTS ON ALL EXTERIOR CONCRETE SLABS.
 - SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS.
 - ALL EXPOSED CMU OR OTHER NON-FINISHED MATERIALS SHALL BE PAINTED.
 - COORDINATE ALL OPENINGS IN POST-TENSIONED CONCRETE SLABS. DO NOT FIELD CUT OPENINGS.
 - PROVIDE INSULATED / HEATED PLENUM CEILING ABOVE PARKING AREA WITH SUSPENDED LAYIN CEILING SYSTEM W/ HOLD DOWN CLIPS. SEE SPECIFICATIONS FOR CEILING SYSTEM REQUIREMENTS.
 - NO INTERIOR FINISHES PROVIDED IN RETAIL SPACE. INSULATE EXTERIOR WALLS ONLY.
 - COORDINATE TRASH COMPACTOR REQUIREMENTS WITH OWNER'S SUPPLIER FOR CONNECTIONS, LOADING CAPACITY AND LOCATION OF TRASH CHUTE ABOVE.
 - INTERIOR MECHANICAL/ UTILITY SPACES TO BE PRIMED/ PAINTED.
 - SEE "I" (INTERIOR) DRAWINGS FOR BIKE STORAGE SYSTEMS/ SPECIFICATIONS.

MADISON YARDS - BLOCK 3

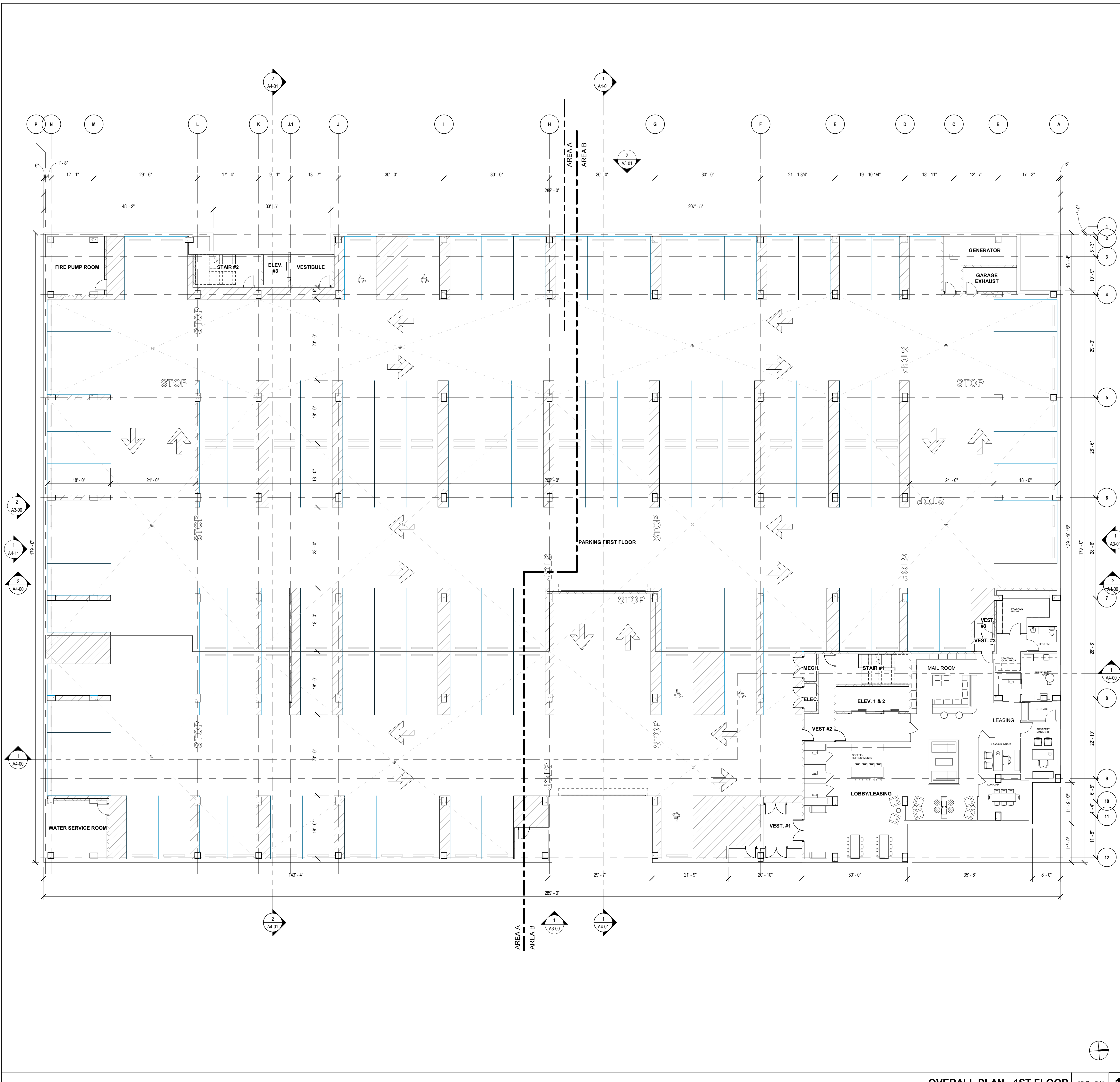
MADISON, WI

No.	Date	Description
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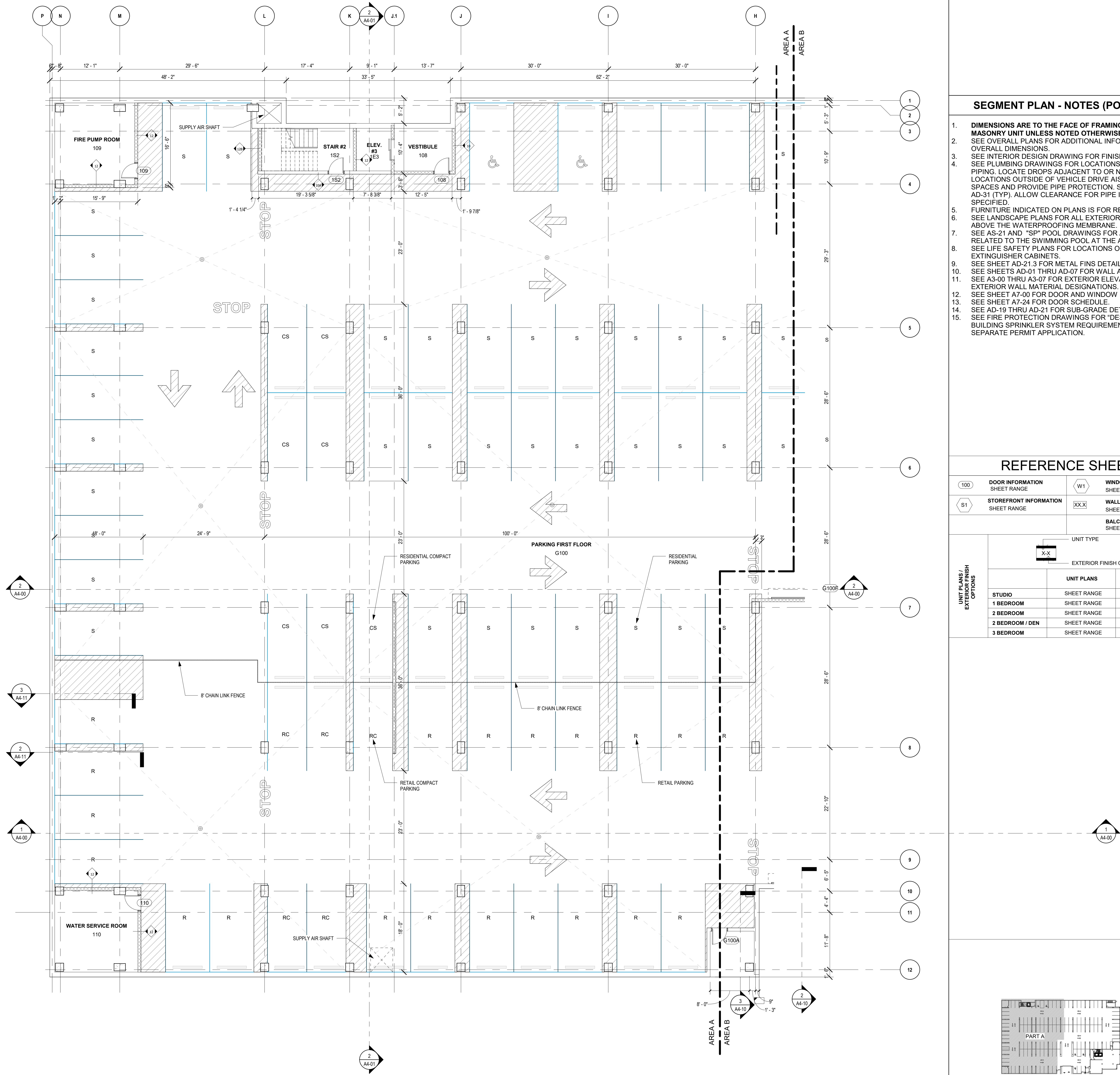
It is the client's responsibility prior to or during construction to notify the architect in writing of any personnel errors or omissions in the plans and specifications of which a contractor through knowledge with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

UDC SIP
 SUBMISSION
 03.03.2020

OVERALL PLAN -
 FIRST FLOOR



OVERALL PLAN - 1ST FLOOR 3/32" = 1'-0" **1**



SEGMENT PLAN - NOTES (PODIUM)

1. DIMENSIONS ARE TO THE FACE OF FRAMING OR CONCRETE MASONRY UNIT UNLESS NOTED OTHERWISE.
2. SEE OVERALL PLANS FOR ADDITIONAL INFORMATION AND OVERALL DIMENSIONS.
3. SEE INTERIOR DESIGN DRAWING FOR FINISHES.
4. SEE PLUMBING DRAWINGS FOR LOCATIONS OF VERTICAL PIPING. LOCATE DROPS ADJACENT TO OR NEAR COLUMN LOCATIONS OUTSIDE OF VEHICLE DRIVE AISLES / PARKING SPACES AND PROVIDE PIPE PROTECTION. SEE DETAIL 5/AD-31 (TYP). ALLOW CLEARANCE FOR PIPE INSULATION AS SPECIFIED.
5. FURNITURE INDICATED ON PLANS IS FOR REFERENCE ONLY.
6. SEE LANDSCAPE PLANS FOR ALL EXTERIOR AMENITY ITEMS ABOVE THE WATERPROOFING MEMBRANE.
7. SEE AS-21 AND "SP" POOL DRAWINGS FOR ALL DETAILS RELATED TO THE SWIMMING POOL AT THE AMENITY DECK.
8. SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
9. SEE SHEET AD-21.3 FOR METAL FINIS DETAILS AT GARAGE.
10. SEE SHEETS AD-01 THRU AD-07 FOR WALL ASSEMBLIES.
11. SEE A3-00 THRU A3-07 FOR EXTERIOR ELEVATIONS AND EXTERIOR WALL MATERIAL DESIGNATIONS.
12. SEE SHEET A7-00 FOR DOOR AND WINDOW ELEVATIONS.
13. SEE SHEET A7-24 FOR DOOR SCHEDULE.
14. SEE AD-19 THRU AD-21 FOR SUB-GRADE DETAILS.
15. SEE FIRE PROTECTION DRAWINGS FOR "DESIGN-BUILD" BUILDING SPRINKLER SYSTEM REQUIREMENTS UNDER SEPARATE PERMIT APPLICATION.

REFERENCE SHEETS

100	DOOR INFORMATION SHEET RANGE	W1	WINDOW INFORMATION SHEET RANGE
S1	STOREFRONT INFORMATION SHEET RANGE	XX.X	WALL TYPES SHEET RANGE
			BALCONY TYPES SHEET RANGE

UNIT PLANS / EXTERIOR FINISH OPTIONS	UNIT TYPE	
	UNIT PLANS	EXTERIOR FINISH OPTIONS
STUDIO	SHEET RANGE	SHEET RANGE
1 BEDROOM	SHEET RANGE	SHEET RANGE
2 BEDROOM	SHEET RANGE	SHEET RANGE
2 BEDROOM / DEN	SHEET RANGE	SHEET RANGE
3 BEDROOM	SHEET RANGE	SHEET RANGE

KTGY Project No: #20170922

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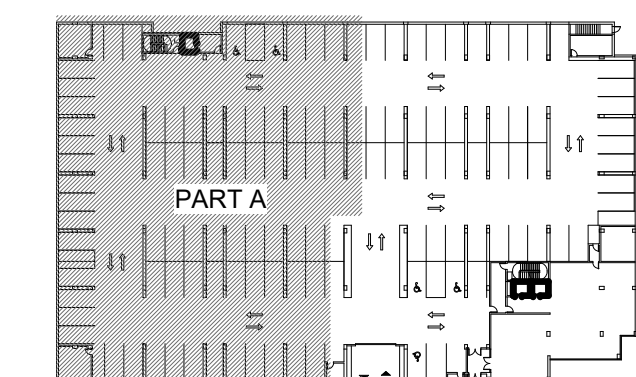
MADISON, WI

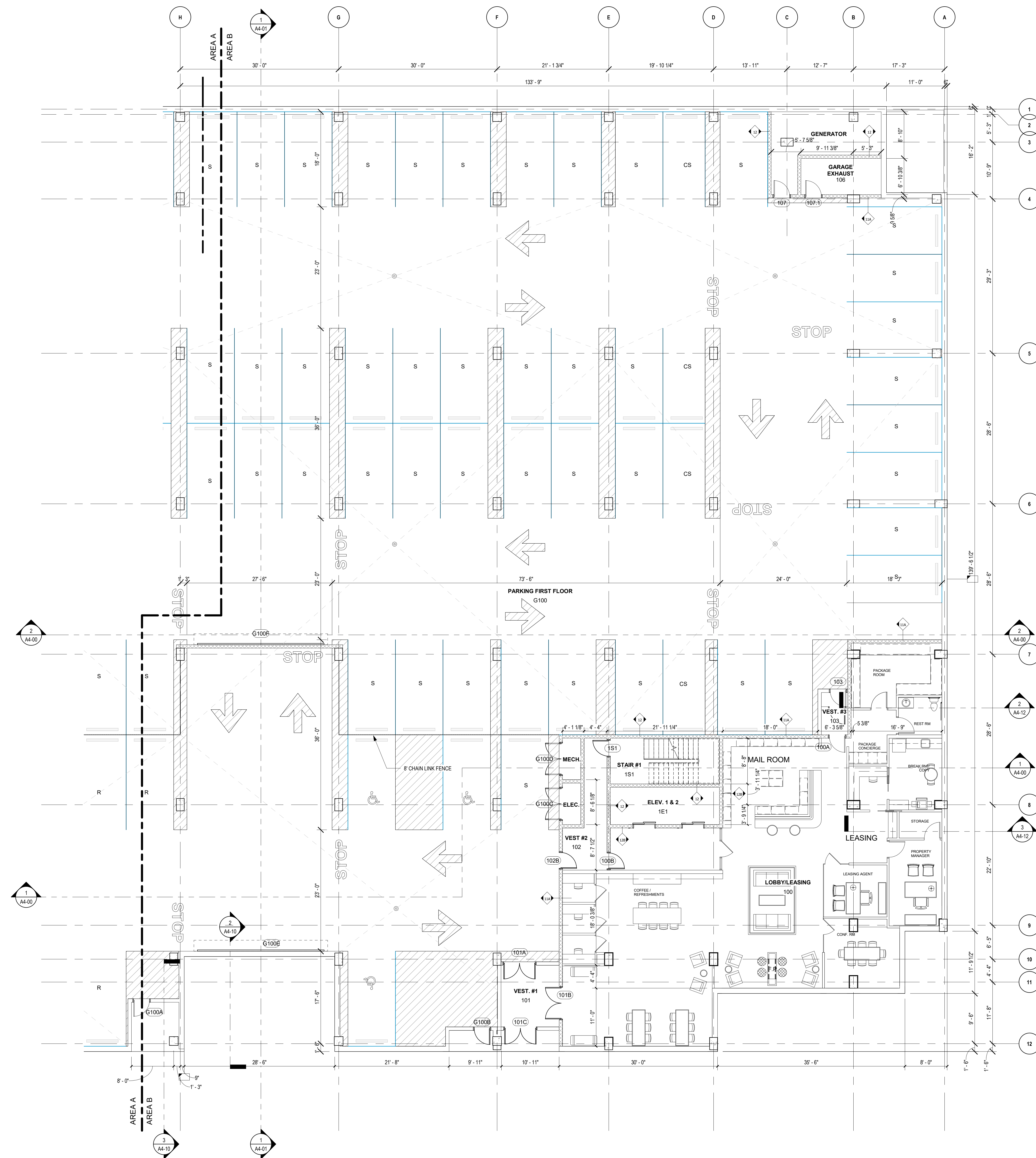
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UDC SIP SUBMISSION
03.03.2020

