

121 E. Wilson Street

Quad Capital Partners
Madison, WI

2021.27.00

LAND USE & UDC SUBMITTAL 08.08.2022

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C = Issued for Construction
B = Issued for Bidding
R = Issued for Reference Only

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Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

PRELIMINARY
NOT FOR CONSTRUCTION

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DATE ISSUANCE/REVISIONS
08/08/2022 LAND USE & UDC APPLICATION 1

PROJECT INFORMATION

PROPOSED USES:
1ST FLOOR COMMERCIAL, RESIDENTIAL LOBBY
2ND - 14TH FLOORS RESIDENTIAL

CURRENT ZONING: UMX - URBAN MIXED USE
PROPOSED ZONING: DC - DOWNTOWN CORE

SETBACKS PROVIDED:
FRONTYARD: 5' - EAST WILSON STREET
STEPBACK PROVIDED: 0'

BUILDING HEIGHT: 18 STORIES
1ST STORY - MIXED USE
13 STORIES - RESIDENTIAL
4 STORIES - PARKING

SITE AREA: 1.08 ACRES OR 47,064SF
LOT COVERAGE: SEE SITE PLAN
USABLE AREA: 205F / BEDROOM (20'x40' = 8,000SF)
1ST FLR - PROMENADE 9,910SF
2ND FLR GREEN ROOF 2,806SF
14TH FLR COMMON TERRACES 4,598SF
UNIT BALCONIES, PATIOS 11,938SF
PROVIDED TOTAL 29,252SF

BUILDING AREAS

PARKING 148,940SF (GROSS)
RETAIL 19,440SF (NET)
RESIDENTIAL 369,810SF (GROSS)
TOTAL BLDG 538,880SF (GROSS)

BUILDING FOOTPRINT 40,395SF

UNIT COUNT	EFF.	1 BD	2BD	3BD	TOTAL
2ND FLOOR	7	9	6	0	22
3RD-12TH FLRS	6	15	6	1	28
13TH FLOOR	6	15	6	0	27
14TH FLOOR	0	1	3	4	8
UNIT TOTALS	73	175	75	14	337
BED TOTALS	73	175	150	42	440

PARKING COUNT

STANDARD (8'-0" x 17'-0") 248
STANDARD EV INSTALLED 8 (2.3%)
COMPACT 81 (23%)
CAR ACCESSIBLE 6
VAN ACCESSIBLE 2
TOTAL 345

BIKE STALLS:

	REQUIRED	PROVIDED
RESIDENTIAL LONG TERM	344	346 Interior - Parking levels
RESIDENTIAL VISITOR	34	34 Exterior - on site
RETAIL (1/2,000sq)	8	8 Exterior - on site
TOTAL	386	388

(ALL BIKE STALLS ARE 2' X 6', HORIZONTALLY ORIENTATED, FLOOR OR GROUND MOUNTED)

COVER DRAWING

CD01

PLAN MODIFICATIONS:

#	Date:	Description:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **JK 08/23/21**
Approved: **TJB 08/26/21**

ALTA/NSPS LAND TITLE SURVEY

ALTA/NSPS LAND TITLE SURVEY

LOTS 3, 4, 5 AND 6 AND THE SOUTHWEST 2 FEET OF THE NORTHWEST 100 FEET OF LOT 7, BLOCK 106, ORIGINAL PLAT OF MADISON, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

SECTION CORNER MONUMENTS

LETTER	CORNER	FOUND	NORTHING	EASTING
A	NW 24-07-09	THE CAPITOL BLDG	482,833.37	821,166.41
B	WITNESS CORNER	BRASS CAP	482,823.92	821,673.42
C	WITNESS CORNER	BRASS CAP	482,796.70	823,062.02
D	N 1/4 24-07-09	IN THE LAKE	482,782.02	823,822.12

LEGEND

- GOVERNMENT CORNER
- CHESEBOLD "X" FOUND
- 3/4" REBAR FOUND
- CHESEBOLD "X" SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- SIGN
- SANITARY MANHOLE
- CLEAN OUT
- WATER VALVE
- STORM MANHOLE
- DOWNSPOUT
- GAS REGULATOR/METER
- GAS VALVE
- GAS MANHOLE
- ELECTRIC MANHOLE
- YARD LIGHT
- VAULT
- DECIDUOUS TREE
- --- PARCEL BOUNDARY
- --- RIGHT-OF-WAY LINE
- --- CENTERLINE
- --- PLATTED LOT LINE
- --- GUARD OR SAFETY RAIL
- --- EDGE OF PAVEMENT
- --- CONCRETE CURB & GUTTER
- --- EDGE OF GRAVEL
- --- SANITARY SEWER
- --- WATER LINE
- --- STORM SEWER
- --- NATURAL GAS
- --- UNDERGROUND ELECTRIC
- --- FIBER OPTIC
- --- BUILDING
- --- INDEX CONTOUR
- --- INTERMEDIATE CONTOUR
- --- BITUMINOUS PAVEMENT
- --- RETAINING WALL
- --- CONCRETE PAVEMENT
- --- GRAVEL
- --- MULCH
- --- END OF FLAGGED UTILITIES
- --- DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED ON AUGUST 12, 17, 18 AND 21, 2021.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 24-07-09, RECORDED AS 5865332'E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE WITNESS CORNER TO THE NORTH QUARTER CORNER OF SECTION 24, TOWNSHIP 07 NORTH, RANGE 09 EAST, ELEVATION = 850.53.
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20213224371, 20213224403 AND 20213224423, WITH A START DATE OF AUGUST 11, 2021.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 - CITY OF MADISON ENGINEERING DEPARTMENT
 - MADISON GAS AND ELECTRIC COMPANY (M&E) (ELECTRIC AND GAS)
 - AT&T TRANSMISSION
 - AT&T DISTRIBUTION
 - LEVEL 3 IS NOW CENTURYLINK
 - WINDSTREAM COMMUNICATIONS
 - WISCONSIN DEPARTMENT OF TRANSPORTATION-ITS EQUIPMENT
 - TDS TELECOM-MIDDLETON
 - TDS METROCOM
 - MCI
 - US SIGNAL
 - STATE OF WISCONSIN DIVISION OF FACILITIES MANAGEMENT
 - STATE OF WISCONSIN INVESTMENT BOARD
 - STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION DIVISION OF ENTERPRISE TECHNOLOGY
 - AMERICAN TRANSMISSION COMPANY
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS SURVEY HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- THERE IS A 16" CHILLED WATER SUPPLY AND RETURN LINE IN EAST WILSON STREET RIGHT-OF-WAY OWNED AND OPERATED BY THE DEPARTMENT OF ADMINISTRATION, WITH A 6" LATERALS INTO THE BUILDING, THESE WERE NOT MARKED IN THE FIELD AND LOCATION OF THIS SERVICE IS UNKNOWN. SWING WITH KEN KIEL AT STATE OF WISCONSIN HEATING PLANT AND NO PLANS WERE DISTRIBUTED BECAUSE THE BUILDING IS NOT A STATE BUILDING. CONTACT INFORMATION-608-266-3550.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS.

- THE SUBJECT PROPERTY LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA MAP NUMBER 55025C04090, EFFECTIVE DATE OF JANUARY 2, 2009
- CURRENT ZONING CLASSIFICATION WAS NOT SUPPLIED BY THE CLIENT
- THERE ARE 99 UNDERGROUND PARKING SPACES AND 1 HANDICAP SPACE FOR A TOTAL OF 100 UNDERGROUND PARKING SPACES.
- NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.6.IV TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- SOUTH PINKNEY STREET IS 165 FEET SOUTHWEST OF SITE.
- THERE ARE NO OFFSITE EASEMENTS FOR THE SUBJECT PROPERTY.
- PROFESSIONAL LIABILITY INSURANCE POLICY NO. DPR9981467, BY HOLMES MURPHY & ASSOCIATES-W.
- EXECUTE A PUBLIC UTILITY LOCATE (i.e. DIGGERS HOTLINE).
- LOCATE STREET TREES, DETERMINE RIM AND INVERT FOR SANITARY AND STORM SEWER.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

- (FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: NCS-1081031, COMMITMENT DATE: AUGUST 02, 2021 AT 7:30 A.M.)
- RIGHTS AND EASEMENTS, IF ANY, IN AND TO ANY AND ALL RAILROAD SWITCHES, SIDETRACKS, SPUR TRACKS AND RIGHTS OF WAY LOCATED UPON OR APPURTENANT TO THE SUBJECT PREMISES. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - AGREEMENT RECORDED: APRIL 2, 1985, IN VOLUME 8646 OF RECORDS, PAGE 47, AS DOCUMENT NO. 1873888. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - MODIFIED BY INSTRUMENT RECORDED: MARCH 19, 1991, IN VOLUME 15556 OF RECORDS, PAGE 40, AS DOCUMENT NO. 2250796. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT AGREEMENT RECORDED ON MARCH 19, 1991, IN VOLUME 15556 OF RECORDS, PAGE 25, AS DOCUMENT NO. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - AMENDED TO EASEMENT AGREEMENT RECORDED MAY 05, 2003 AS DOCUMENT NO. 3703923. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - GRANT OF EASEMENT TO MADISON GAS AND ELECTRIC COMPANY, A WISCONSIN CORPORATION RECORDED: MARCH 2, 1992, IN VOLUME 18064 OF RECORDS, PAGE 65, AS DOCUMENT NO. 2329088. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - FIBER OPTIC LICENSE AGREEMENT RECORDED: MAY 05, 2003, AS DOCUMENT NO. 3703924. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - CHILLED WATER SALES CONTRACT RECORDED: MAY 05, 2003, AS DOCUMENT NO. 3703925. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - DECLARATION OF COVENANTS RECORDED: AUGUST 14, 2003, AS DOCUMENT NO. 3785848. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT AGREEMENT RECORDED ON APRIL 05, 2004, AS DOCUMENT NO. 3891841. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN: DATED: MAY 16, 2012. PARTIES: PAUL FORD AND DOLORES FORD, RUTH E. BOBZEN, AMY DICKERSON AND BRUCE DICKERSON, EVERETT CHAMBERS AND JOANNE CHAMBERS, AND RAY WINNEY, FOR THEMSELVES AND ALL OTHERS SIMILARLY SITUATED, AND SPRINT COMMUNICATIONS COMPANY L.P., QWEST COMMUNICATIONS COMPANY, LLC, AND WILTEC COMMUNICATIONS, LLC RECORDED: FEBRUARY 27, 2013. INSTRUMENT NO.: 4985424. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - DECLARATION OF TEMPORARY CONSTRUCTION EASEMENT FOR AIR RIGHTS UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN: DATED: APRIL 04, 2017. PARTIES: 149 EAST WILSON LLC, A WISCONSIN LIMITED LIABILITY COMPANY AND WILSON LAKE TERRACE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY RECORDED: MAY 24, 2017. INSTRUMENT NO.: 5329125. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - LIENS, HOOK-UP CHARGES OR FEES, DEFERRED CHARGES, RESERVE CAPACITY ASSESSMENTS, IMPACT FEES, OR OTHER CHARGES OF FEES DUE AND PAYABLE ON THE DEVELOPMENT OR IMPROVEMENT OF THE LAND. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
 - RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. THIS ITEM MAY AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: NCS-1081031, COMMITMENT DATE: AUGUST 02, 2021 AT 7:30 A.M.)

PARCEL 1:
ALL THAT PART OF LOTS THREE (3), FOUR (4), FIVE (5), AND SIX (6), BLOCK ONE HUNDRED SIX (106), ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, LYING NORTHWESTERLY OF THE RAILROAD RIGHT OF WAY.

THE SOUTHWEST TWO (2) FEET OF THE NORTHWEST ONE HUNDRED (100) FEET OF LOT SEVEN (7), BLOCK ONE HUNDRED SIX (106), ORIGINAL PLAT OF THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

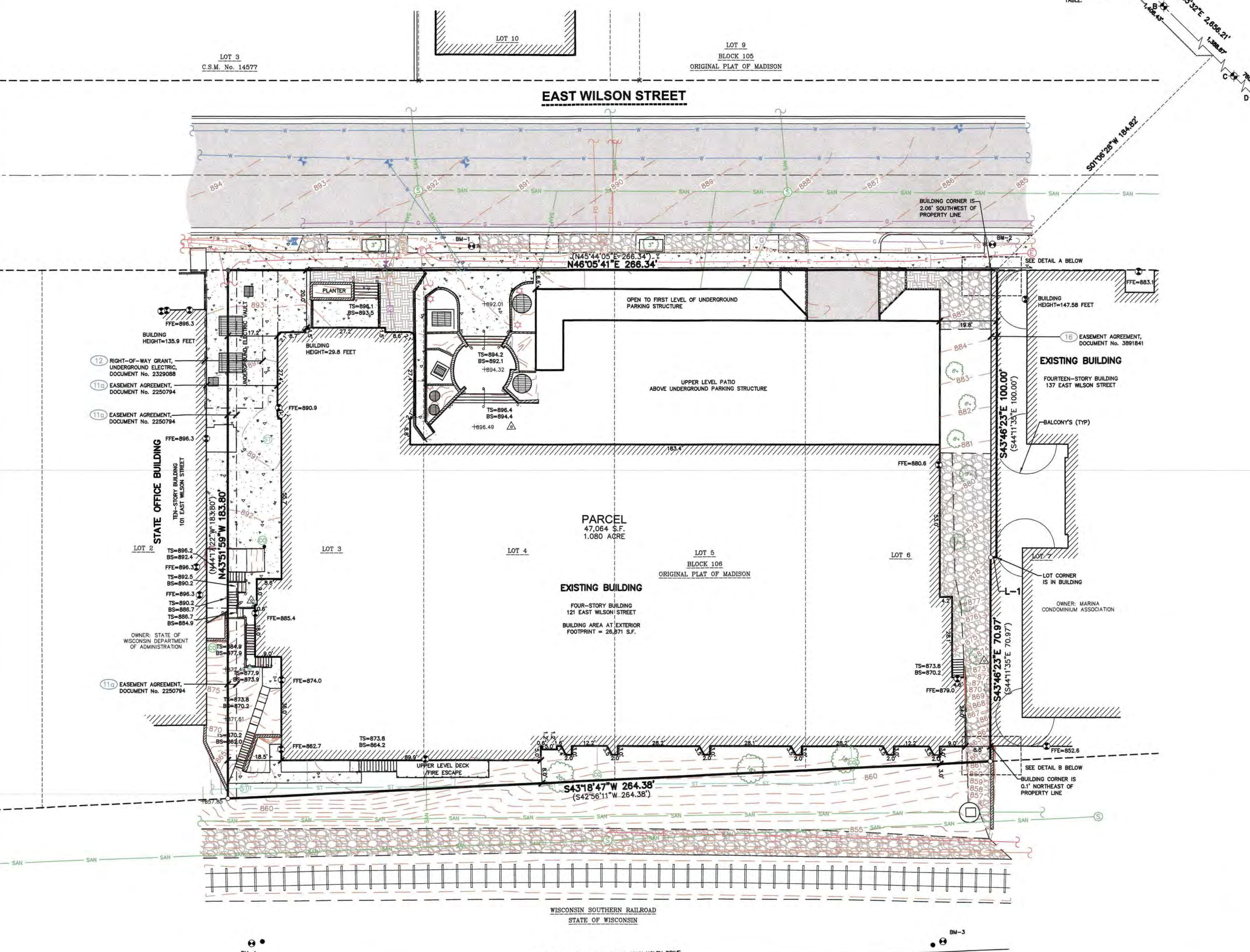
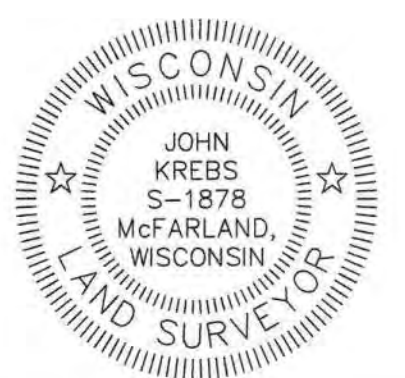
SURVEYOR'S CERTIFICATE

- TO:
- WILSON LAKE TERRACE, LLC,
 - FIRST MARTIN CORPORATION,
 - FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 18, 19, 20 AND 21 OF A TABLE THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 21, 2021.

