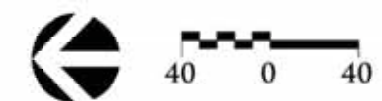


- Legend:**
- Project Boundary
  - Viewshed

**Viewshed Legend:**

- 1 - View Looking West From Fish Hatchery Road
- 2 - Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West
- 3 - View Looking West From Fish Hatchery Road & S. Park St.
- 4 - View Looking North East from South Park Street
- 5 - View Looking East from South Park Street
- 6 - View Looking East from South Park Street
- 7 - View Looking South West from High Street
- 8 - View Looking South from Midland Street
- 9 - View Looking South West from Midland to Garden Street





View Looking West From Fish Hatchery Rd.



View Looking East from South Park Street



Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West



View Looking East from South Park Street



View Looking West From Fish Hatchery Rd. & S. Park St. Intersection



View Looking South West from High Street



View Looking North West from Intersection of Fish Hatchery Road and South Park Street



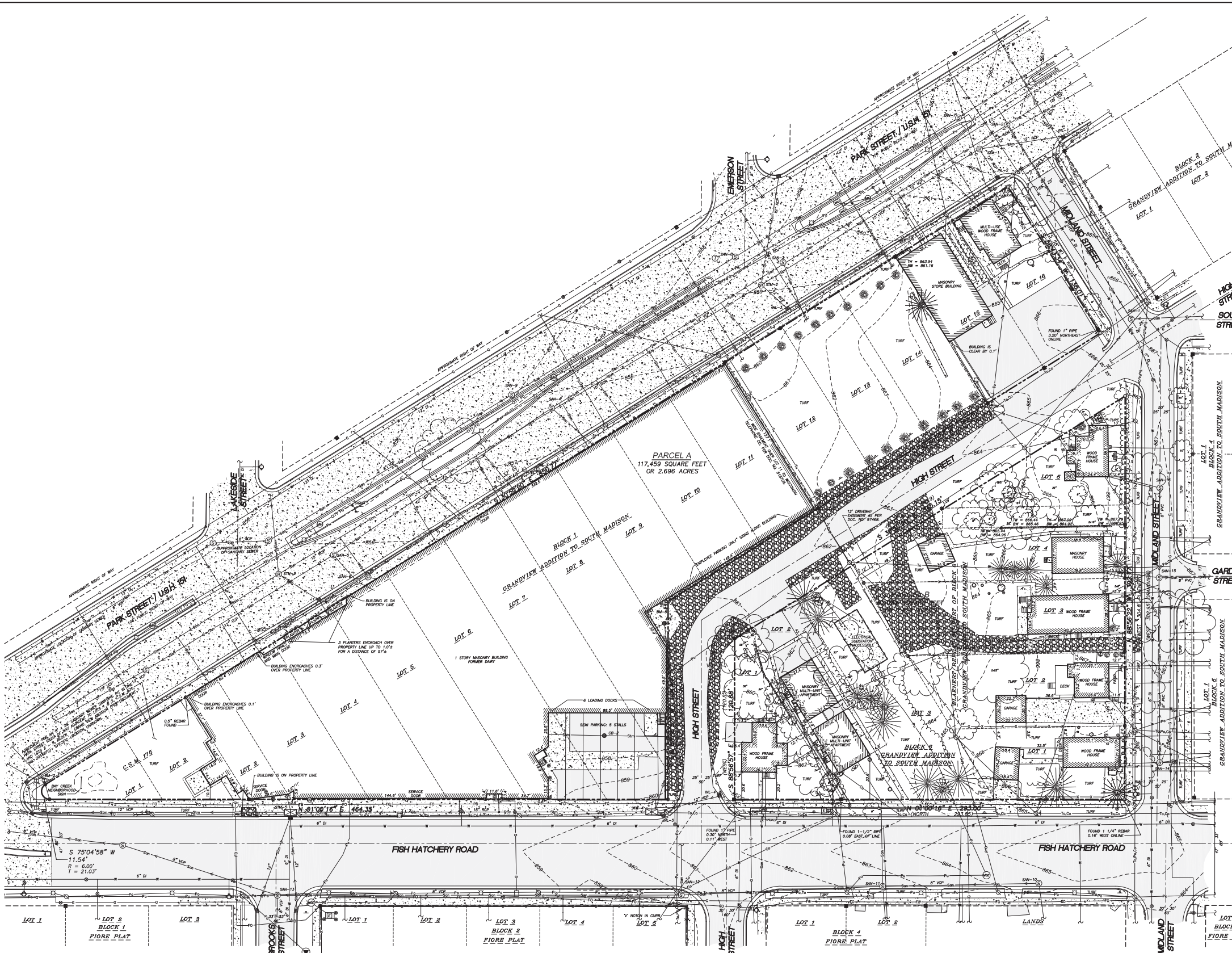
View Looking South From Midland Street



View Looking North East from South Park Street



View Looking South West From Midland to Garden Street



- LEGEND**
- 3/4" REBAR SET (1.50 LBS/LF)
  - 1" IRON PIPE FOUND
  - 2" IRON PIPE FOUND
  - 1 1/4" REBAR FOUND
  - 3/4" REBAR FOUND
  - REBAR FOUND (SIZE NOTED)
  - ✕ CHISELED "X" FOUND
  - ✕ CHISELED "Y" NOTCH FOUND
  - BENCHMARK
  - BOLLARD
  - POST
  - ▽ SIGN
  - ▽ DANE COUNTY WARNING SIREN
  - SATELLITE DISH
  - SANITARY MANHOLE
  - CLEAN OUT
  - HYDRANT
  - WATER OR GAS VALVE
  - STORM MANHOLE
  - ROUND CASTED INLET
  - CURB INLET
  - STORM SEWER ACCESS
  - DOWNSPOUT
  - GAS REGULATOR/METER MANHOLE
  - MGR MANHOLE
  - ELECTRIC TRANSFORMER
  - POWER POLE W/GUY
  - LIGHT POLE
  - TRAFFIC SIGNAL
  - PULL BOX
  - SIGNAL CONTROLLER BOX
  - WALK
  - TELEPHONE PEDESTAL
  - TELEPHONE MANHOLE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - PARCEL BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - PLATTED LOT LINE
  - CHORD LINE
  - EASEMENT LINE
  - FENCE LINE
  - GUARD OR SAFETY RAIL
  - STONE WALL
  - LANDSCAPE LIMITS
  - EDGE OF PAVEMENT
  - CONCRETE CURB & GUTTER
  - EDGE OF GRAVEL
  - SANITARY SEWER
  - WATER LINE
  - STORM SEWER
  - NATURAL GAS
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - OVERHEAD TELEPHONE
  - UNDERGROUND TELEPHONE
  - FIBER OPTIC
  - OVERHEAD CABLE
  - EDGE OF WOODS OR BUSH
  - BUILDING
  - 860 INDEX CONTOUR
  - 861 INTERMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - GRAVEL OR ROCK
  - DISCONTINUED MAPPED PIPE LINE
  - ( ) RECORDED INFORMATION
  - TE = 867.79 TOP AND BOTTOM OF RETAINING WALL ELEVATIONS
  - BT = 866.25

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. DURING THE WEEK OF APRIL 11TH, 2011.
  - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE (WCCS DANE).
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER OF SECTION 26, 17N, 7E, ELEVATION = 865.99'
  - CONTOUR INTERVAL IS ONE FOOT.
  - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES. LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NOS. 2011504227, 2011504213, 2011504405, 2011504277, 2011504311, 2011504257, 2011504235, 2011504199, 2011502608, 2011502486, 2011502475.
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
  - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING USED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
  - THIS PARCEL LIES IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP NO. 55025C04176, DATED JANUARY 02, 2009.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

**LEGAL DESCRIPTION:**

PARCEL A:  
 LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, AND 16, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON EXCEPT THE NORTHEAST CORNER OF LOT 1, GRANDVIEW ADDITION TO SOUTH MADISON EXCEPT THE NORTHEAST CORNER OF LOT 1, GRANDVIEW ADDITION TO SOUTH MADISON, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

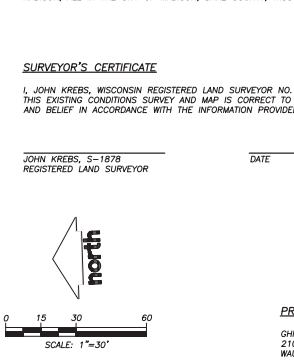
PARCEL B:  
 LOTS 1, 2, AND 3 OF BLOCK SIX 6, GRANDVIEW ADDITION TO SOUTH MADISON, AND LOTS 1, 2, 3, 4, AND 5, PLAENERT REPLAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878  
 REGISTERED LAND SURVEYOR

DATE: \_\_\_\_\_



TO OBTAIN LOCATIONS OF UNRECORDED UTILITIES, CONTACT DIGGERS HOTLINE AT 1.800.242.8511. TOLL FREE.

CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE

THIS INFORMATION IS FOR YOUR INFORMATION ONLY. IT IS NOT A WARRANTY OF ANY KIND. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS CAUSED BY ANY UNRECORDED UTILITIES.

**SANITARY SEWER MANHOLES**

STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SAN-1	866.67	SE	849.27 8"	PLUGGED	SAN-10	864.84	N	857.82 8"	VCP
		SW	849.01 8"	VCP			W	857.62 8"	VCP
		NE	849.52 8"	VCP	SAN-11	862.48	S	855.56 8"	VCP
SAN-2	862.81	SW	849.01 8"	VCP			NW	855.69 8"	VCP
		SE	851.31 12"	VCP			E	855.64 6"	VCP
		NW	848.91 12"	VCP			N	855.46 8"	VCP
SAN-3	859.42	SE	848.56 12"	VCP	SAN-12	860.84	S	852.88 8"	VCP
		SW	850.22 6"	CI			E	853.74 8"	VCP
		NW	848.52 12"	VCP			N	852.82 8"	VCP
SAN-4	857.78	SE	848.18 12"	VCP	SAN-13	855.26	S	847.26 8"	VCP
		SW	849.36 6"	VCP			W	847.26 8"	VCP
		NW	848.18 12"	VCP			N	852.82 8"	VCP
SAN-5	856.09	SE	846.72 6"	VCP	SAN-14	866.07	N	858.86 8"	PVC
		SW	846.72 6"	VCP			W	858.86 8"	PVC
		NW	848.18 12"	VCP			N	858.86 8"	PVC
SAN-6	-	SE	852.38 8"	VCP	SAN-15	867.66	N	856.76 8"	PVC
		SW	852.38 8"	VCP			W	856.76 8"	PVC
		NE	852.43 8"	VCP			N	856.76 8"	PVC
SAN-7	861.58	SE	852.38 8"	VCP	SAN-16	867.39	S	858.14 8"	PVC
		SW	852.38 8"	VCP			W	858.14 8"	PVC
		NW	852.51 8"	VCP			N	858.14 8"	PVC
SAN-8	858.52	SE	849.19 8"	VCP			W	859.83 8"	PVC
		NW	849.19 8"	VCP			N	859.83 8"	PVC
SAN-9	856.95	SE	847.96 8"	VCP			W	847.96 8"	VCP
		NW	847.96 8"	VCP			N	847.96 8"	VCP

**STORM SEWER MANHOLES**

STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
STM-1	862.36	SE	858.91 12"	RCP
		SW	858.91 12"	RCP
		NE	858.91 12"	RCP
		NW	858.91 12"	RCP
STM-2	859.12	SE	854.90 12"	RCP
		SW	854.90 12"	RCP
		NE	854.90 12"	RCP
		NW	854.90 12"	RCP
STM-3	855.85	SE	851.00 12"	RCP
		SW	851.00 12"	RCP
		NE	851.00 12"	RCP
		NW	851.00 12"	RCP
STM-4	860.00	SE	856.75 10"	PVC
		SW	856.98 12"	VCP
		NE	857.48 12"	VCP
		NW	856.48 15"	RCP
		E	854.54 15"	FLOOR
		S	851.01 15"	RCP
STM-5	855.52	SE	851.01 12"	RCP
		SW	851.01 12"	RCP
		NE	851.01 12"	RCP
		NW	851.01 12"	RCP