PART PLAN - FIRST FLOOR
PART A





1. ALL WALLS IN LOBBY/LEASING AREA ARE TO BE WALL TYPES 16 A,B,C,D,U,N,O



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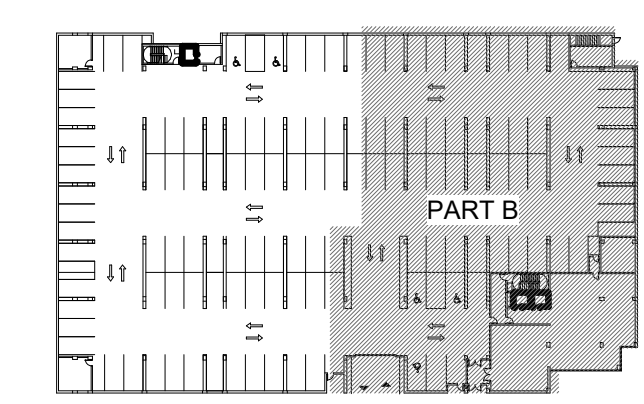
MADISON, WI

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It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications of which a contractor through knowledge with the building codes and methods of construction should necessarily be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

UDC SIP SUBMISSION
 03.03.2020

PART PLAN - FIRST FLOOR
PART B



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC. PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK. TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND/OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

PLAN NOTES - LEVEL 2

1. PODIUM BUILDING IS CONSTRUCTION TYPE IA. ALL MATERIALS AND FINISHES SHALL BE NON-COMBUSTIBLE AND AS REQUIRED BY THE BUILDING CODE.
2. DIMENSIONS IN PODIUM BUILDING ARE TO FACE OF WALL U.N.O.
3. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O. FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
5. SEE SHEETS "A0-20 THRU A0-27" FOR LIFE SAFETY DIAGRAMS.
6. SEE SHEETS "A0-31 THRU A0-38" FOR ACCESSIBILITY REFERENCE INFORMATION. INFORMATION ON THESE SHEETS ARE INCLUDED FOR REFERENCE ONLY.
7. SEE "A2-02"
8. SEE "L" DRAWINGS FOR LANDSCAPE PLANS/ DETAILS.
9. SEE "SP" DRAWINGS FOR SWIMMING POOL PLANS AND DETAILS.
10. SEE "P" DRAWINGS FOR PLAZA DRAINAGE SYSTEMS.
11. PROVIDE APPLIED WATERPROOFING MEMBRANE PROTECTION WITH DRAINAGE MATT, INSULATION AND PROTECTION BOARD ON CONCRETE PODIUM SLAB AT EXTERIOR AMENITY AREAS. COORDINATE WITH LANDSCAPE DESIGN FOR EXTERIOR AMENITIES, PLANTER CURBS, ACCESSORY STRUCTURES AND PLUMBING DRAWINGS FOR DRAINAGE REQUIREMENTS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. SEE SHEET "AD-21" AND SPECIFICATION SECTION 07 55 56.
12. PROVIDE 24"x24" PRECAST CONCRETE PAVER SYSTEM WITH ADJUSTABLE PEDESTALS AND SPACERS AS REQUIRED TO ACHIEVE A LEVEL WALKING SURFACE. COORDINATE WITH LANDSCAPE DRAWINGS.
13. SEE "S" (STRUCTURAL) DRAWINGS FOR SLAB EDGE DIMENSIONS AT ALL BALCONIES AND AMENITY DECK AREAS. COORDINATE EDGE OF SLAB WITH EXTERIOR FACE OF SHEATHING (TYPICAL).
14. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
15. ALL RAILINGS, LIGHTING BOLLARDS AND OTHER SIMILAR SYSTEMS AT THE AMENITY DECK LEVEL SHALL BE MOUNTED TO THE STRUCTURAL SLAB AND CONNECTIONS COORDINATED WITH INSTALLATION OF WATERPROOFING MEMBRANE. COORDINATE JOINTS/ SUPPORT OF PAVERS AS REQUIRED. SEE LANDSCAPE DRAWINGS FOR LOCATION AND FIXTURE SPECIFICATIONS.
16. PENETRATIONS THROUGH THE CONCRETE SLAB SHALL BE SLEEVED AND NOT FILED CUT/ DRILLED. FIRESTOP AS REQUIRED TO MAINTAIN RATINGS OF SLAB.
17. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
18. EXTERIOR BALCONIES AT OUTSIDE PERIMETER LOCATIONS SHALL CONSIST OF DEPRESSED CONCRETE SLAB W/ 60 MIL ELASTOMERIC MEMBRANE. 5/4" DECKING OVER TREATED WOOD SLEEPERS IN REMOVABLE SECTIONS FOR MAINTENANCE.
19. INTERIOR WALLS/ CEILINGS OF MECHANICAL/ UTILITY SPACES SHALL BE PRIMED / PAINTED.

LEGEND

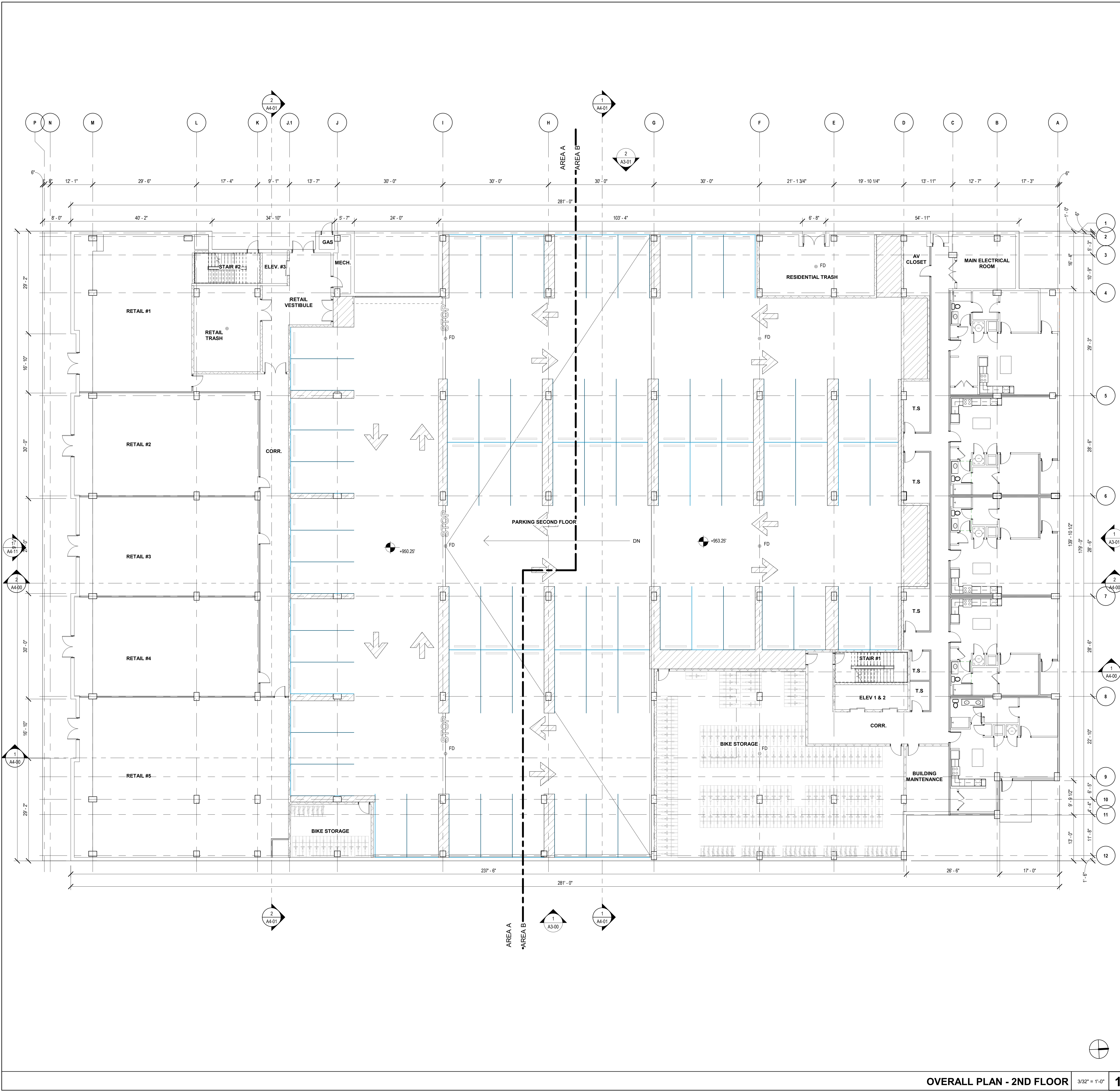
- 2 HR FIREWALL
- 3 HR FIREWALL
- - - - - ADA ACCESSIBLE ROUTE

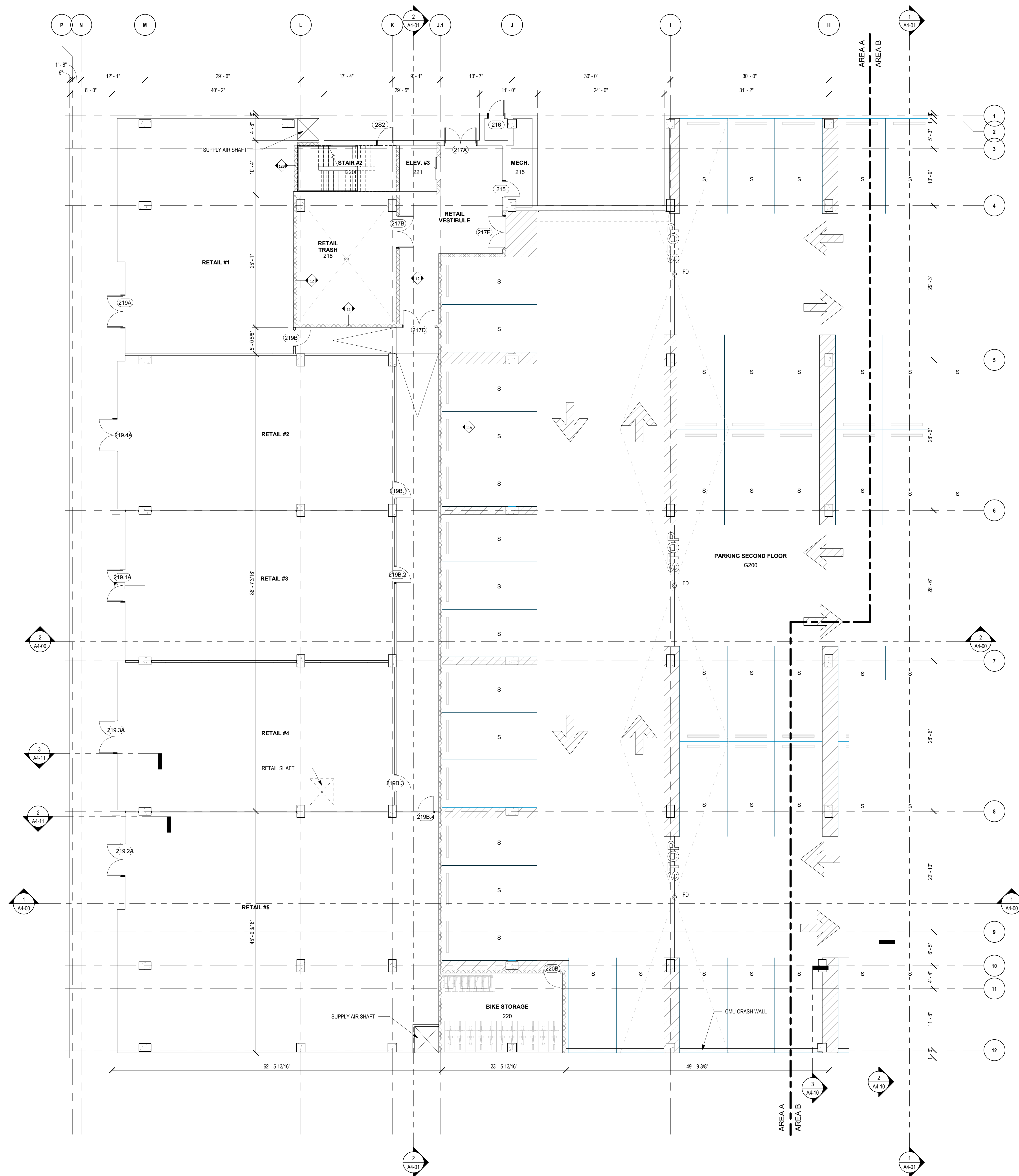
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03.03.2020

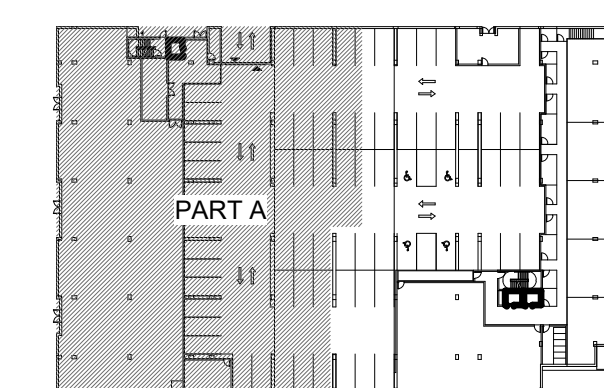
OVERALL PLAN - SECOND FLOOR

A2-02





1. ALL WALLS IN RETAIL AREA ARE TO BE WALL TYPES 16 A,B,C,D U.N.O



KTGY Project No: #20170922

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 Email: amargadonna@ktgy.com
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 Project Designer: Eric Lukasik

Developer



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MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
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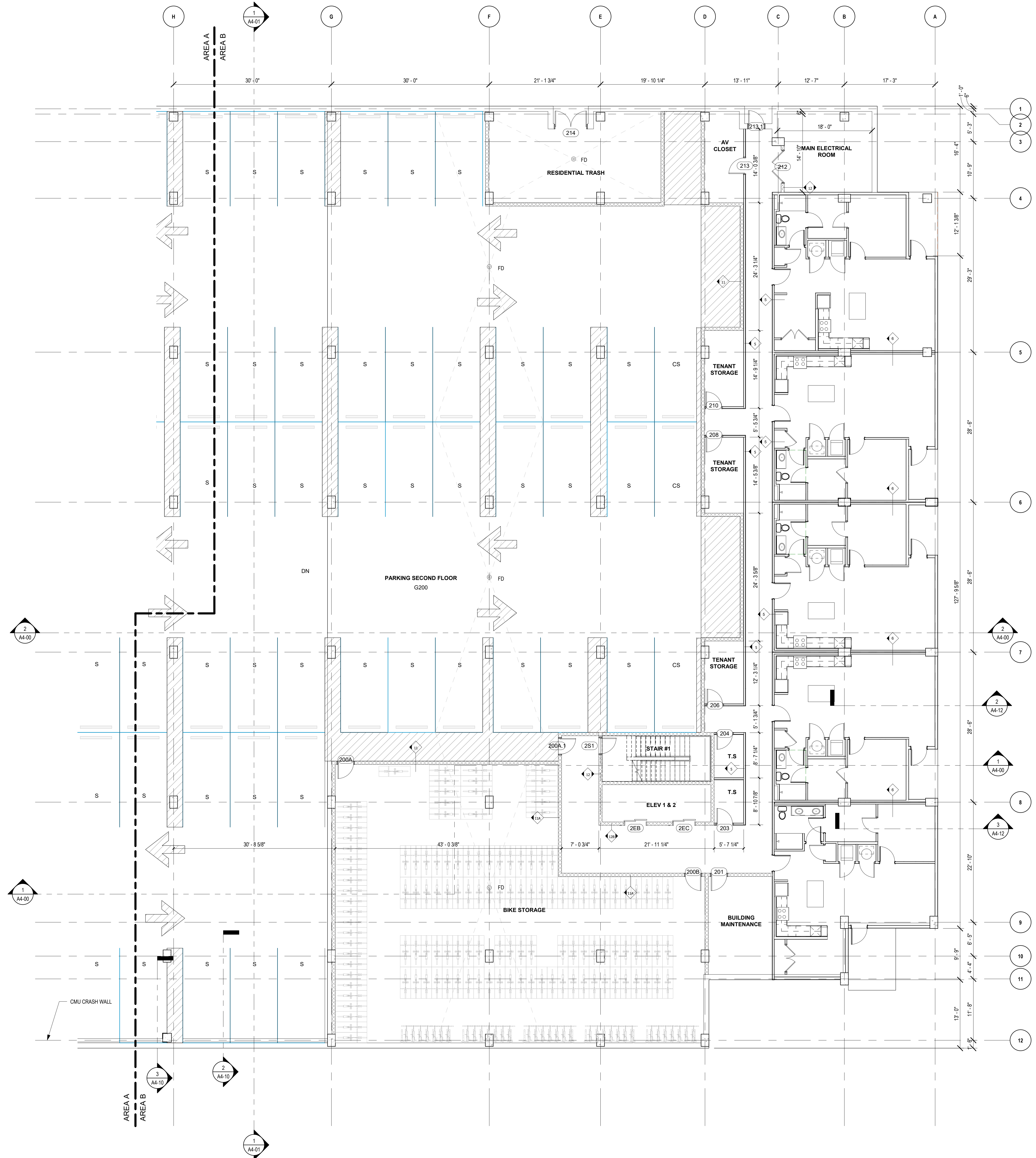
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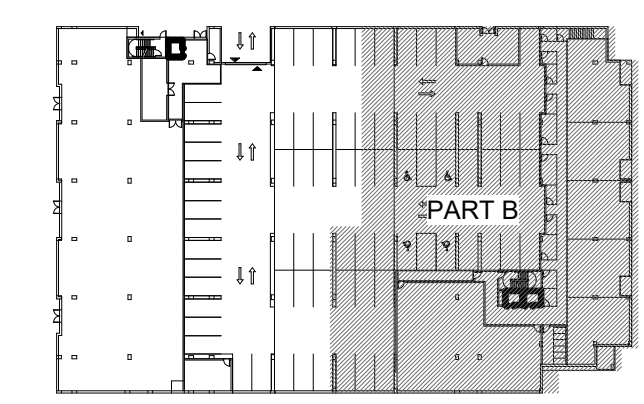
PART PLAN - SECOND FLOOR PART A