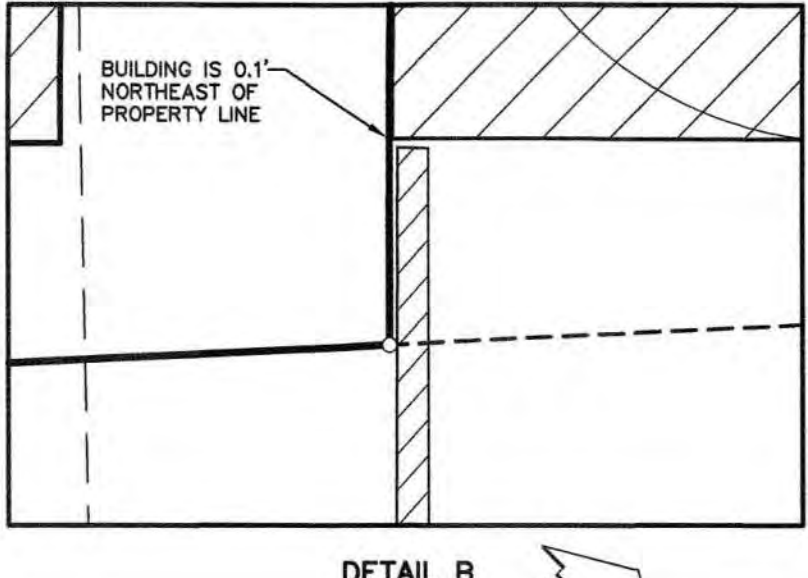
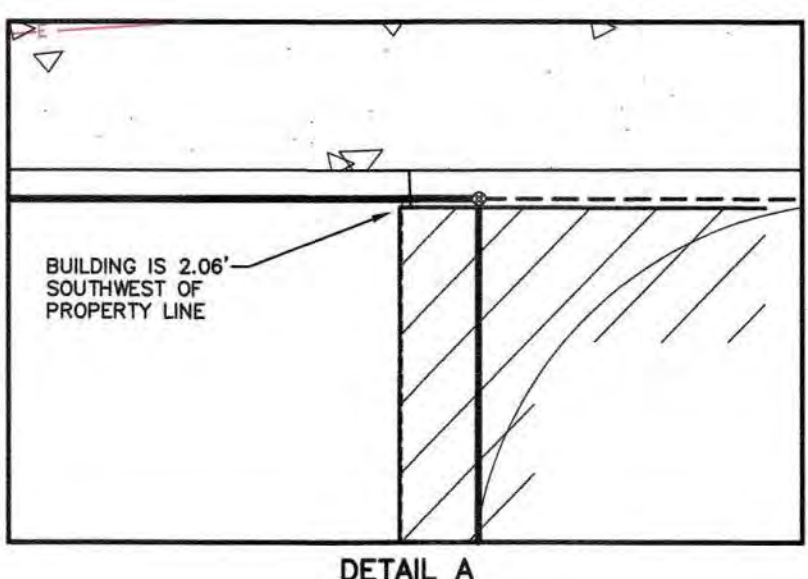
John Krebs
JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR
Email: john.krebs@jdsinc.com
Website: www.jdsinc.com

DATE: 8/26/21



LINE TABLE

LINE	BEARING	DISTANCE
L-1	S46°05'41"W	2.00'



SANITARY SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	892.11	SW	883.58	6"	VCP
		SE	882.79	6"	VCP
		NW	883.43	4"	VCP
		NE	881.89	6"	VCP
SAN-2	888.11	SW	879.12	6"	VCP
		SE	879.20	6"	VCP
		NW	879.07	6"	VCP
		NE	878.86	6"	VCP
SAN-3	888.12	SW	879.03	6"	VCP
		SE	879.13	6"	VCP
		NW	878.99	6"	VCP
		NE	846.89	18"	PVC
SAN-4	853.23	SW	846.89	18"	PVC
		NE	846.89	18"	PVC
SAN-5	850.90	SW	841.89	18"	PVC
		NE	841.86	18"	PVC

* = PLUGGED

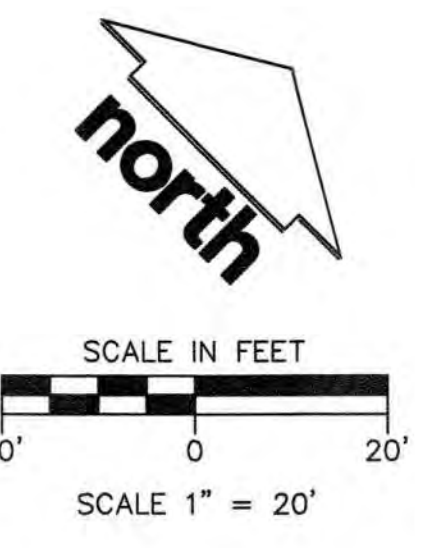
BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	891.38	CUT CROSS IN SIDEWALK BY FRONT ENTRANCE TO BUILDING
BM-2	885.05	CUT CROSS IN SIDEWALK BY NORTHERLY CORNER OF PARCEL
BM-3	851.72	3/4" REBAR ALONG JOHN NOLEN DRIVE
BM-4	853.70	3/4" REBAR ALONG JOHN NOLEN DRIVE

*JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

STORM SEWER MANHOLES

STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	861.50	NE	857.85	12"	RCP
		SW	848.71	12"	RCP



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**SITE CONTEXT &
EXISTING
CONDITIONS
PHOTOGRAPHS**



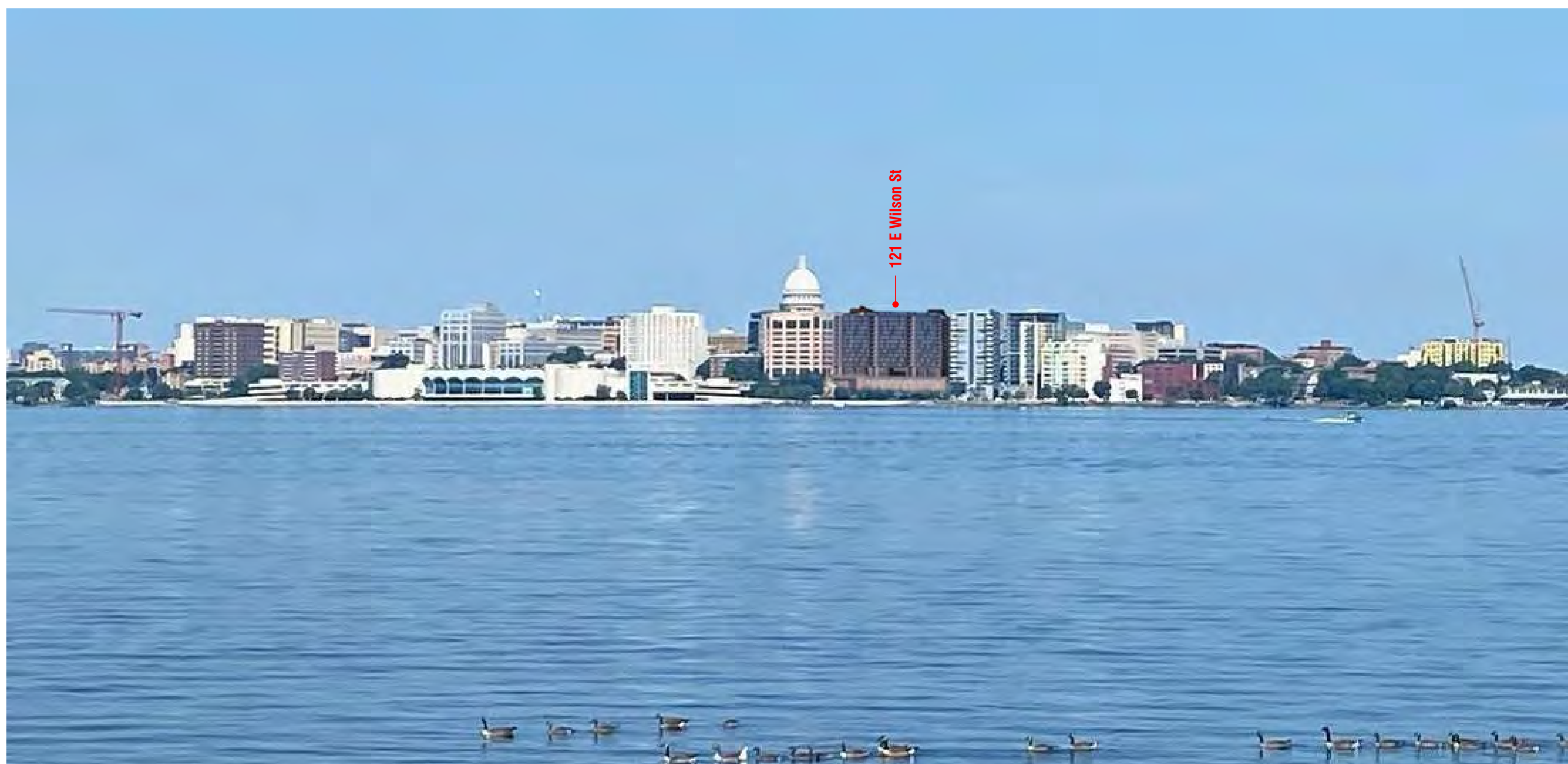
Locator Map



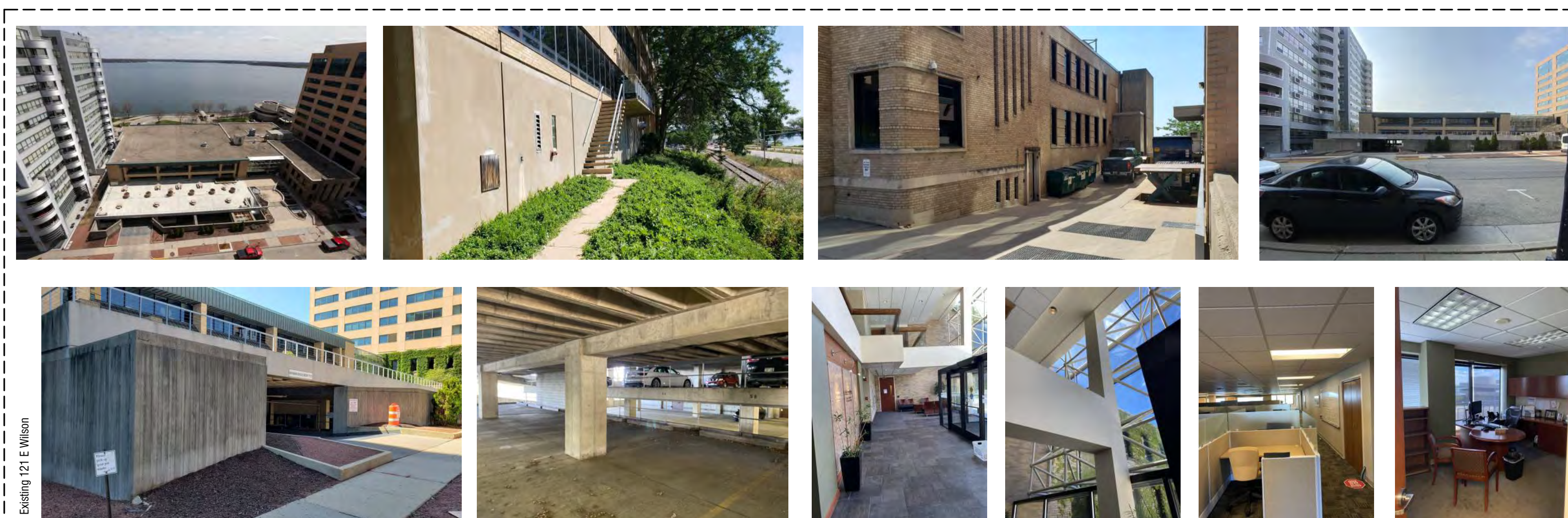
Locator Map



Perspective from Wyldhaven Park



Enlarged Perspective from Wyldhaven Park



FO	EXISTING FIBER OPTIC LINE
*	EXISTING GENERAL FENCE
G	EXISTING GAS LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
FM	EXISTING SANITARY FORCE MAIN (SIZE NOTED)
SAN	EXISTING SANITARY SEWER LINE (SIZE NOTED)
ST	EXISTING STORM SEWER LINE (SIZE NOTED)
WM	EXISTING WATER MAIN (SIZE NOTED)
B20	EXISTING MAJOR CONTOUR
B18	EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

MB	EXISTING MAILBOX
SI	EXISTING SIGN
PM	EXISTING PARKING METER
CI	EXISTING CURB INLET
RI	EXISTING FIELD INLET RECTANGULAR
FI	EXISTING FIELD INLET
RDC	EXISTING ROOF DRAIN CLEANOUT
SM	EXISTING STORM MANHOLE
SC	EXISTING SANITARY CLEANOUT
SSM	EXISTING SANITARY MANHOLE
FH	EXISTING FIRE HYDRANT
FD	EXISTING FIRE DEPARTMENT CONNECTION
WV	EXISTING WATER MAIN VALVE
WMH	EXISTING WATER MANHOLE
GV	EXISTING GAS VALVE
EM	EXISTING ELECTRIC MANHOLE
ER	EXISTING ELECTRIC RECTANGULAR MANHOLE
LP	EXISTING LIGHT POLE
TM	EXISTING TV MANHOLE
TRM	EXISTING TV RECTANGULAR MANHOLE
TP	EXISTING TV PEDESTAL
TMH	EXISTING TELEPHONE MANHOLE
TPH	EXISTING TELEPHONE PEDESTAL
UM	EXISTING UNIDENTIFIED MANHOLE
UV	EXISTING UNIDENTIFIED UTILITY VAULT
CD	EXISTING DECIDUOUS TREE
B	EXISTING BORING

SURVEY LEGEND

BM	BENCHMARK
X	FOUND CHISELED "X"
●	FOUND 3/4" Ø IRON ROD

SITE PLAN LEGEND

---	PROPERTY BOUNDARY
---	CURB AND GUTTER (REVERSE CURB HATCHED)
---	PROPOSED WOOD FENCE
---	PROPOSED CONCRETE
---	PROPOSED SIGN
---	PROPOSED LIGHT POLE
---	PROPOSED BOLLARD
---	PROPOSED ADA DETECTABLE WARNING FIELD

ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

SITE PLAN NOTES:

- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
- CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
- CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION PLAN LEGEND

---	CURB AND GUTTER REMOVAL
---	ASPHALT REMOVAL
---	CONCRETE REMOVAL
---	GRAVEL REMOVAL
---	BUILDING REMOVAL
X	TREE REMOVAL
---	SAWCUT
---	UTILITY STRUCTURE REMOVAL
---	UTILITY LINE REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY.
- IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

GRADING LEGEND

---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
B20	PROPOSED MAJOR CONTOURS
B18	PROPOSED MINOR CONTOURS
---	DITCH CENTERLINE
---	SILT FENCE
---	DISTURBED LIMITS
---	BERM
---	DRAINAGE DIRECTION
2.92%	PROPOSED SLOPE ARROWS
1048.61	EXISTING SPOT ELEVATIONS
1048.61	PROPOSED SPOT ELEVATIONS
---	STONE WEEPER
---	VELOCITY CHECK
---	INLET PROTECTION
---	EROSION MAT CLASS I, TYPE A
---	EROSION MAT CLASS II, TYPE B
---	EROSION MAT CLASS III, TYPE C
---	EROSION MAT CLASS II, TYPE A
---	TRACKING PAD
---	RIP RAP

GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
- GROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE, WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

PROPOSED UTILITY LEGEND

---	STORM SEWER PIPE
---	STORM SEWER MANHOLE
---	STORM SEWER ENDWALL
---	STORM SEWER CURB INLET
---	STORM SEWER CURB INLET W/MANHOLE
---	STORM SEWER FIELD INLET
---	ROOF DRAIN CLEANOUT
---	SANITARY SEWER PIPE (GRAVITY)
---	SANITARY SEWER LATERAL PIPE
---	SANITARY SEWER MANHOLE
---	SANITARY SEWER CLEANOUT
---	WATER MAIN
---	WATER SERVICE LATERAL PIPE
---	FIRE HYDRANT
---	WATER VALVE
---	PROPOSED PIPE INSULATION
---	GAS MAIN
---	ELECTRIC SERVICE

ABBREVIATIONS

STMH	STORM MANHOLE
FI	FIELD INLET
O	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE. ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.



