

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>11-8-06</u>	Action Requested
UDC MEETING DATE: <u>11-15-06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1610 Gilson Street

ALDERMANIC DISTRICT: 13 - Isadore Knox

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
BESHM Investment Group, LLC Bouxil Design Studio
1610 Gilson Street 6602 Grand Teton Plaza #150
Madison, WI 53715 Madison, WI 53719

CONTACT PERSON: Clarence Brown
Address: 1610 Gilson Street
Madison, WI 53715
Phone: 608-250-0099
Fax: _____
E-mail address: banksdevelopment@yahoo.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)
 New Construction or Exterior Remodeling in C4 District (Fee required)

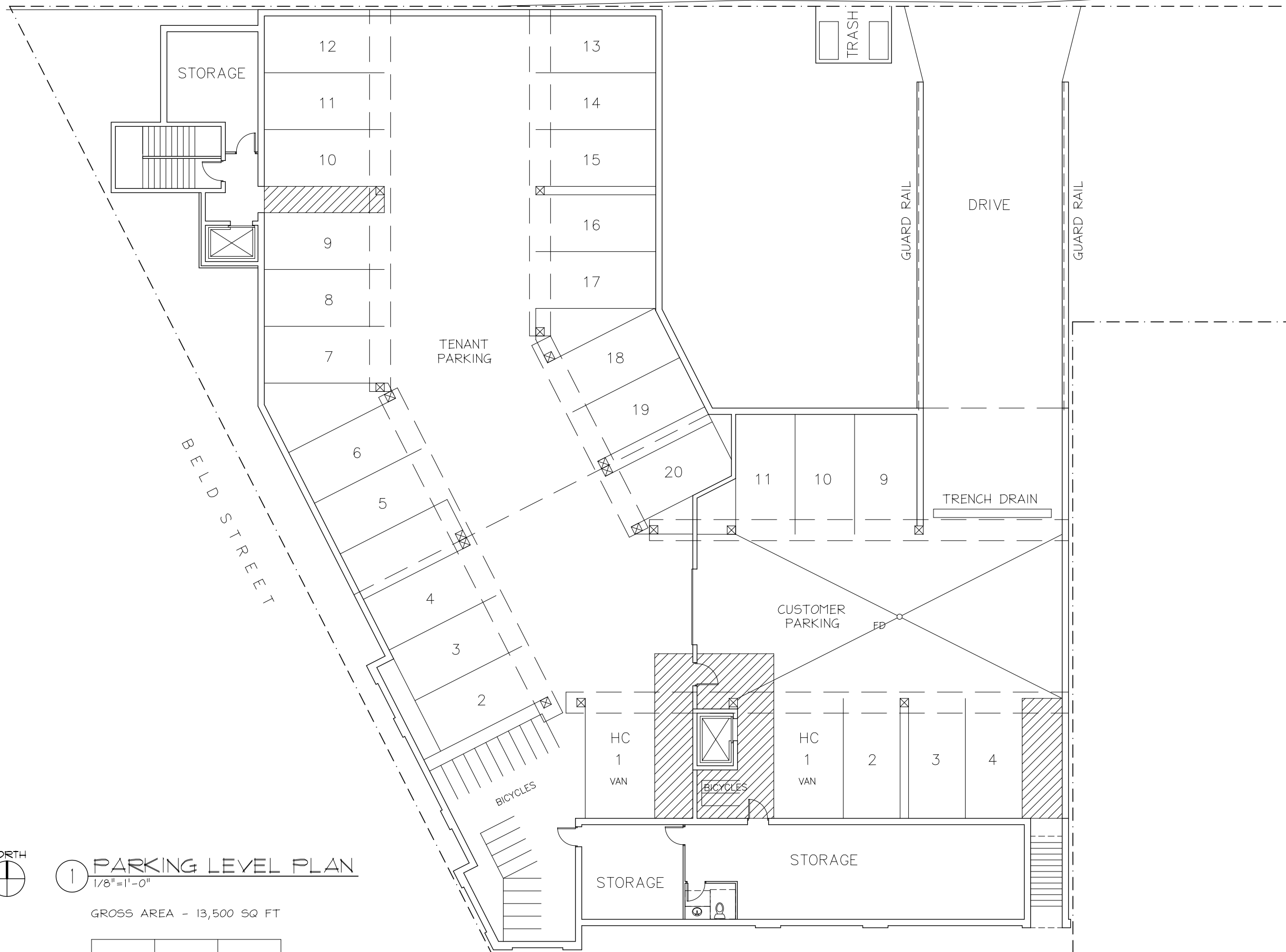
(See Section C for:)
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)
 Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

EXISTING GRAVEL ALLEY



1 **PARKING LEVEL PLAN**
1/8" = 1'-0"

GROSS AREA - 13,500 SQ FT



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Bourlin Design Studio, LLC
6602 Grand Pointe Place #1100, Madison, WI 53719-1091
P: 608-263-9600
E: mail_bourlin@bourlindesign.com

GILSON STREET DEVELOPMENT
BESHM INVESTMENT GROUP, LLC
1610 GILSON STREET
MADISON, WISCONSIN, 53715

REVISIONS		
A	DATE	ISSUE

PROJECT NO
06-47

DATE
NOVEMBER 8, 2006

DRAWN BY
LBL

A
1

LEGAL DESCRIPTION:
 PART OF LOTS 9 AND 10 AND ALL OF LOTS 11, 12 AND 13, BLOCK SEVEN WOODLAWN, RECORDED IN VOLUME 2, PAGE 25, DOCUMENT NUMBER 237891A, DANE COUNTY REGISTRY. LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

ASSUMED NORTH
 BEARINGS ARE BASED UPON
 THE EAST LINE OF LOT 9,
 BLOCK 7 ASSUMED TO BEAR
 N 21°10'39" E

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 E-mail: bouril@bourildesign.com
 architects