**STORM SEWER INLETS**

INLET ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
INL-1	862.77	N	859.67 12"	RCP
INL-2	862.00	NW	859.60 12"	RCP
INL-3	858.35	NW	856.40 6"	PVC
INL-4	860.21	N	857.96 12"	VCP
INL-5	859.43	NE	857.63 12"	VCP
CB-1	860.12	W	10"	PVC
CB-2	-	N	10"	PVC
		S	10"	PVC

**BENCHMARKS**

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	870.74	TOP NUT ON HYDRANT AT THE NORTHEAST CORNER OF FISH HATCHERY ROAD AND MIDLAND STREET
BM-2	854.21	TOP OF A 3/4" REBAR AT THE NORTHEAST LOT CORNER OF LOT 1, CSM 175
BM-3	857.39	CHISELED X IN FRONT OF THE DAIRY BUILDING, NEAR THE EAST PROPERTY LINE OF LOT 6, BLOCK 1, GRANDVIEW
BM-4	864.75	TOP OF A 3/4" REBAR AT THE SOUTH LOT CORNER OF LOT 14, BLOCK 1, GRANDVIEW
BM-5	860.36	CHISELED X IN BEHIND THE DAIRY BUILDING, NEAR THE WEST PROPERTY LINE OF LOT 9, BLOCK 1, GRANDVIEW

**EXISTING CONDITIONS SURVEY**

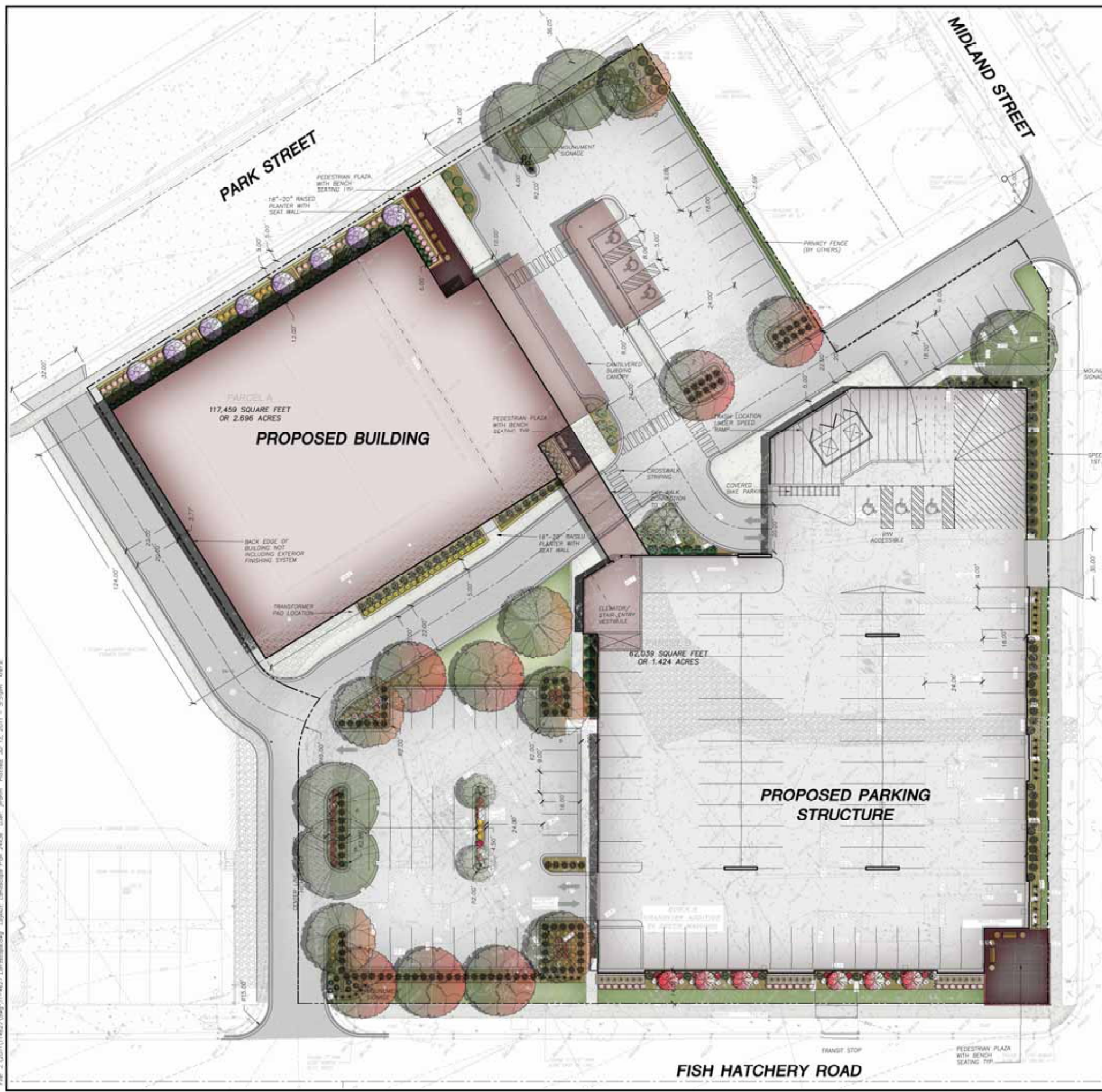
LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3 THROUGH 16, BLOCK 1 AND ALL OF LOTS 1 THROUGH 5, BLOCK 6, GRANDVIEW ADDITION TO SOUTH MADISON, LOTS 1 THROUGH 5, PLAENERT REPLAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

**JSD Professional Services, Inc.**  
 Engineers • Surveyors • Planners

PROJECT NO: 11-4627  
 FILE NO: E-65  
 SURVEYED: MAD/JDS  
 F.B. No./Pg. 246/119  
 SHEET NO.: 1 OF 1

DATE	BY	DESCRIPTION
4-25-11	JWS	DRAWN BY
4-26-11	JK	CHECKED BY
4-28-11	HPL	APPROVED BY
4-28-11	HPL	DATE
4-28-11	HPL	DATE

File: J:\2011\114627\114627.dwg User: jordan Plot: 24x36 Date: 11/12/2011 3:51pm Ref: 6



**LEGEND (PROPOSED)**

PROPERTY LINE  
CONCRETE SURFACE

TALL DECIDUOUS TREE

MEDIUM DECIDUOUS TREE

LOW DECIDUOUS TREE

MEDIUM DECIDUOUS SHRUB

LOW DECIDUOUS SHRUB

MEDIUM EVERGREEN TREE

MEDIUM EVERGREEN SHRUB

LOW EVERGREEN SHRUB

ORNAMENTAL GRASSES

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
  - NO SITE DRAINING OUTSIDE OF DOWNSLOPE OF PROPOSED S&T FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTION BY ANY OF ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET 1-2.0.

**PARKING LOT PLAN SITE INFORMATION**

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI  
SITE ADDRESS:  
NUMBER OF BUILDING STORES (ABOVE GRADE): 4 STORY  
BUILDING HEIGHT: 50'-0"  
TYPE OF CONSTRUCTION: N/A  
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800

USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC  
GROSS SQUARE FEET OF OFFICE: N/A  
GROSS SQUARE FEET OF RETAIL AREA: N/A  
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A  
CAPACITY OF OFFICE AREA: N/A

NUMBER OF PARKING STALLS REMOVED: N/A

NUMBER OF SURFACE PARKING STALLS: 65  
NUMBER OF PARKING STRUCTURE STALLS: 201  
(57 1ST LEVEL, 104 2ND LEVEL)  
NUMBER OF ACCESSIBLE STALLS: 7

TOTAL NUMBER OF PARKING STALLS = 266

NUMBER OF BICYCLE STALLS SHOWN: 11  
NUMBER OF TREES REQUIRED (266 STALLS): 18  
NUMBER OF TREES SHOWN: 18  
NUMBER OF LANDSCAPE POINTS REQUIRED: 1050.50

**LANDSCAPE PLANT LIST**

PLANT	QUANTITY	PLANT NAME	SIZE	HEIGHT	SPACING
<b>FALL DECIDUOUS TREES (CANOPY TREES)</b>					
AM	7	Autumn Blaze Maple	ACER x Freeman 'Jefferson'	2" Cal	66R
GO	2	Common Hackberry	CELTIS occidentalis	2" Cal	66D
RM	6	Red Smart Maple	ACER rubrum 'Frankford'	2" Cal	66R
<b>MEDIUM DECIDUOUS TREES</b>					
CSP	2	Cleveland Select Pear	PIRUS caryocarpa 'Cleveland Select'	1 1/2" Cal	66B
<b>LOW DECIDUOUS TREES</b>					
CCR	8	Carrollwood Crabapple	MALUS 'Carrollwood'	1 1/2" Cal	66B
MD	8	Jane Myrtle	MAGNOLIA x Jane'	1 1/2" Cal	66B
<b>MEDIUM DECIDUOUS SHRUBS</b>					
FS	67	On-Low Fragrant Sumac	RHUS aromatica 'On-Lo'	18" H	# 3 Cont
ROB	57	Rocky Star Barbary	Berberis thunbergii var. atropurpurea 'Rock Star'	18" H	# 2 Cont
AC	8	Alpine Currant	RIBES alpinum	15-18" H	# 2 Cont
<b>LOW DECIDUOUS SHRUBS</b>					
GT	20	Madroenian Golden Tangle	GENISTA tinctoria 'Madroenian'	15" H	# 2 Cont
MVP	20	McKay's White Potentilla	POTENTILLA fruticosa 'McKay's White'	15" H	# 2 Cont
RD	2	Rocky Star Dog Rose	ROSA 'Rocky Star'	15" H	# 2 Cont
DM	57	Domestic Spirea	SPirea japonica 'Goldmound'	15" H	# 2 Cont
GRS	68	Gumball Spruce	SPirea japonica 'Gumball'	15" H	# 2 Cont
HE	8	Endless Summer Hydrangea	HYDRANGEA macrophylla 'Endless Summer'	15-18" H	# 2 Cont
<b>MEDIUM EVERGREEN TREES</b>					
BA	14	Blue Arrow Juniper	JUNIPERUS virginiana 'Blue Arrow'	2-3' H	66B
MU	21	Munsterlander Juniper	JUNIPERUS horizontalis 'Munsterlander'	2-4' H	66B
<b>MEDIUM EVERGREEN SHRUBS</b>					
BSJ	28	Blue Star Juniper	JUNIPERUS chinensis 'Blue Star'	15-18" H	# 3 Cont
TY	17	Turkey Tail	TAXUS media 'Turkey Tail'	15-18" H	# 2 Cont
<b>LOW EVERGREEN SHRUBS</b>					
BSJ	18	Blue Star Juniper	JUNIPERUS chinensis 'Blue Star'	15-18" H	# 3 Cont
HJ	103	Hughes Juniper	JUNIPERUS horizontalis 'Hughes'	15-18" H	# 3 Cont
DUT	26	Dwarf Japanese Yew	TAXUS cuspidata 'Nana'	15-18" H	# 3 Cont
<b>ORNAMENTAL GRASSES</b>					
KF	21	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10-12" H	# 1 Cont
PR	36	Prairie Dropseed	SPOROBOLUS heterostachyus	4" H	CONT



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MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
608.948.5800 PHONE | 608.948.5255 FAX

MADISON | MILWAUKEE  
KENOSHA | APPLETON  
www.jsdinc.com

SERVICES PROVIDED TO:  
**GHIDORZI COMPANIES**

2100 STEWART AVE, SUITE 300  
WAUSAU, WI 54401

PROJECT:  
**WINGRA CLINIC**  
1102 SOUTH PARK ST.