A2-02.1

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1. ALL WALLS IN UNITS ARE TO BE WALL TYPES 16 A,B,C,D U.N.O



PARTIAL PLAN - 2ND FLOOR - PART B 1/8" = 1'-0" 1



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MADISON YARDS - BLOCK 3

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UDC SIP SUBMISSION
 03.03.2020

PART PLAN - SECOND FLOOR
 PART B

A2-02.2



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC., PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

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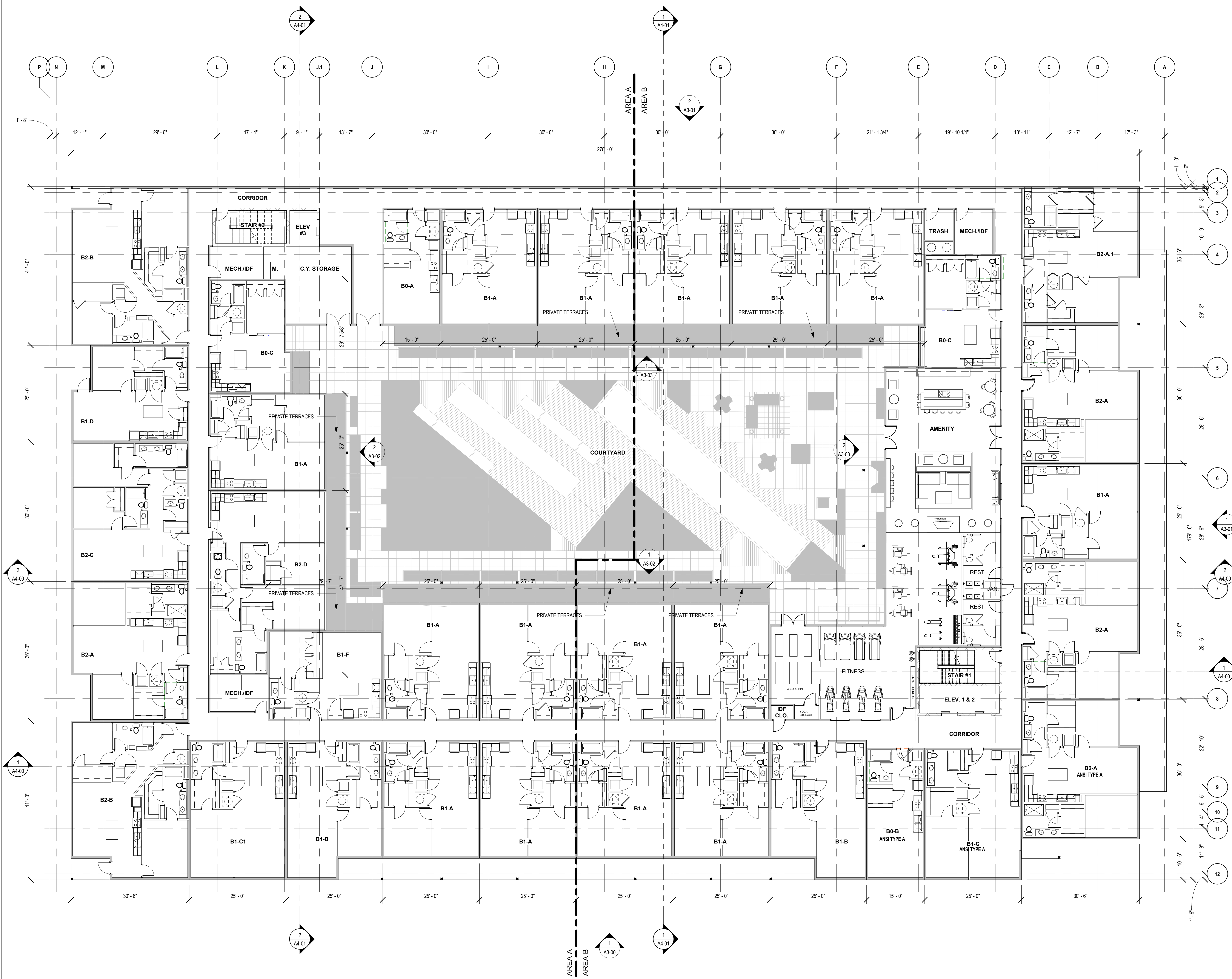
Developer



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PLAN NOTES - LEVEL 3

1. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
2. FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
3. SEE SHEETS "AD-13 - AD-17" FOR ROOF DETAILS.
4. SEE "I" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES.
5. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
6. PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
7. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
8. EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS / HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE "DRIP THROUGH" U.N.O.
9. INTERIOR WALLS / CEILINGS OF MECHANICAL / UTILITY SPACES SHALL BE PRIMED / PAINTED.
10. SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
11. FIRE EXTINGUISHER CABINETS - SEE SHEETS "A0-20 - A0-27". FINAL LOCATIONS TO BE AS APPROVED BY LOCAL AUTHORITIES.
12. UNIT TYPE, B0-B, B1-C1 AND B2-A NOTED ON THIS LEVEL TO BE ANSI TYPE A UNITS



MADISON YARDS - BLOCK 3

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LEGEND

- 2 HR FIREWALL
- 3 HR FIREWALL
- ADA ACCESSIBLE ROUTE

UDC SIP
 SUBMISSION
 03.03.2020

OVERALL PLAN -
 THIRD FLOOR



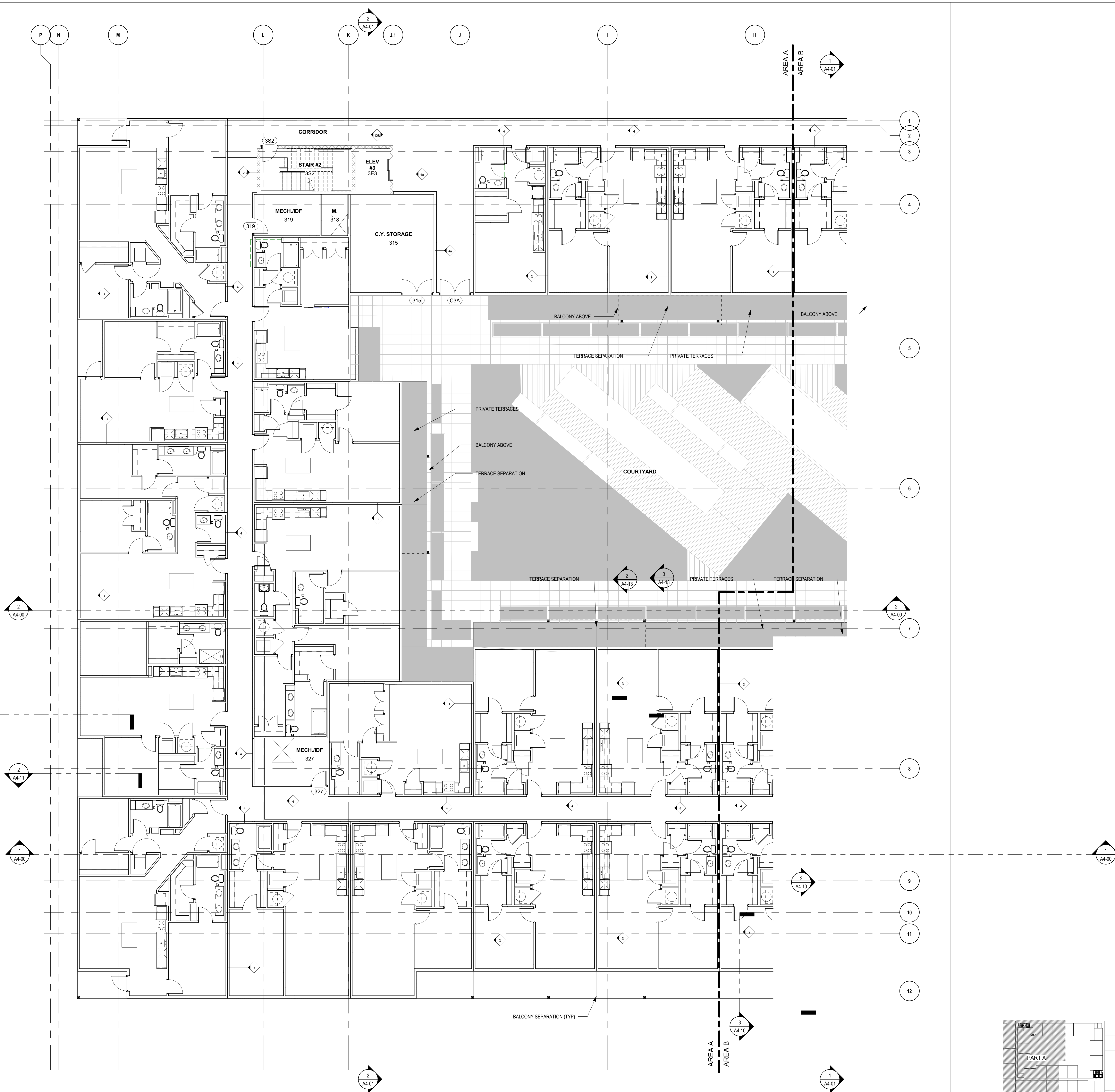
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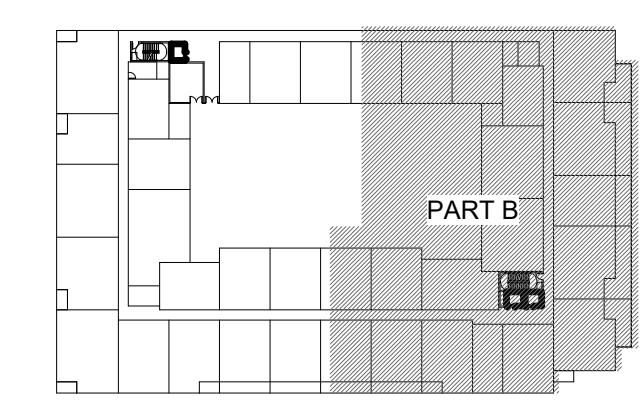
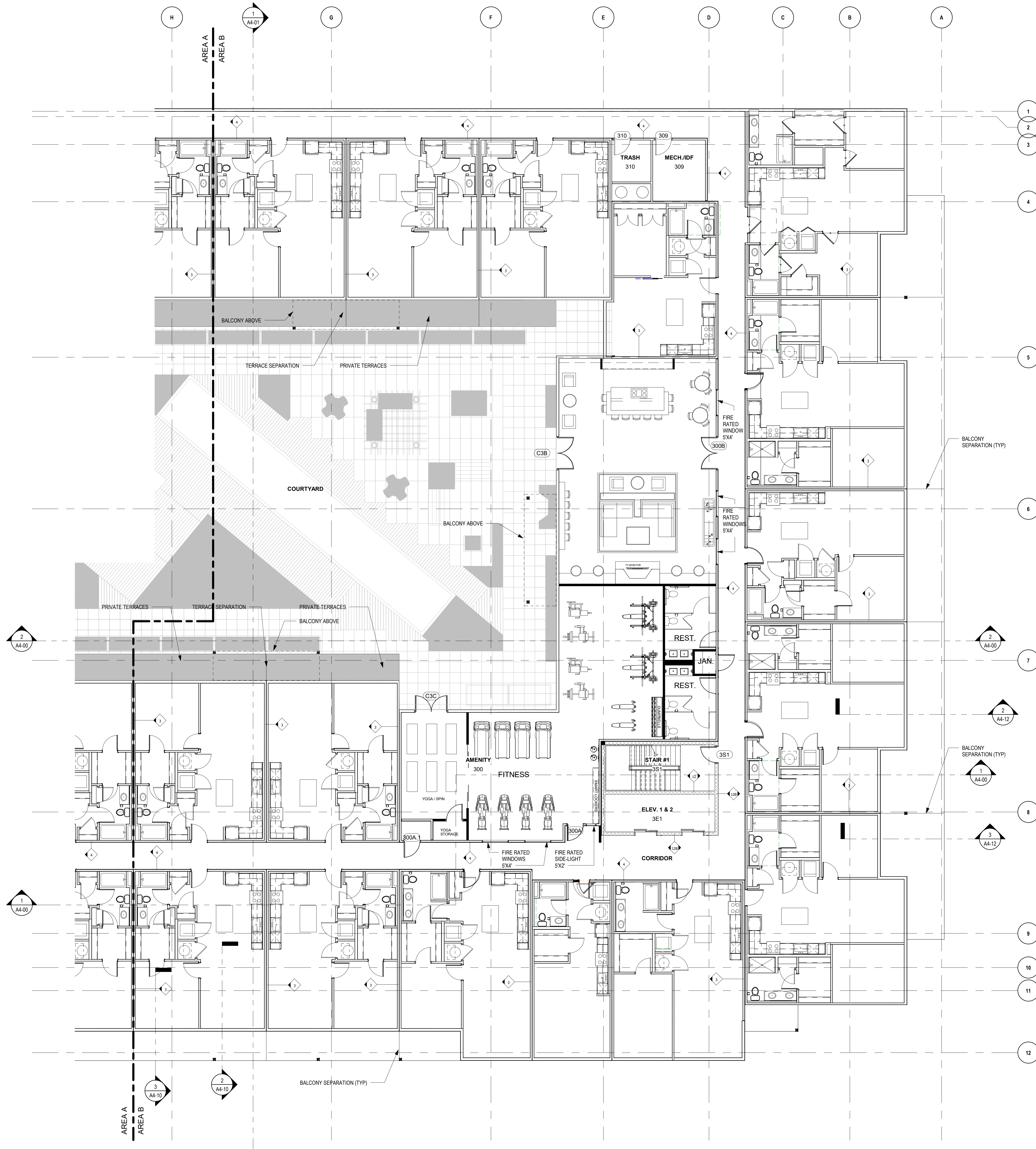
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UDC SIP SUBMISSION
03.03.2020

PART PLAN -
THIRD FLOOR
PART A

A2-03.1



MADISON YARDS - BLOCK 3

MADISON, WI

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UDC SIP SUBMISSION
03.03.2020

PART PLAN - THIRD FLOOR PART B



GENERAL NOTES

- 1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
- 2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
- 3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC. PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
- 4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
- 5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
- 6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
- 7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
- 8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

KTGY Project No: #20170922

Project Contact: Anthony Margadonna

Email: amargadonna@ktgy.com

Principal: Craig Pryde

Project Designer: Eric Lukasik

Developer



Gilbane Development Company

Contact: Shawn Zimny

Address: 225. W. Wacker Dr.