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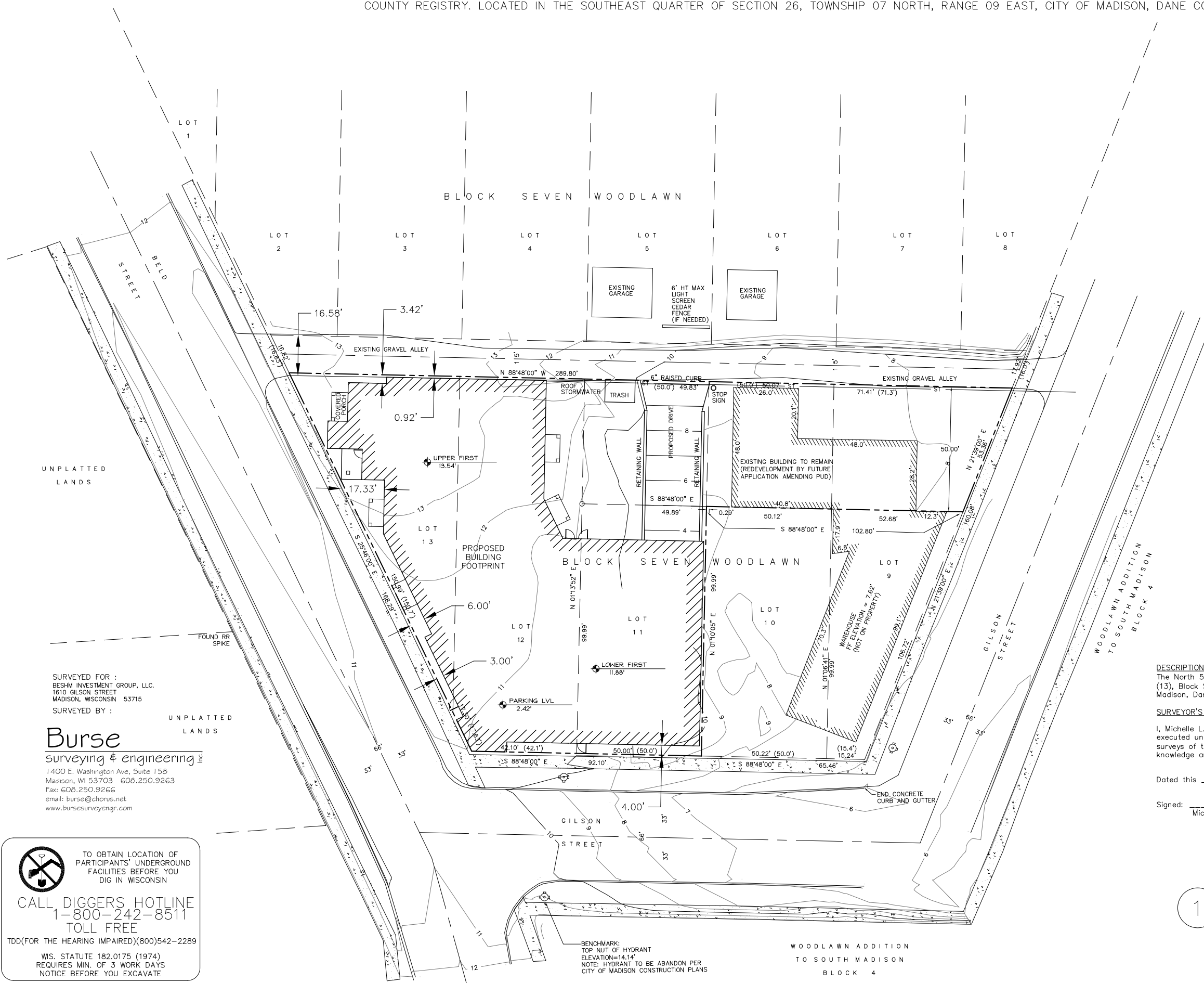
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NOTES:

- 1) Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate; easements, other than possible visible easements at the time of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- 2) No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Dates of field work: April 25 & 26, 2006
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 5) All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Area is approximately 25,137 square feet or 0.5771 acres.
- 8) The plot of Block Seven Woodlawn (Document Number 237891A) is a replat of Block 7 in the plat of Woodlawn Addition to South Madison (Document Number 223816). Lot numbers refer to the plat of Block Seven Woodlawn (Document Number 237891A).

----- EXISTING PROPERTY LINE



DESCRIPTION FURNISHED:

The North 50 feet of Lots Nine (9) and Ten (10), and all of Lots Eleven (11) Twelve (12) and Thirteen (13), Block Seven (7), Woodlawn (also known as Woodlawn Addition to South Madison), in the City of Madison, Dane County, Wisconsin.

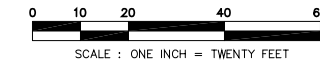
SURVEYOR'S CERTIFICATE:

I, Michelle L. Burse, Registered Land Surveyor, No. 2020, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this ____ day of _____, 200__.

Signed: _____
 Michelle L. Burse, R.L.S. No. 2020

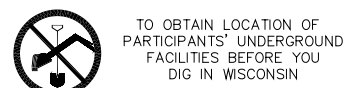
1 PROPOSED SITE LAYOUT



SURVEYED FOR :
 BESHM INVESTMENT GROUP, LLC.
 1610 GILSON STREET
 MADISON, WISCONSIN 53715
 SURVEYED BY :

Burse
 surveying & engineering, LLC

1400 E. Washington Ave., Suite 156
 Madison, WI 53703 608.250.9263
 Fax: 608.250.9266
 email: burse@chorus.net
 www.bursesurveyengr.com



TO OBTAIN LOCATION OF
 PARTICIPANTS' UNDERGROUND
 FACILITIES BEFORE YOU
 DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

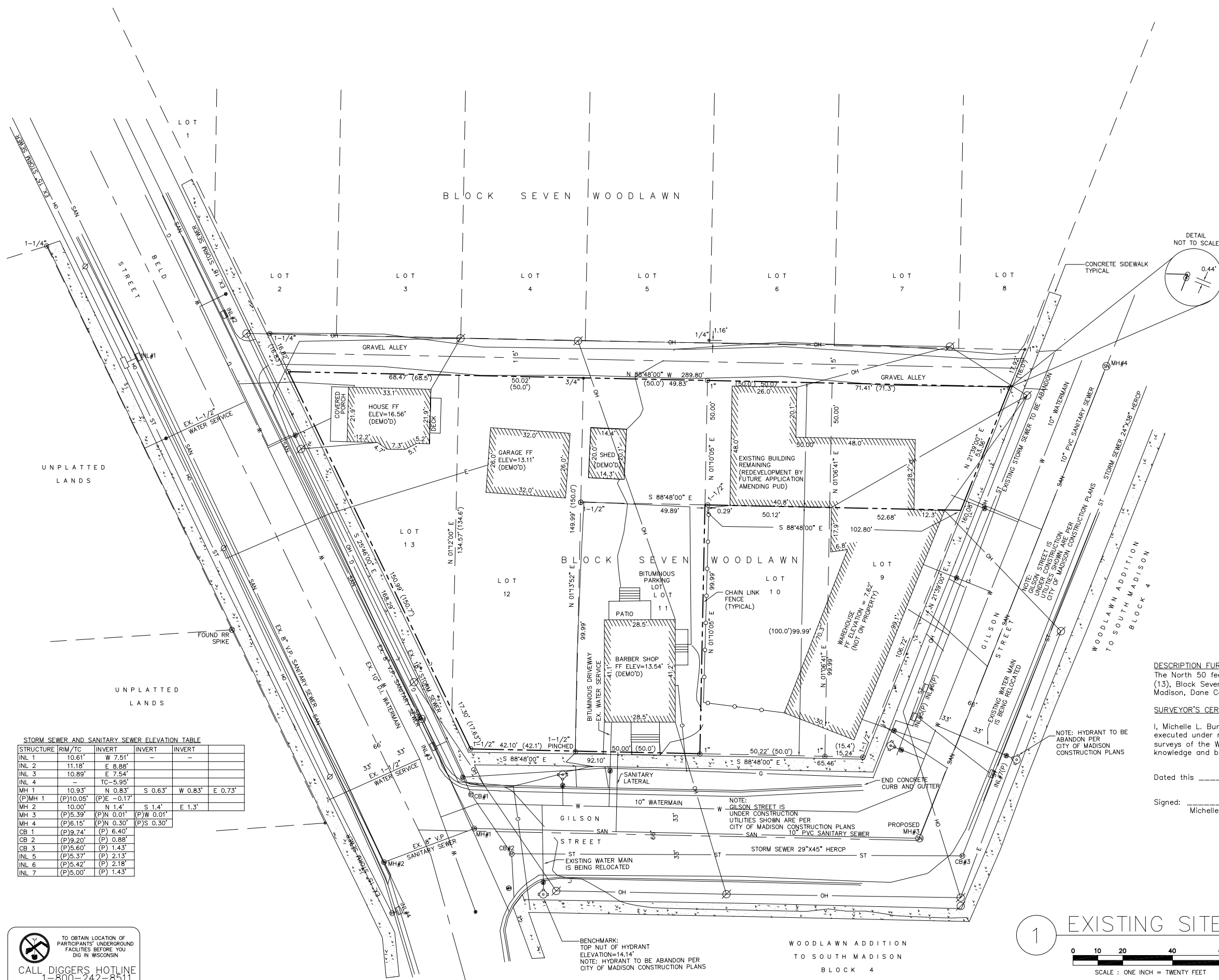
BENCHMARK:
 TOP NUT OF HYDRANT
 ELEVATION=14.14'
 NOTE: HYDRANT TO BE ABANDON PER
 CITY OF MADISON CONSTRUCTION PLANS