PROJECT LOCATION:  
CITY OF MADISON  
DANE COUNTY, WI

JSD PROJECT NO.:

REAL SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: J.F. 09-29-11  
DRAWN: A.P. 07-11-11

APPROVED:

PLAN MODIFICATIONS:	DATE:

**DIGGERS HOTLINE**

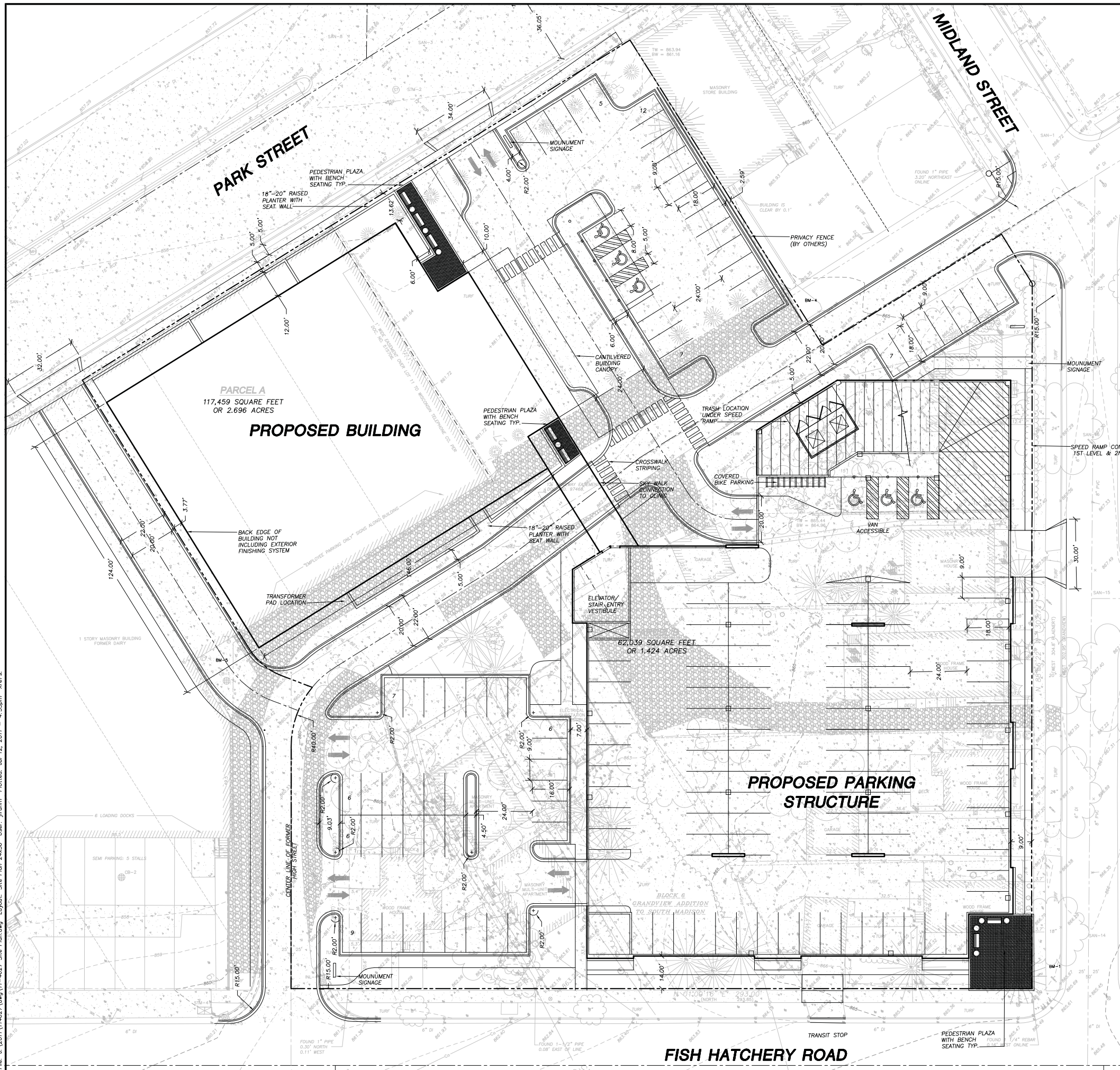
Toll Free (800) 242-8511  
Milwaukee Area (414) 255-1181  
Heating Inquiries (800) 842-2889  
www.DiggersHotline.com

SHEET TITLE:

SITE PLAN  
LANDSCAPE PLAN

SHEET NUMBER:

File: J:\2011\14627\Map\1-4627\_Site Plan.dwg Layout: Site Plan.dwg User: jfrank Plotfile: Jul 12, 2011 - 4:55pm Xref's



**LEGEND (PROPOSED)**

- PROPERTY LINE
- CONCRETE SURFACE

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD IN MAY 2011.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

**PARKING LOT PLAN SITE INFORMATION**

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE: 2.696
NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800
USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A
NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 65
NUMBER OF PARKING STRUCTURE STALLS: 201 (97 1ST LEVEL, 104 2ND LEVEL)
NUMBER OF ACCESSIBLE STALLS: 7
TOTAL NUMBER OF PARKING STALLS = 266
NUMBER OF BICYCLE STALLS SHOWN: 11
NUMBER OF TREES REQUIRED (266 STALLS): 18
NUMBER OF TREES SHOWN: 18
NUMBER OF LANDSCAPE POINTS REQUIRED: 1050.50

**SITE PLAN NOTES**

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND CONSTRUCTED BY THE CITY OF MADISON AND UNDER SEPARATE CONTRACT EXCEPT AS SHOWN.
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER IS 18" CURB AND GUTTER UNLESS OTHERWISE NOTED.
5. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
6. ALL MARKINGS TO BE YELLOW OR WHITE PAINT PER CITY OF MADISON STANDARDS. HANDICAP SYMBOL TO BE BLUE PAINT.
7. SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.

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 WAUSAU, WI 54401

PROJECT:  
**WINGRA CLINIC**  
 1102 SOUTH PARK ST.

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.:

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	JLF	06-29-11
DRAWN:	JLF	07-11-11
APPROVED:		

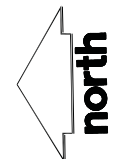
PLAN MODIFICATIONS:	DATE:

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SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-1.0**



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PLAN MODIFICATIONS:	DATE:

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**LEGEND (PROPOSED)**

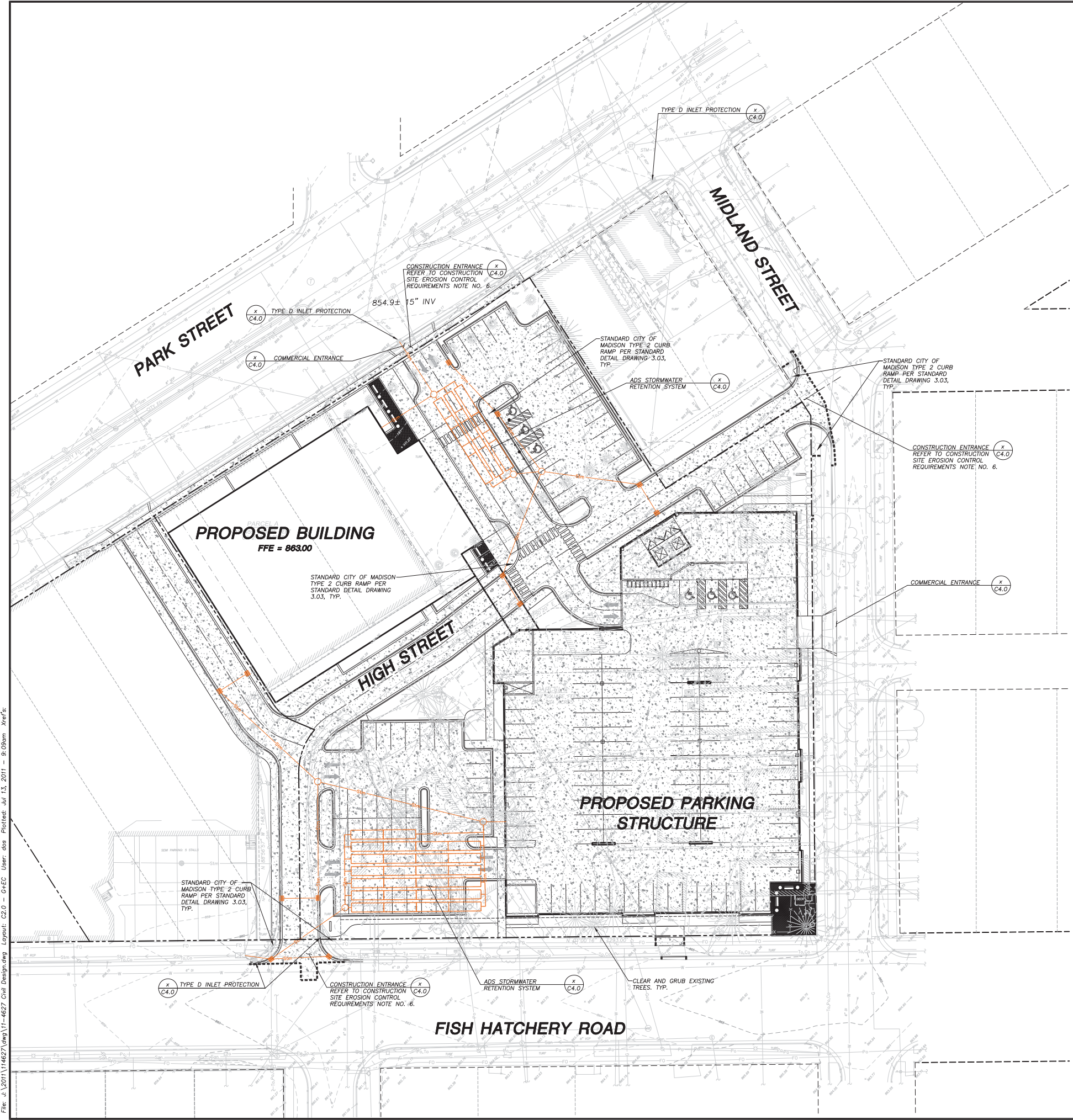
- PROPERTY LINE
- UNDERGROUND STORM WATER MANAGEMENT
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- CONCRETE PAVEMENT

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
2. ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER, PER ENGINEERING PROJECT NO. XXXXXX.
4. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
5. NO SITE GRADING OUTSIDE OF THE PROPERTY UNLESS SPECIFIED.
6. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
7. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
8. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
9. REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC FOR PAVEMENT DESIGN AND CULVERT DETAILS.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

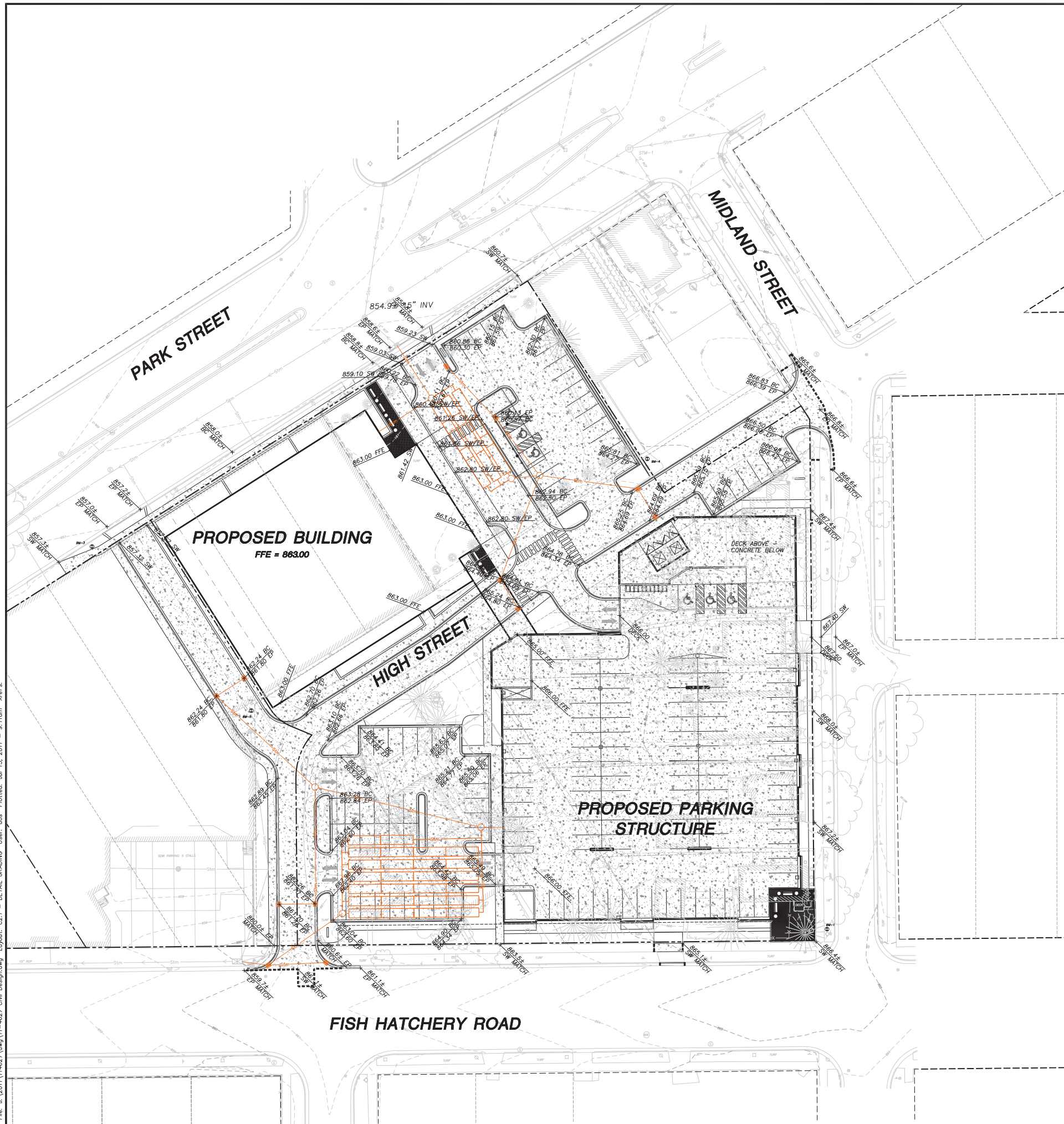
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WISDOT FDM FOR RESPECTIVE DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 4:1 (25%) SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WDCOMM REQUIREMENTS.