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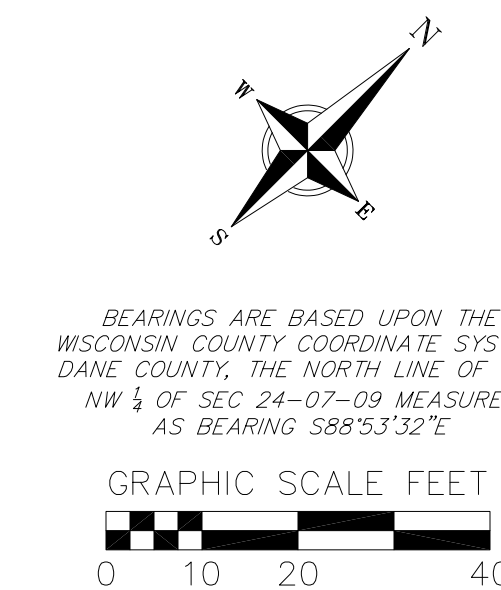
Madison, WI

2021.27.00

Date	Issuance/Revisions	Symbol
08/05/2022	LAND USE & UDC APPLICATION	

Notes and Legends

C001



GENERAL NOTES:

- This survey was prepared based upon information provided in Subdivision Approval Report, No. NCS-1140650-MAD, dated July 25, 2022 at 7:00 a.m. from First American Title Insurance Company, 25 West Main Street, Suite 400, Madison, WI 53703.
- This plan is based upon field survey work performed on July 29, August 01, and August 03, 2022. Any changes in site conditions after August 03, 2022 are not reflected on this plan.
- This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, MAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 2022124250, 2022124268, and 2022124189. Location of buried private utilities are not within the scope of this survey.
- No attempt has been made as a part of this plan to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts that a title search might reveal.
- The Parcels Surveyed are subject to a blanket easement for retaining walls that are shown on Survey Map No. C-8303-1 of Worzyn Engineering dated February 16, 1983 and on file at the Dane County Surveyor's Office. Said Easement is recorded in Volume 6646 of Records, on Page 47, as Document No. 1872988, Dane County Registry. The easement for steps referenced in this Document has been released by Release of Easement recorded in Volume 15556 of Records, on Page 40, as Document No. 2250796, Dane County Registry. Refer to Documents.
- The Parcels Surveyed are subject to easements for access and setbacks per Document No. 2280794. Said easements are subject to parking restrictions as set forth in Document No. 3703923. Refer to Documents.
- The Parcels Surveyed are subject to a Fiber Optic License Agreement per Document No. 3703924, a Chilled Water Sales Contract per Document No. 3703925, and Declaration of Covenants per Document No. 3785488. Said Documents are general in nature. Nothing to plot. Refer to Documents.
- The Parcels Surveyed are subject to an Easement Agreement recorded as Document No. 3891841. Nothing to plot. Refer to Document.
- The Parcels Surveyed are subject to an Easement Deed by Court Order recorded as Document No. 4968434. Nothing to plot. Refer to Document.

BENCHMARK TABLE:

- BENCHMARK #1 - ELEV. 892.95', TOP NUT OF FIRE HYDRANT LOCATED ON THE NORTHWEST SIDE OF E WILSON STREET 320'± NORTHEAST OF PINCKNEY STREET.
- BENCHMARK #2 - ELEV. 853.19', TOP NUT OF FIRE HYDRANT LOCATED IN THE NORTHWEST SIDE OF JOHN WOLEN DRIVE 50'± NORTHEAST OF THE MONONA TERRACE PARKING GARAGE OVERPASS.
- BENCHMARK #3 - ELEV. 891.49', CUT CROSS IN CONCRETE SIDEWALK LOCATED ON THE SOUTHEAST SIDE OF E WILSON STREET 290'± NORTHEAST OF PINCKNEY STREET.

SURVEYED FOR:

121 East Wilson Investors, LLC
115 Depot Street
Ann Arbor, MI 48104

SURVEYED BY:

Vierbicher Associates, Inc.
999 Fourier Drive,
Suite 201
Madison, WI 53717
(608) 826-0532

TOPOGRAPHIC LINEWORK LEGEND

- FO FO EXISTING FIBER OPTIC LINE
- * * EXISTING GENERAL FENCE
- G G EXISTING GAS LINE
- UE UE EXISTING UNDERGROUND ELECTRIC LINE
- FM FM EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- SAN SAN EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST ST EXISTING STORM SEWER LINE (SIZE NOTED)
- WM WM EXISTING WATER MAIN (SIZE NOTED)
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

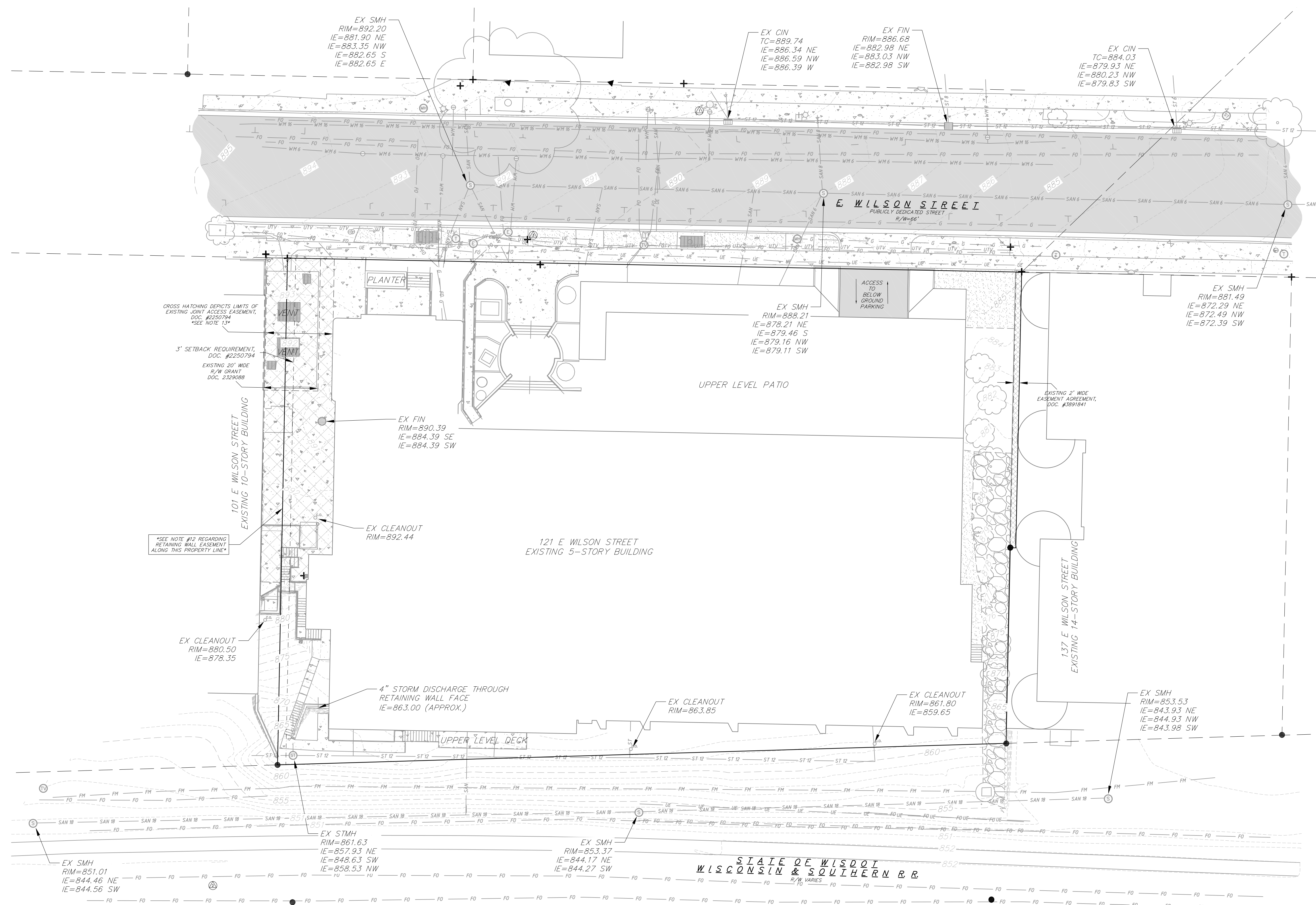
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM SEWER CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING TV MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING DECIDUOUS TREE
- EXISTING BORING

SURVEY LEGEND

- BENCHMARK
- FOUND CHISELED "X"
- FOUND 3/4" # IRON ROD

HATCHING LEGEND

- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING RIPRAP



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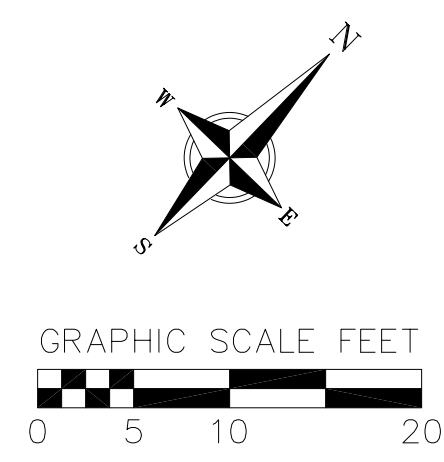
Existing Conditions

C100



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511



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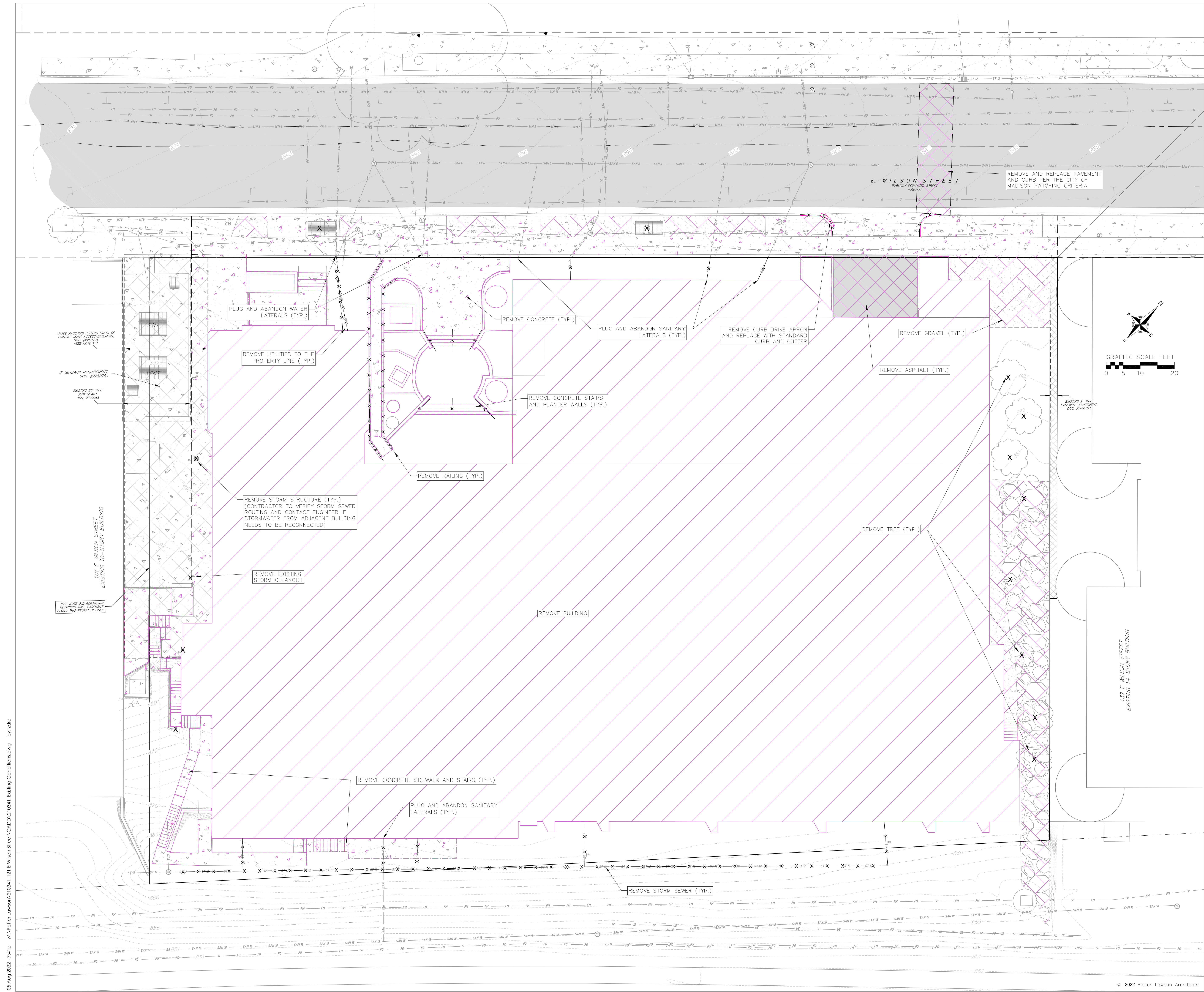
Madison, WI

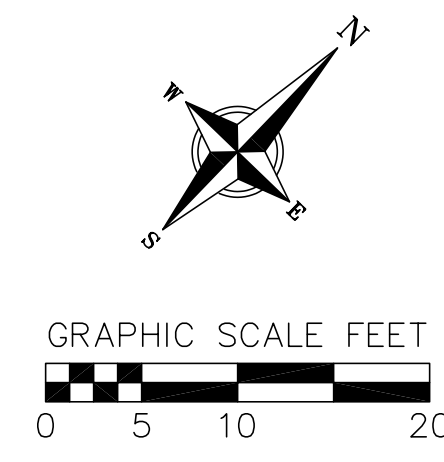
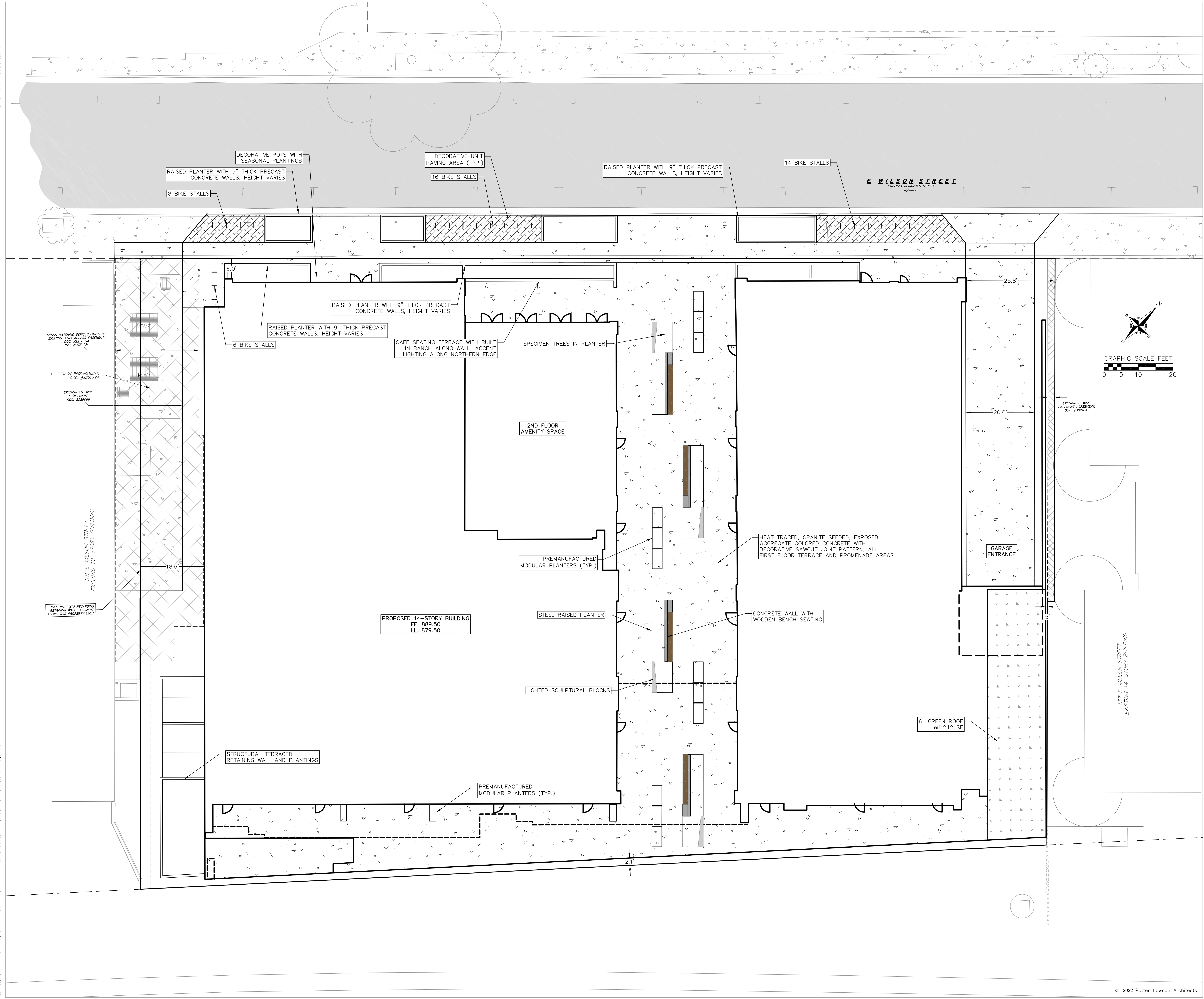
2021.27.00