WOODLAWN ADDITION
 TO SOUTH MADISON
 BLOCK 4

LEGAL DESCRIPTION:
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 BEARINGS ARE BASED UPON
 THE EAST LINE OF LOT 9,
 BLOCK 7, ASSUMED TO BEAR
 N 21°10'39" E



- NOTES:
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LEGEND

---	PROPERTY LINE OF PUD
○	SET 3/4" X 18" IRON ROD
●	SOLID IRON ROD FOUND (SIZE DENOTED)
⊙	IRON PIPE FOUND (SIZE DENOTED)
—OH—	OVERHEAD UTILITY WIRES
—G—	BURIED GAS LINE
—W—	D.I. WATER MAIN
—SAN—	SANITARY SEWER
—E—	BURIED ELECTRIC
⊕	WATER VALVE
⊕	GAS VALVE
⊕	ELECTRIC BOX
⊕	UTILITY POLE
⊕	GYE WIRE
⊕	FIRE HYDRANT
⊕	STORM SEWER INLET
⊕	STORM SEWER MANHOLE
⊕	SANITARY SEWER MANHOLE
⊕	DECIDUOUS TREE
⊕	CONIFEROUS TREE
()	INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
(P)	PROPOSED

DESCRIPTION FURNISHED:
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SURVEYOR'S CERTIFICATE:
 I, Michelle L. Burse, Registered Land Surveyor, No. 2020, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this ____ day of _____, 200__.

Signed: _____
 Michelle L. Burse, R.L.S. No. 2020

STORM SEWER AND SANITARY SEWER ELEVATION TABLE

STRUCTURE	RIM/TC	INVERT	INVERT	INVERT
INL 1	10.61'	W 7.51'		
INL 2	11.18'	E 8.88'		
INL 3	10.89'	E 7.54'		
INL 4		TC-5.95'		
MH 1	10.93'	N 0.83'	S 0.63'	W 0.83'
(P)MH 1	(P)10.05'	(P)E -0.17'		
MH 2	10.00'	N 1.4'	S 1.4'	E 1.3'
MH 3	(P)5.39'	(P)N 0.01'	(P)W 0.01'	
MH 4	(P)6.15'	(P)N 0.30'	(P)S 0.30'	
CB 1	(P)9.74'	(P) 6.40'		
CB 2	(P)9.20'	(P) 0.88'		
CB 3	(P)5.60'	(P) 1.43'		
INL 5	(P)5.37'	(P) 2.13'		
INL 6	(P)5.42'	(P) 2.18'		
INL 7	(P)5.00'	(P) 1.43'		

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289

Map Date: June 9, 2006
 Paper Space Plot View: Sheet1
 \PROJECTS\BSE944\BSE944.DWG

1 EXISTING SITE LAYOUT

SCALE: ONE INCH = TWENTY FEET

SURVEYED FOR :
 BESHAM INVESTMENT GROUP, LLC.
 1610 GILSON STREET
 MADISON, WISCONSIN 53715

SURVEYED BY :
Burse
 surveying & engineering inc.
 1400 E. Washington Ave, Suite 158
 Madison, WI 53703 608.250.9263
 Fax: 608.250.9266
 email: burse@chorus.net
 www.bursesurveyengr.com

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 E-mail: bourill@bourilldesign.com
 architects