File: J:\2011\114627\Map\11-4627 Civil Design.dwg Layout: C2.0 - C4EC User: dos Plotfile: Jul 13, 2011 - 9:09am Xref's

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File: J:\2011\14627\Map\11-4627 Civil Design.dwg Layout: C2.1 - DETAIL GRADING User: dds Plotted: Jul 13, 2011 - 9:11am Xref's:



**LEGEND (PROPOSED)**

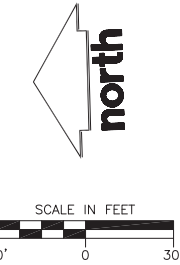
- PROPERTY LINE
  - 859 PROPOSED 1 FOOT CONTOUR
  - 860 PROPOSED 5 FOOT CONTOUR
  - ○ ○ SILT FENCE
  - EDGE OF PAVEMENT
  - SAWCUT
  - ===== 18" CONCRETE CURB & GUTTER
  - ===== 18" REJECT CONCRETE CURB & GUTTER
  - ===== ASPHALT PAVEMENT
  - ===== CONCRETE PAVEMENT
- SPOT ELEVATION
- BC - BACK OF CURB
  - EP - EDGE OF PAVEMENT
  - RM - STRUCTURE RIM
  - EC - EDGE OF CONCRETE
  - FG - FINAL GRADE
  - HP - HIGH POINT

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
2. ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EASMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER CITY TRAFFIC ENGINEER, PER ENGINEERING PROJECT NO. 53B2278.
4. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
5. NO SITE GRADING OUTSIDE OF THE CONSTRUCTION LIMIT LINE.
6. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
7. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
8. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
9. REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC FOR PAVEMENT DESIGN AND CULVERT DETAILS.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES THE BIORETENTION AND RAIN GARDEN AREAS JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
7. EXCESS MATERIAL TO BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.



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**GHIDORZI COMPANIES**

2100 STEWART AVE, SUITE 300  
 WAUSAU, WI 54401

PROJECT:  
**UW HEALTH - WINGRA CREEK FAMILY MEDICAL CENTER**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: DOS 6-20-2011  
 DRAWN: DOS 6-20-2011  
 APPROVED: WPW -

PLAN MODIFICATIONS:	DATE:

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SHEET TITLE:  
**DETAIL GRADING PLAN**

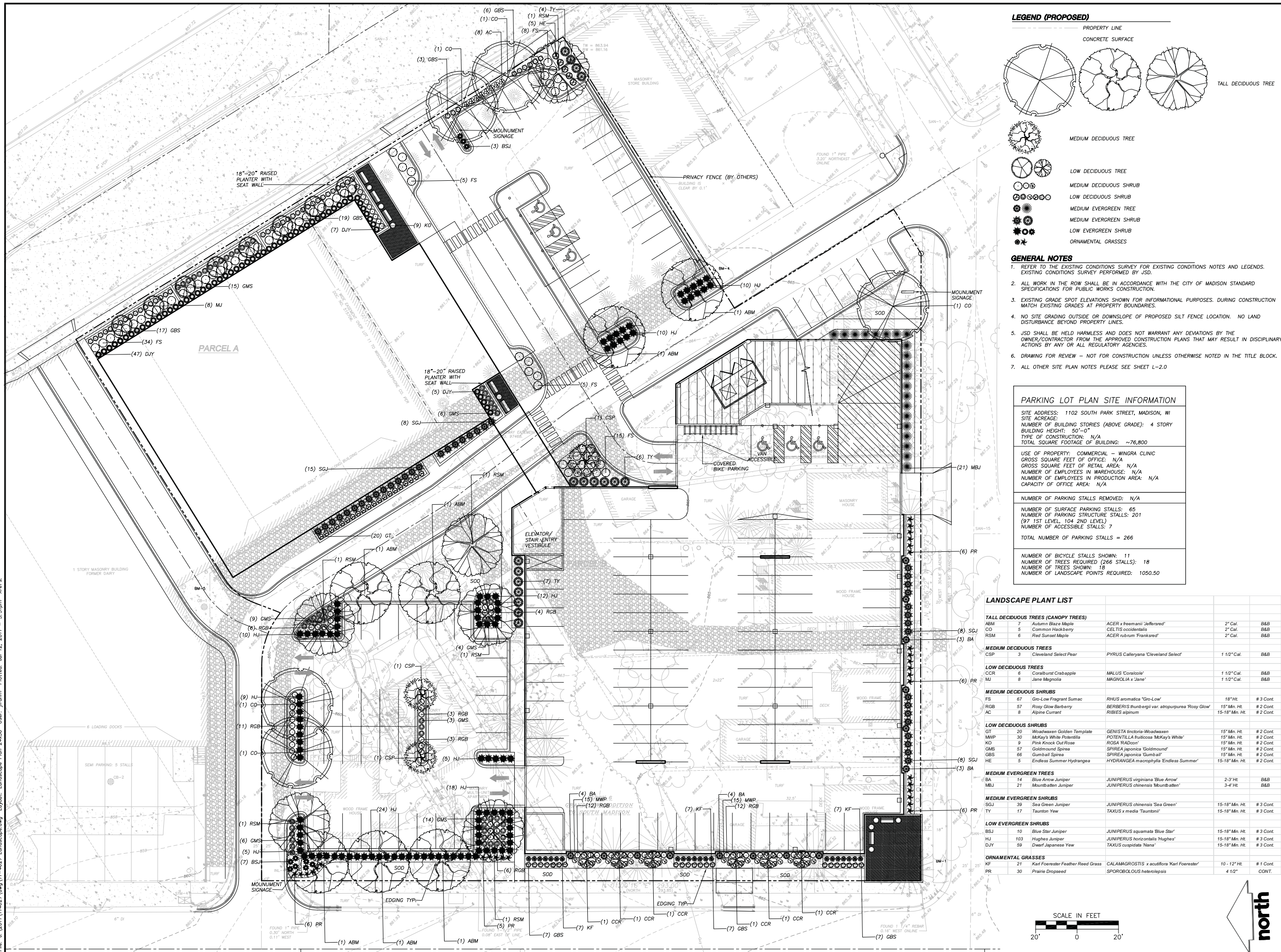
SHEET NUMBER:  
**C2.1**

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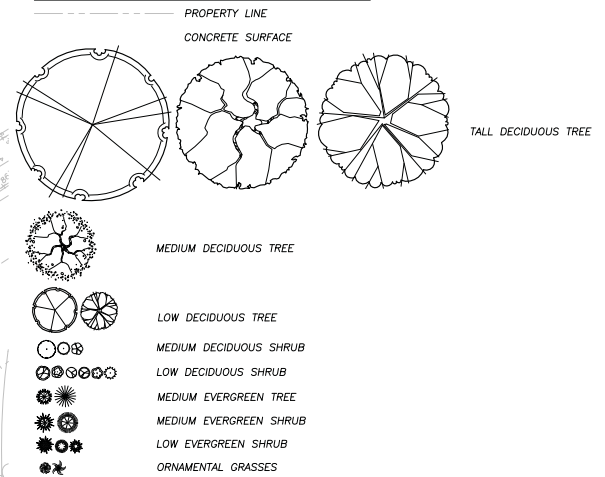




File: J:\2011\14627\Map\1-4627 Landscape.dwg Layout: Landscape Plan 24x36 User: jfrahm Plotfile: Jul 12, 2011 - 5:51pm Xref's:



**LEGEND (PROPOSED)**



**GENERAL NOTES**

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- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

**PARKING LOT PLAN SITE INFORMATION**

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI  
 SITE ACREAGE: [blank]  
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY  
 BUILDING HEIGHT: 50'-0"  
 TYPE OF CONSTRUCTION: N/A  
 TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800

USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC  
 GROSS SQUARE FEET OF OFFICE: N/A  
 GROSS SQUARE FEET OF RETAIL AREA: N/A  
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A  
 CAPACITY OF OFFICE AREA: N/A

NUMBER OF PARKING STALLS REMOVED: N/A

NUMBER OF SURFACE PARKING STALLS: 65  
 NUMBER OF PARKING STRUCTURE STALLS: 201 (97 1ST LEVEL, 104 2ND LEVEL)  
 NUMBER OF ACCESSIBLE STALLS: 7  
 TOTAL NUMBER OF PARKING STALLS = 266

NUMBER OF BICYCLE STALLS SHOWN: 11  
 NUMBER OF TREES REQUIRED (266 STALLS): 18  
 NUMBER OF TREES SHOWN: 18  
 NUMBER OF LANDSCAPE POINTS REQUIRED: 1050.50

**LANDSCAPE PLANT LIST**

PLANT CODE	PLANT NAME	COMMON NAME	HEIGHT	CONT.
<b>TALL DECIDUOUS TREES (CANOPY TREES)</b>				
ABM	7 Autumn Blaze Maple	ACER x freemanii 'Jeffersred'	2" Cal.	8&B
CO	5 Common Hackberry	CELTIS occidentalis	2" Cal.	8&B
RSM	6 Red Sunset Maple	ACER rubrum 'Franksred'	2" Cal.	8&B
<b>MEDIUM DECIDUOUS TREES</b>				
CSP	3 Cleveland Select Pear	PYRUS catherinae 'Cleveland Select'	1 1/2" Cal.	8&B
<b>LOW DECIDUOUS TREES</b>				
CCR	6 Coralburst Crabapple	MALUS 'Coralcole'	1 1/2" Cal.	8&B
MJ	8 Jane Magnolia	MAGNOLIA x 'Jane'	1 1/2" Cal.	8&B
<b>MEDIUM DECIDUOUS SHRUBS</b>				
FS	67 Go-Low Fragrant Sumac	RHUS aromatica 'Go-Low'	18" HL	# 3 Cont.
RGB	57 Rosy Glow Barberry	BERBERIS thunbergii var. atropurpurea 'Rosy Glow'	15" Mn. Ht.	# 2 Cont.
AC	8 Alpine Currant	RIBES alpinum	15-18" Mn. Ht.	# 2 Cont.
<b>LOW DECIDUOUS SHRUBS</b>				
GT	20 Wadswanan Golden Temple	GENISTA tinctoria-Woadswanan	15" Mn. Ht.	# 2 Cont.
MWP	30 McKay's White Potentilla	POTENTILLA fruticosa McKay's White'	15" Mn. Ht.	# 2 Cont.
KO	9 Pink Knock Out Rose	ROSA 'RADcon'	15" Mn. Ht.	# 2 Cont.
GMS	57 Goldmound Spirea	SPIREA japonica 'Goldmound'	15" Mn. Ht.	# 2 Cont.
GBS	66 Gumball Spirea	SPIREA japonica 'Gumball'	15" Mn. Ht.	# 2 Cont.
HE	5 Endless Summer Hydrangea	HYDRANGEA macrophylla 'Endless Summer'	15-18" Mn. Ht.	# 2 Cont.
<b>MEDIUM EVERGREEN TREES</b>				
BA	14 Blue Arrow Juniper	JUNIPERUS virginiana 'Blue Arrow'	2-3' HL	8&B
MBJ	21 Mountbatten Juniper	JUNIPERUS chinensis 'Mountbatten'	3-4' HL	8&B
<b>MEDIUM EVERGREEN SHRUBS</b>				
SGJ	39 Sea Green Juniper	JUNIPERUS chinensis 'Sea Green'	15-18" Mn. Ht.	# 3 Cont.
TY	17 Taunton Yew	TAXUS x media 'Taunton'	15-18" Mn. Ht.	# 3 Cont.
<b>LOW EVERGREEN SHRUBS</b>				
BSJ	10 Blue Star Juniper	JUNIPERUS squamata 'Blue Star'	15-18" Mn. Ht.	# 3 Cont.
HJ	103 Hughes Juniper	JUNIPERUS horizontalis 'Hughes'	15-18" Mn. Ht.	# 3 Cont.
DJY	59 Dwarf Japanese Yew	TAXUS cuspidata 'Nana'	15-18" Mn. Ht.	# 3 Cont.
<b>ORNAMENTAL GRASSES</b>				
KF	21 Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10-12" HL	# 1 Cont.
PR	30 Prairie Dropseed	SPOROBOLOUS heterolepis	4 1/2"	CONT.