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Demolition Plan

C200





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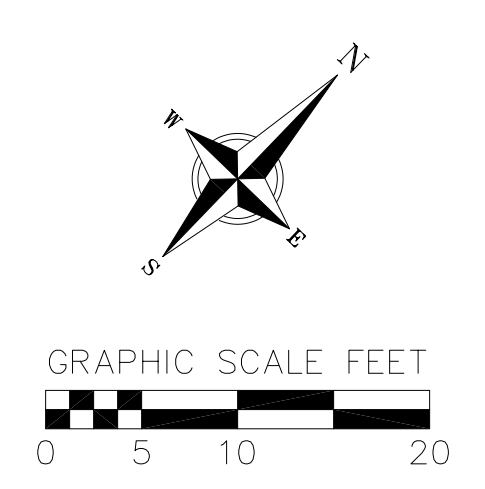
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Site Plan

C300



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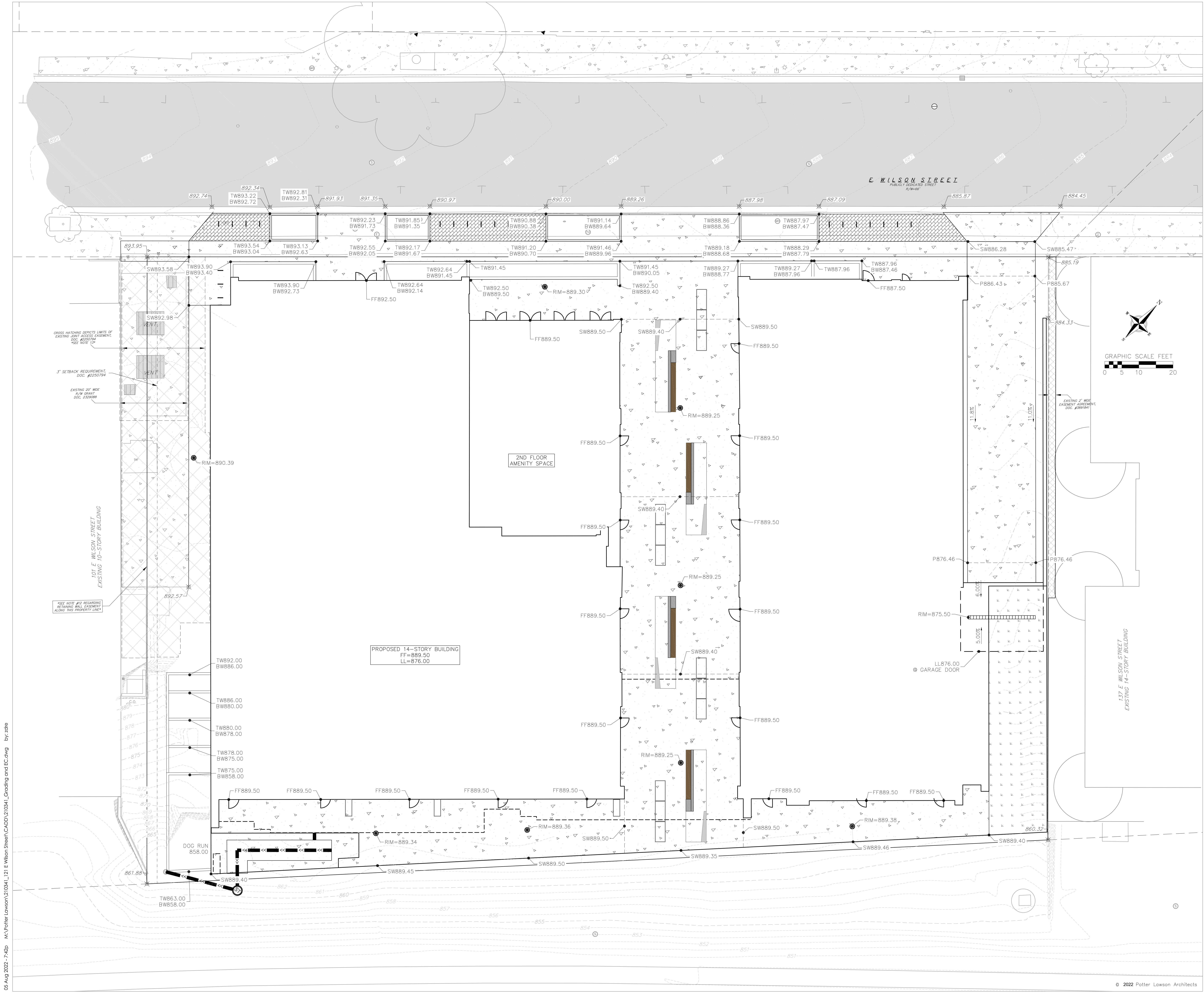
Madison, WI

2021.27.00

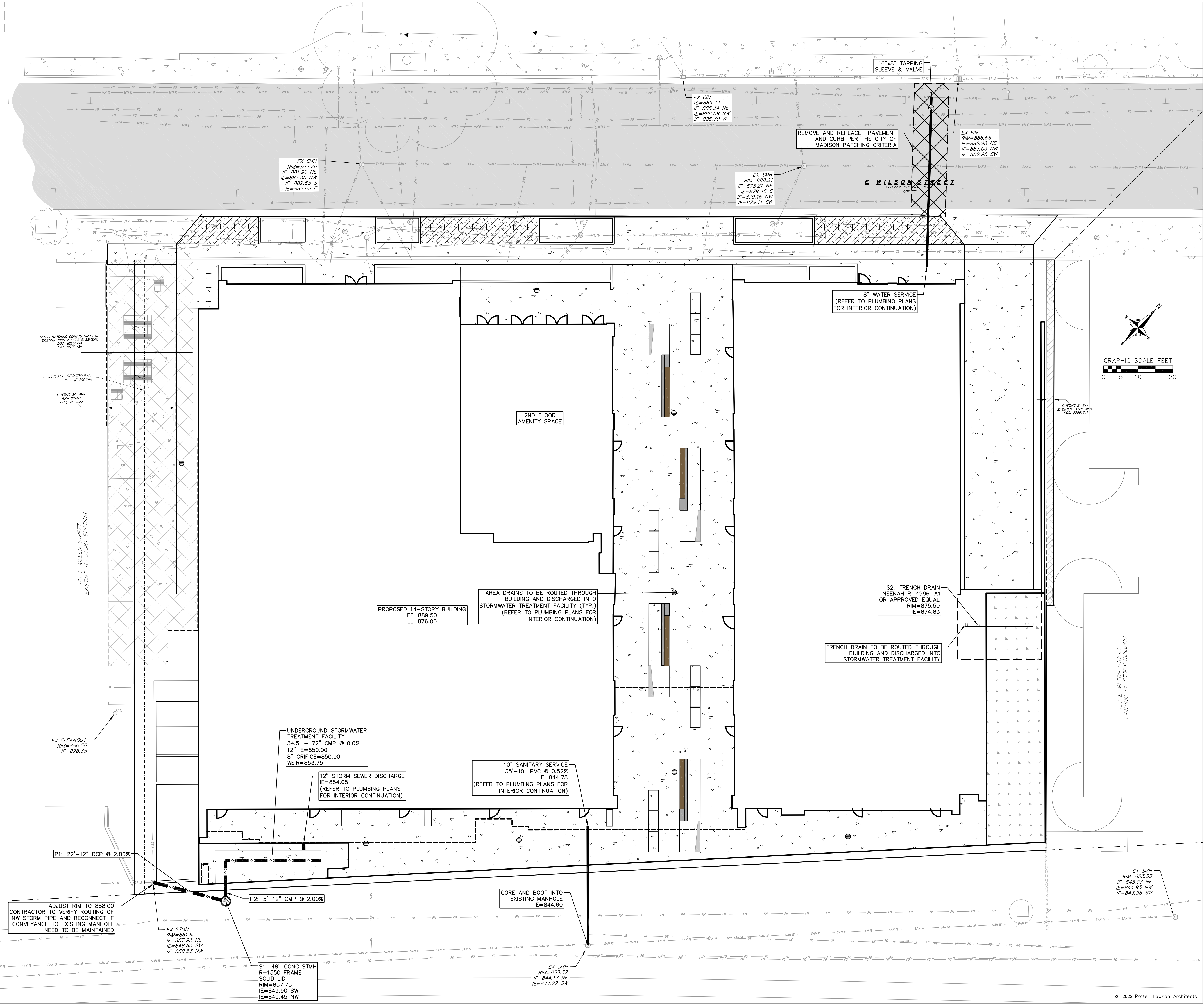
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Grading and
Erosion Control Plan

C400



05 Aug 2022 - 7:42p \\P\potter\lawson\210341_121 E Wilson Street\CADD\210341_Grading and EC.dwg by: zble



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Utility Plan

C500



Project Address: 121 East Wilson Street
Contact Name & Phone #: Brian Reed - 608-274-2741

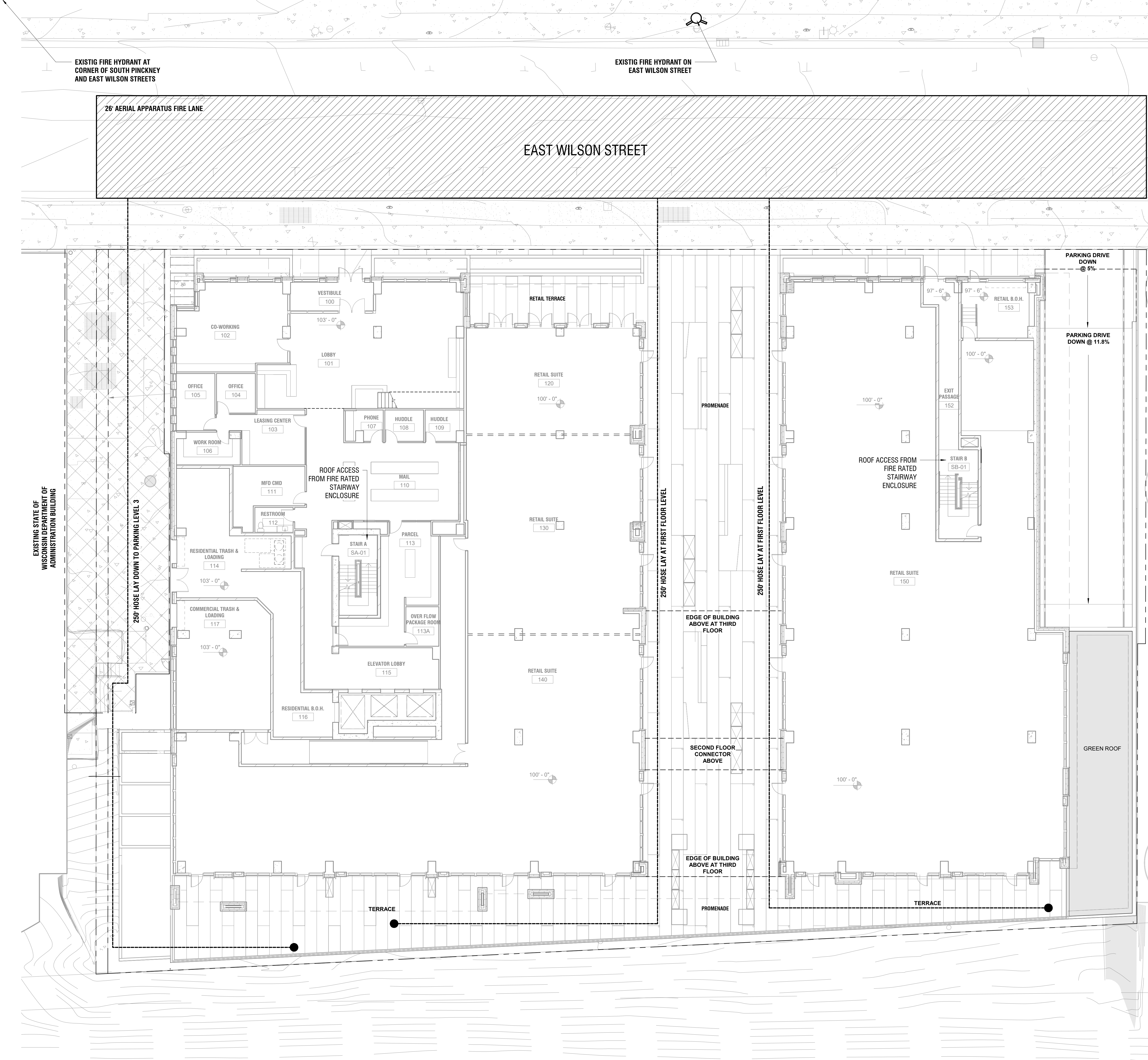
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 55,000 lbs?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane no more than a slope of 4%?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a retractable curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is a part of a sidewalk used as part of the required fire lane? (Sheet support - \$5,000 lbs.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 26-foot clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operation installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the fire lane terminate in a fire apparatus supply stub, IFC D100?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-voltage storage in accordance with IFC Chapter 1206.6?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 1206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building fire of access exceeding 20' in height?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least 12 hydrants?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 25' wide or at least 26-feet on each side of the hydrant?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant's setback on less than 5-feet, not more than 16-feet from the curb or edge of the street or fire lane?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot (within a minimum of 75-feet from the hydrant to the curb)?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to power poles, trees, bushes, fences, posts, signs, or grade changes exceeding 1'-6" within 5-feet of a fire hydrant?*	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Hydrants shall be installed and in-service prior to construction on the project site.			

Attach an additional sheet if further explanation is required for any answers.
This worksheet is based on MCO 14.50 and IFC 2021 Edition Chapter 5 and Appendix D, please see the codes for further information.