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 MADISON, WISCONSIN, 53715

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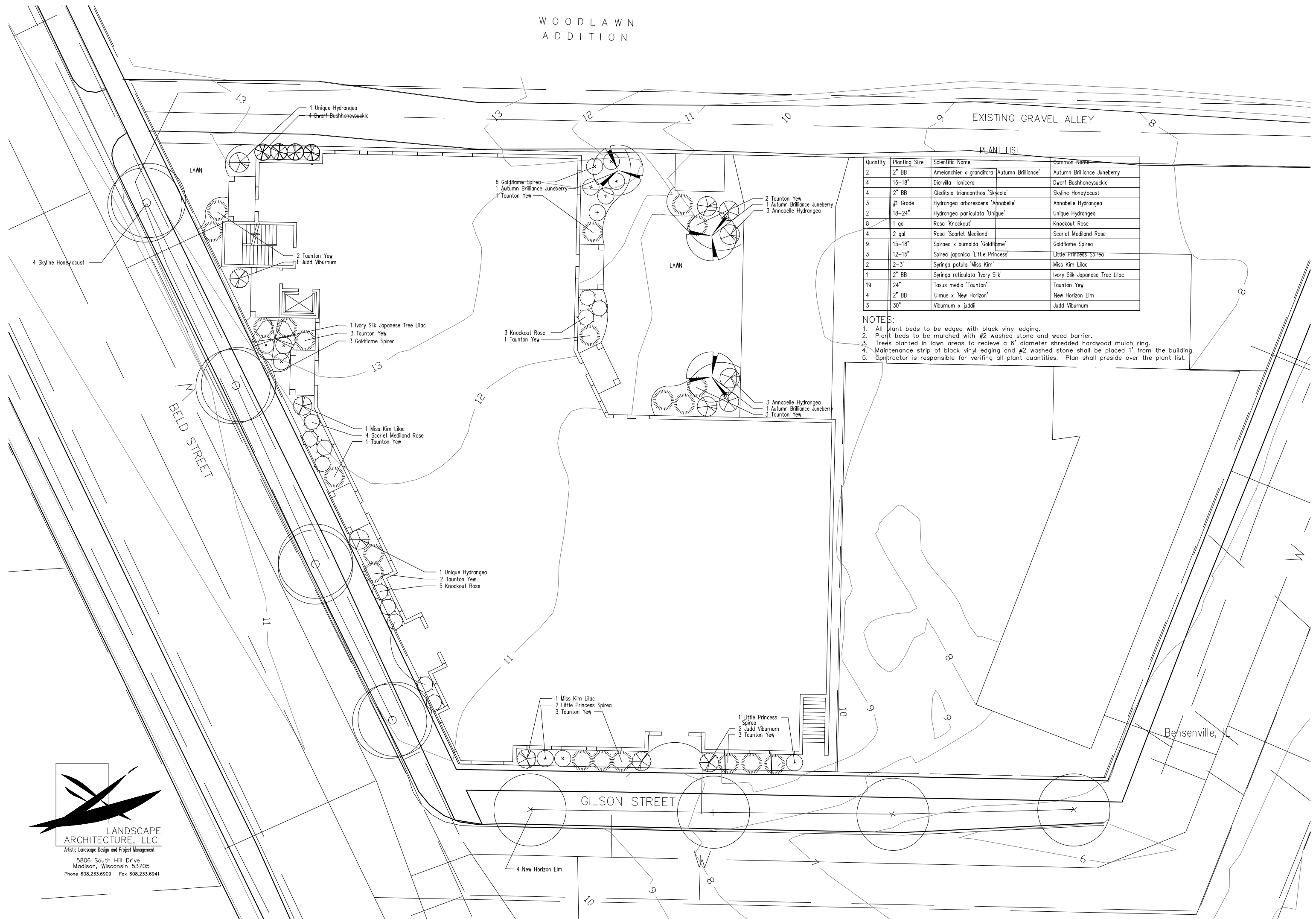
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DATE
 NOVEMBER 8, 2006

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WOODLAWN
ADDITION



PLANT LIST

Quantity	Planting Size	Scientific Name	Common Name
2	2" BB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry
4	15-18"	Diervilla lonicera	Dwarf Bushhoneysuckle
4	2" BB	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust
3	#1 Grade	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea
2	18-24"	Hydrangea paniculata 'Unique'	Unique Hydrangea
8	1 gal	Rosa 'Knockout'	Knockout Rose
4	2 gal	Rosa 'Scarlet Medallion'	Scarlet Medallion Rose
9	15-18"	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea
3	12-15"	Spiraea japonica 'Little Princess'	Little Princess Spiraea
2	2-3'	Syringa patula 'Miss Kim'	Miss Kim Lilac
1	2" BB	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac
19	24"	Taxus media 'Taunton'	Taunton Yew
4	2" BB	Ulmus x 'New Horizon'	New Horizon Elm
3	30"	Viburnum x juddii	Judd Viburnum

NOTES:

- All plant beds to be edged with black vinyl edging.
- Plant beds to be mulched with #2 washed stone and weed barrier.
- Trees planted in lawn areas to receive a 6" diameter shredded hardwood mulch ring.
- Maintenance strip of black vinyl edging and #2 washed stone shall be placed 1' from the building.
- Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.

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 architects
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 E-mail: bouril@bourildesign.com

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 BESHM INVESTMENT GROUP, LLC
 1610 GILSON STREET
 MADISON, WISCONSIN, 53715

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**LANDSCAPE
ARCHITECTURE, LLC**
 Artistic Landscape Design and Project Management
 5806 South Hill Drive
 Madison, Wisconsin 53705
 Phone 608.233.6909 Fax 608.233.6941





Gilson Street Urban Development
Madison, WI 11.08.2006



View Down North Beld Street



Gilson Street Urban Development
Madison, WI 11.08.2006



Corner View of Beld and Gilson Streets



Gilson Street Urban Development
Madison, WI 11.08.2006



Corner View Down Gilson Street



Gilson Street Urban Development
Madison, WI 11.08.2006



Southeast - Down Beld Street

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 Phone: (608) 253-9469
 E-mail: bourill@bourilldesign.com

architects

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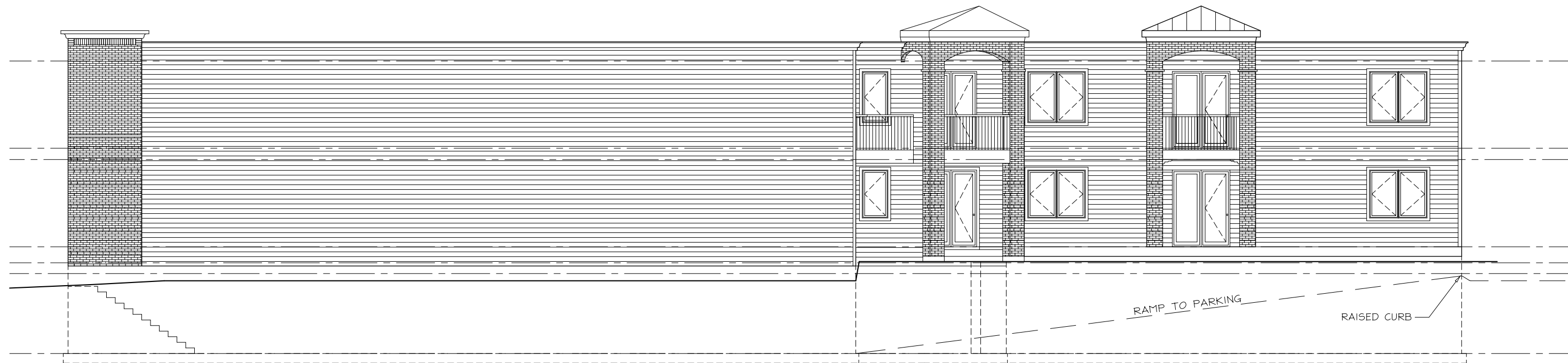
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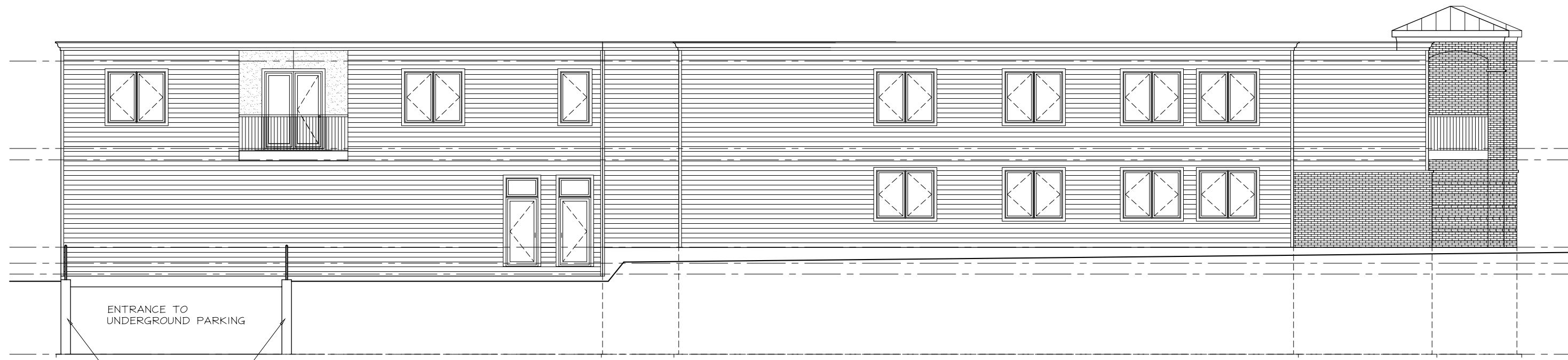
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① EAST ELEVATION
3/16"=1'-0"



