



Certificate of Appropriateness
2129 Kendall Ave

April 5, 2021



History of the Property

- Constructed 1915
- Home of Ernest Kirsh
 - UW farm foreman



Proposed Work

- Replace siding
- Repair front porch
- Modify rear wing
 - New entrance
 - Replace nonhistoric bay window
 - Replace nonhistoric siding with clapboard
 - Modify nonhistoric roof
- Replace all windows





EXTERIOR GENERAL NOTES

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE, EXTERIOR; BLACK, INTERIOR; FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

EXTERIOR KEYNOTES

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING DOOR.



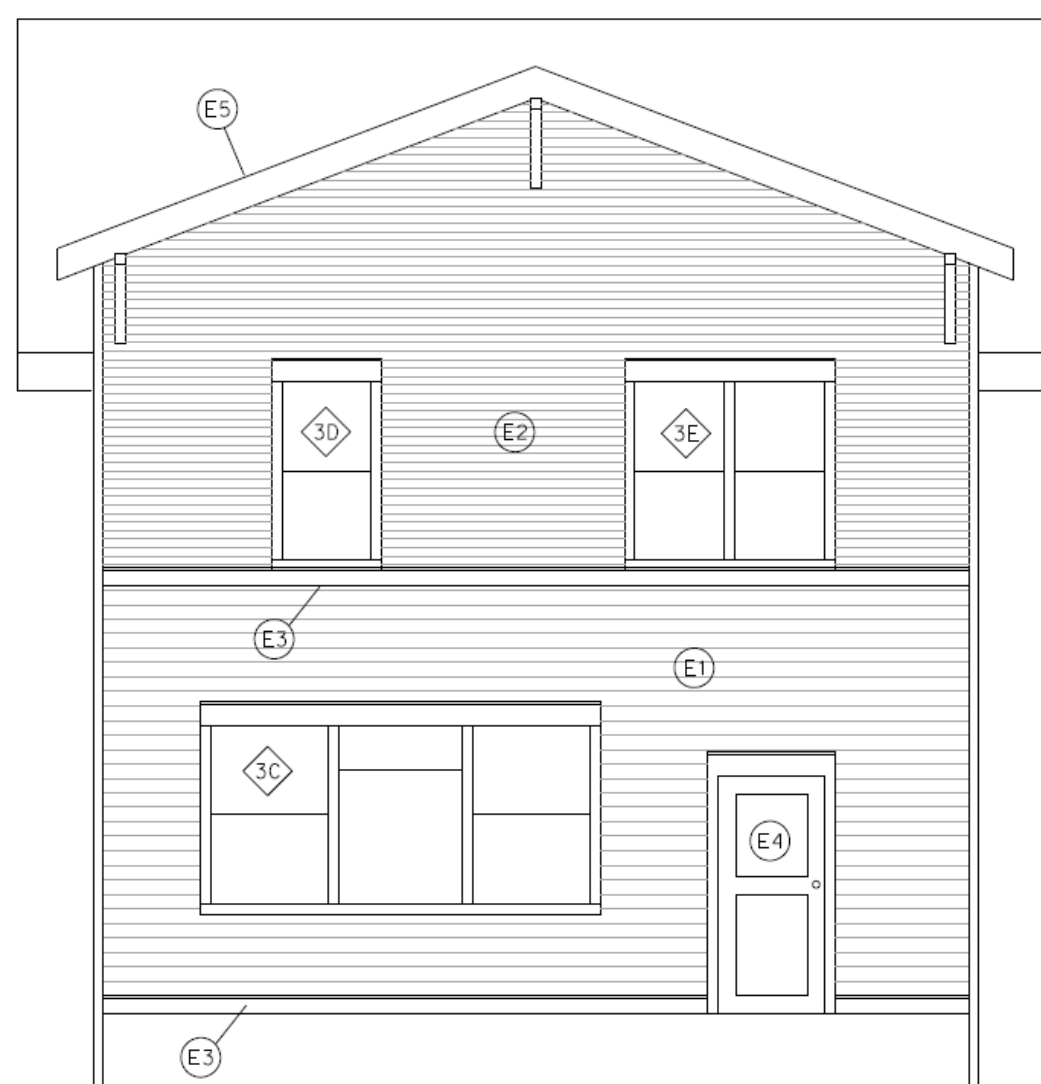
2 WEST ELEVATION - PROPOSED SCOPE OF WORK
N.T.S.