Revised 06/2022

Notes:

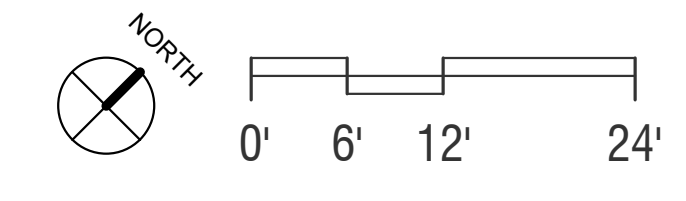


EXISTING MARINA CONDOMINIUMS BUILDING

EXISTING STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION BUILDING

8/8/2022 9:47:05 AM

1 SITE - FIRE APPARATUS PLAN
C600 3/32" = 1'-0"



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Madison, WI

2021.27.00

DATE 08/08/2022 ISSUANCE/REVISIONS LAND USE & UDC APPLICATION 1

SITE FIRE APPARATUS PLAN

C600

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- THIS PROJECT PROPOSES THE REMOVAL OF TWO (2) TREES IN THE EAST WILSON ST TERRACE. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THIS 2" CALIPER OAK TREE DUE TO CRANE/STAGING CONFLICTS ALONG E. WASHINGTON AVENUE.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY,

THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

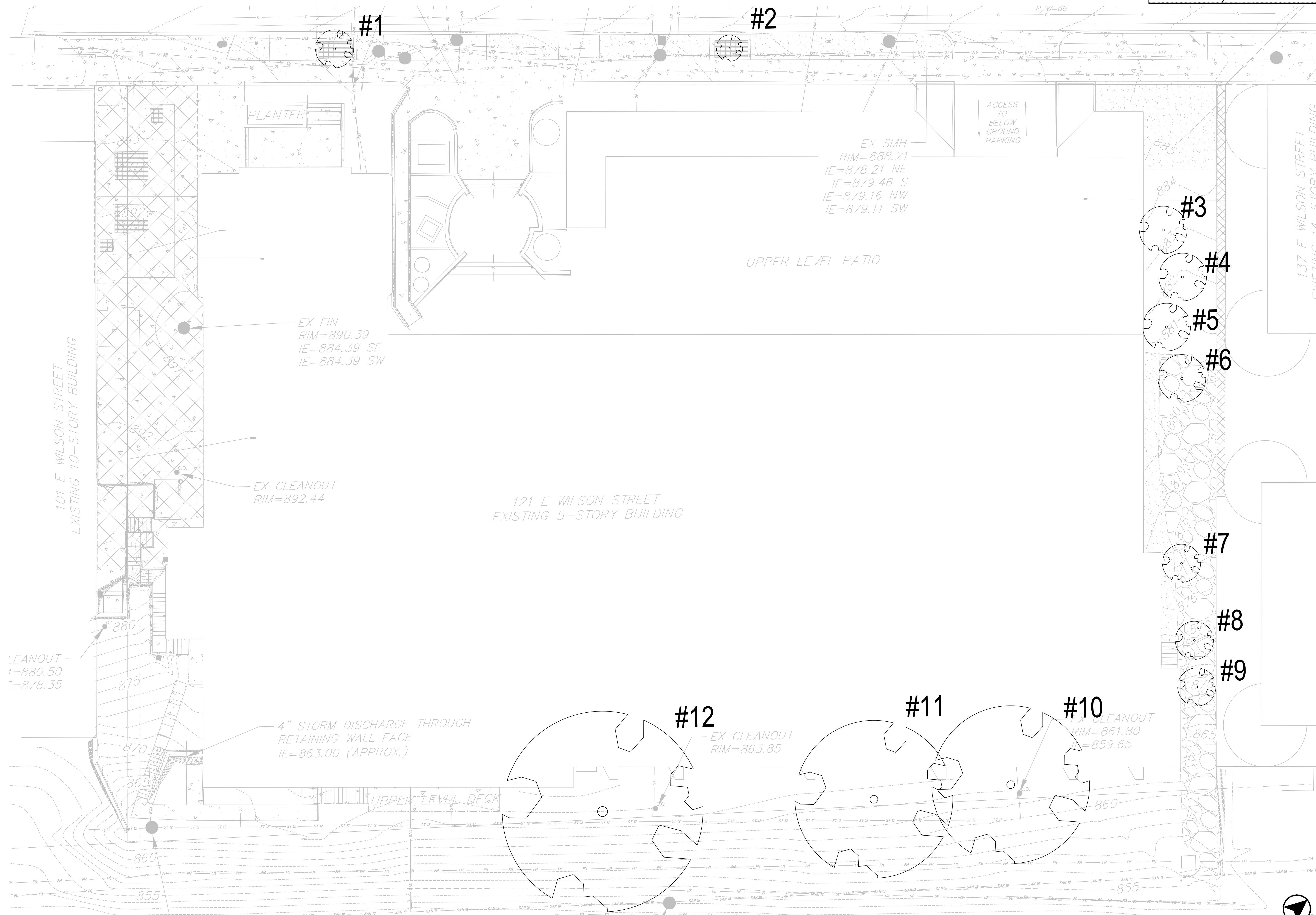
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW

GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING MAY BE REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT

LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300- PART 1 STANDARDS FOR PRUNING.

Existing Tree Inventory				
Number	Species	Caliper (in)	Disposition	Public
1	Elm	1.5	Remove	Yes
2	Coffeetree	1.5	Remove	Yes
3	Maple	6	Remove	no
4	Maple	6	Remove	no
5	Maple	6	Remove	no
6	Maple	6	Remove	no
7	Maple	3	Remove	no
8	Maple	3	Remove	no
9	Maple	3	Remove	no
10	Honeylocust	18	Remove	no
11	Honeylocust	18	Remove	no
12	Honeylocust	20	Remove	no



1 EXISTING TREE PLAN
SCALE: 1" = 10'-0"



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121 E. Wilson Street
Quad Capital Partners

Madison, WI

2021.27.00

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EXISTING TREE PLAN

L001

FIRST FLOOR TERRACE AND PROMENADE AMENITIES



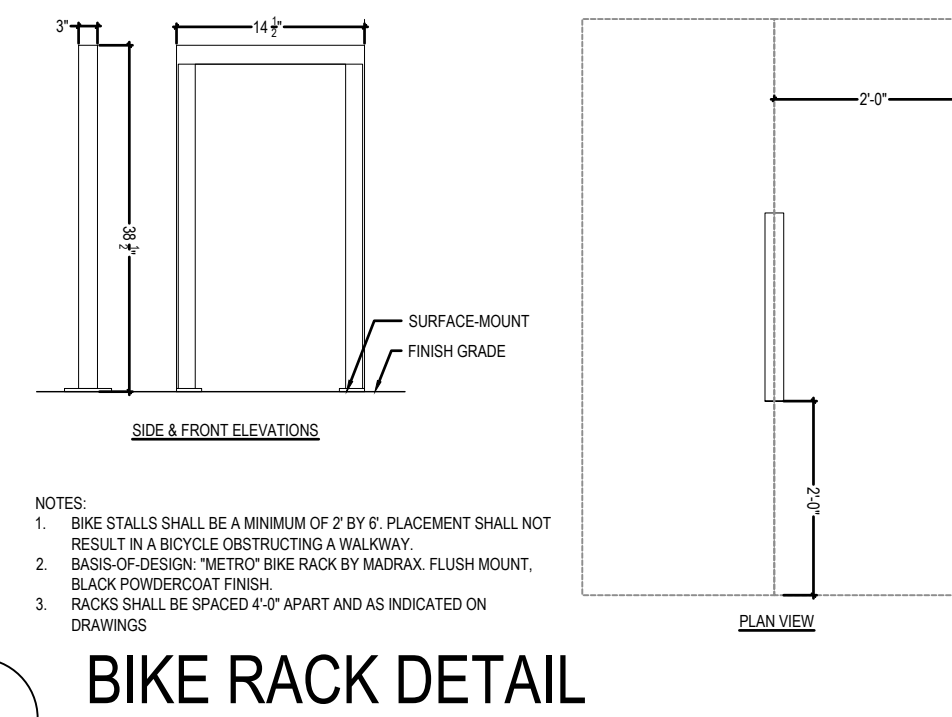
Lighted Sculptural Blocks



Promenade Planters Seating



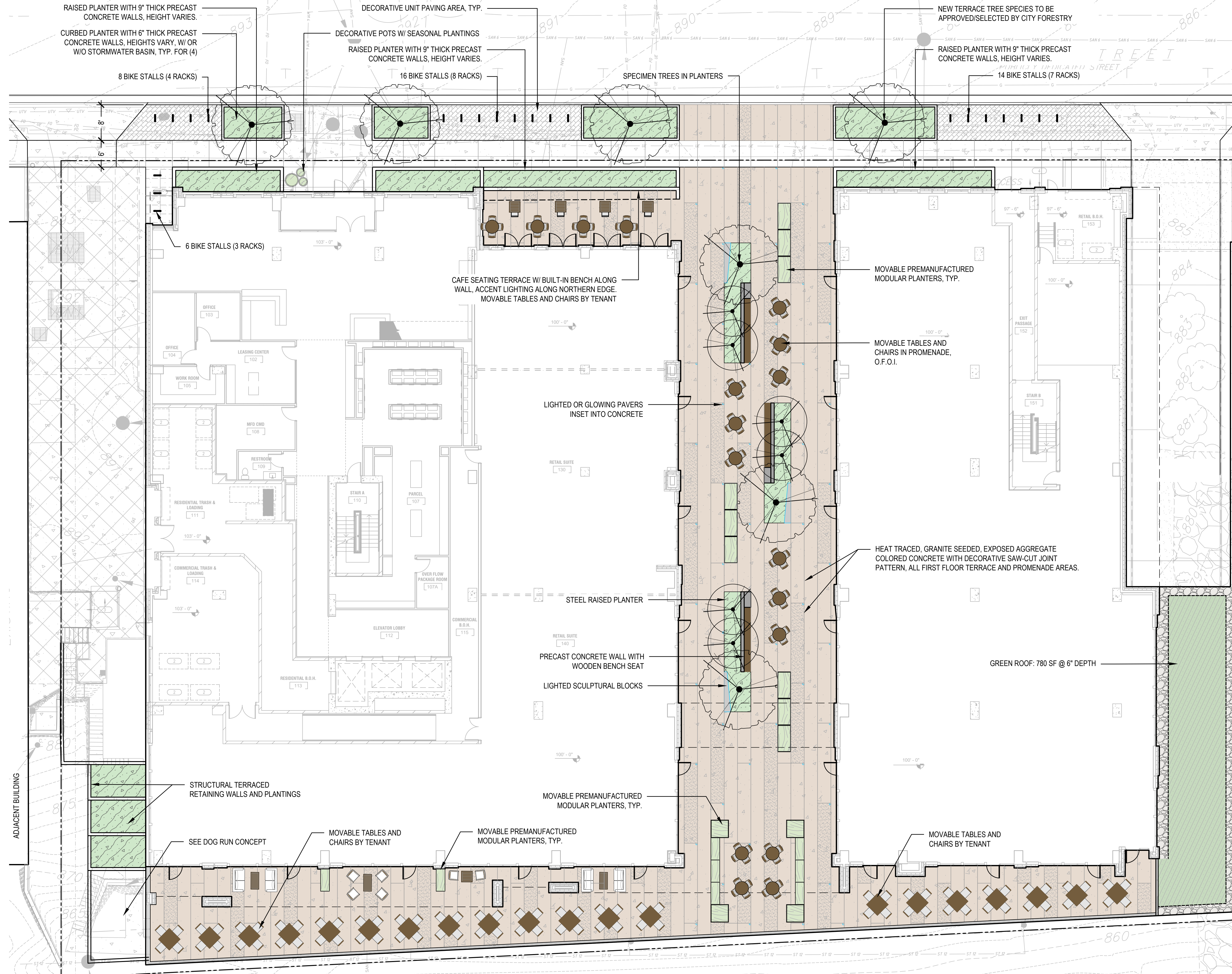
Heated Decorative Concrete



2 BIKE RACK DETAIL
SCALE: NTS

LEGEND

- SEDUM CARPET WITH PART SUN PLUGS, WITH 6" EXTENSIVE GROWING MEDIA
- MIXED PERENNIAL/SHRUB PLANTING BED
- DECORATIVE CONCRETE PAVEMENT
- STONE MULCH BALLAST
- MOVEABLE/MODULAR PLANTER
- L-SHAPED ALUMINUM EDGE
- PRECAST CONCRETE CURB EDGE

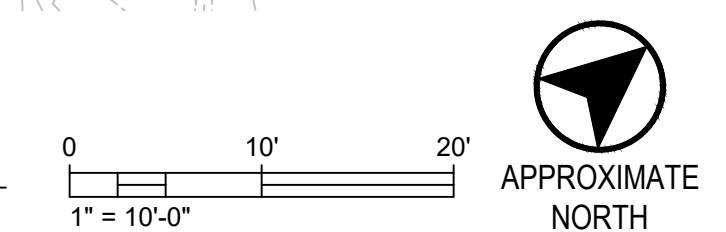


- SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:
- Sedum spurius 'Fuldaglut'
 - Sedum spurius 'John Creech'
 - Sedum spurius 'Red Carpet'
 - Sedum kamschatcicum
 - Sedum kamschatcicum 'Variegatum'
 - Sedum kamschatcicum var. floriferum
 - Sedum takesimensis 'Golden Carpet'
 - Sedum x Immergrunen
 - Sedum subsp. rupestre 'Angelina'
 - Sedum subsp. rupestre 'Blue Spruce'
 - Sedum acre 'Aureum'
 - Sedum acre 'Goldmoss'
 - Sedum album 'Coral Carpet'
 - Sedum album 'Murale'
 - Sedum hispanicum
 - Sedum sexangulare
 - Sedum stefco
- SHADE ZONE PLANTING SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SHADE ZONE PLANTING AREA WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND PLANTED AS PLUGS OR 4-INCH POTS, AND PLANTED DIRECTLY INTO SEDUM CARPET:
- Aquilegia canadensis
 - Carex appalachica
 - Carex divulsa
 - Carex pennsylvanica
 - Deschampsia flexuosa
 - Erigeron pulchellus
 - Fragaria virginiana
 - Meehania cordata
 - Phlox divaricata
 - Sessleria autumnalis
 - Stachys byzantina 'Big Ears'
 - Tiarella cordifolia 'Pink Skyrocket'
 - Tiarella cordifolia 'Elizabeth Oliver'

NOTES

1. STREET TERRACE ARRANGEMENT SHOWN HERE ASSUMES CITY PROCEEDS WITH BIKE IMPROVEMENTS PROPOSED FOR EAST WILSON STREET. ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPERS AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.

1 FIRST FLOOR OVERVIEW PLAN
SCALE: 1" = 10'-0"



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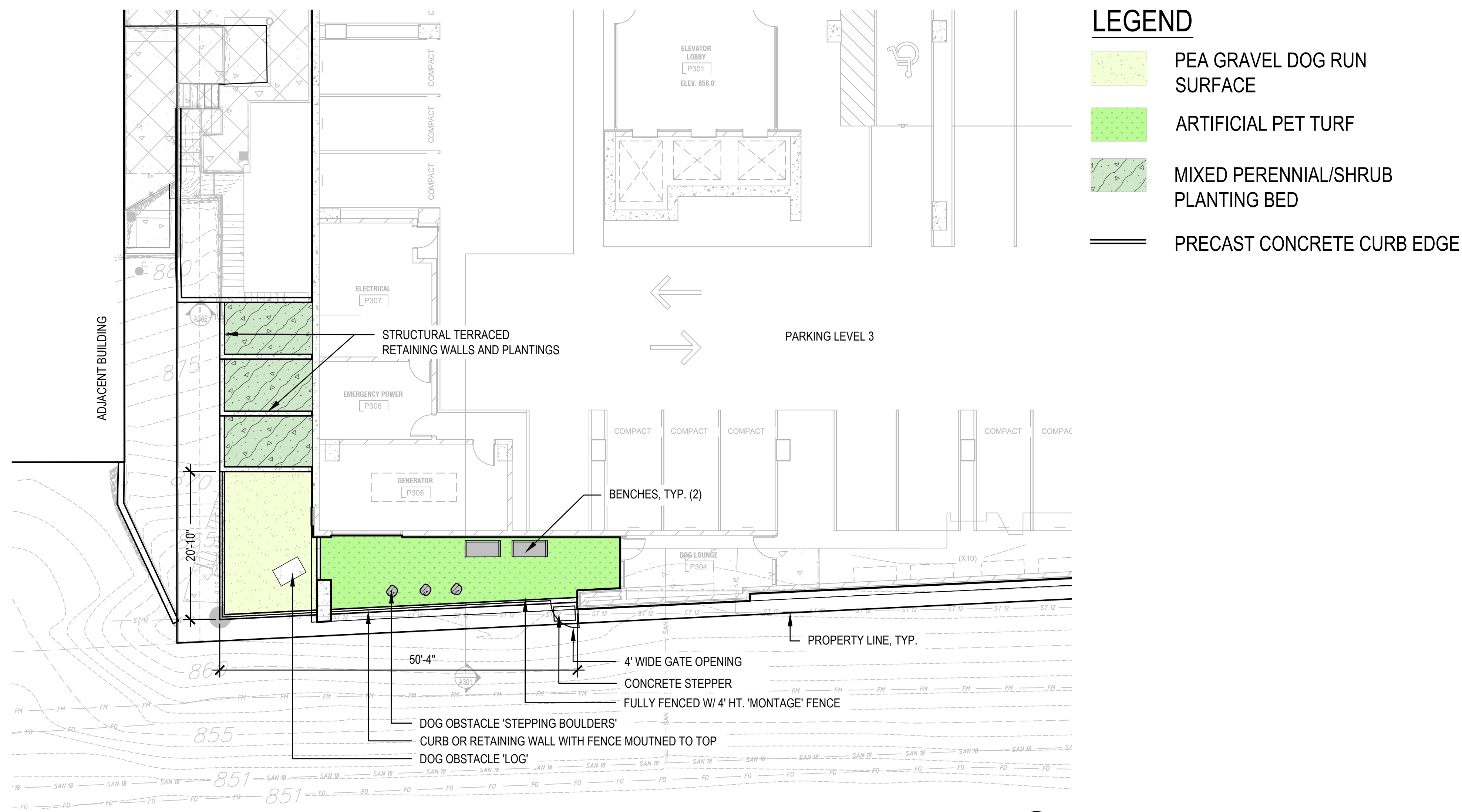
Madison, WI