② NORTH ELEVATION
3/16"=1'-0"

ENTRANCE TO UNDERGROUND PARKING

RETAINING WALLS w/GUARD RAILS

RAMP TO PARKING

RAISED CURB



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 E-mail: bournill@bournilldesign.com

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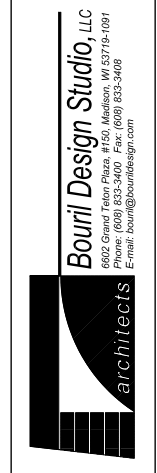
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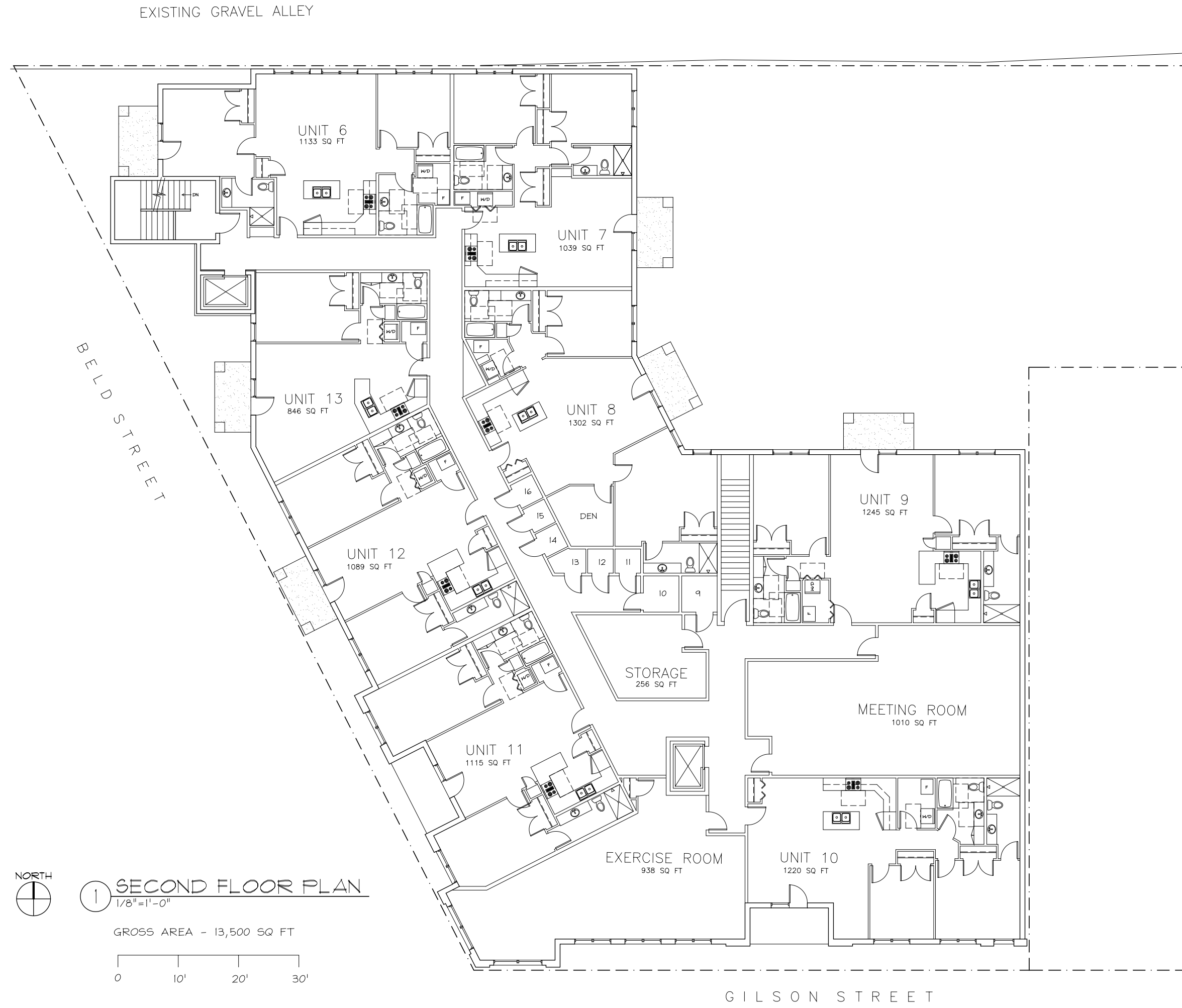
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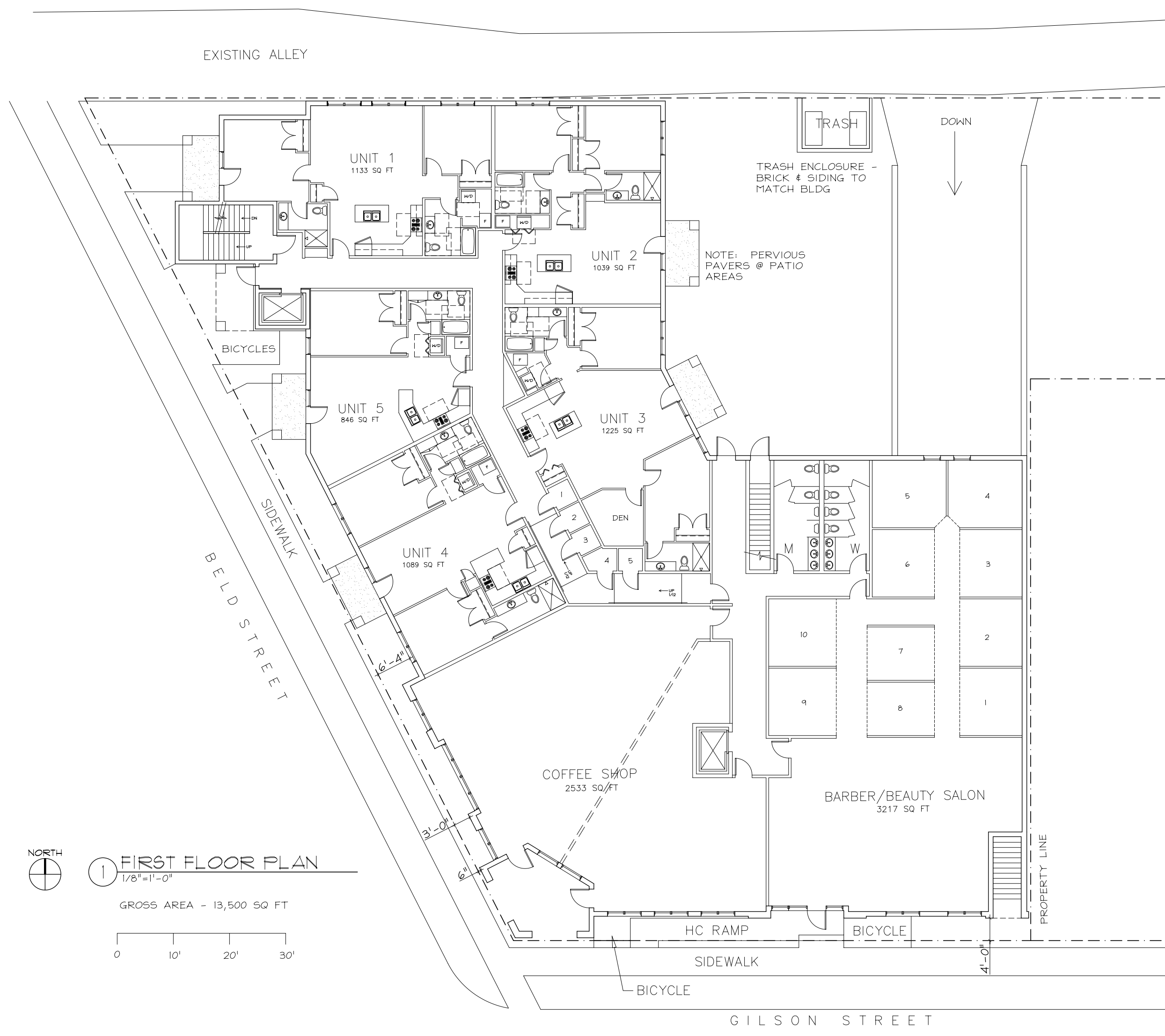