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2100 STEWART AVE, SUITE 300  
 WAUSAU, WI 54401

PROJECT:  
**WINGRA CLINIC**  
 1102 SOUTH PARK ST.

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.:

SEAL/SIGNATURE:

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DESIGN: JLF 06-29-11  
 DRAWN: JLF 07-11-11

APPROVED:

PLAN MODIFICATIONS: DATE:

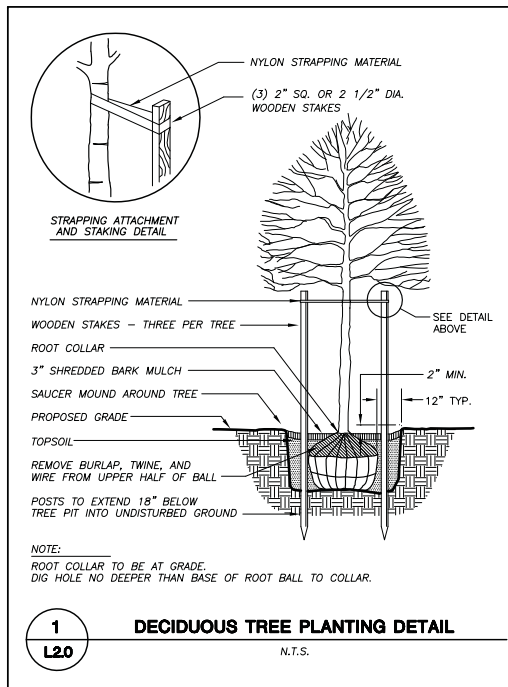
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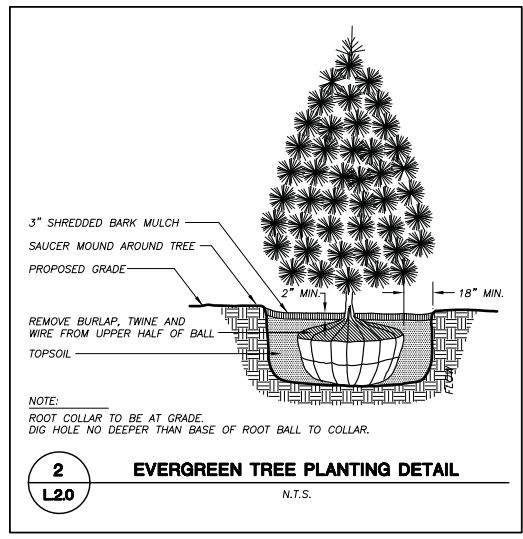
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-1.0**

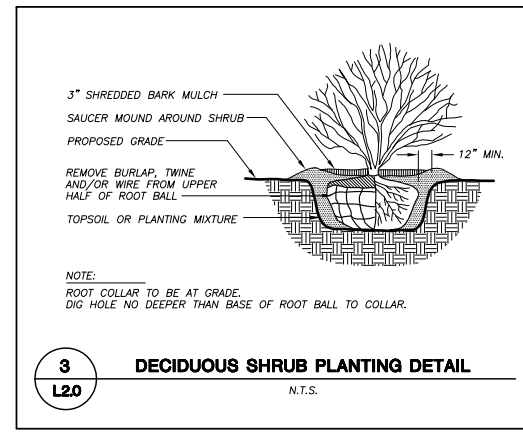
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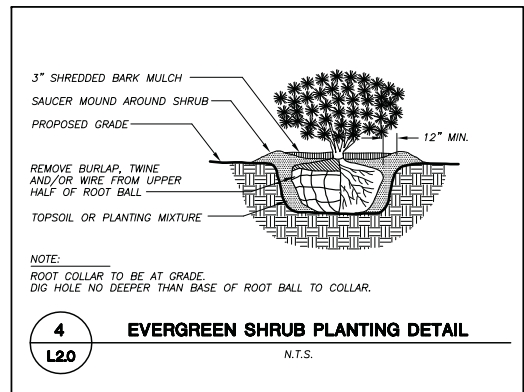
**1**  
L2.0  
**DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.



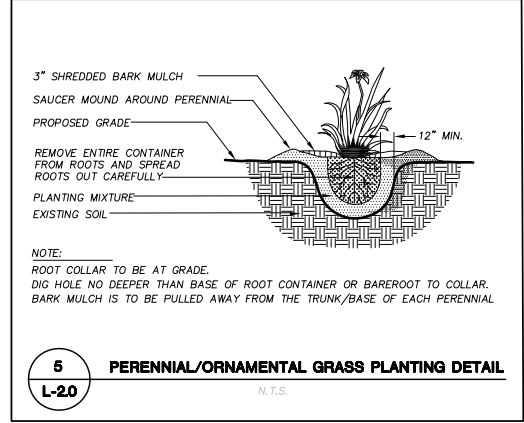
**2**  
L2.0  
**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



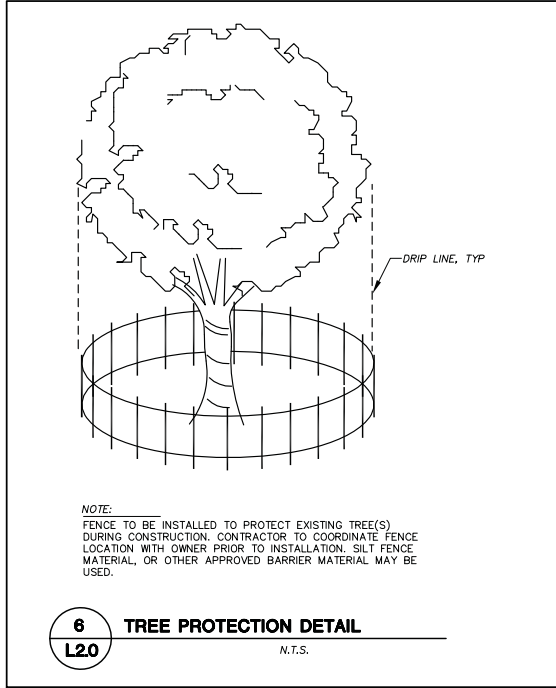
**3**  
L2.0  
**DECIDUOUS SHRUB PLANTING DETAIL**  
N.T.S.



**4**  
L2.0  
**EVERGREEN SHRUB PLANTING DETAIL**  
N.T.S.



**5**  
L-2.0  
**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**  
N.T.S.



**6**  
L2.0  
**TREE PROTECTION DETAIL**  
N.T.S.

**LANDSCAPE NOTES AND SPECIFICATIONS**

- GENERAL:** ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- SEEDING:** ALL DISTURBED AREAS SHALL BE SEEDDED AS SPECIFIED IN THESE NOTES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:  
1. SEEDDED AREAS = 7"  
2. TREE RINGS AND PITS = SEE DETAILS  
PLANTING SOIL TO BE A MINIMUM 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - FERTILIZER AND MULCH:** ALL TREE RINGS RECEIVE 3" OF MUSHROOM COMPOST, TILLED INTO THE TOP 12" OF ALL PLANTING BEDS. TREE RINGS SHALL AND BIORETENTION AREA SHALL RECEIVE 3" DEPTH, FINELY SHREDDED, WEED FREE, CEDAR BARK MULCH (DYE-FREE) OVER ENTIRE BED, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH ROCK COUNTY AND STATE OF WISCONSIN REQUIREMENTS. ALL TREE RINGS SHALL BE AT LEAST 6" IN DIAMETER.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING EXCEPT FOR TREE RINGS. ALL DECIDUOUS, ORNAMENTAL, AND EVERGREEN TREES NOT WITH EDGED LANDSCAPE BEDS SHALL BE INSTALLED WITH A 6" DIAMETER TREE RING WITH SHOVEL EDGING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS:** SOD ALL DISTURBED AREAS AS SPECIFIED IN THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.
- CONTRACTOR TO PRESERVE AND PROTECT ALL EXISTING VEGETATION. REFER TO TREE PROTECTION DETAIL FOR SPECIFIC REQUIREMENTS.**

**LANDSCAPE WORKSHEET**  
Parking Lots, Storage Areas and Loading Areas  
(Section 28.34 Madison General Ordinance)

Project Location: 1102 SOUTH PARK ST.  
Client: WINGRA CLINIC  
City: MADISON  
City Engineer: CHUCK GHIDORZI  
Address: 3550 ANDERSON ST., P.O. BOX 7006, MADISON, WI 53704

FOR PARKED LOTS WITH GREATER THAN 25 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

**A. Number of Trees Required**  
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Storage lots are required to be 10:1 ratio.)

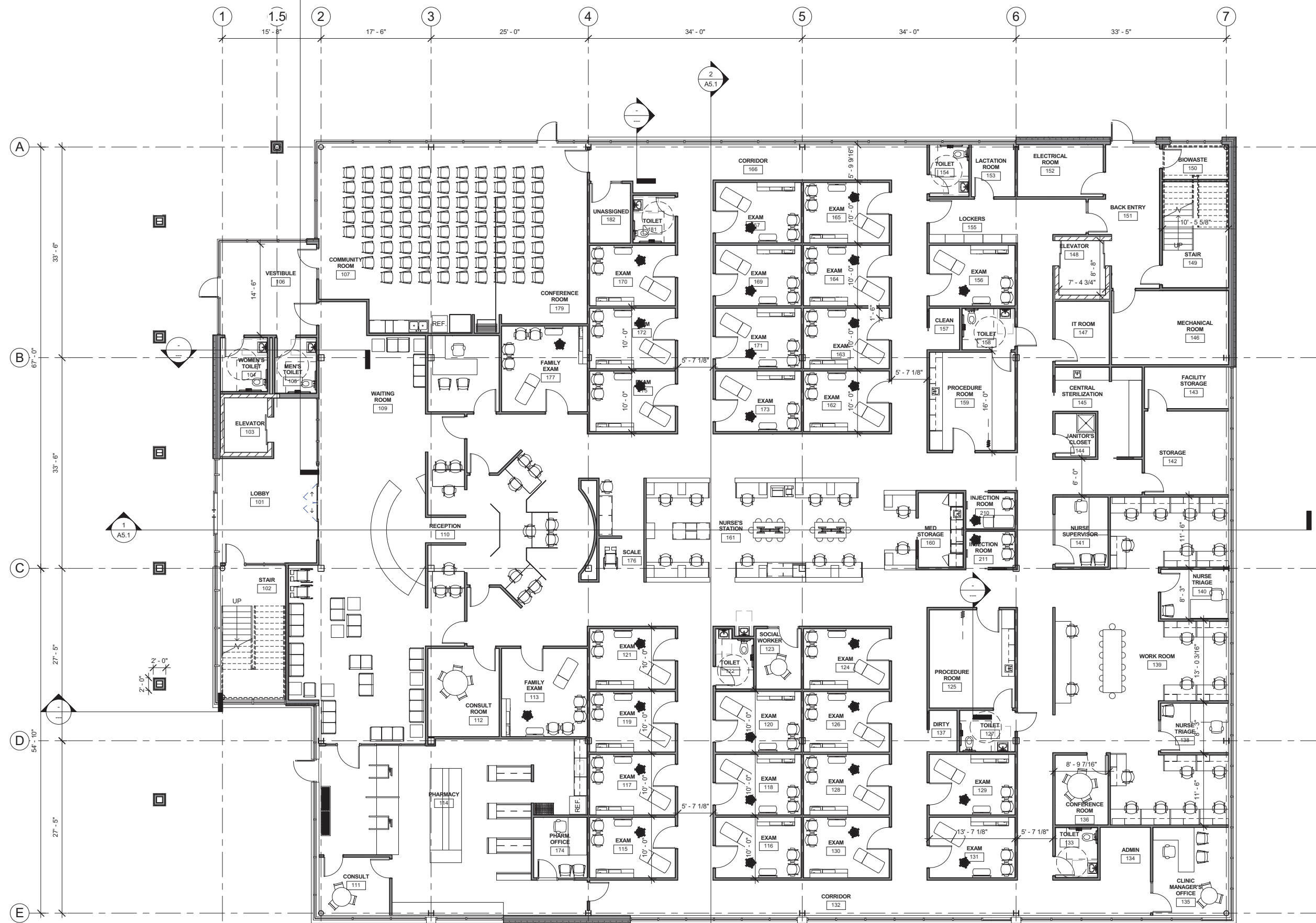
Number of Parking Stalls: 266  
Total Square Footage of the Storage Area: 0  
Number of Existing Shade Trees Present (1" x 10" Caliper): 18

**B. Number of Landscaping Points Required**  
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscaping Elements on the reverse side of this worksheet, determine the number of points required. (Storage lots are required to be 10:1 ratio.) A point is defined as 10' x 10' area to be landscaped, with a maximum of 10' x 10' area to be landscaped as one point. Total: 49.5 points required to meet minimum 10:1 ratio.