Suite 2160

Chicago, IL 60606

Phone: 312.907.4493

LEGEND

- 2 HR FIREWALL
- 3 HR FIREWALL
- ADA ACCESSIBLE ROUTE

PLAN NOTES - LEVEL 4-6

- 1. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
- 2. FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
- 3. SEE SHEETS "AD-13 - AD-17" FOR ROOF DETAILS.
- 4. SEE "I" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES.
- 5. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
- 6. PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
- 7. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
- 8. EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS/ HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE "DRIP THROUGH" U.N.O.
- 9. INTERIOR WALLS/ CEILINGS OF MECHANICAL/ UTILITY SPACES SHALL BE PRIMED / PAINTED.
- 10. SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
- 11. FIRE EXTINGUISHER CABINETS - SEE SHEETS "A0-20 - A0-27". FINAL LOCATIONS TO BE AS APPROVED BY LOCAL AUTHORITIES.
- 12. UNIT TYPE B1-C1 NOTED ON THIS LEVEL TO BE ANSI TYPE A UNIT

MADISON YARDS - BLOCK 3

MADISON, WI

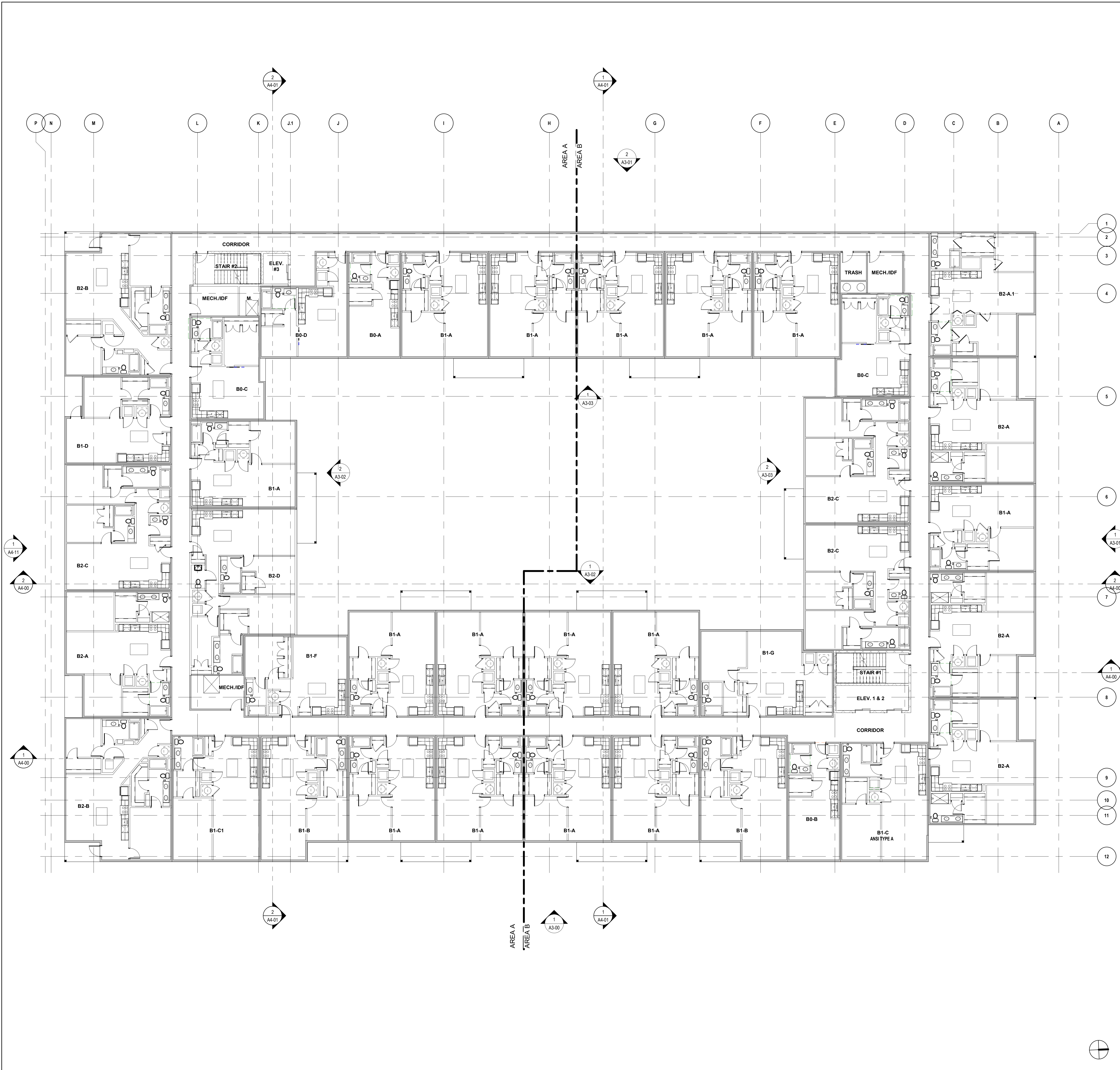
No.	Date	Description
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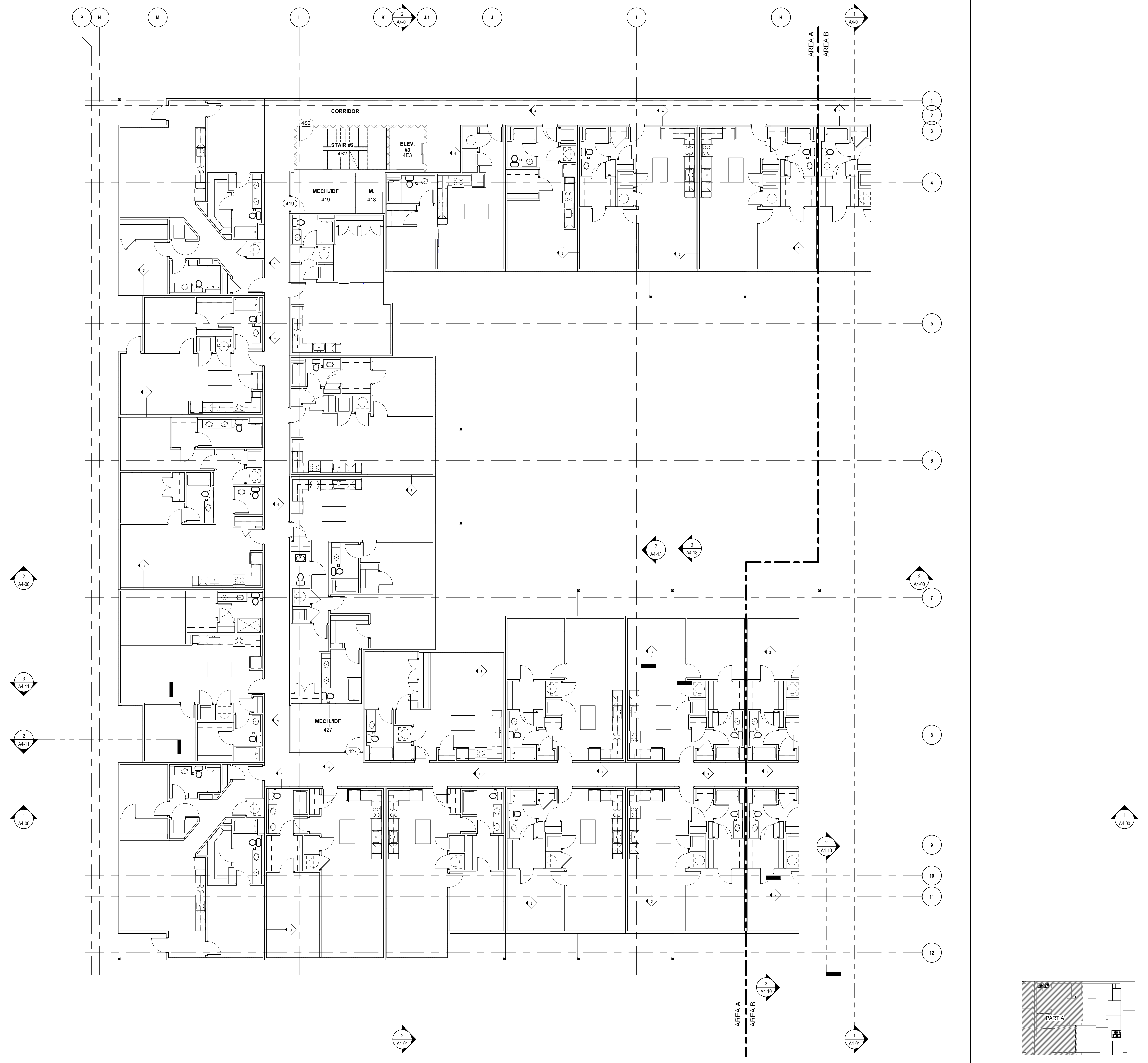
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03.03.2020

OVERALL PLAN - TYPICAL FLOOR PLAN (4-6)

A2-04



OVERALL PLAN - 4TH FLOOR 3/32" = 1'-0" 1



KTGY Project No: #20170922

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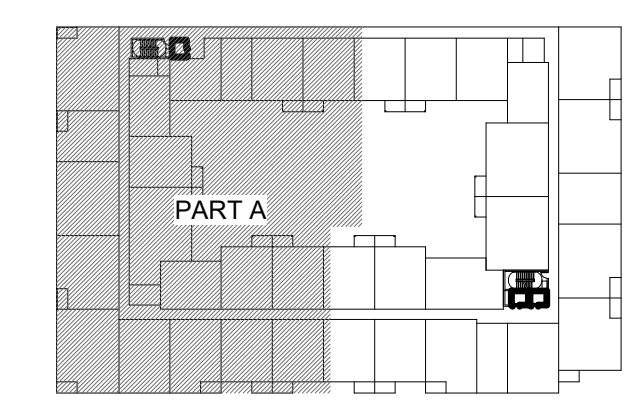


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MADISON YARDS - BLOCK 3
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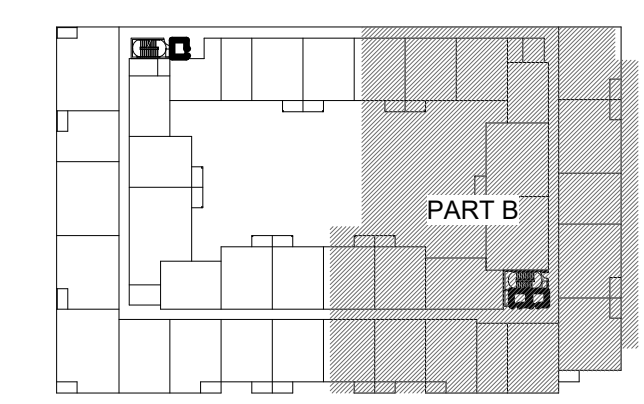
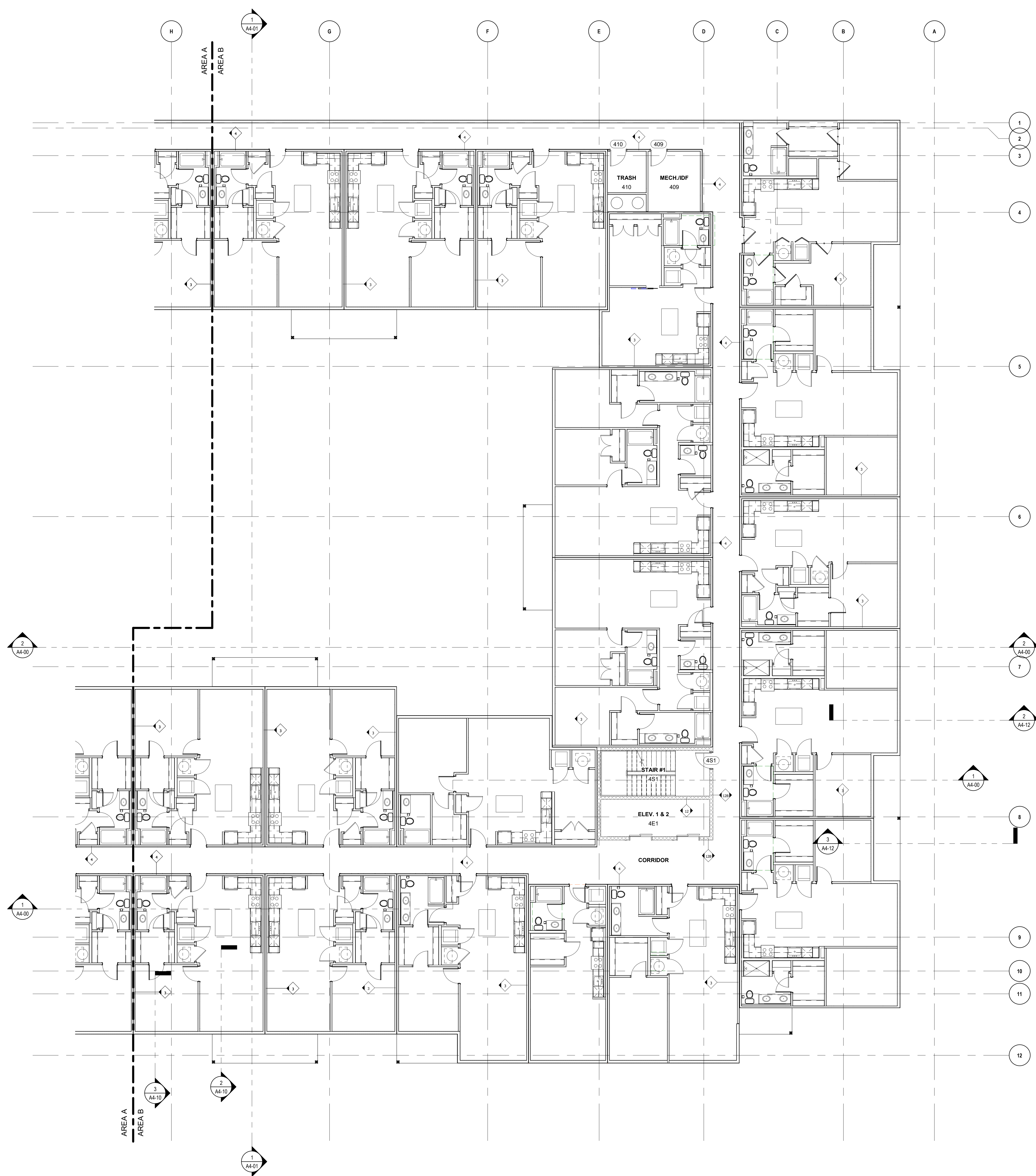
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PARTIAL PLAN - TYPICAL FLOOR - PART A 1/8" = 1'-0" 1

PART PLAN - TYPICAL FLOOR (4-6) PART A

A2-04.1



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MADISON YARDS - BLOCK 3

MADISON, WI

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PART PLAN -
 TYPICAL FLOOR
 (4-6) PART B



KTGY Project No: #20170922

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Developer



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GENERAL NOTES

- 1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
- 2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
- 3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC., PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
- 4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
- 5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
- 6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
- 7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
- 8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

PLAN NOTES - LEVELS 6-7

- 1. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O. FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
- 2. SEE SHEETS "AD-13 - AD-17" FOR ROOF DETAILS.
- 3. PROVIDE 60 MIL "TPO" MEMBRANE ROOF OVER INSULATION AND PROTECTION BOARD. MIN. SLOPE SHALL BE 1/4" PER FT. PROVIDE FLASHINGS, CRICKETS AND TAPERED INSULATION TO ACHIEVE DRAINAGE REQUIRED TO THROUGH WALL SCUPPERS. SEE SPECIFICATION SECTION 07 54 23.
- 4. ROOF MOUNTED CONDENSER UNITS SHALL BE PLACED ON ISOLATION PADS AND PRESSURE TREATED WOOD SLEEPERS. PROVIDE WALK PADS FROM ROOF HATCH TO EACH GROUP OF CONDENSERS/ SERVICES AREAS.
- 5. PROVIDE 42" FALL PROTECTION WHERE EQUIPMENT IS LOCATED WITHIN 10 FT OF THE ROOF EDGE OR VERTICAL DROP OF MORE THAN 36".
- 6. PROVIDE (1) ROOF HATCH IN EACH BUILDING WITH LADDER ACCESS FROM STAIR LANDING. SEE SPECIFICATION SECTION 07 72 23.
- 7. SEE "I" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
- 8. PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
- 9. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
- 10. EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS / HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE "DRIP THROUGH" U.N.O.
- 11. INTERIOR WALLS/ CEILINGS OF MECHANICAL/ UTILITY SPACES SHALL BE PRIMED / PAINTED.
- 12. SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
- 13. FIRE EXTINGUISHER CABINETS ARE NOTED ON THE PLANS AS "FEC". FINAL LOCATIONS TO BE AS APPROVED BY LOCAL AUTHORITIES.