NORTH

1 SECOND FLOOR PLAN
1/8" = 1'-0"

GROSS AREA - 13,500 SQ FT

0 10' 20' 30'



1 FIRST FLOOR PLAN
1/8" = 1'-0"

GROSS AREA - 13,500 SQ FT



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ABBREVIATIONS

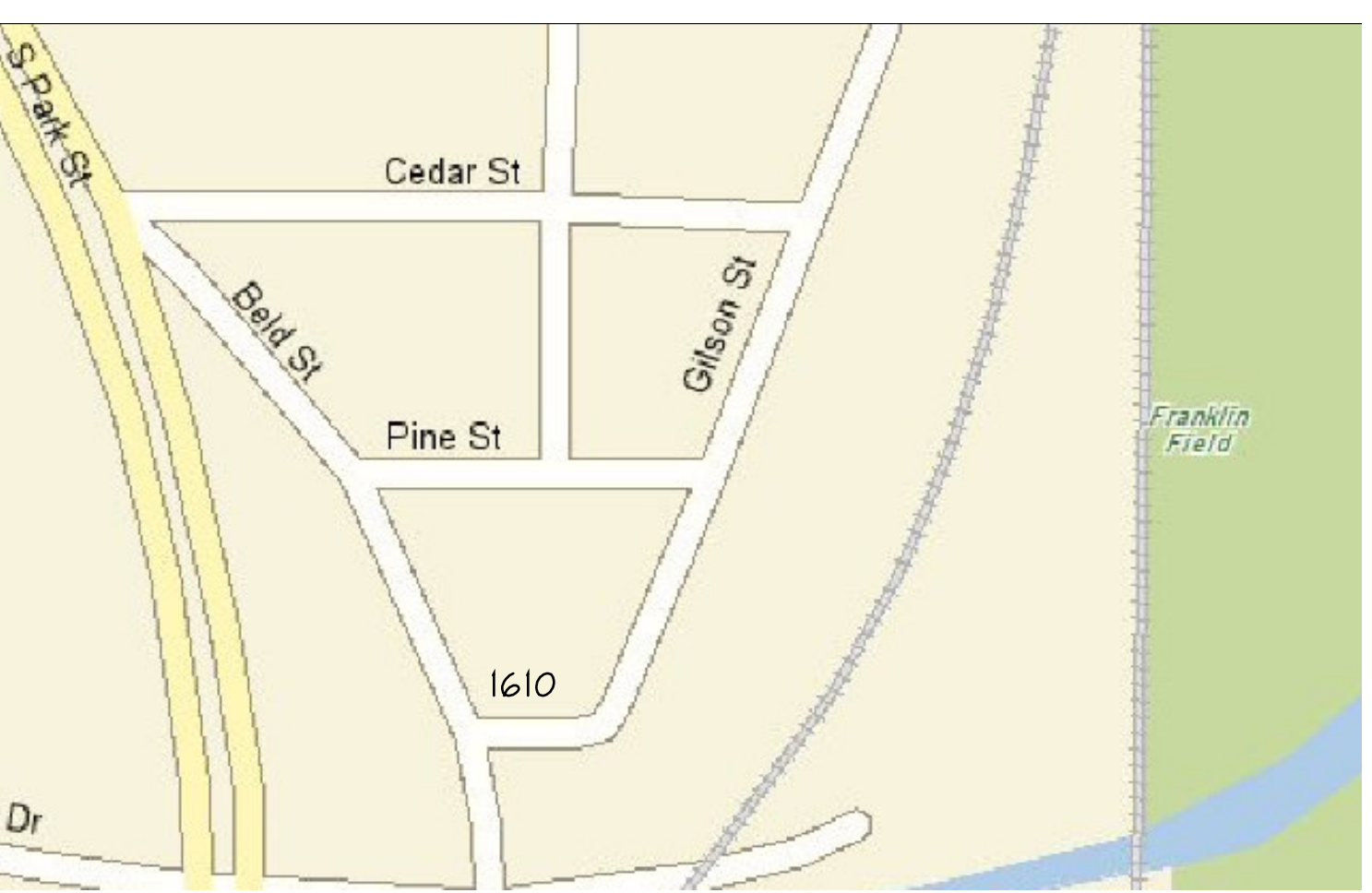
THROUGHOUT THE DRAWINGS, THESE ABBREVIATIONS ARE USED TO DESCRIBE PARTIES, MATERIALS, HEIGHTS, OR DIRECTIONS RELATED TO THE CONTRACT DOCUMENTS.

