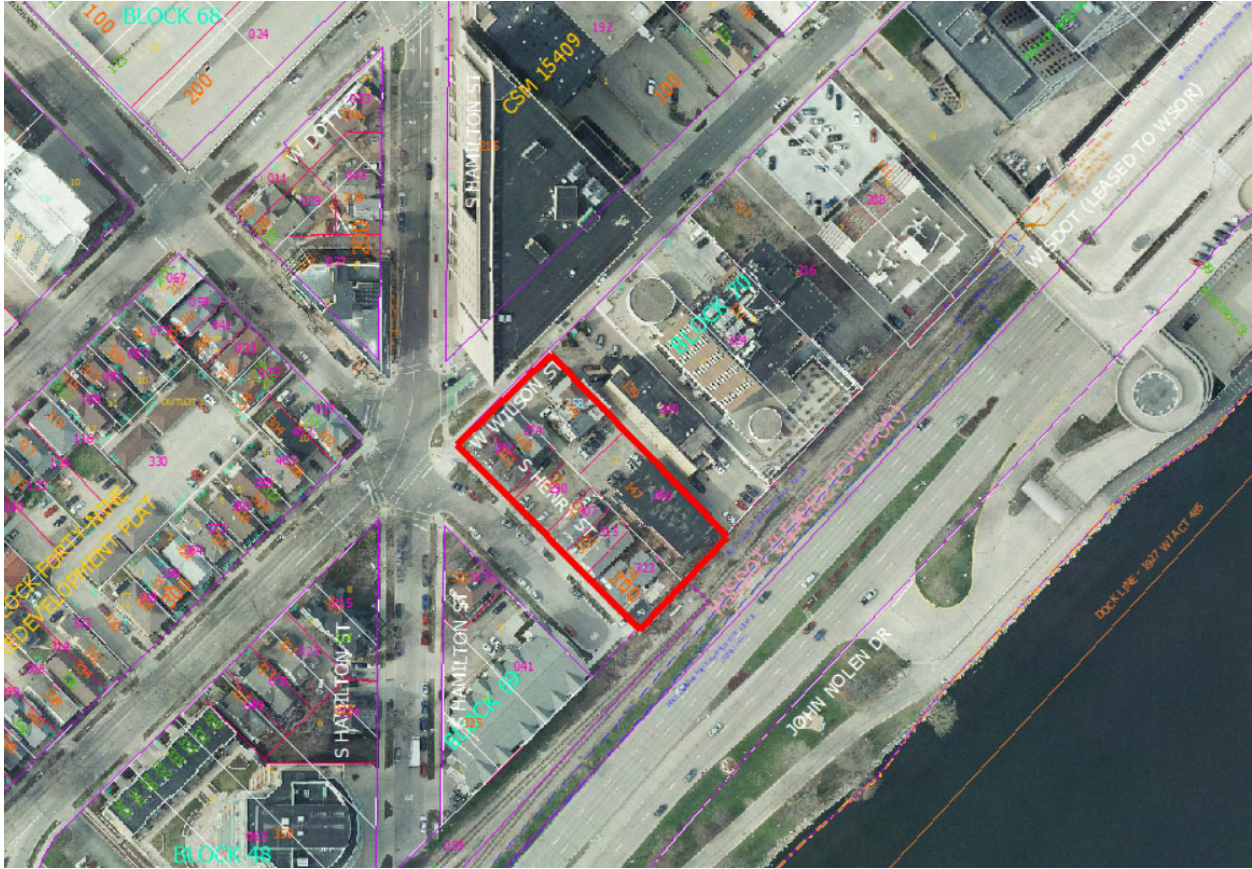
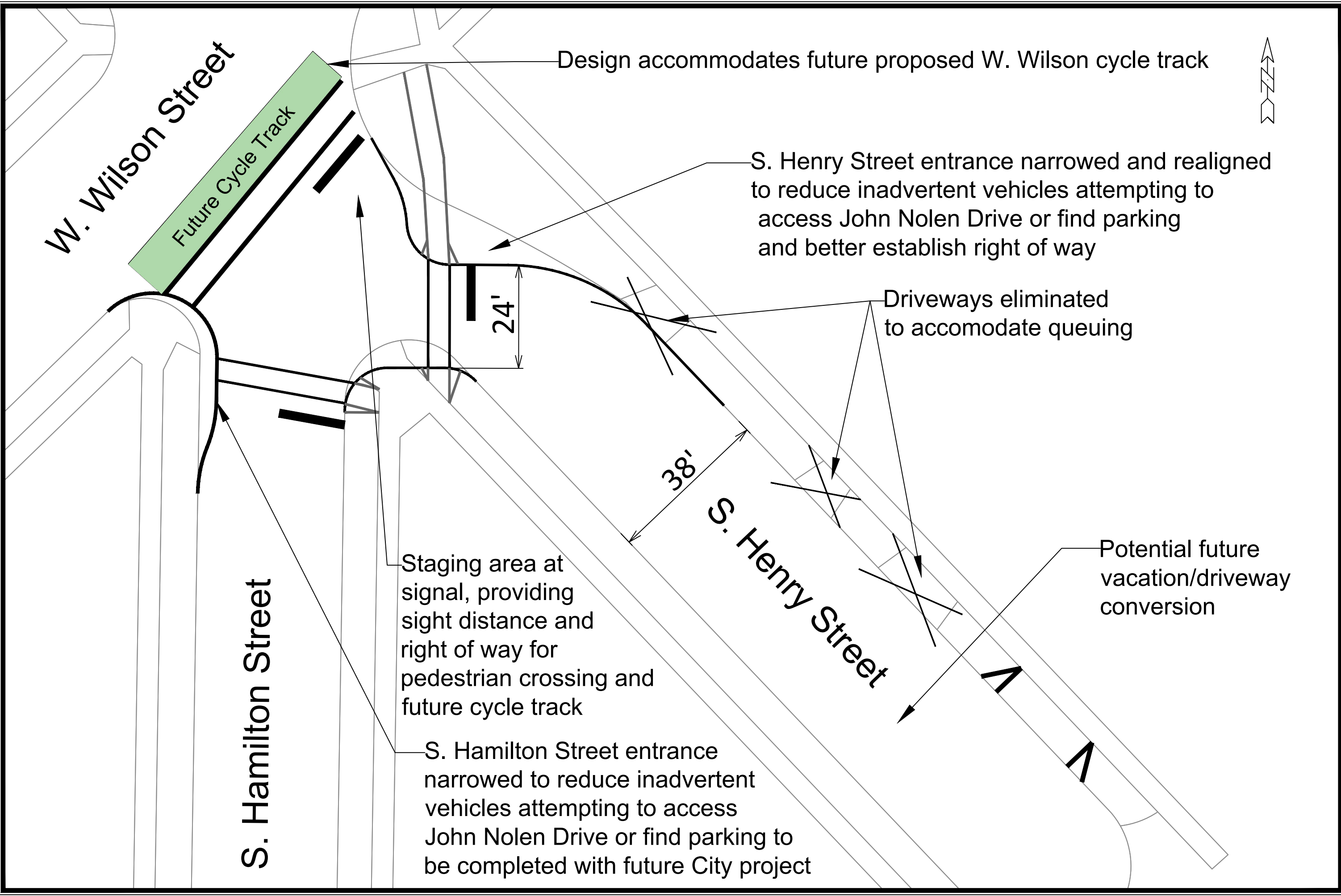