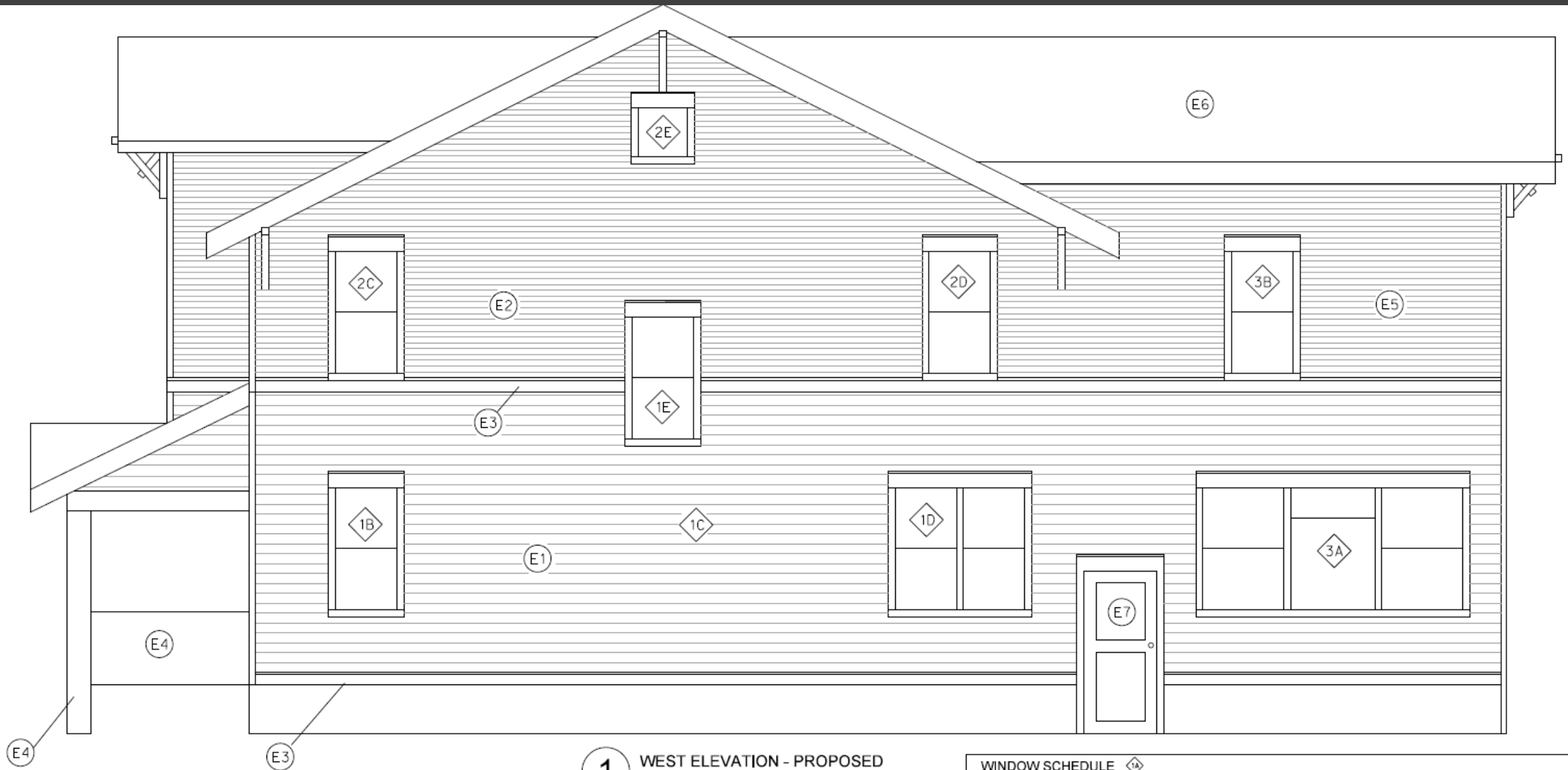
1 EAST ELEVATION - PROPOSED SCOPE OF WORK



1 FRONT ELEVATION - PROPOSED
1/4" = 1'-0"



1 BACK ELEVATION - PROPOSED
1/4" = 1'-0"



1 WEST ELEVATION - PROPOSED
 1/4" = 1'-0"

WINDOW SCHEDULE 1A			
ID	WINDOW	ASSEMBLY	NOTES





1 EAST ELEVATION - PROPOSED
 1/4" = 1'-0"

WINDOW SCHEDULE			
ID	WINDOW	ASSEMBLY	NOTES





2129 Kendall



1617 Monroe

Applicable Standards

41.24(5) UH Standards for Exterior Alterations and Repairs



Staff Recommendation

Staff believes that the standards for granting a Certificate of Appropriateness could be met and recommends the Landmarks Commission approve the project with the following conditions:

1. Final window specifications shall replicate the appearance of the historic windows
2. Explore repair of the historic front door with a new full-light storm door
3. New roofing shall not have exaggerated shadow lines, with final specifications to be approved by staff