MADISON YARDS - BLOCK 3

MADISON, WI

LEGEND

- 2 HR FIREWALL
- 3 HR FIREWALL
- ADA ACCESSIBLE ROUTE

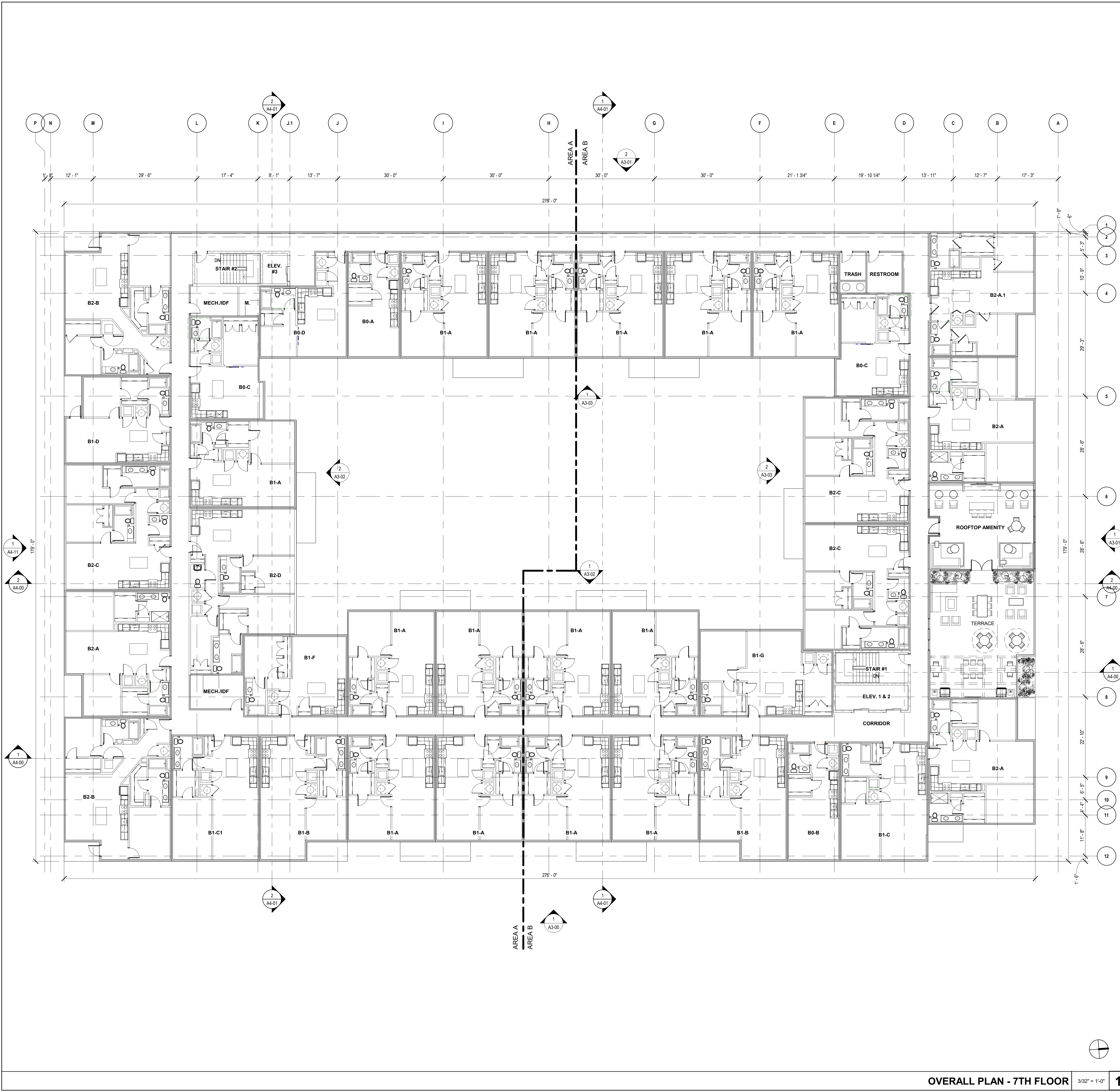
No.	Date	Description
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UDC SIP SUBMISSION
03.03.2020

OVERALL PLAN - SEVENTH FLOOR

A2-07



OVERALL PLAN - 7TH FLOOR 3/32" = 1'-0" 1



KTGY Project No: #20170922

Project Contact: Anthony Margadonna

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Project Designer: Eric Lukasik

Developer



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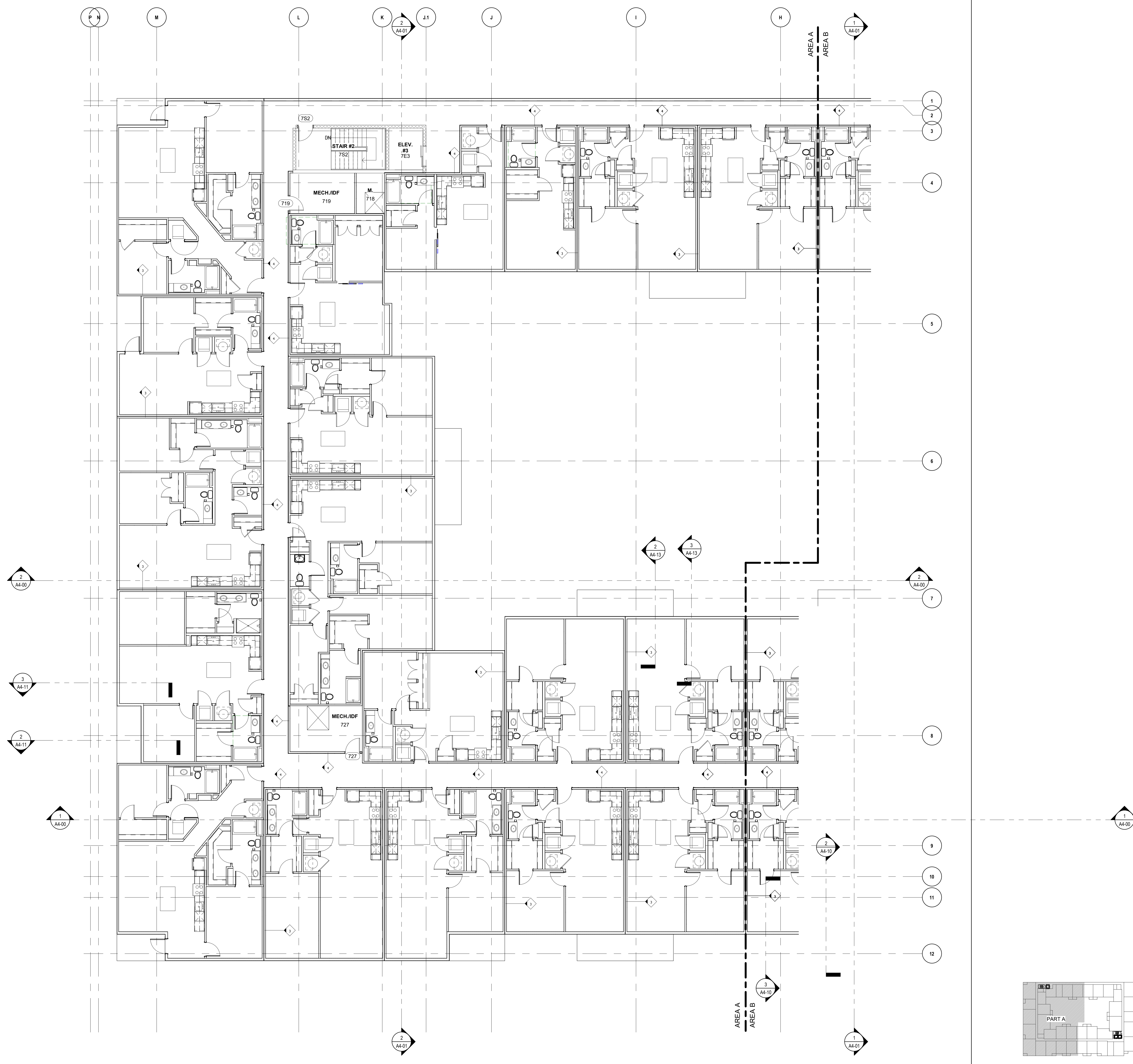
Contact: Shawn Zimny

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Phone: 312.907.4493



MADISON YARDS - BLOCK 3

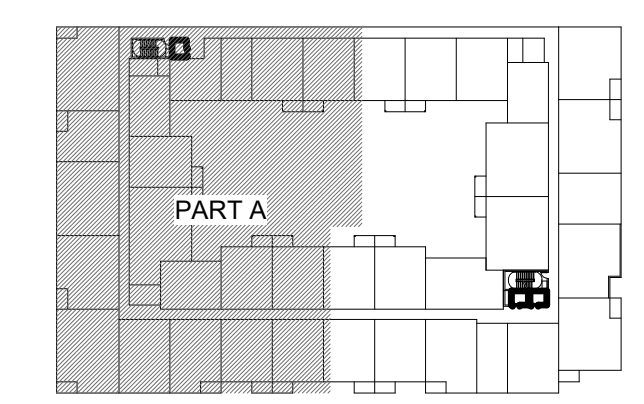
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03.03.2020

PART PLAN - SEVENTH FLOOR PART A



PARTIAL PLAN - 7TH FLOOR - PART A 1/8" = 1'-0" 1

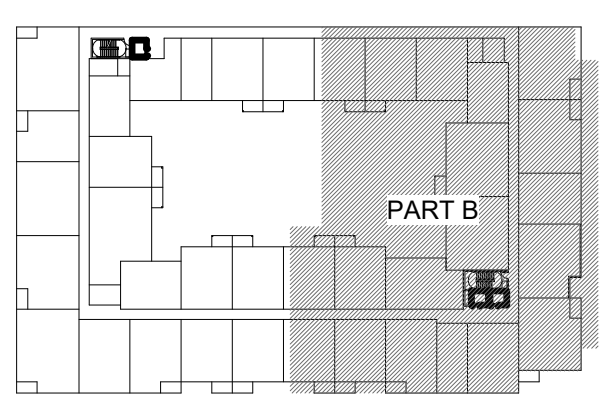
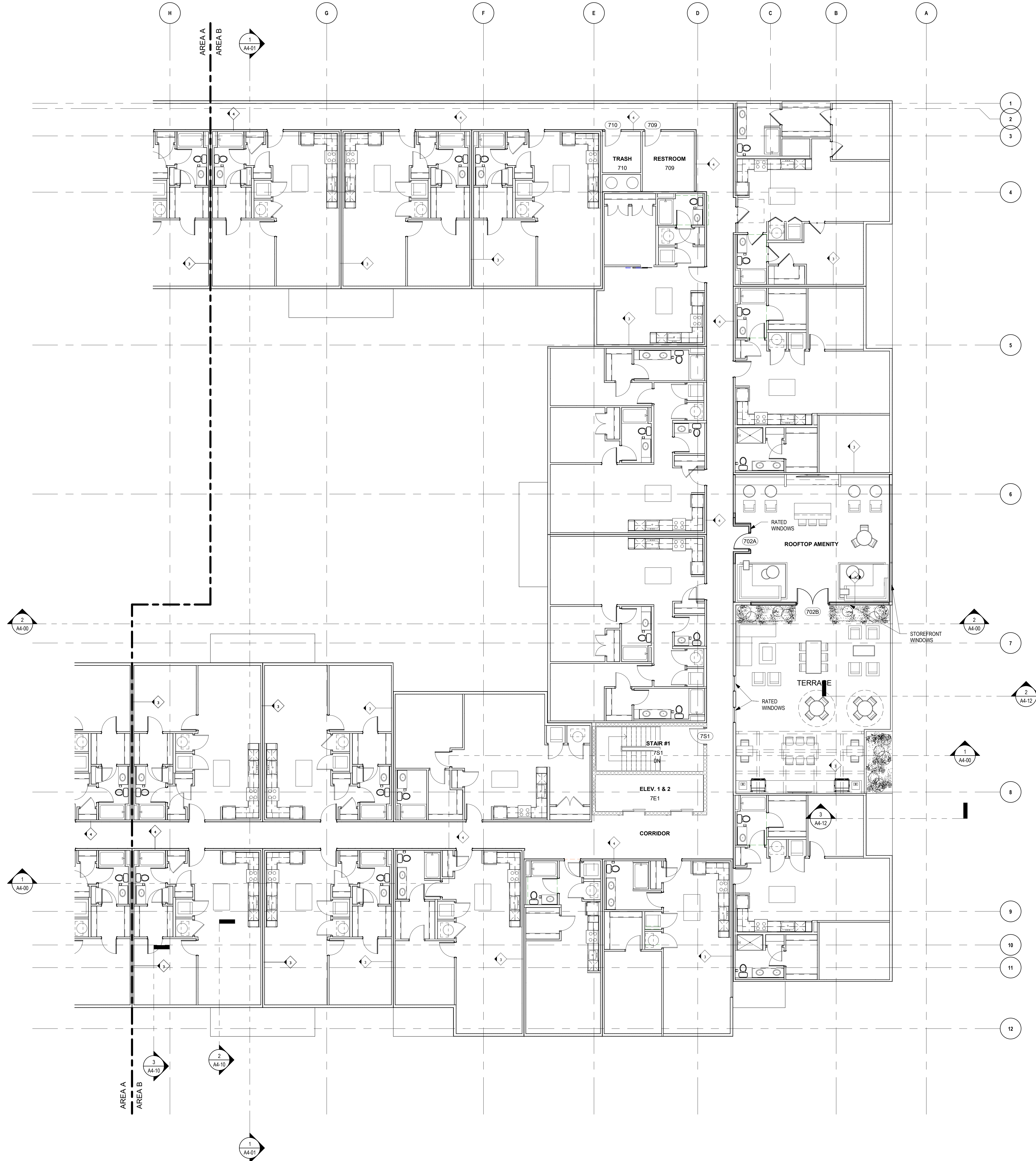
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PARTIAL PLAN - 7TH FLOOR - PART B 1/8" = 1'-0" 1

MADISON YARDS - BLOCK 3

MADISON, WI

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03.03.2020

PART PLAN - SEVENTH FLOOR
PART B



ROOF PLAN - NOTES

- SEE SPECIFICATIONS SECTION 07 43 23 FOR TPO ROOFING SYSTEM. PROVIDE ALL NECESSARY FLASHINGS AND TERMINATIONS TO ADJACENT MATERIALS/ SURFACES PER MANUFACTURER'S RECOMMENDATIONS/ DETAILS. SEE SHEET AD-13 THRU AD-16 FOR ROOFING DETAILS.
- COMPLETELY INSULATE ROOF SURFACE ABOVE OCCUPIED SPACES TO PROVIDE A MIN OF R-VALUE OF R-20. PROVIDE FRAMED, SLOPED SUBSTRATE ABOVE STRUCTURAL ROOF DECK FOR MAIN ROOF DRAINAGE IN DIRECTION INDICATED.
- ROOFING MEMBRANE UNLESS NOTED OTHERWISE SHALL BE TERMINATED ON TOP OF ALL PARAPET WALLS.
- MIN. SLOPE FOR ALL ROOF AREAS SHALL BE 1/4" PER FOOT. CRICKETS SHALL BE PROVIDED TO MAINTAIN POSITIVE DRAINAGE TO ALL SCUPPER LOCATIONS.
- DS = DOWNSPOUT LOCATION (TYPICAL). SEE DETAILS ON SHEET AD-13.
- COORDINATE ROOF PENETRATIONS WITH MECHANICAL AND PLUMBING DRAWINGS. PROVIDE PENetration FLASHINGS AS INDICATED OR RECOMMENDED BY ROOFING MANUFACTURER. PROVIDE ROOF HATCH TO EACH ROOF AREA - SEE SPECIFICATIONS SECTION 07 23 23 AND DETAIL SHEET AD-15. NO ROOF PENETRATIONS SHALL BE ALLOWED SHEET B AND BUILDING C WITHIN 10 FT (HORIZONTAL) OF THE FIRE WALL ASSEMBLY SEPARATING EACH BUILDING FROM BUILDING A. TRANSITION ALL MECHANICAL AND PLUMBING DUCT, VENTS AND PIPES THAT PENETRATE THE ROOF ASSEMBLY OUTSIDE OF THIS AREA.
- PROVIDE TIE DOWN CONNECTION AT EACH CONDENSOR WALL LOCATION. TIE DOWN TO BE LOCATED A MIN OF 24" ABOVE THE ROOF SURFACE. SEE DETAIL 3/AD-15.