Number of Landscaping Points Required: 1050.50  
Number of Landscaping Points Provided: 0  
Total: 1050.50

**Tabulation of Points and Credits**  
Indicate below the quantity and points for all pertinent landscape elements. (Use small information for formulas concerning soil and existing elements to be retained.)

Element	Points Value	Quantity	Points	Credits	Points
Existing Tree 2" - 10"	18	0	0		0
Existing Tree 10" - 18"	270	6	1620		1620
Existing Tree 18" - 24"	228	6	1368		1368
Existing Tree 24" - 30"	360	0	0		0
Existing Tree 30" - 36"	540	0	0		0
Existing Tree 36" - 42"	720	0	0		0
Existing Tree 42" - 48"	1080	0	0		0
Existing Tree 48" - 54"	1620	0	0		0
Existing Tree 54" - 60"	2160	0	0		0
Existing Tree 60" - 66"	2700	0	0		0
Existing Tree 66" - 72"	3240	0	0		0
Existing Tree 72" - 78"	3780	0	0		0
Existing Tree 78" - 84"	4320	0	0		0
Existing Tree 84" - 90"	4860	0	0		0
Existing Tree 90" - 96"	5400	0	0		0
Existing Tree 96" - 102"	5940	0	0		0
Existing Tree 102" - 108"	6480	0	0		0
Existing Tree 108" - 114"	7020	0	0		0
Existing Tree 114" - 120"	7560	0	0		0
Existing Tree 120" - 126"	8100	0	0		0
Existing Tree 126" - 132"	8640	0	0		0
Existing Tree 132" - 138"	9180	0	0		0
Existing Tree 138" - 144"	9720	0	0		0
Existing Tree 144" - 150"	10260	0	0		0
Existing Tree 150" - 156"	10800	0	0		0
Existing Tree 156" - 162"	11340	0	0		0
Existing Tree 162" - 168"	11880	0	0		0
Existing Tree 168" - 174"	12420	0	0		0
Existing Tree 174" - 180"	12960	0	0		0
Existing Tree 180" - 186"	13500	0	0		0
Existing Tree 186" - 192"	14040	0	0		0
Existing Tree 192" - 198"	14580	0	0		0
Existing Tree 198" - 204"	15120	0	0		0
Existing Tree 204" - 210"	15660	0	0		0
Existing Tree 210" - 216"	16200	0	0		0
Existing Tree 216" - 222"	16740	0	0		0
Existing Tree 222" - 228"	17280	0	0		0
Existing Tree 228" - 234"	17820	0	0		0
Existing Tree 234" - 240"	18360	0	0		0
Existing Tree 240" - 246"	18900	0	0		0
Existing Tree 246" - 252"	19440	0	0		0
Existing Tree 252" - 258"	19980	0	0		0
Existing Tree 258" - 264"	20520	0	0		0
Existing Tree 264" - 270"	21060	0	0		0
Existing Tree 270" - 276"	21600	0	0		0
Existing Tree 276" - 282"	22140	0	0		0
Existing Tree 282" - 288"	22680	0	0		0
Existing Tree 288" - 294"	23220	0	0		0
Existing Tree 294" - 300"	23760	0	0		0
Existing Tree 300" - 306"	24300	0	0		0
Existing Tree 306" - 312"	24840	0	0		0
Existing Tree 312" - 318"	25380	0	0		0
Existing Tree 318" - 324"	25920	0	0		0
Existing Tree 324" - 330"	26460	0	0		0
Existing Tree 330" - 336"	27000	0	0		0
Existing Tree 336" - 342"	27540	0	0		0
Existing Tree 342" - 348"	28080	0	0		0
Existing Tree 348" - 354"	28620	0	0		0
Existing Tree 354" - 360"	29160	0	0		0
Existing Tree 360" - 366"	29700	0	0		0
Existing Tree 366" - 372"	30240	0	0		0
Existing Tree 372" - 378"	30780	0	0		0
Existing Tree 378" - 384"	31320	0	0		0
Existing Tree 384" - 390"	31860	0	0		0
Existing Tree 390" - 396"	32400	0	0		0
Existing Tree 396" - 402"	32940	0	0		0
Existing Tree 402" - 408"	33480	0	0		0
Existing Tree 408" - 414"	34020	0	0		0
Existing Tree 414" - 420"	34560	0	0		0
Existing Tree 420" - 426"	35100	0	0		0
Existing Tree 426" - 432"	35640	0	0		0
Existing Tree 432" - 438"	36180	0	0		0
Existing Tree 438" - 444"	36720	0	0		0
Existing Tree 444" - 450"	37260	0	0		0
Existing Tree 450" - 456"	37800	0	0		0
Existing Tree 456" - 462"	38340	0	0		0
Existing Tree 462" - 468"	38880	0	0		0
Existing Tree 468" - 474"	39420	0	0		0
Existing Tree 474" - 480"	39960	0	0		0
Existing Tree 480" - 486"	40500	0	0		0
Existing Tree 486" - 492"	41040	0	0		0
Existing Tree 492" - 498"	41580	0	0		0
Existing Tree 498" - 504"	42120	0	0		0
Existing Tree 504" - 510"	42660	0	0		0
Existing Tree 510" - 516"	43200	0	0		0
Existing Tree 516" - 522"	43740	0	0		0
Existing Tree 522" - 528"	44280	0	0		0
Existing Tree 528" - 534"	44820	0	0		0
Existing Tree 534" - 540"	45360	0	0		0
Existing Tree 540" - 546"	45900	0	0		0
Existing Tree 546" - 552"	46440	0	0		0
Existing Tree 552" - 558"	46980	0	0		0
Existing Tree 558" - 564"	47520	0	0		0
Existing Tree 564" - 570"	48060	0	0		0
Existing Tree 570" - 576"	48600	0	0		0
Existing Tree 576" - 582"	49140	0	0		0
Existing Tree 582" - 588"	49680	0	0		0
Existing Tree 588" - 594"	50220	0	0		0
Existing Tree 594" - 600"	50760	0	0		0
Existing Tree 600" - 606"	51300	0	0		0
Existing Tree 606" - 612"	51840	0	0		0
Existing Tree 612" - 618"	52380	0	0		0
Existing Tree 618" - 624"	52920	0	0		0
Existing Tree 624" - 630"	53460	0	0		0
Existing Tree 630" - 636"	54000	0	0		0
Existing Tree 636" - 642"	54540	0	0		0
Existing Tree 642" - 648"	55080	0	0		0
Existing Tree 648" - 654"	55620	0	0		0
Existing Tree 654" - 660"	56160	0	0		0
Existing Tree 660" - 666"	56700	0	0		0
Existing Tree 666" - 672"	57240	0	0		0
Existing Tree 672" - 678"	57780	0	0		0
Existing Tree 678" - 684"	58320	0	0		0
Existing Tree 684" - 690"	58860	0	0		0
Existing Tree 690" - 696"	59400	0	0		0
Existing Tree 696" - 702"	59940	0	0		0
Existing Tree 702" - 708"	60480	0	0		0
Existing Tree 708" - 714"	61020	0	0		0
Existing Tree 714" - 720"	61560	0	0		0
Existing Tree 720" - 726"	62100	0	0		0
Existing Tree 726" - 732"	62640	0	0		0
Existing Tree 732" - 738"	63180	0	0		0
Existing Tree 738" - 744"	63720	0	0		0
Existing Tree 744" - 750"	64260	0	0		0
Existing Tree 750" - 756"	64800	0	0		0
Existing Tree 756" - 762"	65340	0	0		0
Existing Tree 762" - 768"	65880	0	0		0
Existing Tree 768" - 774"	66420	0	0		0
Existing Tree 774" - 780"	66960	0	0		0
Existing Tree 780" - 786"	67500	0	0		0
Existing Tree 786" - 792"	68040	0	0		0



1 FIRST FLOOR  
3 1/8" = 1'-0"

**FIRST FLOOR PLAN**



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# ARCHITECTURAL RENDERING



# PARK ST. FRONT ENTRY OVERVIEW

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# FISH HATCHERY RD. MIDLAND ST. OVERVIEW

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# PARK ST. MIDLAND ST. OVERVIEW

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# INTERIOR DRIVE LOOKING EAST OVERVIEW

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# FISH HATCHERY RD. STREETScape OVERVIEW

PLEASE NOTE: OVERVIEW DEPICTS RIGHT OF WAY ACQUISITION OF 6'-0" FROM EXISTING RIGHT OF WAY

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# MIDLAND ST. STREETScape OVERVIEW

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# CLARK ST. CONCEPTUAL FUTURE MASSING PLAN



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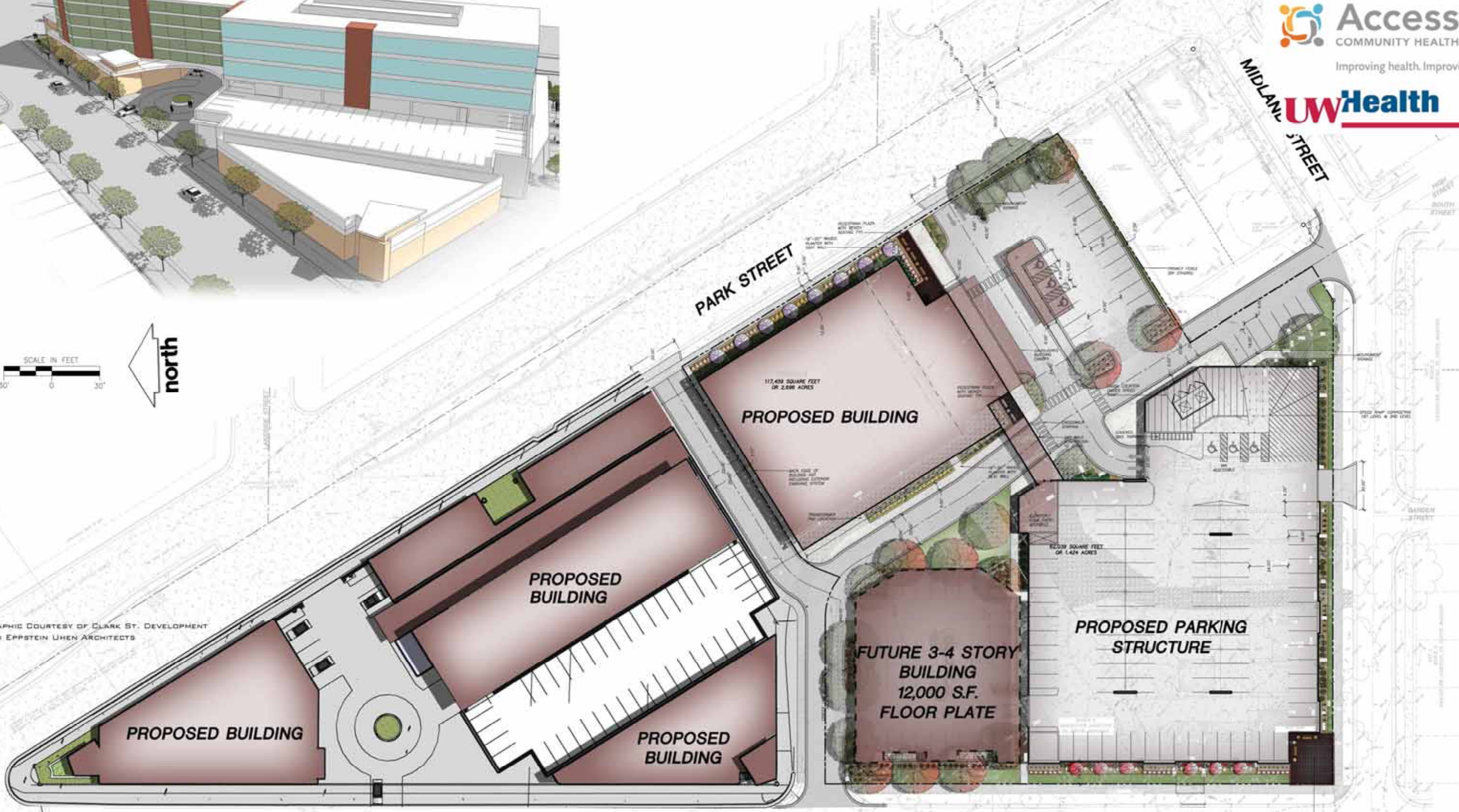