2021.27.00

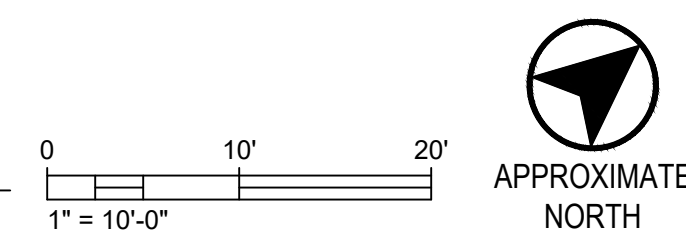
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FIRST FLOOR
OVERVIEW PLAN

L100



1 DOG RUN PLAN
 SCALE: 1" = 10'-0"



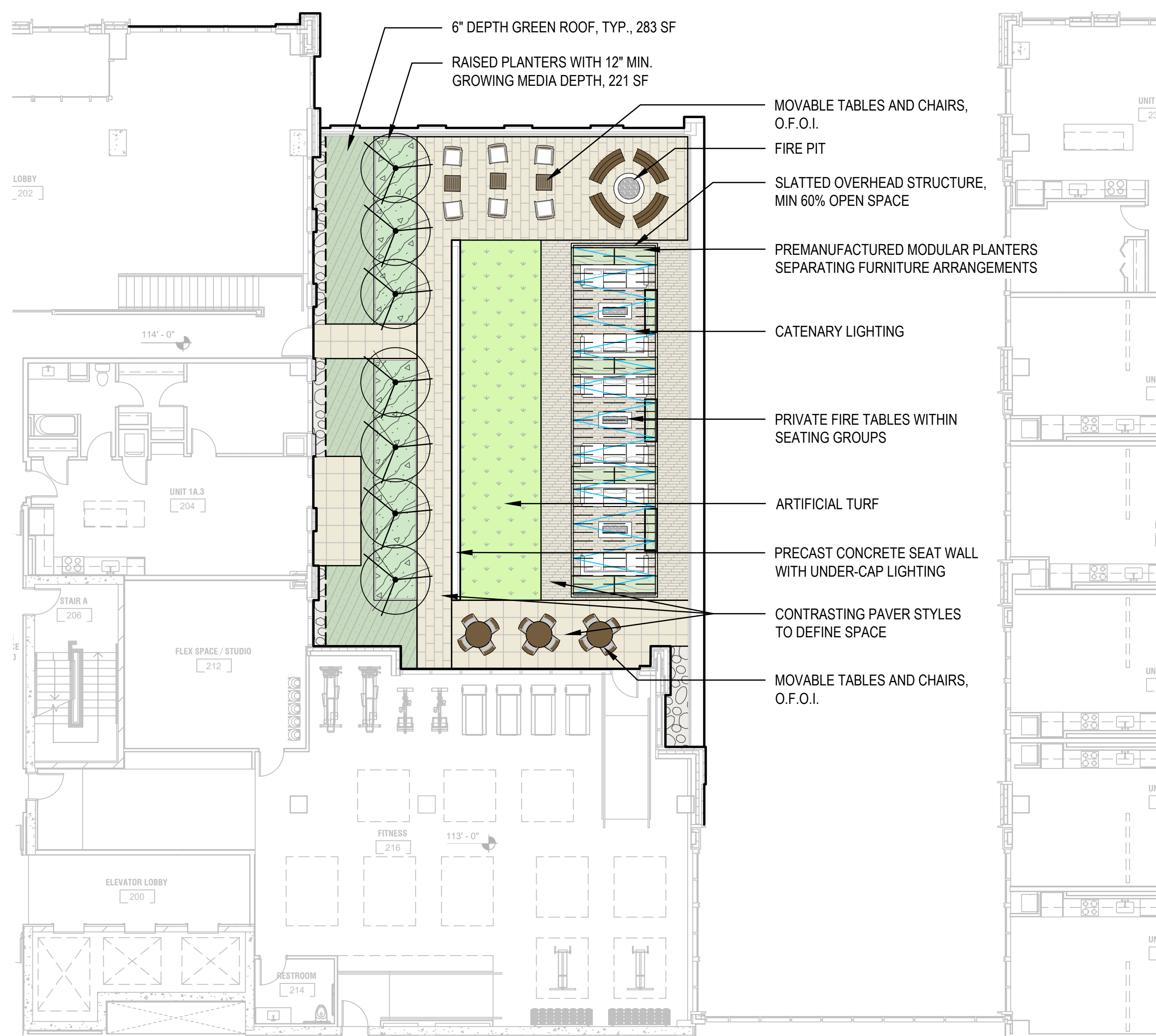
DOG RUN AMENITIES



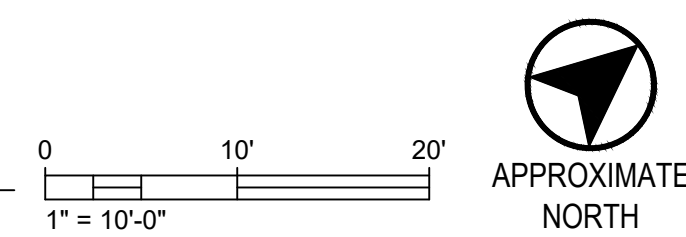
Obstacle Log



Stepping Stones



2 2ND FLOOR ROOF TERRACE PLAN
 SCALE: 1" = 10'-0"



2ND FLOOR ROOF TERRACE AMENITIES



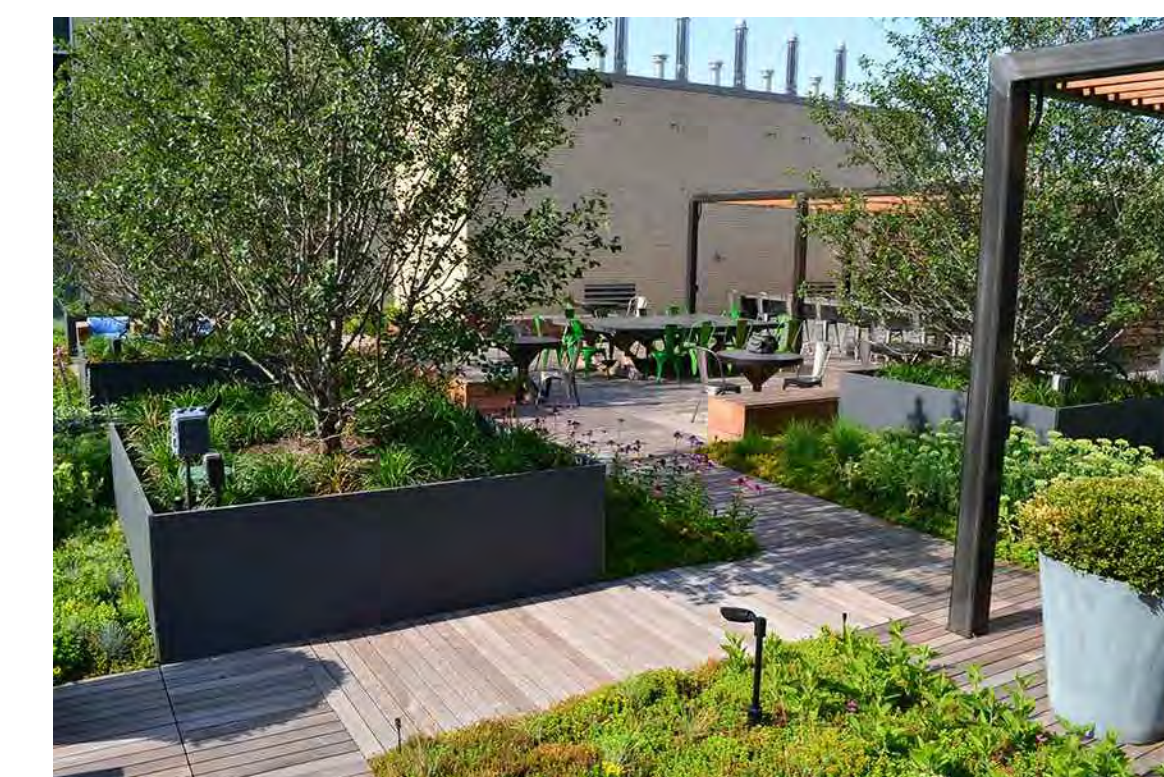
Corner Fire Pit with City Views



Seating Groups and Overhead Structure



Artificial Lawn



Green Roof and Planters

Potter Lawson

Success by Design



1110 South Park Street, Madison, WI 53715
 Phone: 608.251.3600



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 Quad Capital Partners

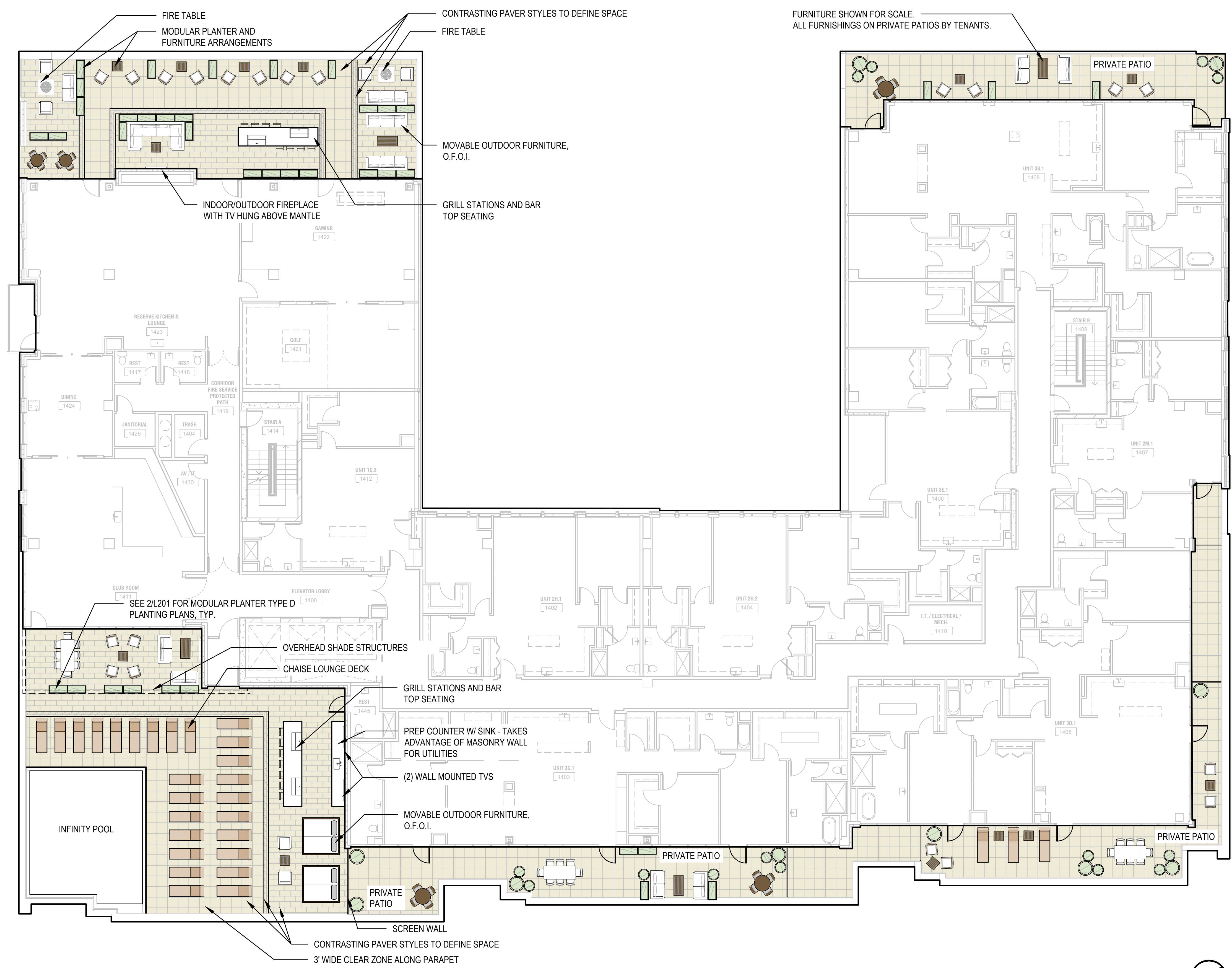
Madison, WI

2021.27.00

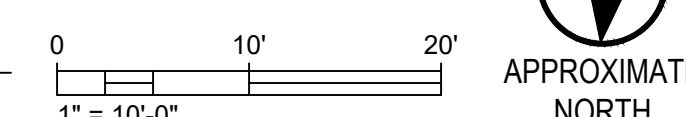
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**DOG RUN & 2ND FLOOR
 ROOF TERRACE PLANS**

L101



1 14TH FLOOR ROOF TERRACE PLAN
SCALE: 1" = 10'-0"



LEGEND

- PRECAST UNIT PAVERS ON PEDESTALS
- MODULAR / MOVEABLE PLANTER
- FIRE TABLES W/ PLUMBED GAS LINE AND SAFETY GRATE

14TH FLOOR ROOF TERRACE AMENITIES



Food Prep Area with Grills, Bar Seating



Seating Groups



Indoor/Outdoor Fireplace

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FOURTEENTH FLOOR ROOF TERRACE PLAN

L102



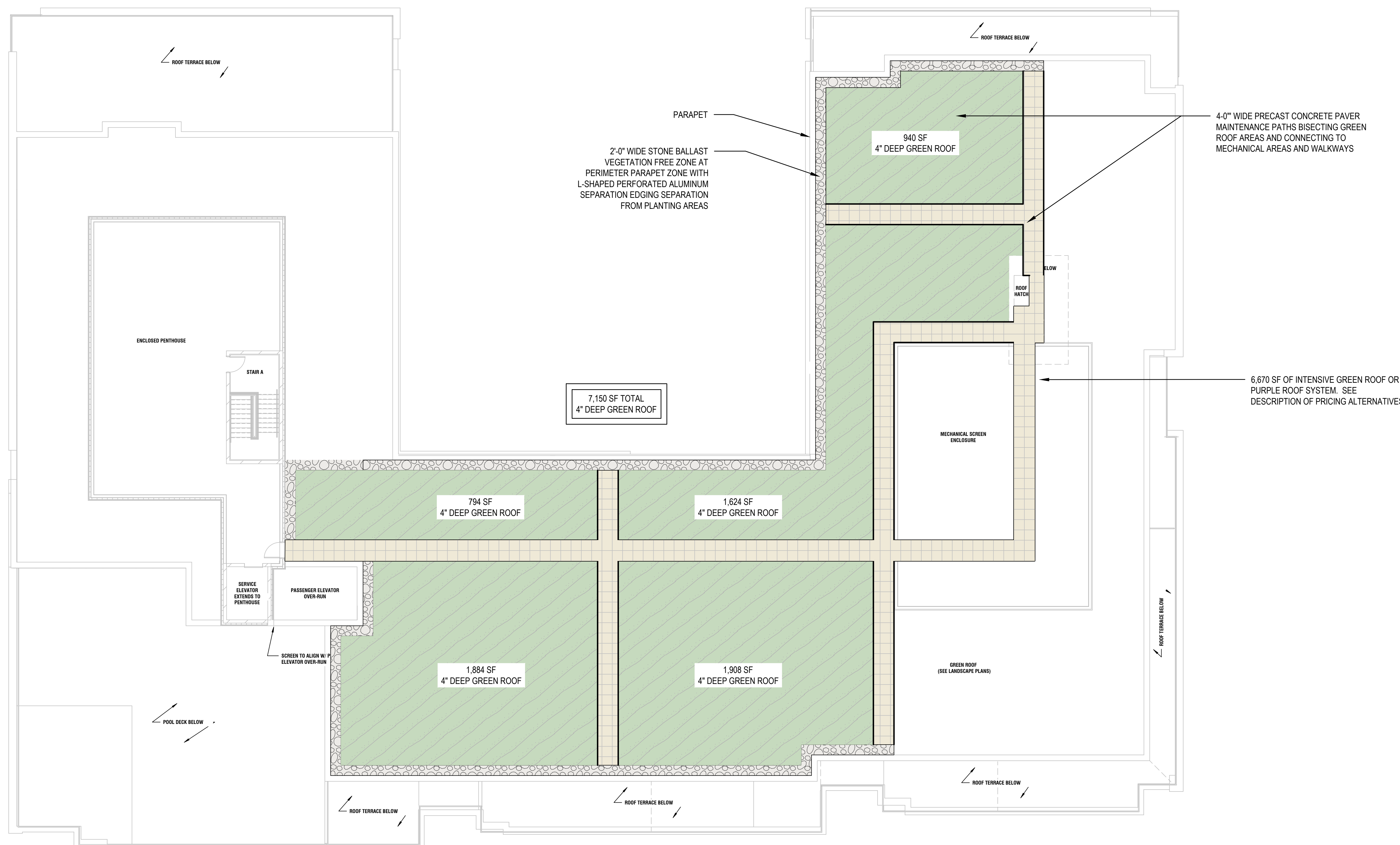
Typical rooftop / penthouse green roof with 2' clear zone around outside edges and mechanical units. Includes additional paver walkways for maintenance access.