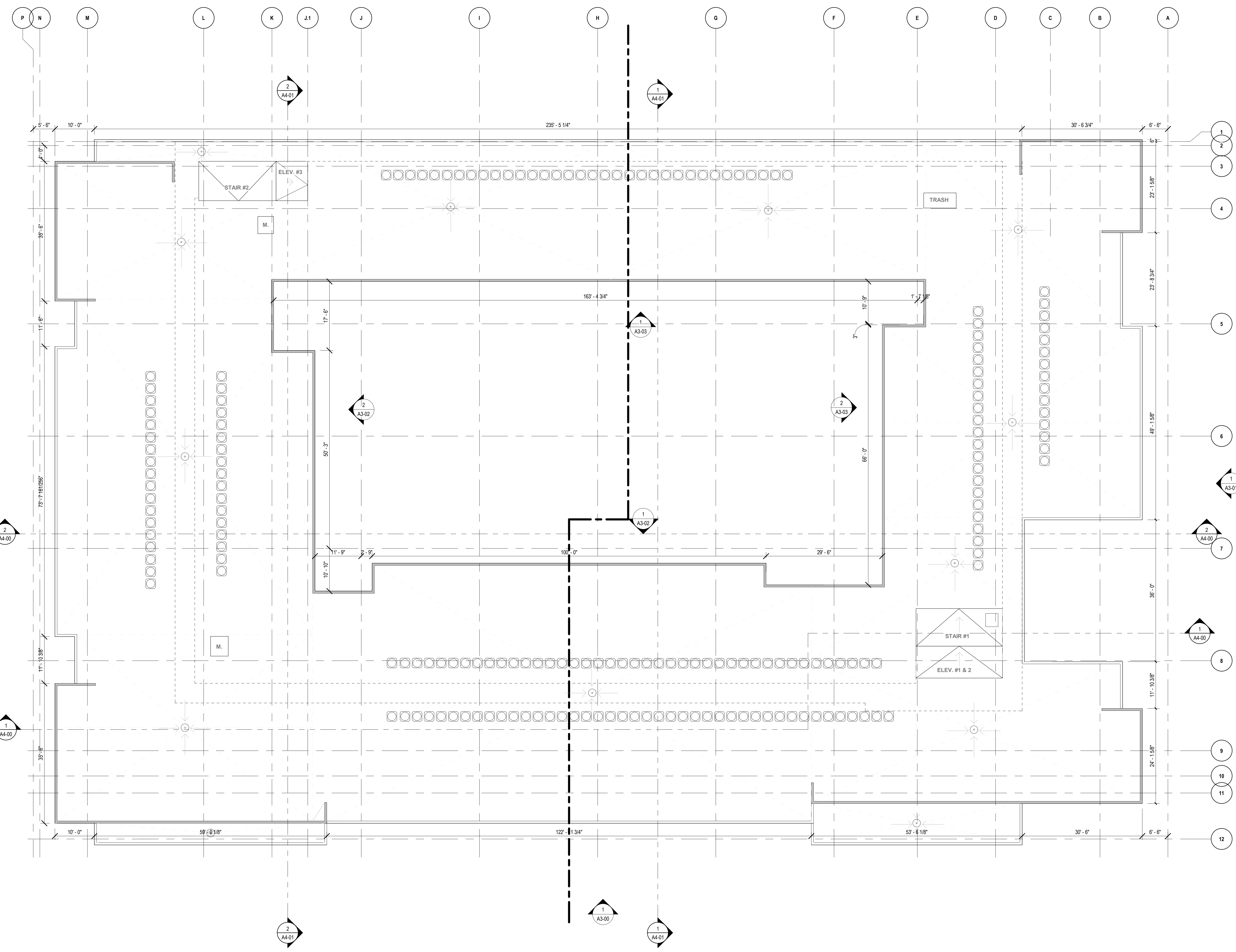
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Developer



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REFERENCE SHEETS

(100)	DOOR INFORMATION SHEET RANGE	(W1)	WINDOW INFORMATION SHEET RANGE
(S1)	STOREFRONT INFORMATION SHEET RANGE	(XX.X)	WALL TYPES SHEET RANGE
			BALCONY TYPES SHEET RANGE

UNIT PLANS / EXTERIOR FINISH OPTIONS	UNIT TYPE	
	UNIT PLANS	EXTERIOR FINISH OPTIONS
STUDIO	SHEET RANGE	SHEET RANGE
1 BEDROOM	SHEET RANGE	SHEET RANGE
2 BEDROOM	SHEET RANGE	SHEET RANGE
2 BEDROOM / DEN	SHEET RANGE	SHEET RANGE
3 BEDROOM	SHEET RANGE	SHEET RANGE

MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
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 03.03.2020

OVERALL PLAN - ROOF PLAN

KTGY Project No: #20170922

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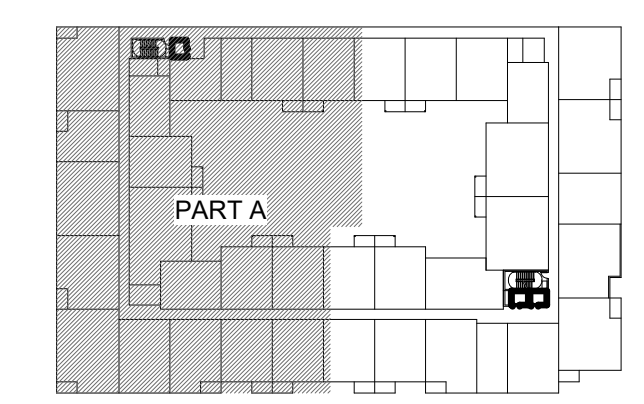
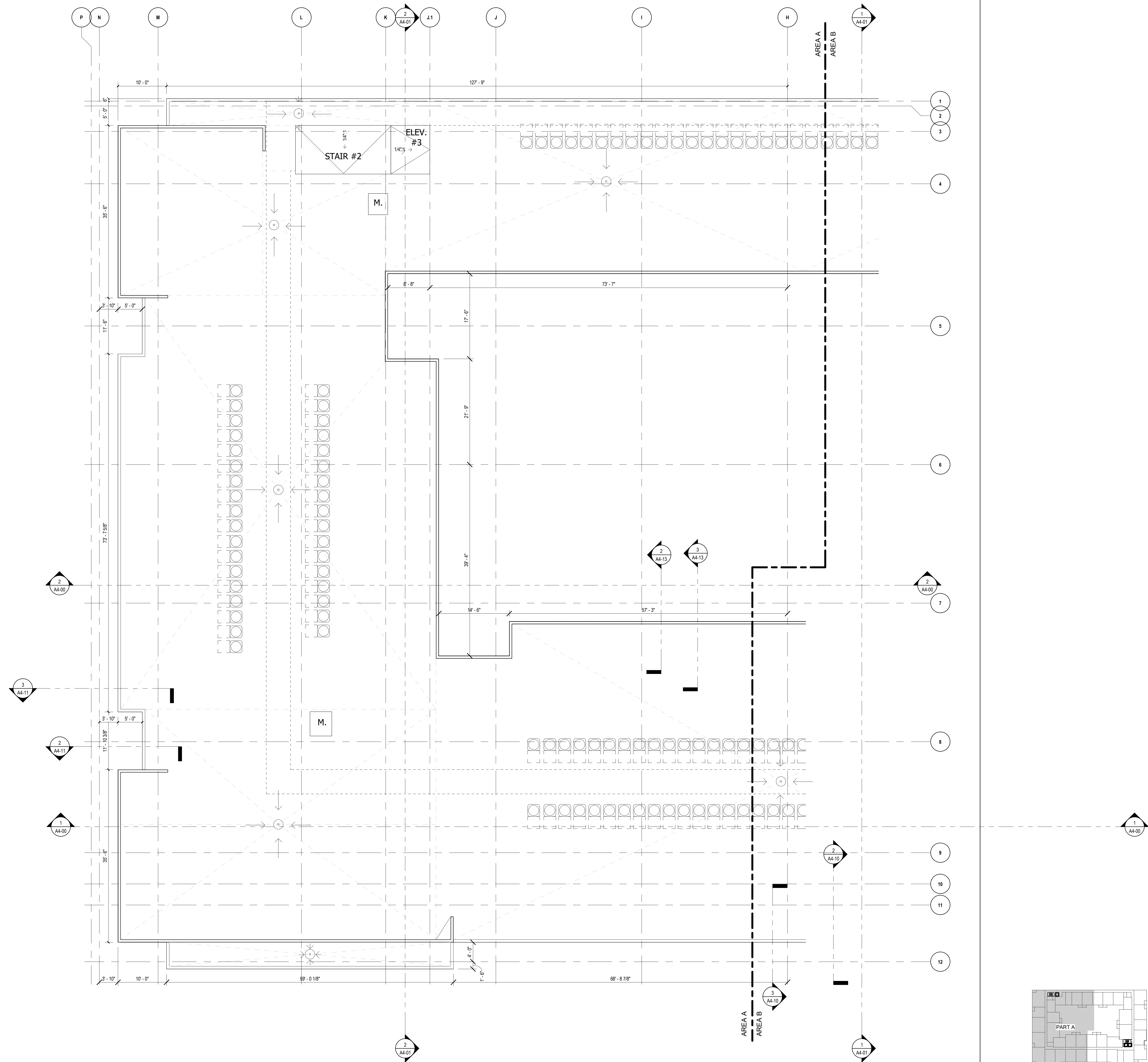
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MADISON YARDS - BLOCK 3

MADISON, WI



No.	Date	Description
1		

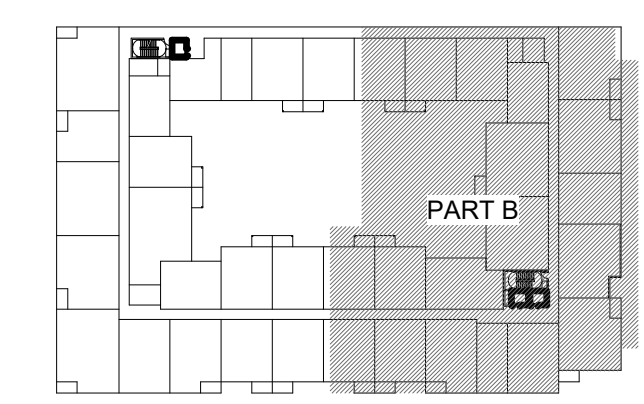
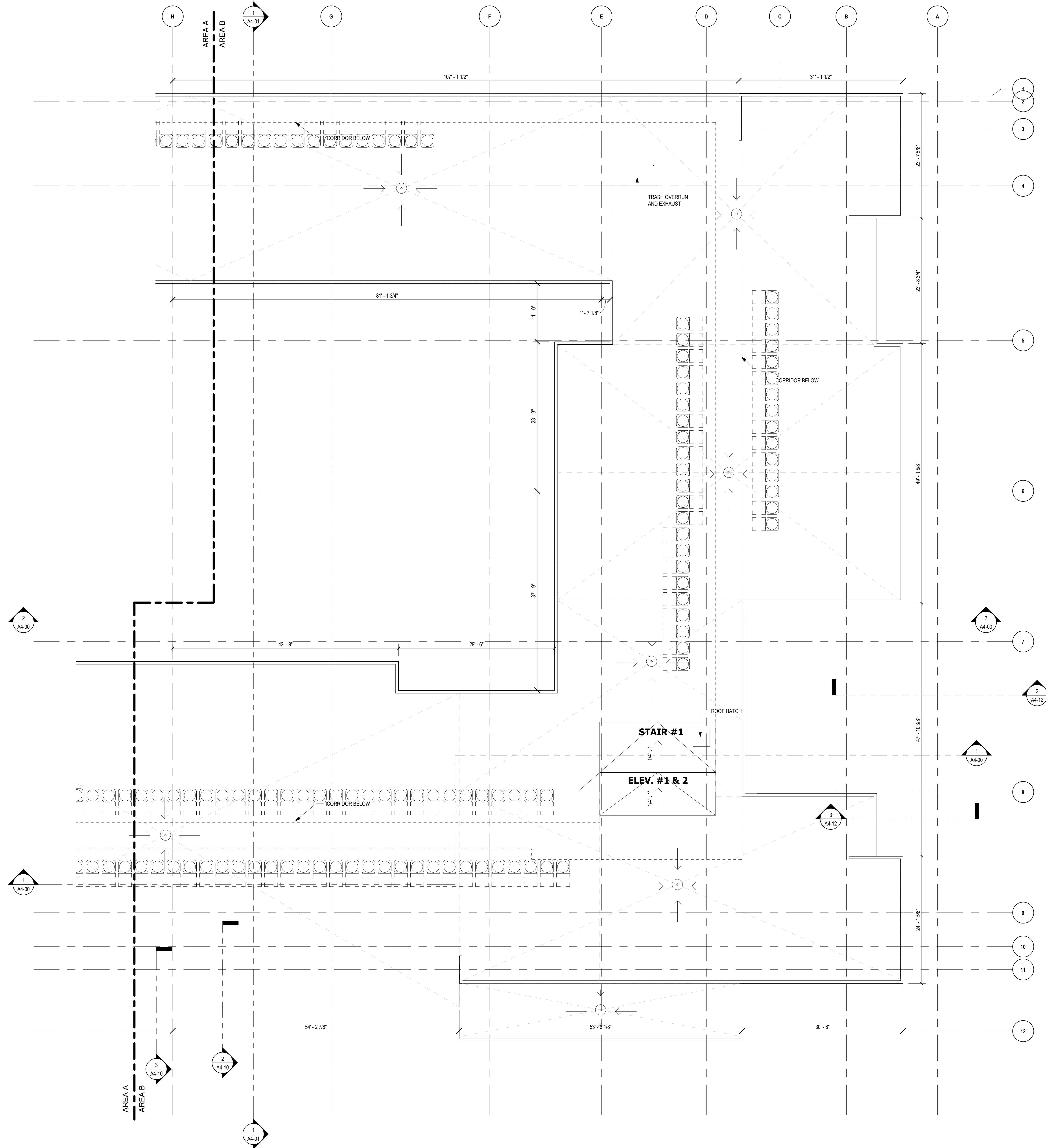
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PART PLAN - ROOF PART A

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MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION

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03.03.2020

PART PLAN - ROOF PART B

ELEVATION - NOTES

- ON ALL EXTERIOR WALLS OF THE TYPE III BUILDINGS (A, B AND C), PROVIDE 1" MINERAL WOOL INSULATION BOARD WITH HORIZONTAL METAL Z" FURRING ANCHORED TO THE EXTERIOR WALL FRAMING MEMBERS (24" ON CENTER). PROVIDE TAPE FLASHING OVER Z-FURRING CONNECTIONS TO STRUCTURAL MEMBERS TO MAINTAIN WEATHER BARRIER PROTECTION TO EXTERIOR WALL. PROVIDE VERTICAL METAL FURRING STRIPS ANCHORED TO THE METAL Z" FURRING TO CREATE A DRAINAGE PLANE BEHIND THE EXTERIOR FINISH MATERIAL. LOCATE VERTICAL FURRING AS REQUIRED TO PROVIDE JOINT PATTERNS INDICATED AND PER MANUFACTURER'S INSTALLATION REQUIREMENTS. BREAK VERTICAL FURRING STRIPS AT THE EACH FLOOR LINE TO ALLOW FOR BUILDING MOVEMENT/ SHRINKAGE.
- PROVIDE HORIZONTAL PRE-FINISHED ALUM THRU WALL FLASHING (MATCH COLOR OF WALL FINISH MATERIAL) AT ALL CHANGE OF MATERIALS. EVERY 2 FLOORS OR AS INDICATED ON THE DRAWINGS. TAPE SEAL THRU WALL FLASHING TO WEATHER BARRIER SYSTEM.
- PROVIDE PRE-FINISHED ALUM FLASHING AT TOP OF PARAPET LOCATIONS.
- CAULK PERIMETER OF ALL PENETRATIONS THROUGH THE EXTERIOR WALL SURFACE/ FINISH. SEE SPECIFICATIONS 07 92 00.
- COORDINATE LOUVER LOCATIONS WITH FLOOR TRUSSES IN TYPE III BUILDINGS. LOCATE FACE OF LOUVER FLUSH WITH EXTERIOR FINISH MATERIAL.
- PROVIDE MISC. BLOCKING FOR EXTERIOR WALL MOUNTED SIGNAGE. COORDINATE WITH SIGN CONTRACTOR/ CONSULTANT.
- SEE SHEET A7-27 FOR LIGHT/ VENTILATION CALCULATIONS. ALIGN BALCONY LIGHT FIXTURE AND ELECTRICAL OUTLET VERTICALLY IN LOCATIONS INDICATED. SEE ELECTRICAL PLANS FOR FIXTURE SPECIFICATION.
- INSTALL LIGHT FIXTURES AT EXTERIOR DOORWAYS 12" ABOVE CENTER OF DOOR UNLESS NOTED OTHERWISE. PAINT ALL EXTERIOR SURFACES OF CMU WALLS AT PARKING GARAGE. COLOR AS SELECTED BY ARCHITECT. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
- PAINT ALL EXPOSED CONCRETE SURFACES IN PARKING GARAGE. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
- PAINT ALL EXPOSED METAL BALLARDS, PIPE PROTECTIVE DEVICES AND MISC. STEEL ITEMS. SEE SPECIFICATIONS SECTION 09 91 00.