GRAPHIC COURTESY OF CLARK ST. DEVELOPMENT AND EPPSTEIN UHEN ARCHITECTS

SCALE IN FEET  
30' 0 30'



GRAPHIC COURTESY OF CLARK ST. DEVELOPMENT AND EPPSTEIN UHEN ARCHITECTS



FISH HATCHERY ROAD

S 75°04'38" W 11.54'

# WINGRA CLINIC SITE PLAN/CLARK ST. DEVELOPMENT



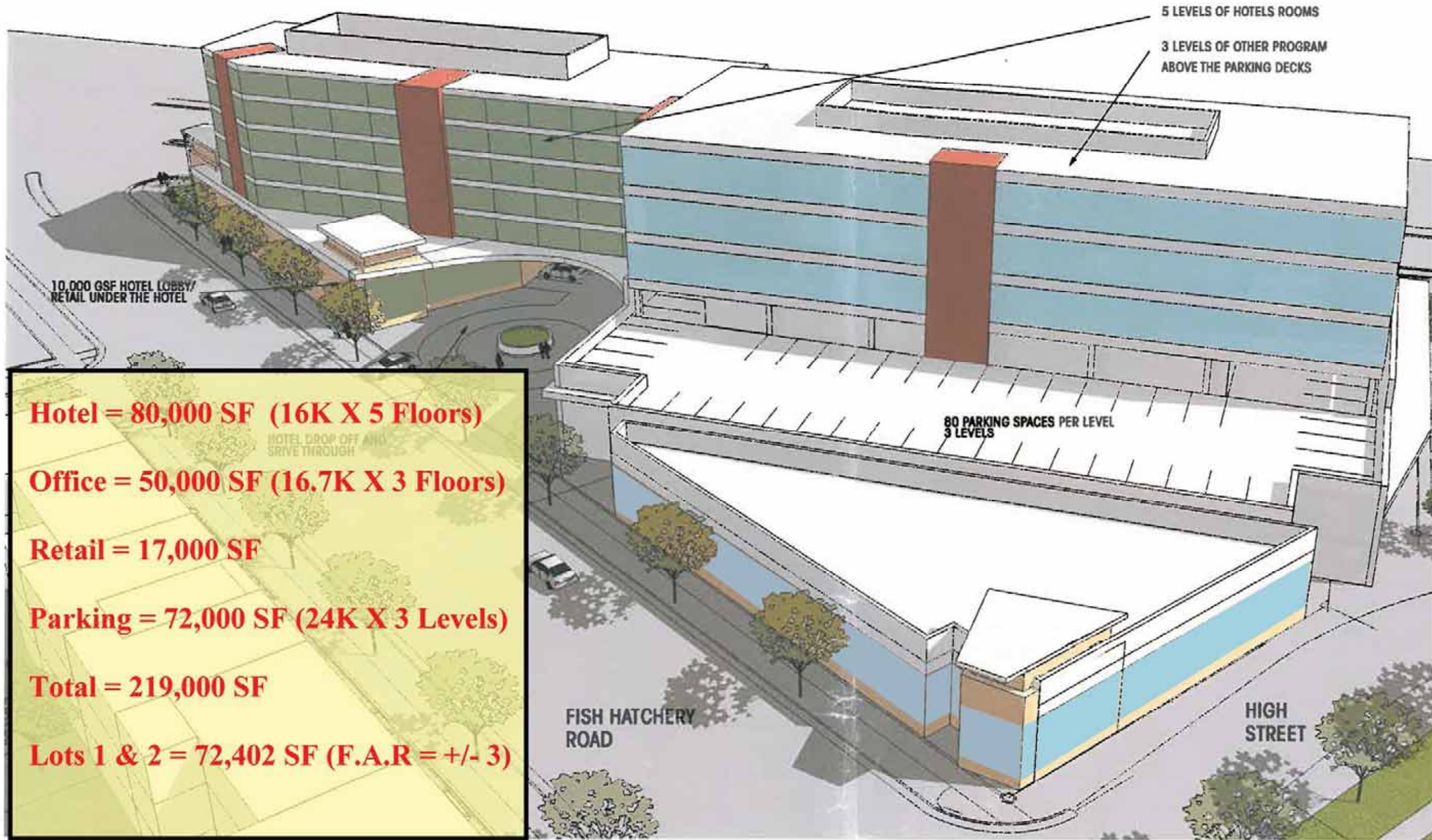
RENDERING OF CLARK ST. PROPERTY PROVIDED BY CLARK ST./EPPSTEIN UHEN ARCHITECTS

UW HEALTH WINGRA CLINIC CONCEPT



**PROPOSED WINGRA CLINIC**  
FISH HATCHERY RD./SOUTH PARK ST.  
MADISON, WI

06/27/2011  
FOR PLANNING PURPOSES ONLY



**Hotel = 80,000 SF (16K X 5 Floors)**

**Office = 50,000 SF (16.7K X 3 Floors)**

**Retail = 17,000 SF**

**Parking = 72,000 SF (24K X 3 Levels)**

**Total = 219,000 SF**

**Lots 1 & 2 = 72,402 SF (F.A.R = +/- 3)**

10,000 GSF HOTEL LOBBY/  
RETAIL UNDER THE HOTEL

HOTEL DROP OFF AND  
DRIVE THROUGH

60 PARKING SPACES PER LEVEL  
3 LEVELS

5 LEVELS OF HOTELS ROOMS  
3 LEVELS OF OTHER PROGRAM  
ABOVE THE PARKING DECKS

FISH HATCHERY  
ROAD

HIGH  
STREET

TOTAL PARKING SPACES ON SITE = 247+12 ADDITIONAL SURFACE = 259 TOTAL  
 RETAIL SPACE UNDER HOTEL = 10,000 GSF  
 PARK STREET RETAIL = 5,900 GSF  
 FISH HATCHERY ROAD RETAIL = 7,000 GSF  
 HOTEL ROOMS = 105  
 BUILDING PROGRAM ABOVE PARKING DECKS = 16,700/FLR (50,100 GSF)

ABOVE GRADE PARKING OPTION - VIEW 2  
LOWER LEVELS

Wingra Market Study and Conceptual  
Redevelopment Plan Summary Report



City of Madison, Department of Planning and Development, Planning Unit  
June, 2005

# VIEW LOOKING SOUTH

Corner of South Park St. and Fish Hatchery



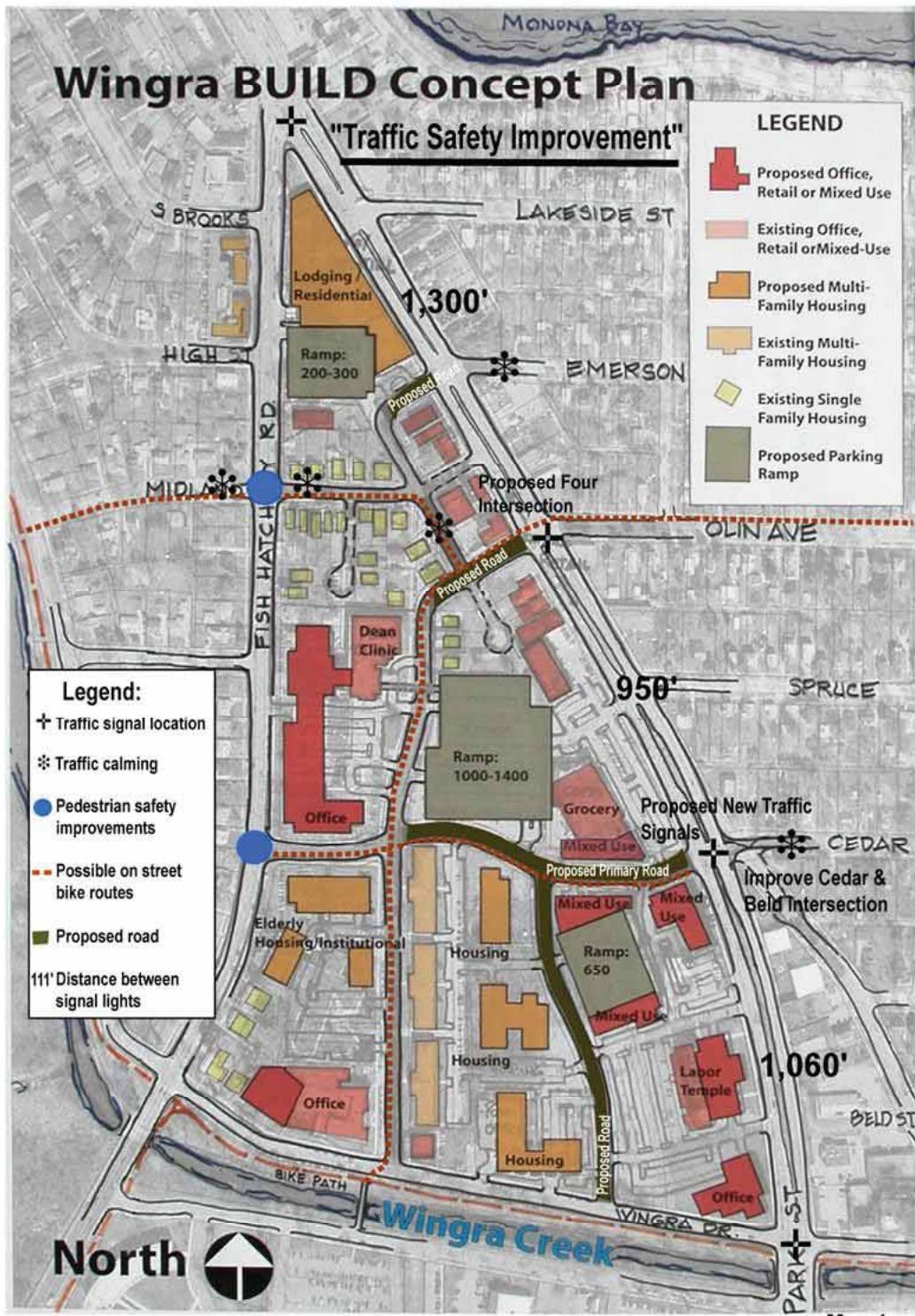
**APPENDIX IV: SUMMARY OF LONG-TERM AND SHORT-TERM REVITALIZATION STRATEGIES BY SUBAREA**

The information contained in this section summarizes the long-term and short-term revitalization strategies by subarea.