TEXT SYMBOLS

<p>C CENTERLINE D DEGREES + CIRCUMFERENCE PLUS / MINUS ± PROPERTY LINE</p> <p>A ANCHOR BOLT ABV ABOVE A/C AIR CONDITIONING AC ACOUSTIC ACT ACOUSTICAL CEILING TILE AD AREA DRAIN ADJ ADJUSTABLE AFT ABOVE FINISHED FLOOR AGGR AGGREGATE ALT ALTERNATE ALUM ALUMINUM ANOD ANODIZED AP ACCESS PANEL APPROX APPROXIMATE ARCH ARCHITECT ASB ASBESTOS ASPH ASPHALT AUTO AUTOMATIC AUX AUXILIARY AVG AVERAGE</p> <p>B BOARD BG BUMPER GUARD BH BULKHEAD BITUM BITUMINOUS BJ BUTT JOINT BLDG BUILDING BLK BLOCK BL BURNED LIGHT BLKG BLOCKING BRG BRIDGE BRD BOARD BRK BEARING BRK BRICK BO BOTTOM OF (ITEM) BP BASE PLATE BS BOTH SIDES BSMT BASEMENT BTHN BETWEEN BUR BUILT UP ROOFING BVL BEVEL BN BOTH WAYS</p> <p>C CABINET CB CATCH BASIN CEM CEMENT CER CERAMIC CFI CONTRACTOR FURNISHED CONTRACTOR INSTALLED</p> <p>CG CORNER GUARD CHL COAT HOOK CHNL CHANNEL CI CAST IRON CIR CIRCLE CIRC CIRCUMFERENCE CJ CONTROL JOINT CKT CIRCUIT CLG CEILING CLGK CAULKING CLO CLOSET CLR CLEAR CHU CONCRETE MASONRY UNIT CNTR COUNTER COL CASED OPENING COL COLUMN COMB COMBINATION CONN CONNECTION CONC CONCRETE CONTR CONTRACTOR CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CORR CORRIDOR CPT CARPET CR COAT RACK CRS COURSE CT CERAMIC TILE CTR CENTER CTSK COUNTERSUNK</p>	<p>C CONT CU COPPER CUH CABINET UNIT HEATER CYL CYLINDER</p> <p>D DECIBELS DBL DOUBLE DEMO DEMOLITION DEP DEEP DF DRINKING FOUNTAIN DIA DIAMETER DIAG DIAGONAL DISP DISPENSER DISP DISPENSER DIV DIVISION DL DEAD LOAD DN DOWN DO DOOR OPENING DOEP DEEP / DEPTH DPR DAMPER DR DOOR DRN DRAIN DSP DRY STANDPIPE DT DRAIN TILE DTL DETAIL DW DISHWASHER DWG DRAWING DWR DRAWER</p> <p>E EXISTING EA EACH EB ELECTRIC BASEBOARD EC ELECTRICAL CONTRACTOR EF EXHAUST FAN EG EXHAUST GRILLE EIP EXT INSUL & FINISH SYSTEM EJ EXPANSION JOINT ELEV ELEVATION ELC ELECTRICAL ELVT ELEVATOR EM EMERGENCY ENCL ENCLOSURE ENCL ELECTRICAL PANEL EPS EXPANDED POLYSTYRENE EQ EQUIPMENT ESR ELASTIC SHEET ROOFING EX EXISTING TO REMAIN EXPO EXPOSED EXP EXPANSION EXT EXTERIOR</p> <p>F FIRE ALARM FAB FABRICATE FB FLAT BAR FC FIBER-CEMENT FD FLOOR DRAIN FIN FINISH FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER FG FINISH GRADE FHC FIRE HOSE CABINET FIN FINISH FIP FOAMED IN PLACE FIXT FIXTURE FL FLOOR LINE FL FIXED PANEL FLR FLOOR FLEX FLEXIBLE FLG FLASHING FLUOR FLUORESCENT FOF FACE OF FINISH FOF FACE OF MASONRY FOS FACE OF STUD FR FIREPROOF FR FRAME FR FULL SIZE FT FOOT OR FEET FTG FOOTING FUR FURRING FUT FUTURE FV FIELD VERIFY</p>	<p>G GAUGE GA GALLON GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GFI GROUND FAULT INTERRUPTER GFRG GLASS FIBER REINFORCED CONCRETE GLG GLASS FIBER REINFORCED GYPSUM GI GALVANIZED IRON GND GROUND GRD GRADE GYP GYPSUM BOARD GMB GYPSUM WALL BOARD</p> <p>H HOLE HB HOSE BIBB HC HOLLOW CORE H/C HOT / COLD HDC HANDICAP HND HARDWOOD HDNR HARDWARE HMTL HOLLOW METAL HR HOUR HOR HORIZONTAL HT HEIGHT HTG HEATING HTR HEATER HVAC HEATING, VENTILATION & AIR CONDITIONING HW HOT WATER HWS HEADED WELDED STUD</p> <p>I INSIDE DIAMETER ID INVERT ELEVATION IN INCH INCL INCANDESCENT INCL INCLUDE INSUL INSULATION INT INTERIOR INV INVERT IP IRON PIPE</p> <p>J JOINT JAN JANITOR JB JUNCTION BOX JST JOIST JT JOINT</p> <p>K KIPS KD KNOCK DOWN KD KITCHEN KO KNOCK OUT KS KNEE SPACE</p> <p>L LENGTH LAB LABORATORY LAH LAMINATE LAV LAVATORY LB LBS LBL LABEL LBS LBS LH LEFT HAND LKR LOCKER LL LIQUID LEAD LP LIQUID PROPANE LT LIGHT LST LAMINATED STRAND LUMBER LVL LAMINATED VENEER LUMBER LVR LIGHTWEIGHT LUMBER</p> <p>M MANUFACTURER MANUF MANUFACTURER MAR MARBLE MAS MASONRY MATL MATERIAL MAX MAXIMUM MB MOP BASIN MBR MEMBER MC MEDICINE CABINET MECH MECHANICAL MED MEDIUM</p>	<p>M CONT MEMB MEMBRANE MEP MECH ELEC PLBG MFR MANUFACTURER MH MANHOLE MID MIDDLE MIN MINIMUM MIR MIRROR MIR MIRROR MISC MISCELLANEOUS MIL MICROLAM MLDG MOLDING MO MASONRY OPENING MOD MODULAR MOUN MOUNTED MTG MOUNTING MTL METAL MWO MICROWAVE OVEN</p> <p>Q & R QT QUARRY TILE R RISER RA RETURN AIR RAD RADIUS RCP REFLECTED CEILING PLAN RD ROOF DRAIN RDND REDWOOD RECP RECEPTACLE REFL REFLECTED / REFLECTIVE REFR REFRIGERATOR REG REGISTER REIN REINFORCED REQ REQUIRED RESIL RESILIENT RET RETURN REV REVISION RFG ROOFING RH ROBE HOOK RI ROUGH IN RM ROOM RND ROUND RO ROOF OPENING ROH RIGHT OF WAY RTU ROOF TOP UNIT</p> <p>S SANITARY SB SOIL BORING SBO SPECIFIED BY OWNER SC SOLID CORE SCD SEAT COVER DISPENSER SCHED SCHEDULE SCR SCREW SD SOAP DISPENSER SDG SIDING SECT SECTION SEL SELECT SG SUPPLY GRILLE SH SHELF SHWR SHOWER SHT SHEET SIM SIMILAR SKY SKYLIGHT SLDG SLIDING SM SHEET METAL SND DISPENSER SND SANITARY NAPKIN SNR SND WITH RECEPTACLE SPEC SPECIFICATION SPKR SPEAKER SPL SPLASH SPT SUPPORT SQ SQUARE SSK SERVICE SINK SS STAINLESS STEEL SFP SHELF & POLE ST STAIN STA STATION STC SOUND TRANSMISSION COEFFICIENT STD STANDARD STG SEATING STL STEEL STOR STORAGE STRUC STRUCTURAL SUSP SUSPENDED SV SHEET VINYL SW SWITCH BOARD SYM SYMMETRICAL SYN SYNTHETIC SYS SYSTEM</p> <p>T TREAD TB TONEL BAR TBD TO BE DETERMINED TCP THIN COAT PLASTER TD TONEL DISPENSER TEL TELEPHONE TEMP TEMPORARY TER TERRAZZO TERM TERMINATE TEX TEXTURE TG TONGUE & GROOVE THK THICK THLD THRESHOLD</p>	<p>T CONT TRM THERMAL TJI TRUSS JOIST INT INTERNATIONAL TLT TOILET TO TOP OF (ITEM) TOBL TOP OF BRICK EDGE TOP TOP OF CONCRETE TOF TOP OF FOOTING TOH TOP OF HEADER TOJ TOP OF JOIST TOP TOP OF PAVEMENT TOS TOP OF SLAB TOSF TOP OF SUBFLOOR TOP TOP OF WALL TPD TOILET PAPER DISPENSER TPH TOILET PAPER HOLDER TV TELEVISION TWS THREADED WELDED STUD TYP TYPICAL</p> <p>U & V UC UNDER CABINET UCR UNDER COUNTER REFR REFRIGERATOR UL UNDERWRITERS LABORATORY UNF UNFINISHED UNO UNLESS NOTED OTHERWISE UR URINAL</p> <p>V VENT VAV VARIABLE AIR VOLUME VCP VITREOUS CLAY PIPE VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE VG VERTICAL GRAIN VR VAPOR RETARDER VS VENT STACK VT VINYL TILE VTR VENT THROUGH ROOF VMB VINYL WALL BASE VVC VINYL WALL COVERING</p> <p>W & X & Y & Z W WITH W/C WALK IN COOLER WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANGE WH WATER HEATER WI WROUGHT IRON W/O WITHOUT WP WATER PROOF WR WATER RESISTANT WS WATER SOFTENER W/STC WAINSCOT WT WEIGHT WMP WELDED WIRE FABRIC WMP WELDED WIRE MESH YDS YARDS</p>
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BESHM INVESTMENT GROUP LLC