145 W Wilson Street
Contract 9062
MUNIS 13759
Developer: Wilson 100, LLC



Summary of Improvements:

- Sanitary / Strom / Water service laterals
- Private driveway aprons
- Sidewalk and curb & gutter as needed on W Wilson St and S Henry St
- Construct revised Henry/Hamilton/Wilson intersection as required by City Traffic Engineer
- Tree removals and replacements as approved by City Forestry
- Developer to coordinate & complete undergrounding of overhead utility lines
- Earth retention within the public right-of-way to facilitate excavation for the development



W. Wilson Street

Future Cycle Track

Design accommodates future proposed W. Wilson cycle track

S. Henry Street entrance narrowed and realigned to reduce inadvertent vehicles attempting to access John Nolen Drive or find parking and better establish right of way

Driveways eliminated to accomodate queuing

Potential future vacation/driveway conversion

S. Hamilton Street

Staging area at signal, providing sight distance and right of way for pedestrian crossing and future cycle track

S. Hamilton Street entrance narrowed to reduce inadvertent vehicles attempting to access John Nolen Drive or find parking to be completed with future City project

S. Henry Street

24'

38'

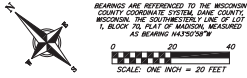


MARK	REVISION	DATE	BY

EXHIBIT
 S. HENRY - S. HAMILTON - W. WILSON
 MADISON, WI
 CONTRACT NO:

M:\DESIGN\Traffic\Maps_Plans\DP-Maps\dp2021_Henry-Wilson-Hamilton.dwg
 Designed By: SDM | Date: 8/4/2021 9:58 AM | Scale: 1/20





BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DADE COUNTY, WISCONSIN. THE SOUTHWESTERLY LINE OF LOT 1, BLOCK 78, PLAT OF MADISON, MEASURED AS BEARING N43°18'17\"/>

SURVEYED FOR:
WALTER WAYNE DEVELOPMENT
ATTN: DAVE DIAMOND
702 NORTH HIGH POINT ROAD, SUITE 200
MADISON, WI 53717

SURVEYED BY:
VERBICHER ASSOCIATES, INC.
875 DAVID N. GULLICKSON
999 FOURIER DRIVE,
SUITE 201
MADISON, WI 53717
(608) 821-3866
dgv@verbicher.com

PROJECT BENCHMARKS:

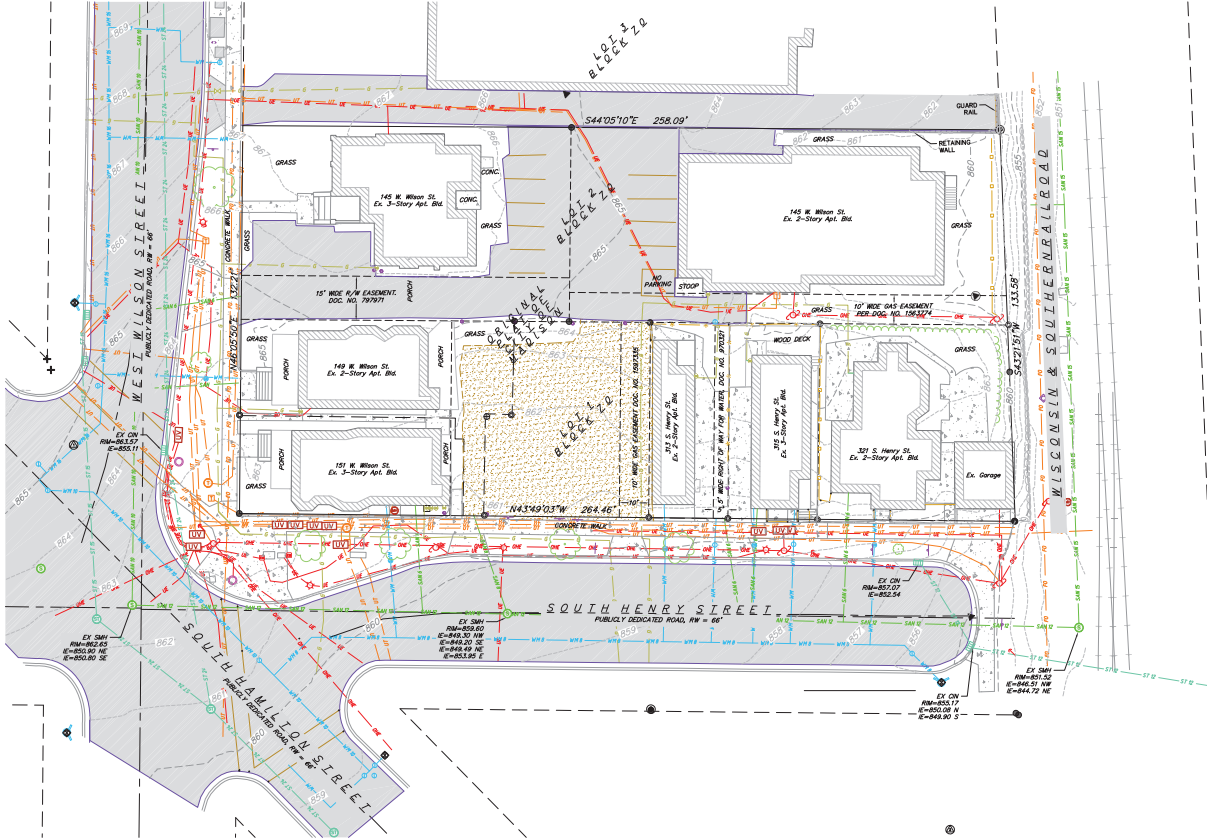
- ① BENCHMARK 1 - ELEV. = 858.42
TOP NUT OF FIRE HYDRANT LOCATED AT THE INTERSECTION OF WEST WILSON STREET AND SOUTH HAMILTON STREET.
- ② BENCHMARK 2 - ELEV. = 858.98
TOP NUT OF FIRE HYDRANT LOCATED ON THE EASTERLY END OF SOUTH HENRY STREET.
- ③ BENCHMARK 3 - ELEV. = 864.04
TOP NUT OF FIRE HYDRANT LOCATED AT THE INTERSECTION OF WEST WILSON STREET AND SOUTH HAMILTON STREET.

SURVEY LEGEND

- Ⓢ BENCHMARK
- ✕ FOUND CHISELED "X"
- ▲ FOUND PK NAIL
- Ⓞ FOUND 1" # IRON PIPE
- Ⓞ FOUND 2" # IRON PIPE
- Ⓞ FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD

NOTES:

1. This survey is based upon field survey work performed between November 18 and November 20, 2020. Any changes in site conditions after December 31, 2020 are not reflected by this survey.
2. Elevations depicted on this map are based upon NAVD83 (2012 Geoid) Datum.
3. Benchmarks shall be verified before construction.
4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or easement life evidence.
5. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket number 20204702179, 20204702185, 20204702225, 20204702255, 20204702255, 20204702255, 20204702257, 20204702274, 20204702301, 20204702311, and 20204702379. Location of buried private utilities are not within the scope of this survey.
6. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
7. The location of existing underground utilities as shown herein has been determined from the best available information and is given for the convenience of the contractor. The owner and the engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.
8. The contractor shall keep all streets free and clear of construction related dirt/debris.
9. These drawings assume that the contractor will utilize an electronic drawing file and stake all site improvements using coordinates tied into control points, the dimensions indicated on the drawings are for the convenience of the contractor only.
10. Prior to the use of these drawings for construction purposes, the user shall verify all dimensions and locations of buildings with the foundation drawings and architectural site plan, if conflicts exist the user of these drawings shall contact the engineer immediately.



TOPOGRAPHIC SYMBOL LEGEND

- ✕ EXISTING SIGN
- ▲ EXISTING BOLLARD
- Ⓢ EXISTING POST
- Ⓞ EXISTING PARKING METER
- Ⓞ EXISTING CURB INLET
- Ⓞ EXISTING STORM MANHOLE
- Ⓞ EXISTING SANITARY MANHOLE
- Ⓞ EXISTING FIRE HYDRANT
- Ⓞ EXISTING WATER MAIN VALVE
- Ⓞ EXISTING CURB STOP
- Ⓞ EXISTING GAS VALVE
- Ⓞ EXISTING GAS METER
- Ⓞ EXISTING LIGHT POLE
- Ⓞ EXISTING UTILITY POLE
- Ⓞ EXISTING ELECTRIC PEDESTAL
- Ⓞ EXISTING UNIDENTIFIED MANHOLE
- Ⓞ EXISTING TELEPHONE MANHOLE
- Ⓞ EXISTING TELEPHONE PEDESTAL
- Ⓞ EXISTING UNIDENTIFIED UTILITY VAULT
- Ⓞ EXISTING TRAFFIC SIGNAL
- Ⓞ EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING SANITARY SEWER LINE
- EXISTING 10" SANITARY SEWER LINE
- EXISTING 12" SANITARY SEWER LINE
- EXISTING 15" SANITARY SEWER LINE
- EXISTING 12" STORM SEWER LINE
- EXISTING 15" STORM SEWER LINE
- EXISTING 24" STORM SEWER LINE
- EXISTING WATER MAIN
- EXISTING 8" WATER MAIN
- EXISTING 10" WATER MAIN
- EXISTING 16" WATER MAIN
- EXISTING RAILING/ GUARD RAIL
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING RETAINING WALL
- EXISTING EDGE OF TREES
- EXISTING RAILING
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