**Potter
Lawson**

Success by Design



1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600



LEGEND

- SEDUM CARPET OVER 4" OF EXTENSIVE GROWING MEDIA
- MAINTENANCE PATH - PRECAST UNIT PAVERS ON PEDESTALS
- STONE MULCH BALLAST
- L-SHAPED ALUMINUM EDGE

SUN [FULL TO PART SUN] SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Sedum spurium 'Fuldaglut'
- Sedum spurium 'John Creech'
- Sedum spurium 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Murale'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

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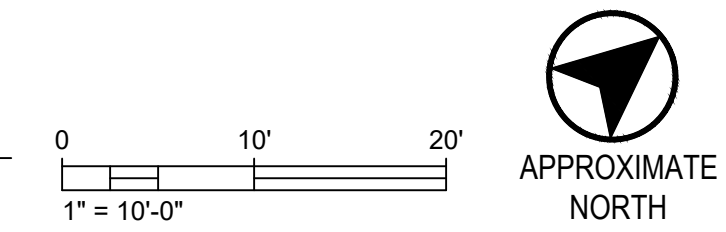
121 E. Wilson Street
Quad Capital Partners

Madison, WI

2021.27.00

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4 MECHANICAL PENTHOUSE GREEN ROOF PLAN
SCALE: 1" = 10'-0"



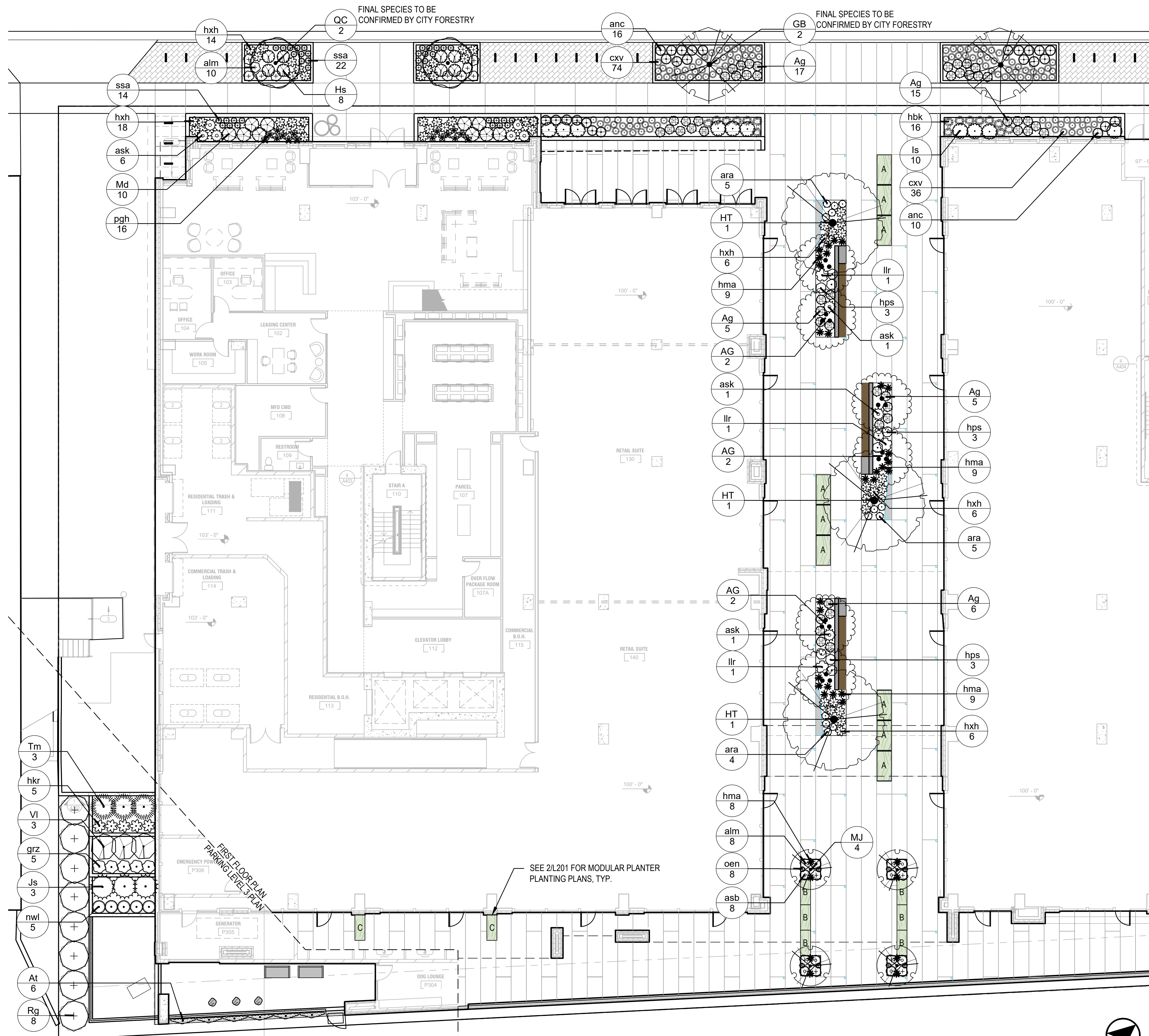
**MECHANICAL PENTHOUSE
GREEN ROOF PLAN**

L103

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CITY FORESTRY MAY DETERMINE FINAL STREET TREE SPECIES SELECTION.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, VEGETATED ROOF SYSTEMS, AND EXTERIOR SITE FURNISHINGS. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- THIS PROJECT PROPOSES THE REMOVAL OF TWO (2) TREES IN THE EAST WILSON ST TERRACE. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR THIS 2" CALIPER OAK TREE DUE TO CRANE/STAGING CONFLICTS ALONG E. WASHINGTON AVENUE.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING MAY BE REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300- PART 1 STANDARDS FOR PRUNING.

City of Madison Landscape Worksheet				
121 East Wilson Street				
August 8th, 2022				
Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	47,050	n/a	157	784
			Landscape Points Required	784
Development Frontage	LF	Overstory Tree Req. (or x2 for Orn./Evergrn. Tree Sub.)	Shrubs Required	
E Wilson St	266	9	44	
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	4		140
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	50		100
Shrub, evergreen	3	10		30
Perennial/Ornamental Grass	2	252		504
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Development Frontage Points Total				774
Interior Parking Lots	N/A			
Total Parking Lot Area	n/a			
General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ornamental Tree	15	9		135
Evergreen Tree	15	0		0
Shrub, deciduous	2	27		54
Shrub, evergreen	3	6		18
Perennial/Ornamental Grass	2	89		178
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
General Site Plantings Total				385
TOTAL LANDSCAPE POINTS				1159



1 FIRST FLOOR AND DOG RUN PLANTING PLAN
SCALE: 1" = 10'-0"

PLANT SCHEDULE 1ST FLOOR					
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	6' HT (MIN.)	6
	HT	Halesia tetrapetala 'Rosea' / Pink Carolina Silverbell	B & B	2' Cal	3
	MJ	Malus x 'Jardin' TM / Marilee Crabapple	B & B	2' Cal	4
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	GB	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Ginkgo	B & B	3' Cal	2
	QC	Quercus robur 'Crimschmidt' TM / Crimson Spire English Oak	B & B	3' Cal	2
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Ag	Aronia melanocarpa 'UCONNAM12' TM / Ground Hog Black Chokeberry	2 gal	CONT.	48
	Hs	Hydrangea serrata 'MAKD' TM / Tiny Tuft Mountain Hydrangea	3 gal	CONT.	8
	Is	Itea virginica 'Sprich' TM / Little Henry Sweetpire	3 gal	CONT.	10
	Rg	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	CONT.	8
	Vi	Viburnum dentatum 'JLMevegreen' TM / Little Joe Viburnum	B & B	36" HT. (MIN.)	3
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Js	Juniperus x pfitzeriana 'Sea Green' / Sea Green Pfitzer Juniper	5 gal	CONT.	3
	Md	Microbiota decussata 'Celtic Pride' / Celtic Pride Siberian Cypress	3 gal	CONT.	10
	Tm	Taxus x media 'Tautoni' / Tauton Yew	3 gal	CONT.	3
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	cxv	Carex vulpinoidea / Fox Sedge	1 qt	CONT.	110
	hma	Hakonechloa macra 'All Gold' / Japanese Forest Grass	1 gal	CONT.	35
	hbk	Hakonechloa macra 'Beni-kaze' / Beni-kaze Japanese Forest Grass	1 gal	CONT.	16
	ssa	Sesleria autumnalis / Autumn Moor Grass	1 qt	CONT.	36
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	alm	Alchemilla mollis / Lady's Mantle	1 gal	CONT.	18
	asb	Allium x 'Summer Beauty' / Summer Beauty Allium	1 qt	CONT.	8
	anc	Anemone canadensis / Canadian Anemone	1 qt	CONT.	26
	ask	Aralia cordata 'Sun King' / Sun King Japanese Spikenard	1 gal	CONT.	9
	ara	Aranus aethusifolius / Dwarf Goatsbeard	1 gal	CONT.	14
	grz	Geranium x 'Rozanne' / Rozanne Cranebill	1 gal	CONT.	5
	hps	Heuchera x 'Peppermint Spice' / Coral Bells	1 gal	CONT.	9
	hsh	Hosta x 'Halcyon' / Halcyon Plantain Lily	1 gal	CONT.	50
	hkr	Hosta x 'Krossa Regal' / Krossa Regal Plantain Lily	1 gal	CONT.	5
	llr	Ligularia x hessei 'Little Rocket' / Little Rocket Ragwort	1 gal	CONT.	3
	nwl	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	1 gal	CONT.	5
	oen	Oenothera missouriensis 'Ozark Sundrops' / Missouri Primrose	1 gal	CONT.	8
	pgh	Polygonatum humile / Dwarf Solomon's Seal	1 gal	CONT.	16
VINES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	At	Aristolochia macrophylla / Dutchman's Pipe	1 gal	CONT.	6



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121 E. Wilson Street
Quad Capital Partners

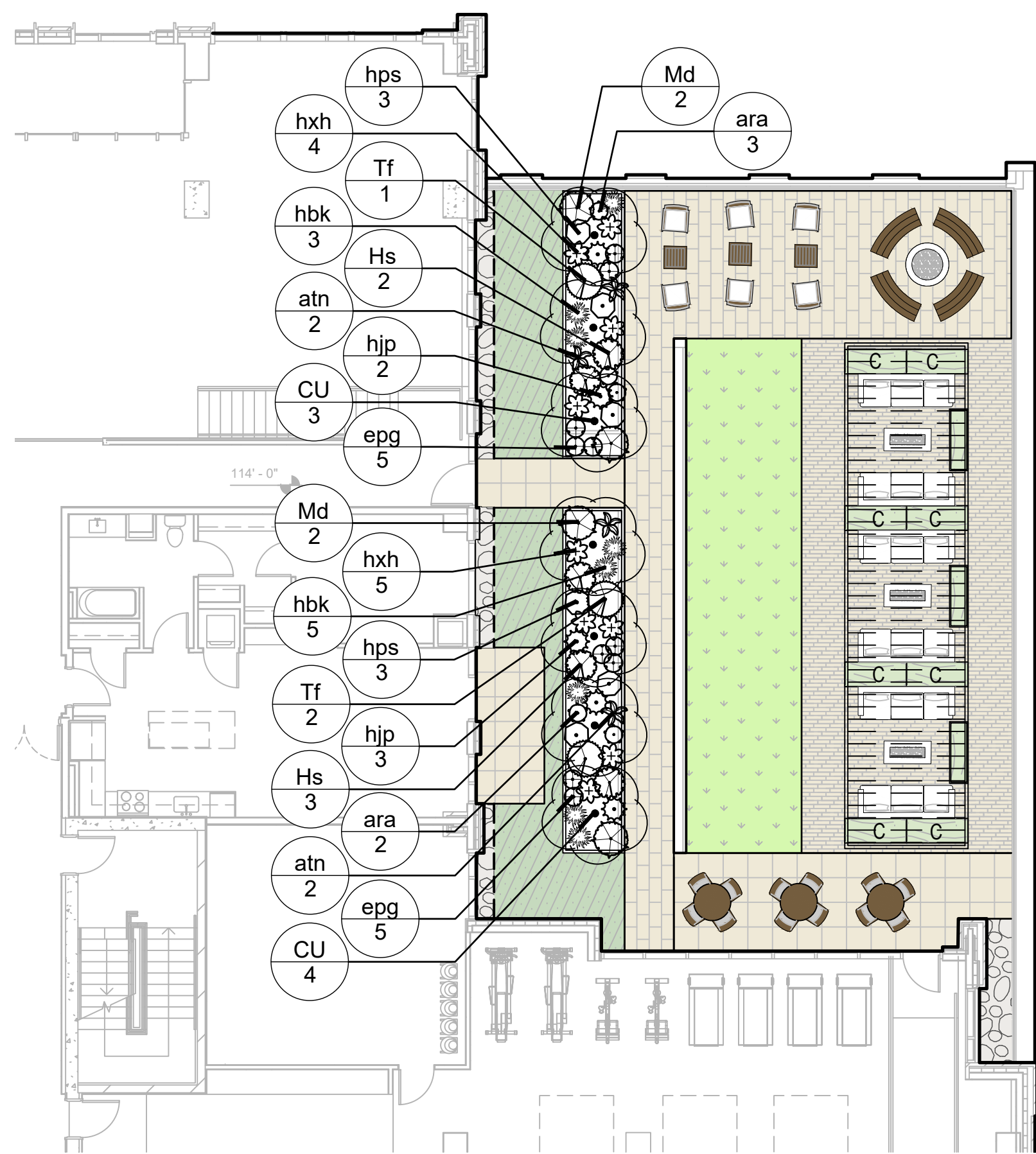
Madison, WI

2021.27.00

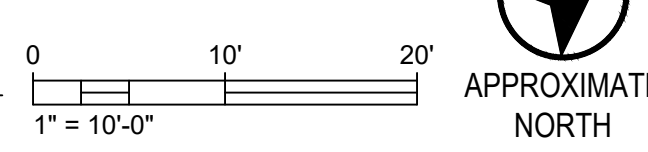
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FIRST FLOOR & DOG RUN PLANTING PLAN