1610 GILSON STREET MADISON, WI 53715



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SYMBOL LEGEND

SYMBOL NAME	SYMBOL	NOTES	SYMBOL NAME	SYMBOL	NOTES
DETAIL REFERENCE		DETAIL NUMBER SHEET NUMBER ON WHICH DETAIL IS LOCATED	DATUM OR FLOOR ELEV		ELEVATION IN MAIN RELATIONSHIP TO FLOOR OR STATED DATUM
SECTION		SECTION NUMBER SHEET NUMBER ON WHICH SECTION IS LOCATED	INTERIOR ELEVATION IDENTIFICATION		SHEET NUMBER ON WHICH ELEVATION IS LOCATED DRAWING NUMBER
STRUCTURAL GRID-LINE REFERENCE		GRID NUMBER OR LETTER	ROOM IDENTIFICATION		ROOM NAME ROOM NUMBER SQUARE FOOTAGE
REVISION REFERENCE		REVISION NUMBER	PROJECT KEY NOTE IDENTIFICATION		KEY NOTE REFERENCE
EXTERIOR ELEVATION REFERENCE		ELEVATION NUMBER SHEET NUMBER ON WHICH ELEVATION IS LOCATED	EQUIPMENT IDENTIFICATION		EQUIPMENT REFERENCE
WINDOW REFERENCE		WINDOW LETTER	CHANGE IN FINISH FLOOR ELEVATION		HEIGHT OF STEP IN FLOOR ELEVATIONS
DOOR REFERENCE/BORROWED LIGHT REFERENCE		DOOR OPENING NO. OR BORROWED LIGHT NO.	MATERIAL AND FINISH REFERENCE FOUNDATION STEP		STEP IN FOOTING/FOUNDATION ELEV
EXISTING DOOR			DIMENSIONING		DIMENSION TO FACE OF STUD @ STUD WALL, UNO
EXISTING DOOR TO BE DEMO'D			WALL TYPE IDENTIFICATION		PARTITION TYPE REFERENCE
WINDOW REFERENCE		WINDOW NO.	MISCELLANEOUS ITEMS		PROPERTY LINE
					HOSE BIBB

DRAWING INDEX

ARCHITECTURAL	STRUCTURAL	ELECTRICAL
<p>TI ABBREVIATIONS, SYMBOLS & INDEX</p> <p>SW1 EXISTING SITE LAYOUT SW2 PROPOSED SITE LAYOUT LSI LANDSCAPE PLAN</p> <p>A1 PARKING LEVEL PLAN A2 FIRST FLOOR PLAN A3 SECOND FLOOR PLAN A4 EXTERIOR ELEVATIONS A5 EXTERIOR ELEVATIONS A6 EXTERIOR ELEVATIONS</p>		<p>SL1 SITE LIGHTING ILLUMINATION PLAN - ROADWAY SL2 SITE LIGHTING ILLUMINATION PLAN - PROPERTY</p>
SITE INFORMATION		
TOTAL SITE AREA		25,137 SQ FT (.5771 ACRE)
NEW BUILDING FOOTPRINT		13,500 SQ FT
DRIVEWAY		1,536 SQ FT
PATIOS & WALKS		1,095 SQ FT
EXISTING BUILDING		2,587 SQ FT
GREENSPACE		6,419 SQ FT
NEW BUILDING TO SITE RATIO (FAR) 1.61		
DENSITY - 13 DWELLING UNITS/.5771 ACRE = 22.5 UNITS PER ACRE		

GILSON STREET DEVELOPMENT
BESHM INVESTMENT GROUP, LLC
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MADISON, WISCONSIN, 53715

REVISIONS		
NO	DATE	ISSUE

PROJECT NO
0647

DATE
NOVEMBER 6, 2006

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