TOPOGRAPHIC HATCHING LEGEND

- ▨ EXISTING CONCRETE PAVEMENT/SIDEWALK
- ▨ EXISTING GRAVEL
- ▨ EXISTING ASPHALT PAVEMENT

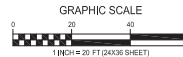


Dial 811 or (800) 242-8511
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

1 EXISTING CONDITIONS
C-01
1" = 20'-0"



K02
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CONSULTANT

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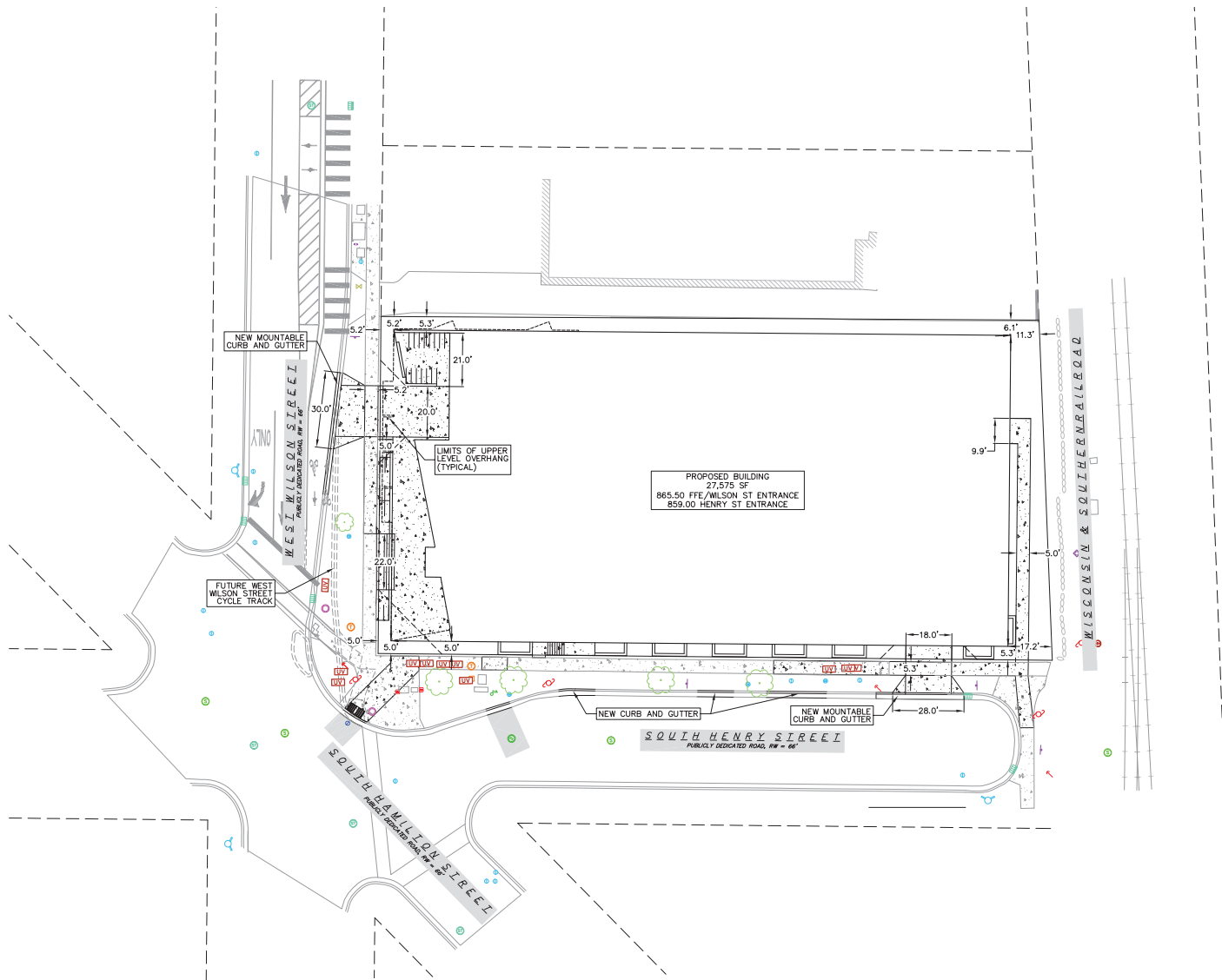
PROJECT TITLE
**West Wilson Street
Development**

Madison, WI
Existing
Conditions

SHEET NUMBER

C-0.1

PROJECT NO. 200299
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- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED ADA DETECTABLE WARNING FIELD

- SITE PLAN NOTES:**
1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
 7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY OF MADISON ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