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EAST ELEVATION 3/32" = 1'-0" 1

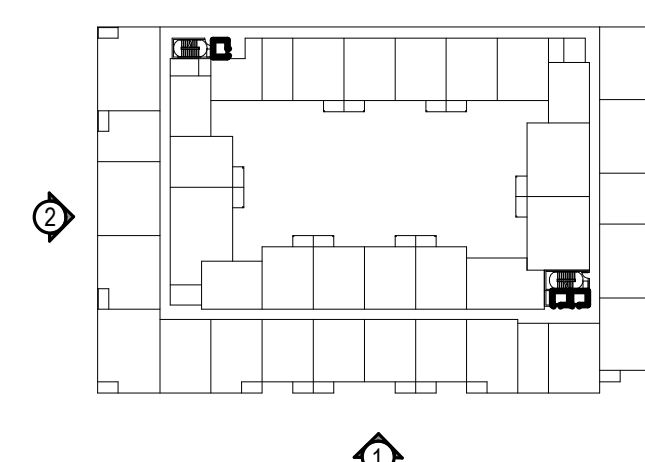
ELEVATION MATERIALS

KEY	DESCRIPTION
1	FIBER CEMENT PANEL
2	CORRUGATED METAL PANEL
3	FLAT METAL PANEL
4	METAL MESH BALCONY
5	VINYL WINDOWS - RESIDENTIAL
6	VINYL DOORS - RESIDENTIAL
7	ALUMINUM STOREFRONT - COMMERCIAL
8	ALUMINUM ENTRY DOORS - COMMERCIAL
9	THIN BRICK GLAZING
10	PAINTED CONCRETE
11	STEEL AWNING
12	EXTERIOR LIGHTING
13	EXTERIOR SIGNAGE
14	PAINTED STEEL TUBE COLUMNS
15	ARCHITECTURAL LOUVER
16	VINYL WINDOW TYPE W1
17	VINYL WINDOW TYPE W2
18	VINYL WINDOW TYPE W3
19	VINYL WINDOW TYPE W4
20	VINYL WINDOW TYPE W5
21	VINYL WINDOW TYPE W6
22	VINYL WINDOW TYPE W7
23	VINYL WINDOW TYPE W8
24	VINYL WINDOW TYPE W9
25	VINYL WINDOW TYPE W10
26	VINYL WINDOW TYPE W11
27	VINYL WINDOW TYPE W12
28	VINYL WINDOW TYPE W13
29	VINYL WINDOW TYPE W14
30	VINYL WINDOW TYPE W15
31	VINYL WINDOW TYPE W16
32	VINYL WINDOW TYPE W17

MADISON YARDS - BLOCK 3
 MADISON, WI



SOUTH ELEVATION 3/32" = 1'-0" 2



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UDC SIP
 SUBMISSION
 03.03.2020

BUILDING
 ELEVATIONS



KTGY Project No: #20170922

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Phone: 312.907.4493

ELEVATION - NOTES

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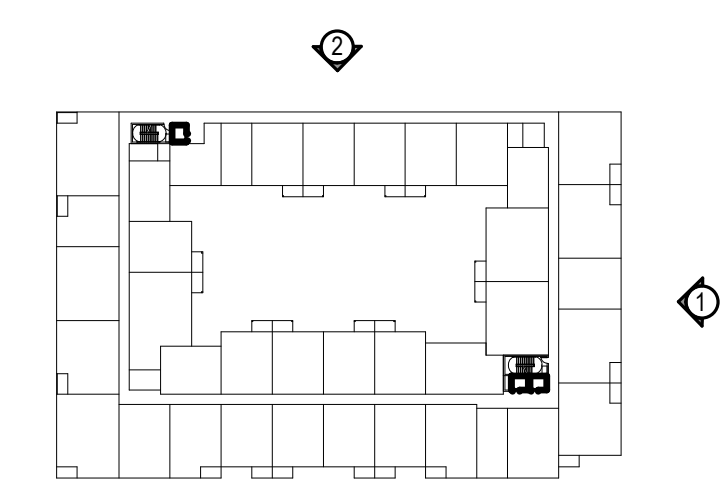
WEST ELEVATION 3/32" = 1'-0" 2

ELEVATION MATERIALS

KEY	DESCRIPTION
1	FIBER CEMENT PANEL
2	CORRUGATED METAL PANEL
3	FLAT METAL PANEL
4	METAL MESH BALCONY
5	VINYL WINDOWS - RESIDENTIAL
6	VINYL DOORS - RESIDENTIAL
7	ALUMINUM STOREFRONT - COMMERCIAL
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9	THIN BRICK GLAZING
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28	VINYL WINDOW TYPE W13
29	VINYL WINDOW TYPE W14
30	VINYL WINDOW TYPE W15
31	VINYL WINDOW TYPE W16
32	VINYL WINDOW TYPE W17



NORTH ELEVATION 3/32" = 1'-0" 1



MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION

UDC SIP SUBMISSION
03.03.2020
BUILDING ELEVATIONS



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Gilbane Development Company
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EAST COURTYARD ELEVATION 3/32" = 1'-0" 1



SOUTH COURTYARD ELEVATION 3/32" = 1'-0" 2

ELEVATION MATERIALS

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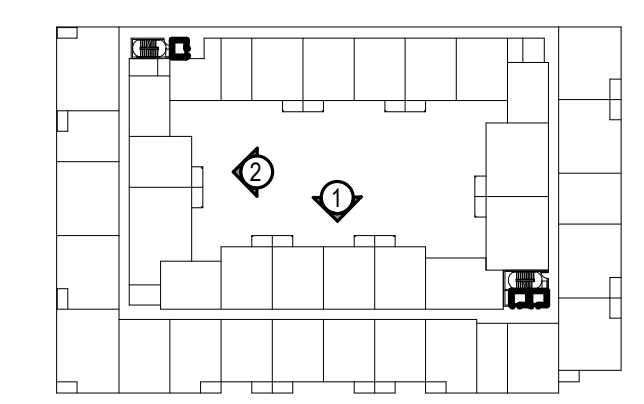
MADISON YARDS - BLOCK 3

MADISON, WI

No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION

UDC SIP SUBMISSION 03.03.2020

COURTYARD ELEVATIONS





ELEVATION - NOTES

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WEST COURTYARD ELEVATION 3/32" = 1'-0" 1

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MADISON YARDS - BLOCK 3

MADISON, WI

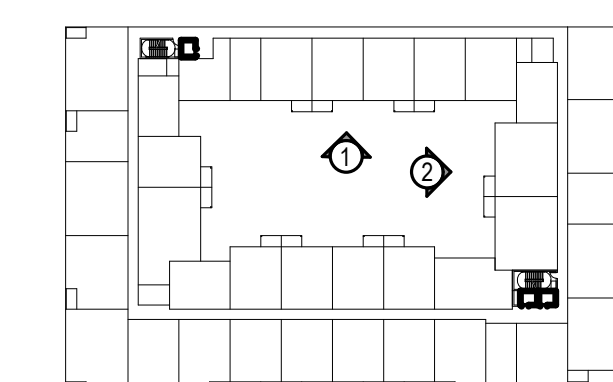
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UDC SIP
 SUBMISSION
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COURTYARD
 ELEVATIONS



NORTH COURTYARD ELEVATION 3/32" = 1'-0" 2



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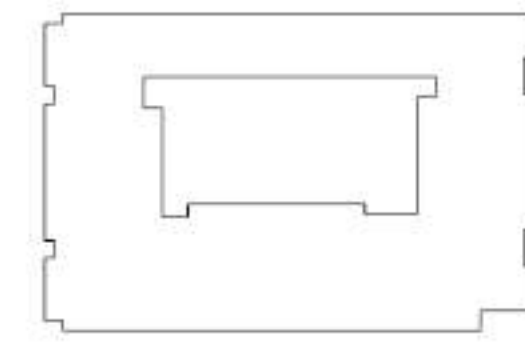
MADISON YARDS - BLOCK 3

MADISON, WI

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UDC SIP
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KEY PLAN

EXTERIOR
BUILDING VIEWS
(NE CORNER)

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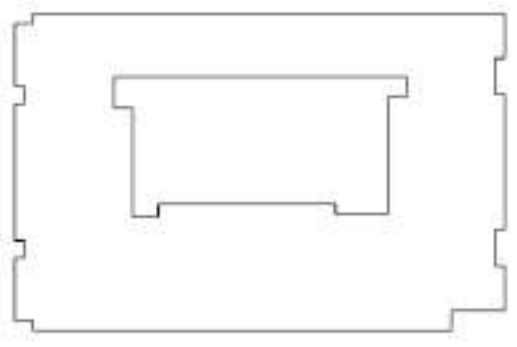
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EXTERIOR
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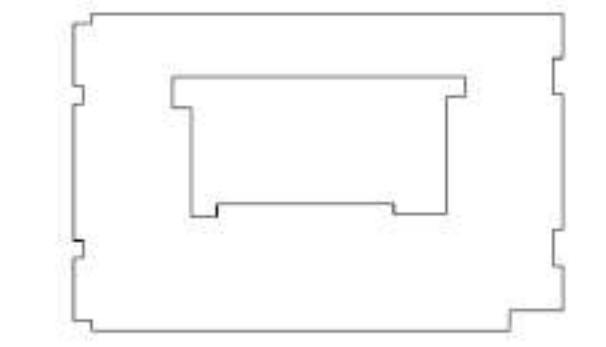
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EXTERIOR
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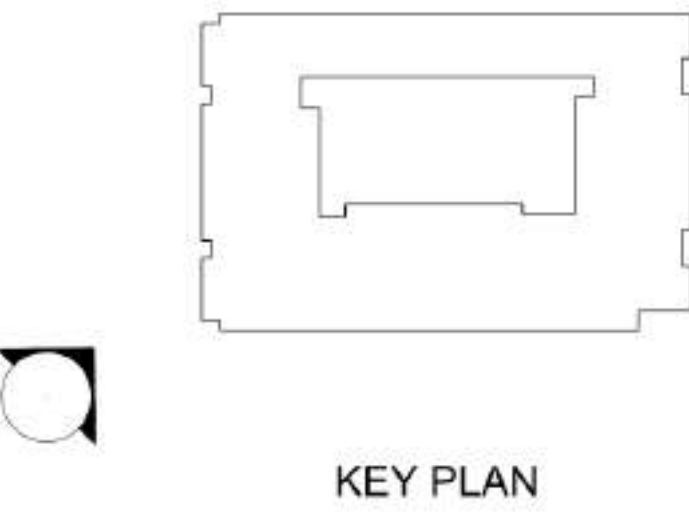
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EXTERIOR
 BUILDING VIEWS
 (SE CORNER)



KEY PLAN



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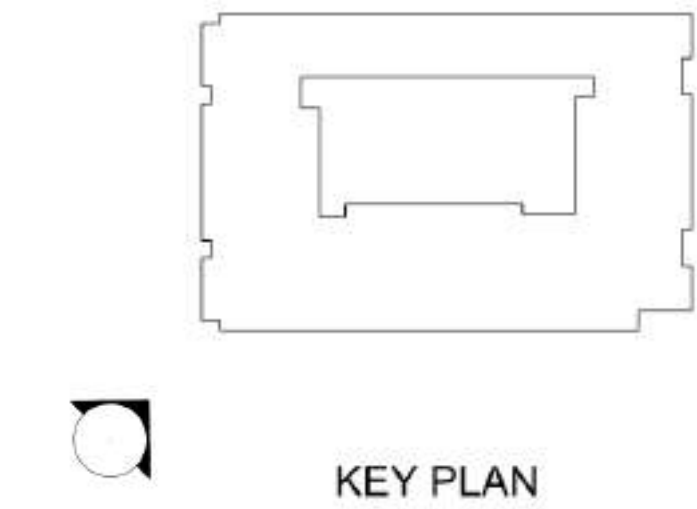
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**EXTERIOR
 BUILDING VIEWS
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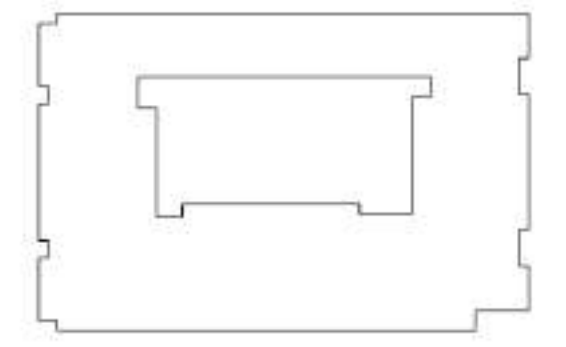
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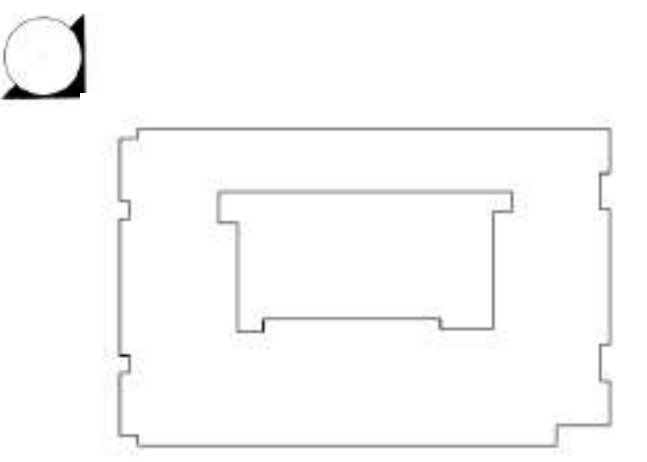
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**UDC SIP
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**EXTERIOR
 BUILDING VIEWS
 (SW CORNER)**



KEY PLAN



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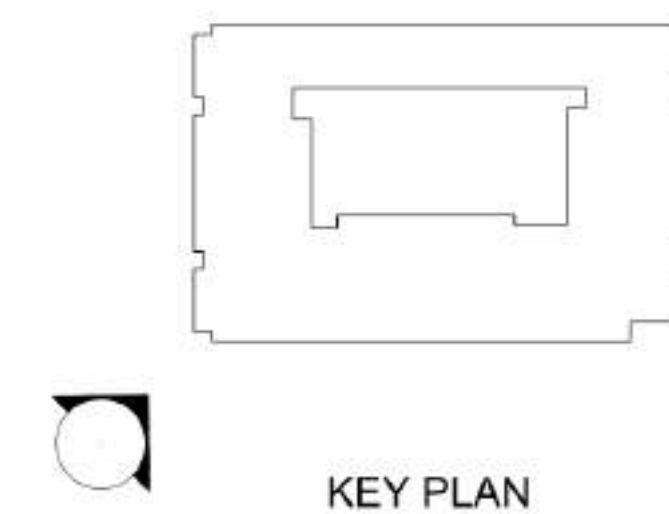
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EXTERIOR BUILDING VIEWS (SE CORNER)





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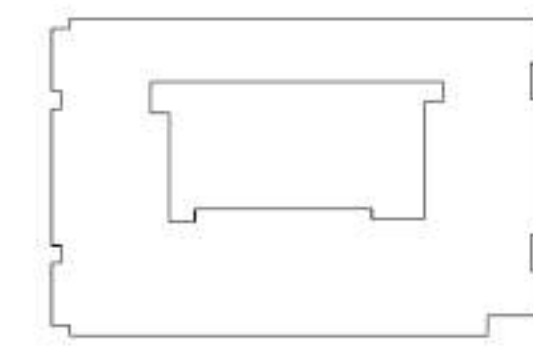
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EXTERIOR
 BUILDING VIEWS
 (NE CORNER)