- Subarea 1: Post Office and Madison Labor Temple Sites
- Subarea 2: **Copps Food Center and 1244 Plaza**
- Subarea 3: Dean Clinic Site
- Subarea 4: St. Marys and Strand Associates Sites
- Subarea 5: Dean/Morningstar Dairy Site
- Subarea 6: Neighborhood Residential Infill
- Subarea 7: Park Street Commercial



*Map 8: Wingra Creek Target: Subareas*



Wingra Market Study and Conceptual Development Plan Summary Report  
 Transportation Supplement  
 02/16/2006

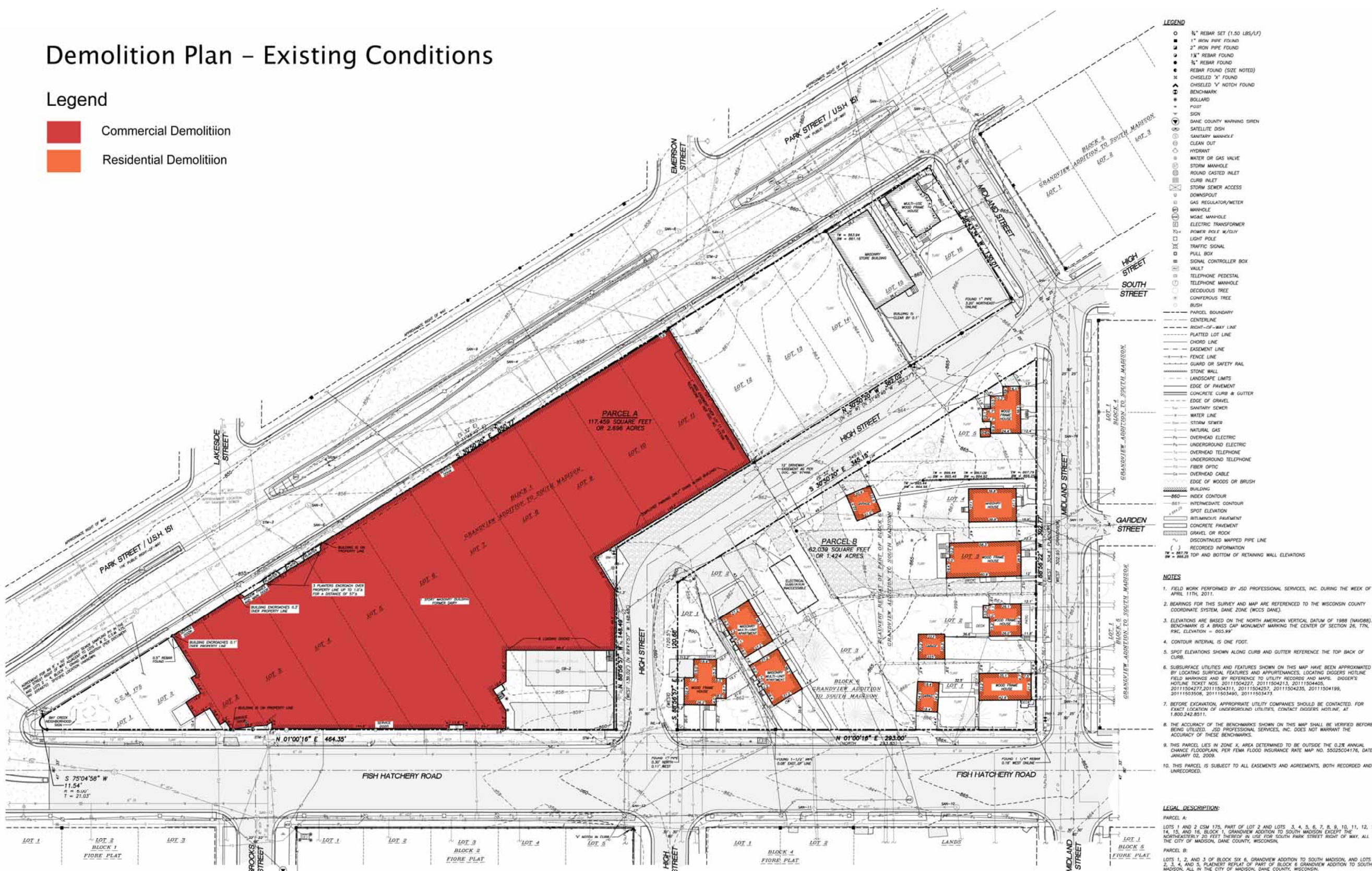
Map at Right: Illustrates Wingra Clinic Location in relationship to conceptual planning of Wingra Market Study. Uses incorporate a 4-story building approximately 76,000 square feet of 1st and 2nd floor clinic, 3rd floor academic classroom and office and 4th floor hospital expansion. A 213 stall parking deck as well as 72 stall surface stalls gain a total of 285 parking stalls for the defined uses. The plan closely aligns with development concepts produced for the remainder of the property located to the north between S. Park St. and Fish Hatchery Road. A Lodging/Residential use would complement traffic and circulation design in the rear of the proposed Wingra Clinic building. The proposed parking deck would also accommodate vertical expansion for future parking needs



# Demolition Plan - Existing Conditions

## Legend

- Commercial Demolition
- Residential Demolition



- ### LEGEND
- 1/2" REBAR SET (1.50 LBS/LF)
  - 1" IRON PIPE FOUND
  - 2" IRON PIPE FOUND
  - 1 1/2" REBAR FOUND
  - 1/4" REBAR FOUND
  - REBAR FOUND (SIZE NOTED)
  - CHISELED 'X' FOUND
  - CHISELED 'Y' NOTCH FOUND
  - BENCHMARK
  - BOLLARD
  - POST
  - SIGN
  - DANE COUNTY WARNING SHIELD
  - SATELLITE DISH
  - SANITARY MANHOLE
  - CLEAN OUT
  - HYDRANT
  - WATER OR GAS VALVE
  - STORM MANHOLE
  - ROUND CASTED INLET
  - CURB ALLET
  - STORM SEWER ACCESS
  - DOWNSPOUT
  - GAS REGULATOR/METER
  - MANHOLE
  - MISAE MANHOLE
  - ELECTRIC TRANSFORMER
  - POWER POLE W/CLAY
  - LIGHT POLE
  - TRAFFIC SIGNAL
  - PULL BOX
  - SIGNAL CONTROLLER BOX
  - WALT
  - TELEPHONE PEDESTAL
  - TELEPHONE MANHOLE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - PARCEL BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - PLATTED LOT LINE
  - CHORD LINE
  - EASEMENT LINE
  - FENCE LINE
  - GUARD OR SAFETY RAIL
  - STONE WALL
  - LANDSCAPE LIMITS
  - EDGE OF PAVEMENT
  - CONCRETE CURB & GUTTER
  - EDGE OF GRAVEL
  - SANITARY SEWER
  - WATER LINE
  - STORM SEWER
  - NATURAL GAS
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - OVERHEAD TELEPHONE
  - UNDERGROUND TELEPHONE
  - FIBER OPTIC
  - OVERHEAD CABLE
  - EDGE OF WOODS OR BRUSH
  - BUILDING
  - INDEX CONTOUR
  - INTERIMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - GRAVEL OR ROCK
  - DISCONTINUED MAPPED PIPE LINE
  - RECORDED INFORMATION
  - TOP OF RETAINING WALL ELEVATIONS
  - BOTTOM OF RETAINING WALL ELEVATIONS

- ### NOTES
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. DURING THE WEEK OF APRIL 11TH, 2011.
  - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE (WCCS DANE).
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER OF SECTION 26, 17N, 10E, ELEVATION = 865.99'
  - CONTOUR INTERVAL IS ONE FOOT.
  - CURB ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES. LOCATING DODGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DODGER'S HOTLINE TICKET NOS. 20111504227, 20111504213, 20111504405, 20111504277, 20111504311, 20111504257, 20111504235, 20111504199, 20111503906, 20111503460, 20111504743.
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES. CONTACT DODGERS HOTLINE AT 1.800.242.8511.
  - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
  - THIS PARCEL LIES IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP NO. 50025C04176, DATED JANUARY 02, 2009.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

### LEGAL DESCRIPTION:

PARCEL A:  
LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, AND 16, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON, EXCEPT THE NORTHWEST CORNER OF LOT 1 FOR SOUTH PARK STREET RIGHT OF WAY, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL B:  
LOTS 1, 2, AND 3 OF BLOCK SIX 6, GRANDVIEW ADDITION TO SOUTH MADISON, AND LOTS 1, 2, 3, 4, AND 5, PLANNERT REPLAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

### SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, WISCONSIN REGISTERED LAND SURVEYOR NO. 9, 2255, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255  
REGISTERED LAND SURVEYOR

DATE \_\_\_\_\_

PROJECT NO. 11-4627  
FILE NO. E-65  
SURVEYED: MAD/JDS  
F.B. NO./PG. 246/119  
SHEET NO. 1 OF 1

PREPARED FOR:  
GRANDVIEW COMPANIES  
2100 STEWART AVENUE, SUITE 300  
WAUSAU, WI 54481

#### SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SAW-1	866.67	SW	849.27 8"	VCP	SAW-10	864.84	N	857.82 8"	VCP
SAW-2	862.81	NE	849.52 8"	VCP	SAW-11	862.48	S	855.56 8"	VCP
SAW-3	858.42	SE	848.18 12"	VCP	SAW-12	860.04	E	852.68 8"	VCP
SAW-4	857.78	NW	848.91 12"	VCP	SAW-13	855.26	N	852.82 8"	VCP
SAW-5	856.09	SE	846.72 12"	VCP	SAW-14	866.07	N	858.66 8"	VCP
SAW-6		SW	846.72 12"	VCP	SAW-15	867.06	E	858.66 8"	VCP
SAW-7	861.58	SE	852.38 8"	VCP	SAW-16	867.39	N	858.14 8"	VCP
SAW-8	858.52	NE	852.43 8"	VCP	SAW-17	867.39	S	858.14 8"	VCP
SAW-9	858.93	NW	847.96 8"	VCP	SAW-18	867.39	W	858.81 8"	VCP

#### STORM SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
STM-1	862.36	SE	858.91 12"	RCP
STM-2	859.12	SE	854.90 12"	RCP
STM-3	855.85	SE	854.90 12"	RCP
STM-4	860.00	SE	856.75 12"	RCP
STM-5	860.00	SE	856.75 12"	RCP
STM-6	860.00	SE	856.75 12"	RCP
STM-7	860.00	SE	856.75 12"	RCP
STM-8	860.00	SE	856.75 12"	RCP
STM-9	860.00	SE	856.75 12"	RCP

#### STORM SEWER INLETS

INLET ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
IN-1	862.77	N	858.67 12"	RCP
IN-2	862.00	NW	859.60 12"	RCP
IN-3	858.35	NW	856.40 6"	PVC
IN-4	860.21	N	857.96 12"	VCP
IN-5	859.43	NE	857.63 12"	VCP
CB-1	860.12	W	857.00 10"	PVC
CB-2		N	857.00 10"	PVC

#### BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	870.74	TOP NUT ON HYDRANT AT THE NORTHEAST CORNER OF FISH HATCHERY ROAD AND MIDLAND STREET
BM-2	854.21	TOP OF A 12" REBAR AT THE NORTHEAST CORNER OF LOT 1, CSM 175
BM-3	857.39	CHISELED 'X' IN FRONT OF THE DAIRY BUILDING, NEAR THE EAST PROPERTY LINE OF LOT 6, BLOCK 1, GRANDVIEW
BM-4	864.75	CHISELED 'X' IN FRONT OF THE DAIRY BUILDING, NEAR THE WEST PROPERTY LINE OF LOT 14, BLOCK 1, GRANDVIEW
BM-5	860.56	CHISELED 'X' IN FRONT OF THE DAIRY BUILDING, NEAR THE WEST PROPERTY LINE OF LOT 8, BLOCK 1, GRANDVIEW

EXISTING CONDITIONS SURVEY

LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3 THROUGH 16, BLOCK 1 AND ALL OF LOTS 1 THROUGH 5, BLOCK 6, GRANDVIEW ADDITION TO SOUTH MADISON, LOTS 1 THROUGH 5, PLANNERT REPLAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.  
Engineers • Surveyors • Planners  
101 W. MONROE, SUITE 200  
MADISON, WISCONSIN 53703  
PHONE: (608)248-0060

DATE	BY	DESCRIPTION
4-25-11	JWS	DATE
4-26-11	JK	DATE
4-28-11	HPJ	DATE

DATE: 04/20/11 11:48 AM



CALL DODGERS HOTLINE  
1-800-242-8511 TOLL FREE  
WWW.DODGERSHOTLINE.COM

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