ISSUED

PROJECT TITLE
West Wilson Street Development

Madison, WI
 SHEET TITLE
Site Plan

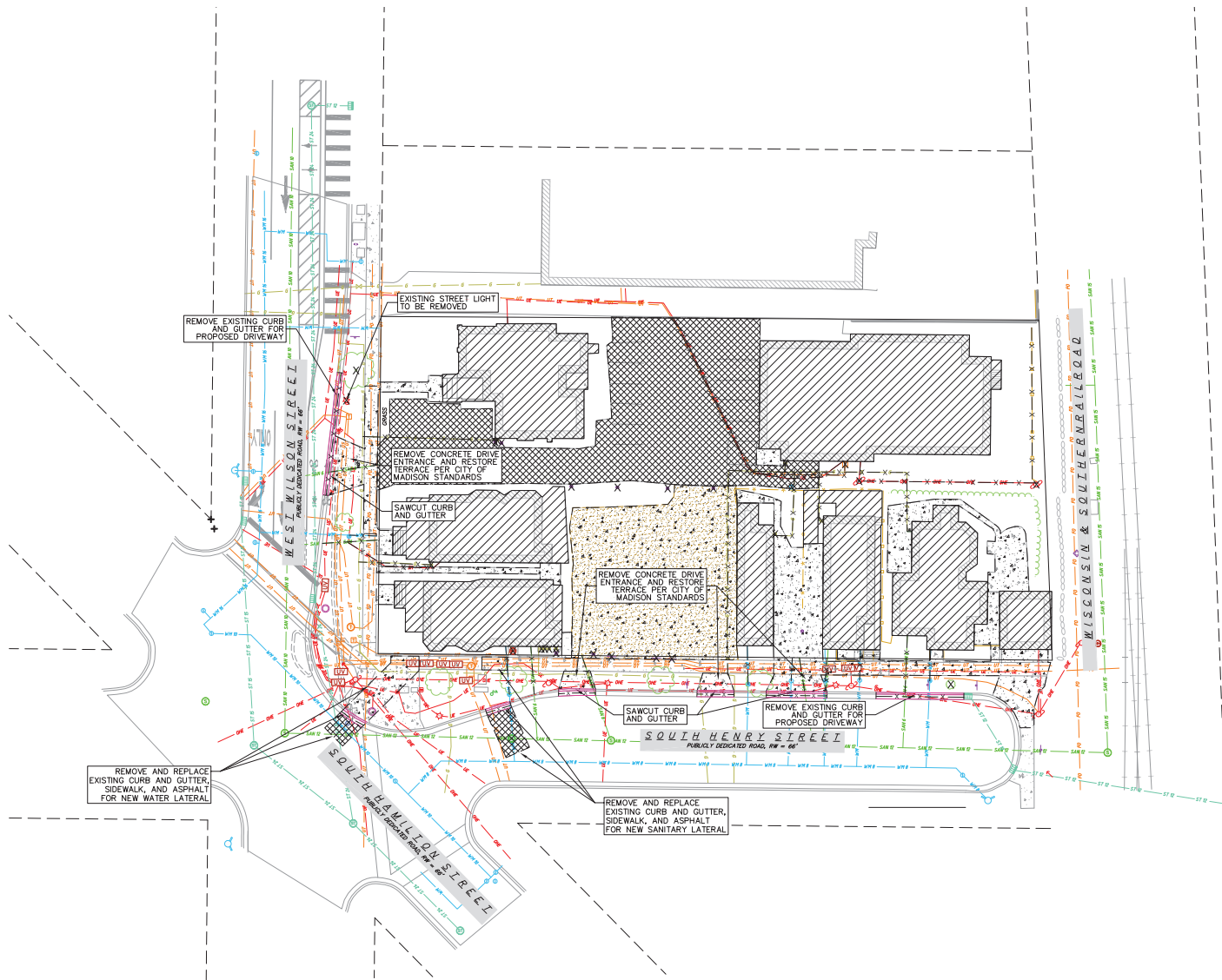
SHEET NUMBER

C-1.1

PROJECT NO. 200299
 © Knothe & Bruce Architects, LLC

1 SITE PLAN
 C-1.1 1" = 20'-0"

GRAPHIC SCALE
 0 20 40 60
 1" = 20 FT (24X36 SHEET)



DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
- CONTRACTOR TO DISCONNECT AND ABANDON ALL SANITARY AND WATER LATERALS TO REMOVED BUILDINGS PER THE CITY OF MADISON REQUIREMENTS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

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planners | engineers | architects
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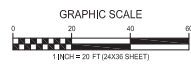
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West Wilson Street Development