A3-18



KEY PLAN





SECTION NOTES

- SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND DEEP FOUNDATION INFORMATION/ DETAILS.
- SEE STRUCTURAL DRAWINGS FOR ALL SIZES OF ALL FRAMING MEMBERS, TRUSSES, DETAILS AND ANCHORING REQUIREMENTS.
- PROVIDE 3" RIGID INSULATION ON THE INSIDE VERTICAL SURFACE OF ALL PERIMETER FOUNDATIONS TO 4'-0" BELOW SLAB.
- PROVIDE 3" RIGID INSULATION UNDER INTERIOR CONCRETE SLAB ON GRADE AT PERIMETER OF ALL CONDITIONED SPACES (4'-0" HORIZONTAL DISTANCE).
- PROVIDE PERIMETER BUILDING INSULATION AS INDICATED ON THE DRAWINGS OR IN THE COMCHECK REPORTS.
 - BELOW PODIUM/ PLENUM CEILING = R30 BATT INSUL.
 - BELOW WOOD FLOORS OVER UNCONDITIONED SPACE = R30
 - EXT WALLS = R21 HIGH DENSITY BATT W/ VAP. BARRIER
 - EXT WALLS = 1" MINERAL WOOL INSUL BD ON EXT. SURFACE
 - ROOF = R20 W/ TAPERED AS REQUIRED.
- PROVIDE WEATHER BARRIER ON OUTSIDE OF ALL EXTERIOR FRAMED WALLS FROM BASE PLATE UP TO TOP OF PARAPET. OVERLAP AND TAPE ALL JOINTS. WRAP WEATHER BARRIER INTO FULL DEPTH OF ALL WALL OPENINGS FOR WINDOWS AND DOORS AND OVERLAP AND TAPE JOINTS. SEE SPECIFICATIONS SECTION 07 27 27.
- ALL WINDOWS, DOORS AND ENTRANCE SYSTEMS IN EXTERIOR WALLS SHALL MEET THE MIN ENERGY PERFORMANCE REQUIREMENTS INDICATED IN COMCHECK REPORTS.
- INSULATE ALL CORNERS AND HEADERS WHERE FRAMING IS NOT FULL DEPTH OF STUD WALLS.
- INSULATE ALL CORNERS AND HEADERS WHERE FRAMING IS NOT FULL DEPTH OF STUD WALLS.
- SEAL SHIM SPACE BETWEEN WINDOW FRAME AND ROUGH OPENING WITH FOAM INSULATION.
- INSULATE RIM JOIST CAVITY SPACE WITH SAME INSULATION AS WALL FRAMING. WRAP ALL WALL PENETRATIONS WITH INSULATION AND SEAL PENETRATIONS FOR AIR LEAKAGE. INSULATION SHALL BE SECURED IN PLACE OR SECURELY FIT INTO PLACE TO PREVENT IT FROM MOVING.
- INSTALL WEATHER BARRIER BEHIND ALL EXTERIOR ELECTRICAL BOXES AND USE AIR SEALED TYPE BOXES.
- INSULATE UNDERSIDE OF CONCRETE PODIUM IN PARKING GARAGE. INSULATE TOP OF CONCRETE PODIUM AT AMENITY DECK. TEMPER PLENUM.
- DRAFTSTOPPING OF CONCEALED SPACES AT ROOF FRAMING IS NOT REQUIRED - IBC 718-4.2. EXCEPTION 2/ BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.3.1.1 (NFPA 13).
- PROVIDE A WATERPROOF MEMBRANE ON THE PODIUM DECK AND ABOVE THE GARAGE WITH DRAINAGE MATT. INSULATION, PROTECTION BOARD AND TERMINATE PER MANUFACTURER'S RECOMMENDATIONS AT EXTERIOR WALLS OF RESIDENTIAL BUILDINGS. COORDINATE WITH INSTALLATION OF PLAZA DRAINS, LANDSCAPE CURBS AND OTHER ITEMS ATTACHED TO THE PODIUM DECK. SEE SPECIFICATION SECTION 07 55 56.
- SEE CIVIL DRAWINGS FOR GRADING AT PERIMETER OF THE BUILDING.
- PROVIDE LADDER ACCESS/ ROOF HATCH FROM EACH RESIDENTIAL BUILDING TO THE ROOF SURFACE - SEE PLANS.
- PROVIDE TWO ROOF MEMBRANE SYSTEM OVER INSULATION, PROTECTION BOARD, TAPERED INSULATION ON ALL ROOF AREAS. EXTEND ROOF MEMBRANE UP VERTICALLY ON ALL PARAPET WALLS AND TERMINATE ON TOP OF THE WALL BELOW THE CAP FLASHING. SEE SHEETS AD-13 - AD17 FOR ROOF DETAILS AND SPECIFICATION SECTION 07 54 23.

KTGY Project No: #20170922

Project Contact: Anthony Margadonna
 Email: amargadonna@ktgly.com
 Principal: Craig Pryde
 Project Designer: Eric Lukasik

Developer



Gilbane Development Company
 Contact: Shawn Zimny
 Address: 225. W. Wacker Dr. Suite 2160
 Chicago, IL 60606
 Phone: 312.907.4493



NORTH/SOUTH BUILDING SECTION #1 3/32" = 1'-0" 1



NORTH/SOUTH BUILDING SECTION #2 3/32" = 1'-0" 2

MADISON YARDS - BLOCK 3

MADISON, WI

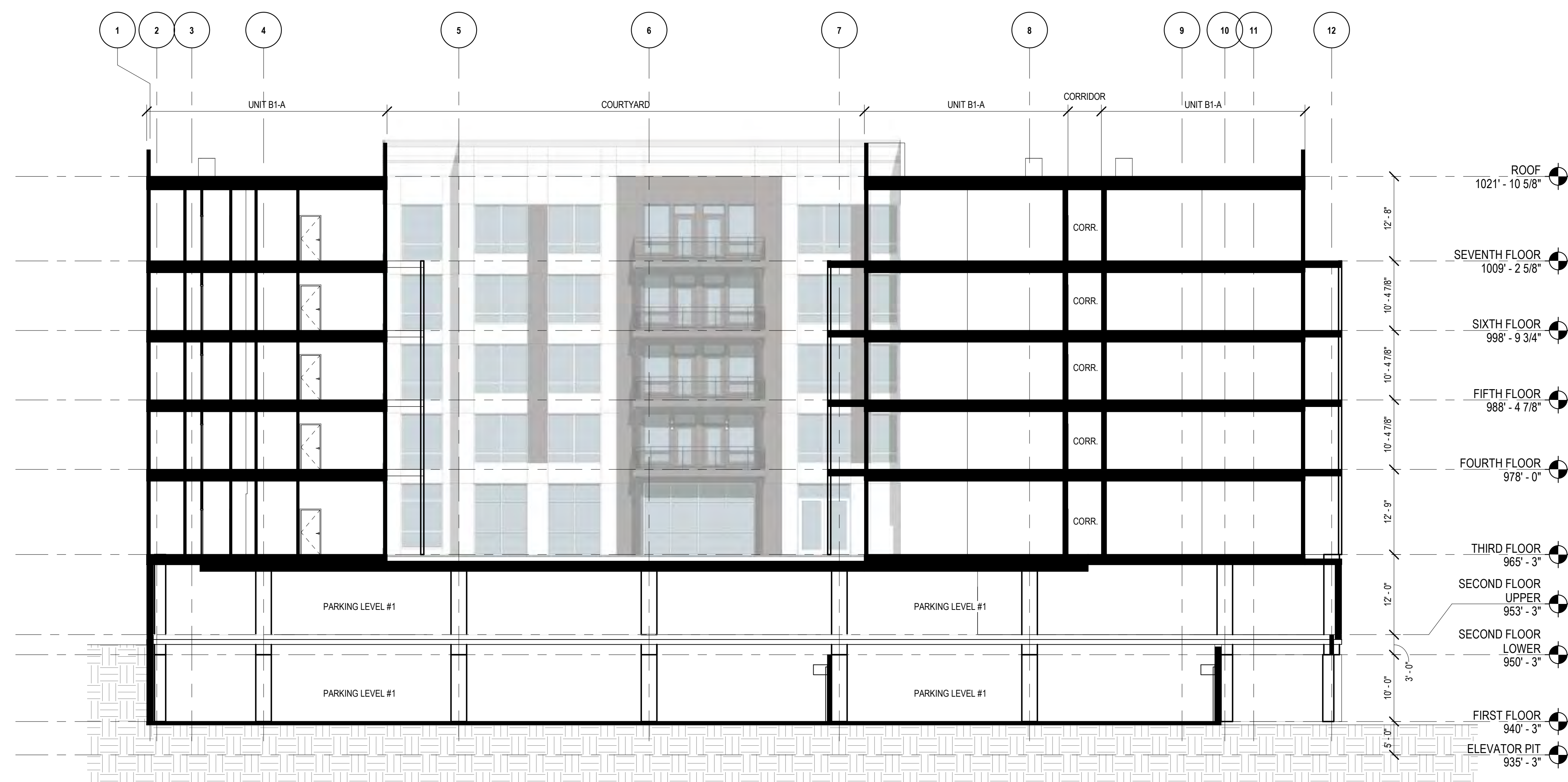
No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications of which a contractor is knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

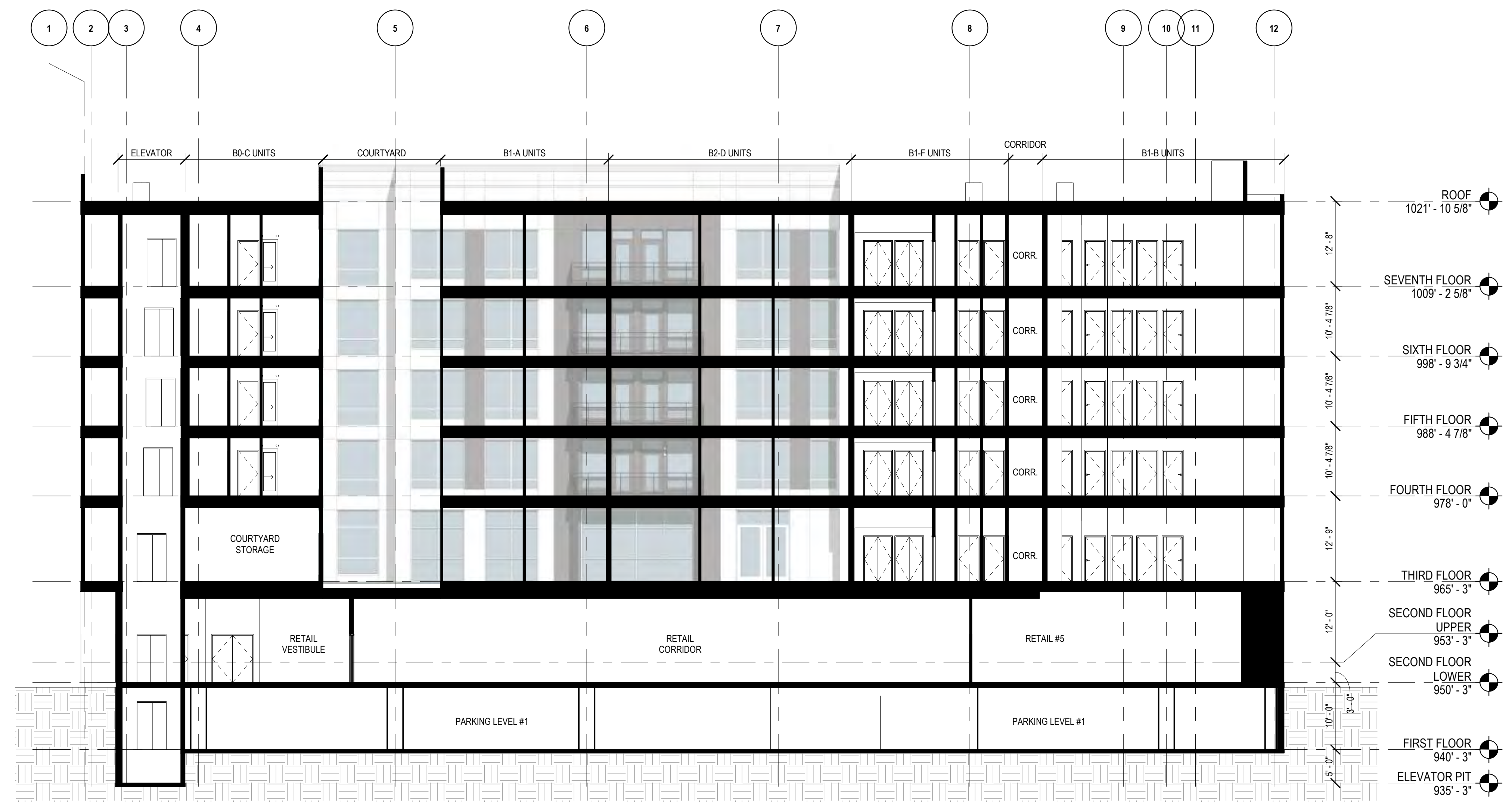
UDC SIP
 SUBMISSION
 03.03.2020

BUILDING SECTIONS - N/S

A4-00



EAST/WEST BUILDING SECTION #1 3/32" = 1'-0" 1



EAST/WEST BUILDING SECTION #2 3/32" = 1'-0" 2

SECTION NOTES

1. SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND DEEP FOUNDATION INFORMATION/ DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR ALL SIZES OF ALL FRAMING MEMBERS, TRUSSES, DETAILS AND ANCHORING REQUIREMENTS.
3. PROVIDE 3" RIGID INSULATION ON THE INSIDE VERTICAL SURFACE OF ALL PERIMETER FOUNDATIONS TO 4'-0" BELOW SLAB.
4. PROVIDE 3" RIGID INSULATION UNDER INTERIOR CONCRETE SLAB ON GRADE AT PERIMETER OF ALL CONDITIONED SPACES (4'-0" HORIZONTAL DISTANCE).
5. PROVIDE PERIMETER BUILDING INSULATION AS INDICATED ON THE DRAWINGS OR IN THE COMCHECK REPORTS.
 - A. BELOW PODIUM/ PLENUM CEILING = R30 BATT INSUL.
 - B. BELOW WOOD FLOORS OVER UNCONDITIONED SPACE = R30
 - C. EXT WALLS = R21 HIGH DENSITY BATT W/ VAP. BARRIER
 - D. EXT WALLS - 1" MINERAL WOOL INSUL. BD ON EXT. SURFACE
 - E. ROOF = R20 W/ TAPERED AS REQUIRED.
6. PROVIDE WEATHER BARRIER ON OUTSIDE OF ALL EXTERIOR FRAMED WALLS FROM BASE PLATE UP TO TOP OF PARAPET. OVERLAP AND TAPE ALL JOINTS. WRAP WEATHER BARRIER INTO FULL DEPTH OF ALL WALL OPENINGS FOR WINDOWS AND DOORS AND OVERLAP AND TAPE JOINTS. SEE SPECIFICATIONS SECTION 07 27 27.
7. ALL WINDOWS, DOORS AND ENTRANCE SYSTEMS IN EXTERIOR WALLS SHALL MEET THE MIN ENERGY PERFORMANCE REQUIREMENTS INDICATED IN COMCHECK REPORTS.
8. INSULATE ALL CORNERS AND HEADERS WHERE FRAMING IS NOT FULL DEPTH OF STUD WALLS.
9. VERIFY ALL 2ND-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
10. SEAL SHIM SPACE BETWEEN WINDOW FRAME AND ROUGH OPENING WITH FOAM INSULATION.
11. INSULATE RIM JOIST CAVITY SPACE WITH SAME INSULATION AS WALL FRAMING. WRAP ALL WALL PENETRATIONS WITH INSULATION AND SEAL PENETRATIONS FOR AIR LEAKAGE. INSULATION SHALL BE SECURED IN PLACE OR SECURELY FIT INTO PLACE TO PREVENT IT FROM MOVING.
12. INSTALL WEATHER BARRIER BEHIND ALL EXTERIOR ELECTRICAL BOXES AND USE AIR SEALED TYPE BOXES.
13. INSULATE UNDERSIDE OF CONCRETE PODIUM IN PARKING GARAGE. INSULATE TOP OF CONCRETE PODIUM AT AMENITY DECK. TEMPER PLENUM.
14. DRAFTSTOPPING OF CONCEALED SPACES AT ROOF FRAMING IS NOT REQUIRED - IBC 718.4.2. EXCEPTION 2/ BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 9.3.1.1 (NFPA 13).
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MADISON YARDS - BLOCK 3

MADISON, WI

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BUILDING
SECTIONS - E/W

A4-01