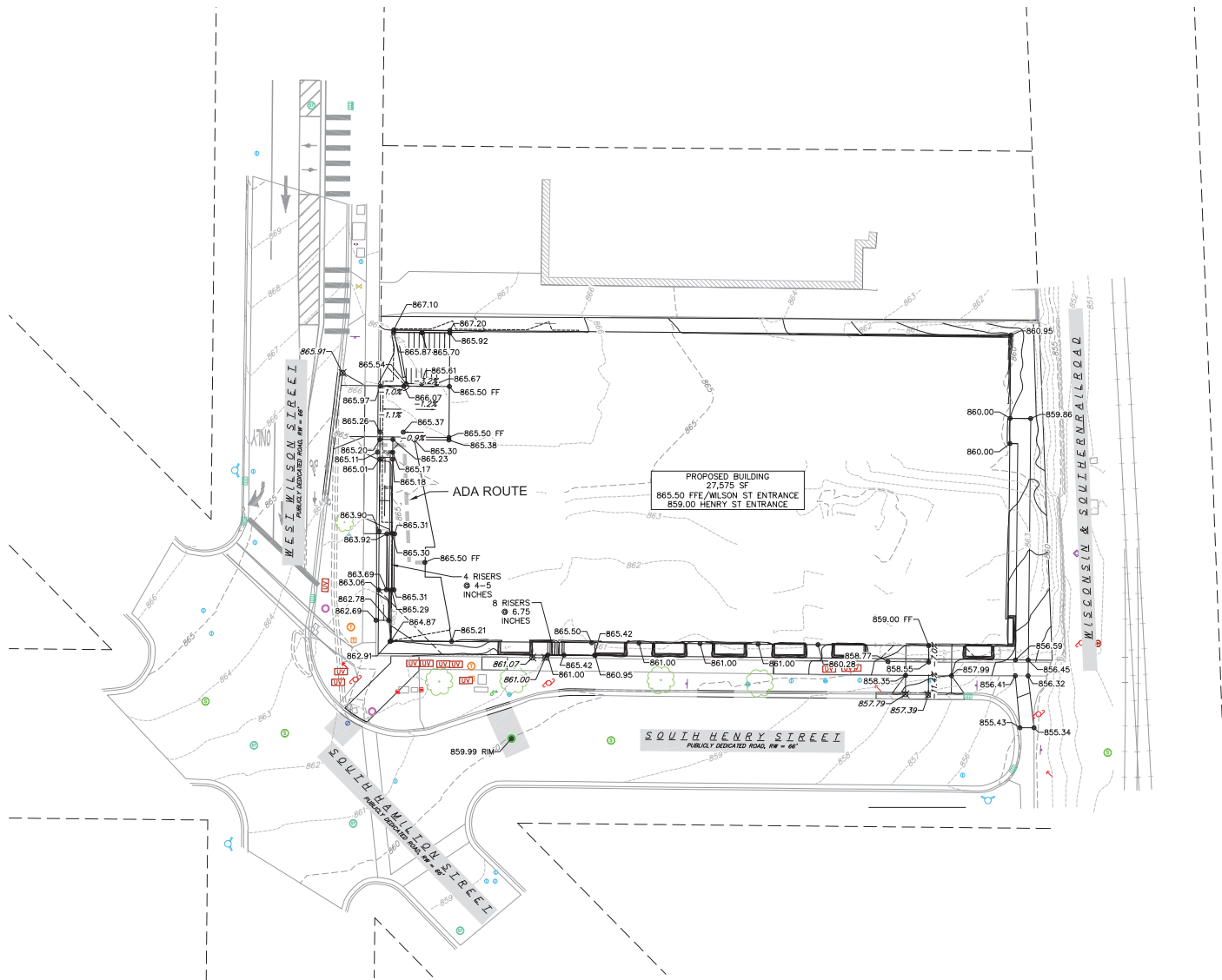
Madison, WI
SHEET TITLE
Demolition Plan

SHEET NUMBER

C-2.0
PROJECT NO. 200299
© Knothe + Bruce Architects, LLC

1 DEMOLITION PLAN
C-2.0 1" = 20'-0"





GRADING LEGEND

---	820	EXISTING MAJOR CONTOURS
---	818	EXISTING MINOR CONTOURS
---	820	PROPOSED MAJOR CONTOURS
---	818	PROPOSED MINOR CONTOURS
→		DRAINAGE DIRECTION
↗	2.92%	PROPOSED SLOPE ARROWS
⊕	1048.61	EXISTING SPOT ELEVATIONS
⊕	1048.61	PROPOSED SPOT ELEVATIONS

- GENERAL NOTES:**
1. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
 2. CROSS-SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 3. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 4. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 5. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 6. ADJUST ALL EXISTING MANHOLE AND VALVE BOX RIMS TO FINAL GRADE.
 7. PRIOR TO TOPSOIL RESPREAD AND FINAL RESTORATION, ALL DISTURBED AREAS THAT ARE TO BE SEEDS SHALL BE DEEP CHISEL FLOWED TO MAINTAIN EXISTING SOIL INFILTRATION CHARACTERISTICS.
 8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

CONSULTANT

ISSUED

PROJECT TITLE
West Wilson Street Development

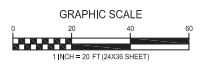
Madison, WI
 SHEET TITLE
Grading Plan

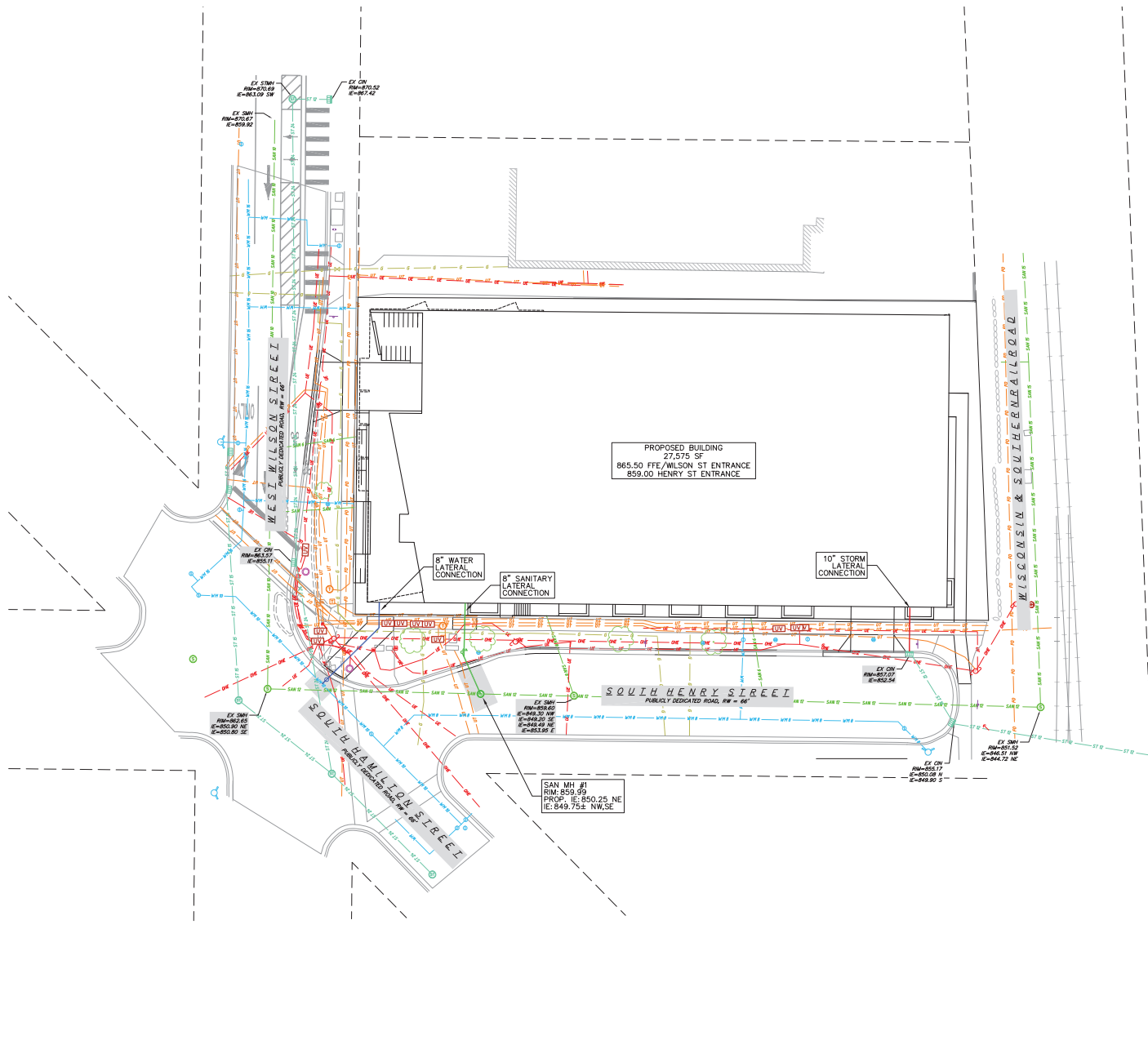
SHEET NUMBER

C-4.0

PROJECT NO. 200299
 © Knothe & Bruce Architects, LLC

1 GRADING PLAN
 C-4.0 1" = 20'-0"





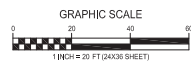
PROPOSED UTILITY LEGEND

- STORM SEWER LATERAL PIPE
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER SERVICE LATERAL PIPE
- WATER VALVE

UTILITY NOTES:

1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
3. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
4. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
5. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
6. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
7. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
8. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
9. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(6)(k).
10. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(9)(b.).
11. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
12. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
13. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
14. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
16. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
19. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURING PROPER CLEARANCE OF NEW UTILITIES.
20. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

1 UTILITY PLAN
C-5.0 1" = 20'-0"



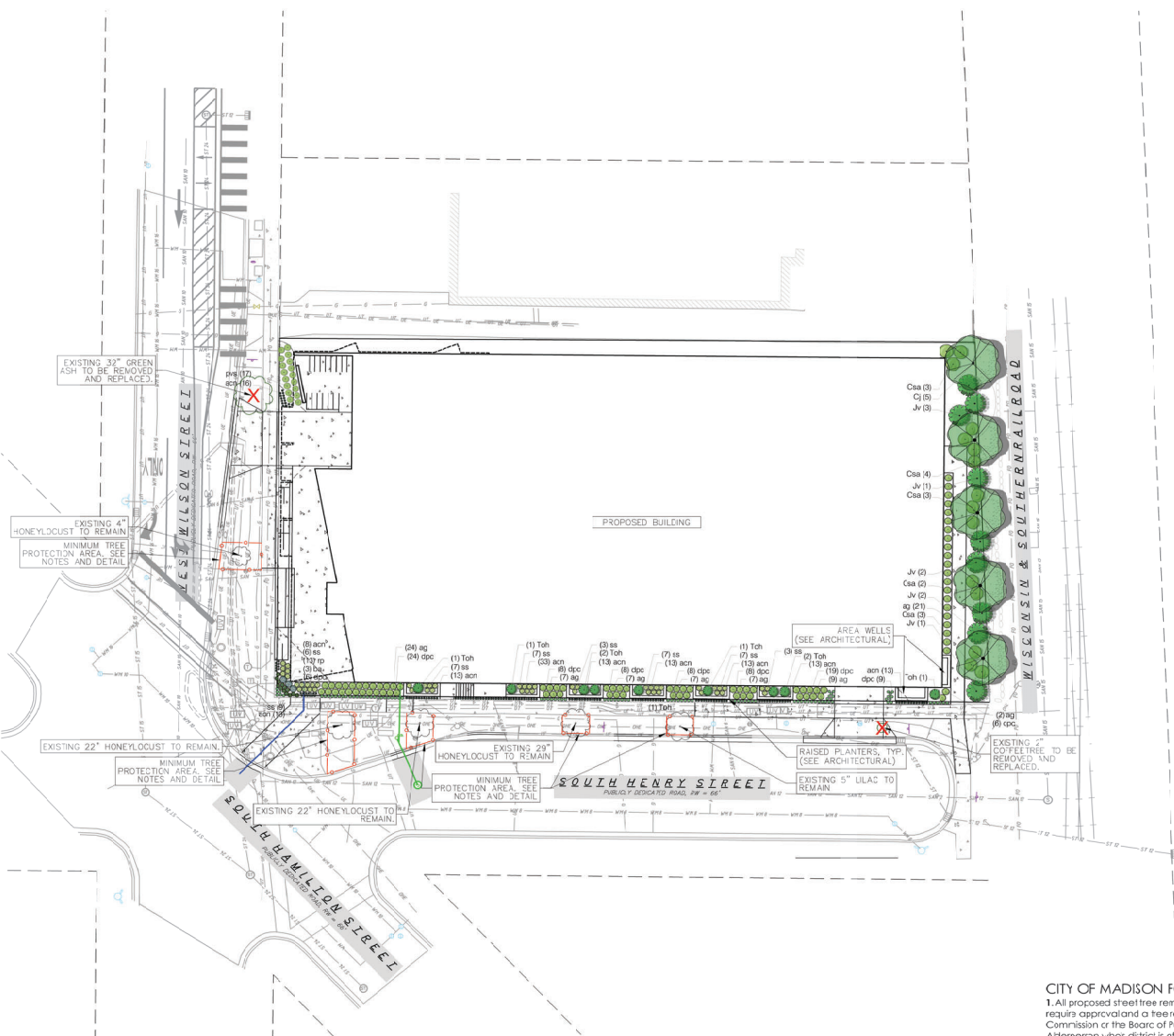
ISSUED

PROJECT TITLE
West Wilson Street Development

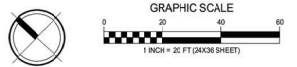
Madison, WI
SHEET TITLE
Utility Plan

SHEET NUMBER

C-5.0



1 LANDSCAPE PLAN
L-1.0 1" = 20'



PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cj	Carpinus caroliniana 'J.N. Select A' TM / Fire King American Hornbeam	B & B	2" Cal	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Csa	Cornus seicea 'Alleen's Compact' / Dwarf Red Twig Dogwood	Cont.	5 Gal.	15
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Jv	Juniperus virginiana 'Burkii' / Burkii Juniper	B & B	5" Ht.	9
Toh	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	5" Ht.	9
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
acn	Alium censeu / Hissing Onion	Cont.	4 In.	148
ag	Andropogon gerardi 'Red October' / Red October Big Bluestem	Cont.	1 Ga.	34
ba	Isatis australis / Blue Wild Indigo	Cont.	1 Ga.	3
opc	Salix purpurea / Purple Fringe Clover	Cont.	4 In.	96
pvs	Pericallis virens 'Shenandoah' / Shenandoah Red Switch Grass	Cont.	1 Ga.	17
sp	Sabbadilla pinnatifida / Yellow Coneflower	Cont.	1 Ga.	13
ss	Schizachyrium scoparium 'Stardust Ovaton' / Standing Ovaton Little Bluestem Grass	Cont.	1 Ga.	49

City of Madison Landscape Worksheet									
Address:		West Wilson Street		Date:		06.07.2021			
Total Square Footage of Developed Area:		(Site Area)	34,704	(Building Footprint at Grade)		27,575	=	7129	sf
Total Landscape Points Required (<5 ac):		7,129	/ 300 =	24	x 5 =	119		119	
Landscape Points Required >5 ac:		0	/ 100 =	0	x 1 =	-			
		Credits / Existing Landscaping		New / Proposed Landscaping					
Plant Type/Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved			
Inventory deciduous tree	2.5" cal	35	0	0	0	0			
Tall evergreen tree	5-6 feet tall	35	0	0	0	0			
Ornamental tree	1.5" cal	15	0	5	75	0			
Upright evergreen shrub	3-4 feet tall	10	0	18	180	0			
Shrub, deciduous	#2 gallon container size, Min. 12-24"	3	0	15	45	0			
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4	0	0	0	0			
Ornamental grasses/perennials	#1 gallon container size, Min. 6-18"	2	0	166	332	0			
Ornamental/decorative fencing or wall	n/a	4 per 10 LF	0	0	0	0			
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200	0	0	0	0			
Landscape Furniture for public seating and/or transit connectors	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per seat	0	0	0	0			
Sub Totals				Total Points Provided:	632	632			

PLANT MATERIAL NOTES:
 1. All plantings shall conform to quality requirements as per ANSI Z60.1.
 2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
 3. Contact Landscape Architect, in writing, to request any plant material substitutions due to availability issues.
 4. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.

LANDSCAPE MATERIAL NOTES:
 1. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 18" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 2. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc, ClearLine 1/2" x 4" or equal, color black anodized.
 3. All trees and/or shrubs planted in lawn areas to be installed with a 5" diameter mulch ring and shovel cut edge. A pre-emergent granular herbicide weed-preventer should be mixed with mulch as well as topically applied to tree ring.
 4. All areas sited on plan as stone to be mulched with 1.5" washed stone to 3" depth over weed barrier fabric. Stone type and color to be approved by owner.

SOD NOTES:
 1. All disturbed areas, unless otherwise noted, to be sodded with a premium grade turfgrass sod. Turfgrass sod shall be reasonably free of diseases, nematodes and soil-borne insects. Turfgrass sod shall be free of grassy and broadleaf weeds and weed seed. All sodded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.

CITY OF MADISON FORESTRY NOTES (STREET TREE PROTECTION & PLANTING):
 1. All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson whose district is affected by the tree removal(s) prior to a tree removal permit being issued.
 2. As defined by Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4616) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/pjpecs.cfm>
 3. Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4616. Remediation and replacement shall be required.
 4. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
 5. On this project street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of fence and extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
 6. Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.
 7. At least one week prior to street tree planting Contractor shall contact City Forestry at (608) 266-4616 to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper.
 8. City Forestry will issue a street tree removal permit for three trees: 2" Coffeetree and 32" Ash due to driveway installation.

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ISSUED

PROJECT TITLE
West Wilson Street Development

Madison, WI
 SHEET TITLE
Landscape Plan

SHEET NUMBER

L-1.0

PROJECT NO. **200299**
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