L200



1 SECOND FLOOR ROOF TERRACE PLANTING PLAN
SCALE: 1" = 10'-0"

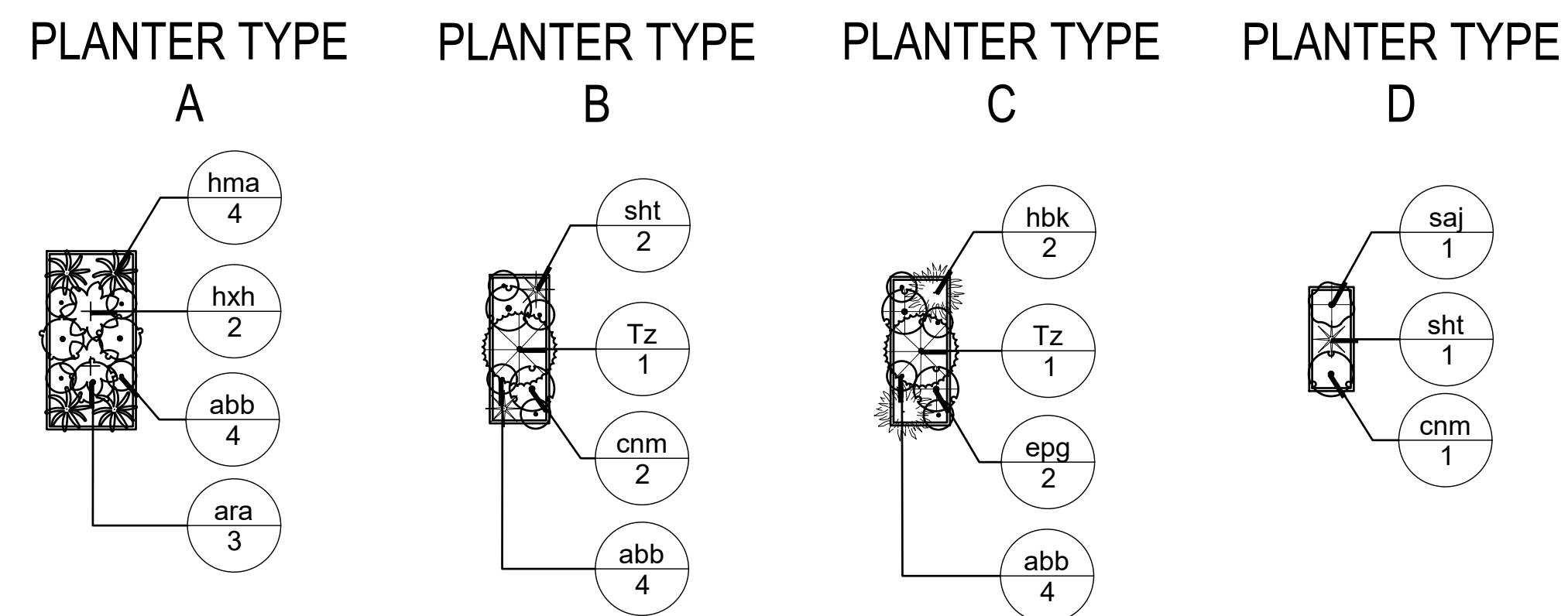


PLANT SCHEDULE 2ND FLOOR

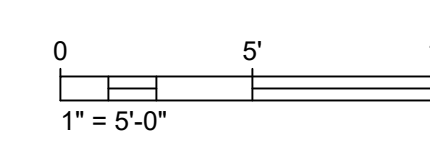
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	CU	Carpinus caroliniana 'J.N. Upright' / Firespire Muscadeweed	B & B	6' HT (MIN.)	7
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Hs	Hydrangea serrata 'MAKD' TM / Tiny Tuff Mountain Hydrangea	3 gal	CONT.	5
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Md	Microbiota decussata 'Celtic Pride' / Celtic Pride Siberian Cypress	3 gal	CONT.	4
	Tf	Tsuga canadensis 'Moon Frost' / Moon Frost Eastern Hemlock	B & B	18' HT (MIN.)	3
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	hbk	Hakonechloa macro 'Beni-kaze' / Beni-kaze Japanese Forest Grass	1 gal	CONT.	8
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	ara	Arunocephalus / Dwarf Goatsbeard	1 gal	CONT.	5
	atn	Athyrium niponicum / Japanese Painted Fern	1 gal	CONT.	4
	epg	Epimedium grandiflorum / Barrenwort	1 gal	CONT.	10
	hjp	Helleborus x hybridus 'Peppermint Ice' TM / Peppermint Ice Lenten Rose	1 gal	CONT.	5
	hps	Heuchera x 'Peppermint Spice' / Coral Bells	1 gal	CONT.	6
	hsh	Hosta x 'Halcyon' / Halcyon Plantain Lily	1 gal	CONT.	9

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, VEGETATED ROOF SYSTEMS, AND EXTERIOR SITE FURNISHINGS. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.



2 MODULAR MOVABLE PLANTERS PLANTING PLANS
SCALE: 1" = 5'-0"



PLANT SCHEDULE PLANTERS

EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	Tz	Thuja occidentalis 'Bobocam' TM / Mr. Bowling Ball Arborvitae	2 gal	CONT.	2
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	hma	Hakonechloa macro 'All Gold' / Japanese Forest Grass	1 gal	CONT.	4
	hbk	Hakonechloa macro 'Beni-kaze' / Beni-kaze Japanese Forest Grass	1 gal	CONT.	2
	sht	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal	CONT.	3
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
	abb	Ajuga reptans 'Bronze Beauty' / Bronze Beauty Carpet Bugle	1 qt	CONT.	12
	ara	Arunocephalus / Dwarf Goatsbeard	1 gal	CONT.	3
	cnm	Calamintha nepeta 'Montrose White' / White Calamint	1 gal	CONT.	3
	epg	Epimedium grandiflorum / Barrenwort	1 gal	CONT.	2
	hsh	Hosta x 'Halcyon' / Halcyon Plantain Lily	1 gal	CONT.	2
	saj	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal	CONT.	1

Potter
Lawson

Success by Design



1110 South Park Street, Madison, WI 53715
Phone: 608.251.3600

WISCONSIN
Abbie Molien
LANDSCAPE ARCHITECT
Madison
Wisconsin
8/18/2022

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SECOND FLOOR & MODULAR
PLANTER PLANTING PLANS

L201

Parking Count	Vehicle	Level 4 Parking:
Parking Level 1	89	Parking Stalls: 44
Parking Level 2	98	ADA Stalls: 0
Parking Level 3	93	Compact Stalls: 21
Parking Level 4	85	Bike Racks: 80
Bike Stall Total	345	

Notes:

- ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
- ALL BIKE STALLS ARE 2'-0" X 6'-0", HORIZONTALLY ORIENTATED, FLOOR MOUNTED, U.O.N.

KEYNOTES:

- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
- 2 ADA PARKING SIGNAGE
- 3 COMPACT VEHICLE PARKING SIGNAGE
- 4 NEW EV CHARGING STATION & SIGNAGE
- 5 BOLLARD
- 6 ENTER SIGNAGE
- 7 EXIT SIGNAGE

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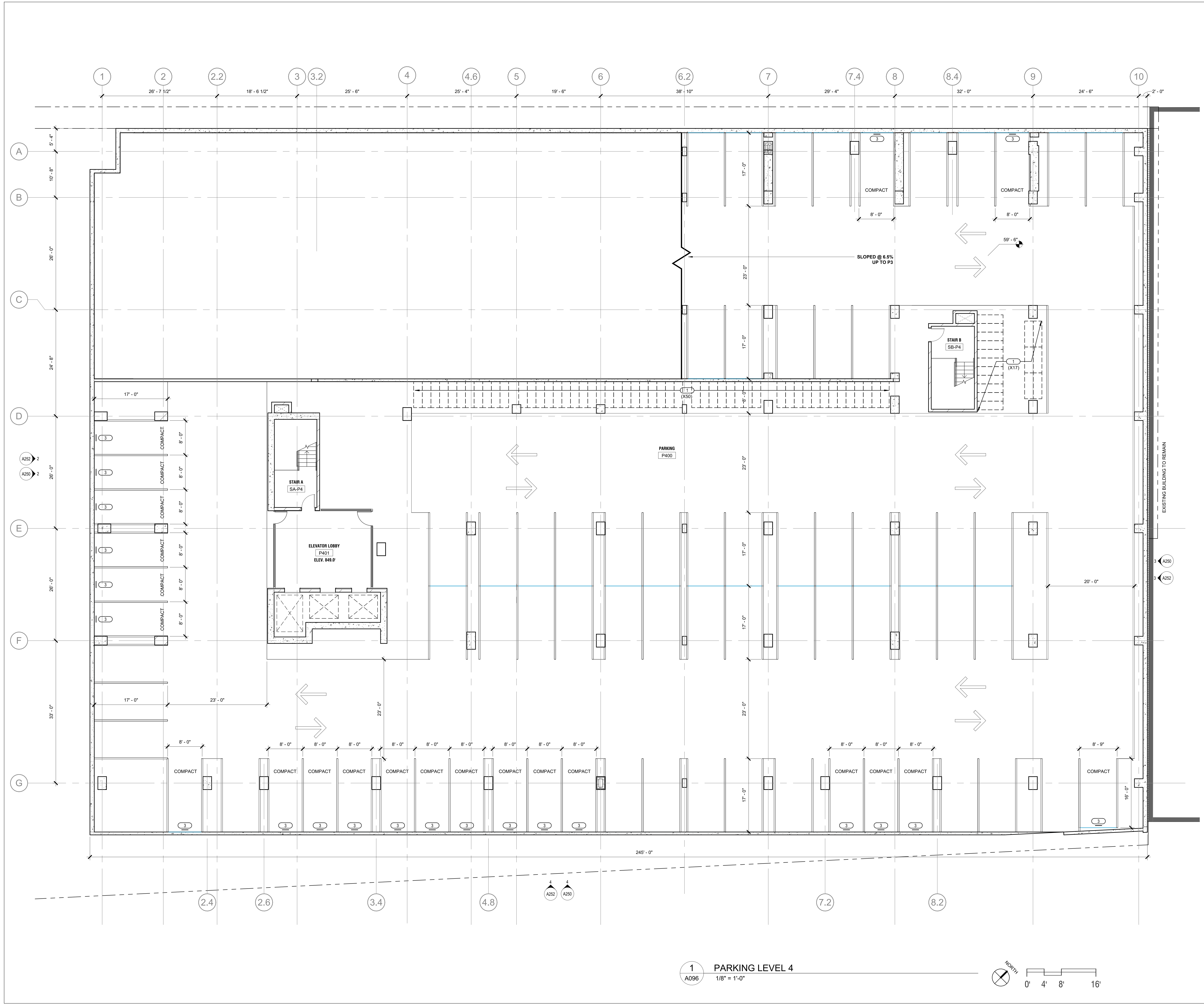
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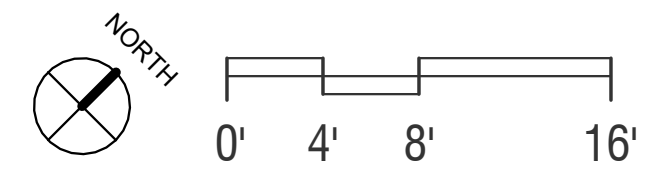
DATE	ISSUANCE/REVISIONS	LAND USE & UDC APPLICATION
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**PARKING LEVEL 4
PLAN**

A096



1 PARKING LEVEL 4
A096 1/8" = 1'-0"



8/5/2022 9:28:16 AM

Parking Count	Vehicle	Level 3 Parking:
Parking Level 1	89	Parking Stalls: 73
Parking Level 2	98	ADA Stalls: 2
Parking Level 3	93	Compact Stalls: 18
Parking Level 4	85	Bike Stalls: 84
Bike Stall Total	345	

- Notes:
- ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
 - ALL BIKE STALLS ARE 2'-0" X 6'-0", HORIZONTALLY ORIENTATED, FLOOR MOUNTED, U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 ADA PARKING SIGNAGE
 - 3 COMPACT VEHICLE PARKING SIGNAGE
 - 4 NEW EV CHARGING STATION & SIGNAGE
 - 5 BOLLARD
 - 6 ENTER SIGNAGE
 - 7 EXIT SIGNAGE

PRELIMINARY
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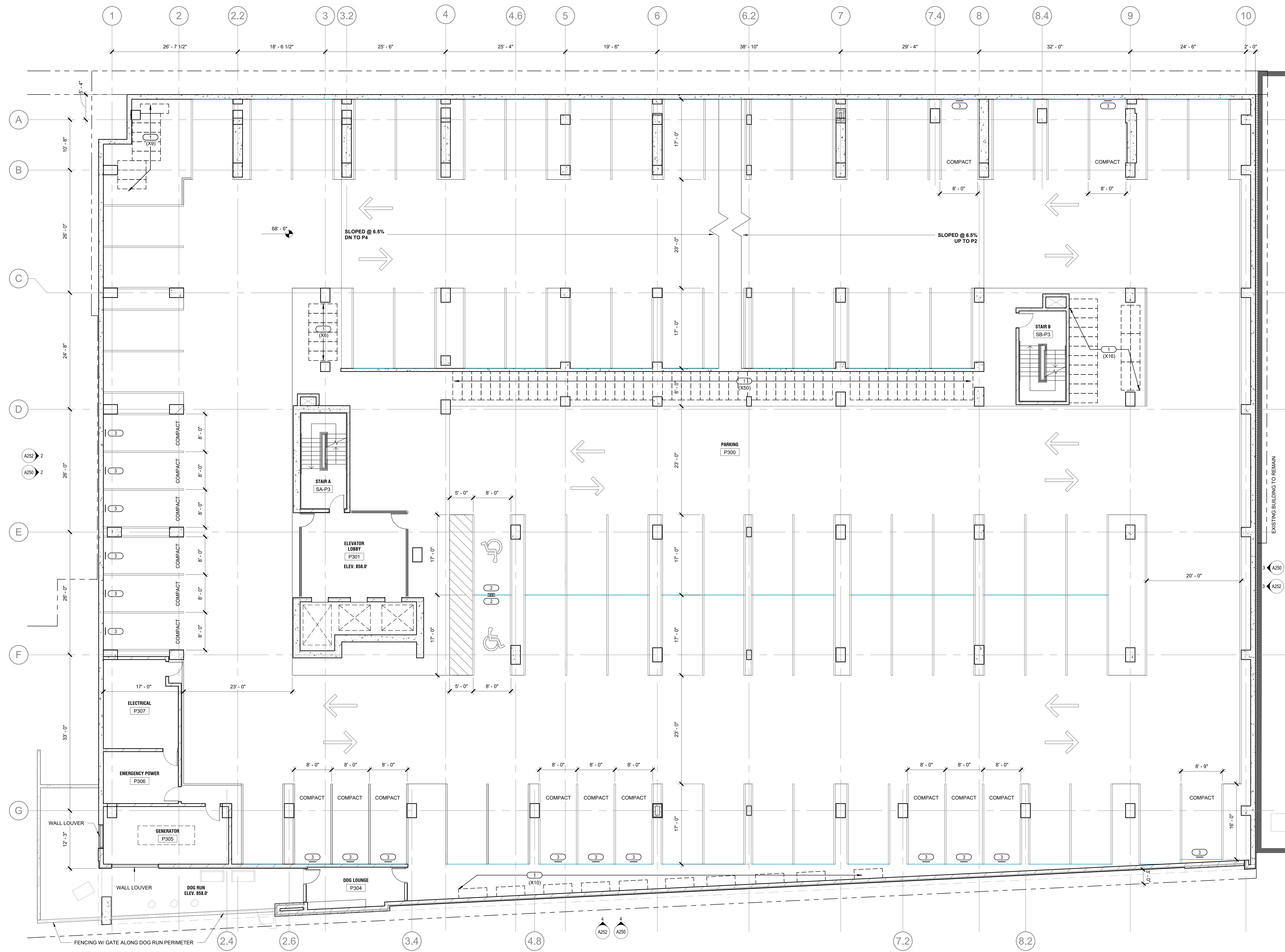
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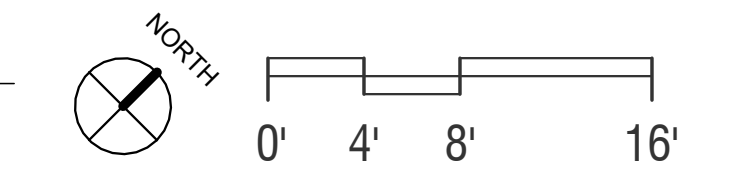
DATE	ISSUANCE/REVISIONS	LAND USE & UDC APPLICATION
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**PARKING LEVEL 3
PLAN**

A097



1 PARKING LEVEL 3
A097 1/8" = 1'-0"



Parking Count	Vehicle	Level 2 Parking:
Parking Level 1	89	Parking Stalls: 75
Parking Level 2	98	ADA Stalls: 2
Parking Level 3	93	Compact Stalls: 21
Parking Level 4	85	Bike Racks: 94
Bike Stall Total	345	

- Notes:
- ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
 - ALL BIKE STALLS ARE 2'-0" X 6'-0", HORIZONTALLY ORIENTATED, FLOOR MOUNTED, U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 ADA PARKING SIGNAGE
 - 3 COMPACT VEHICLE PARKING SIGNAGE
 - 4 NEW EV CHARGING STATION & SIGNAGE
 - 5 BOLLARD
 - 6 ENTER SIGNAGE
 - 7 EXIT SIGNAGE

PRELIMINARY
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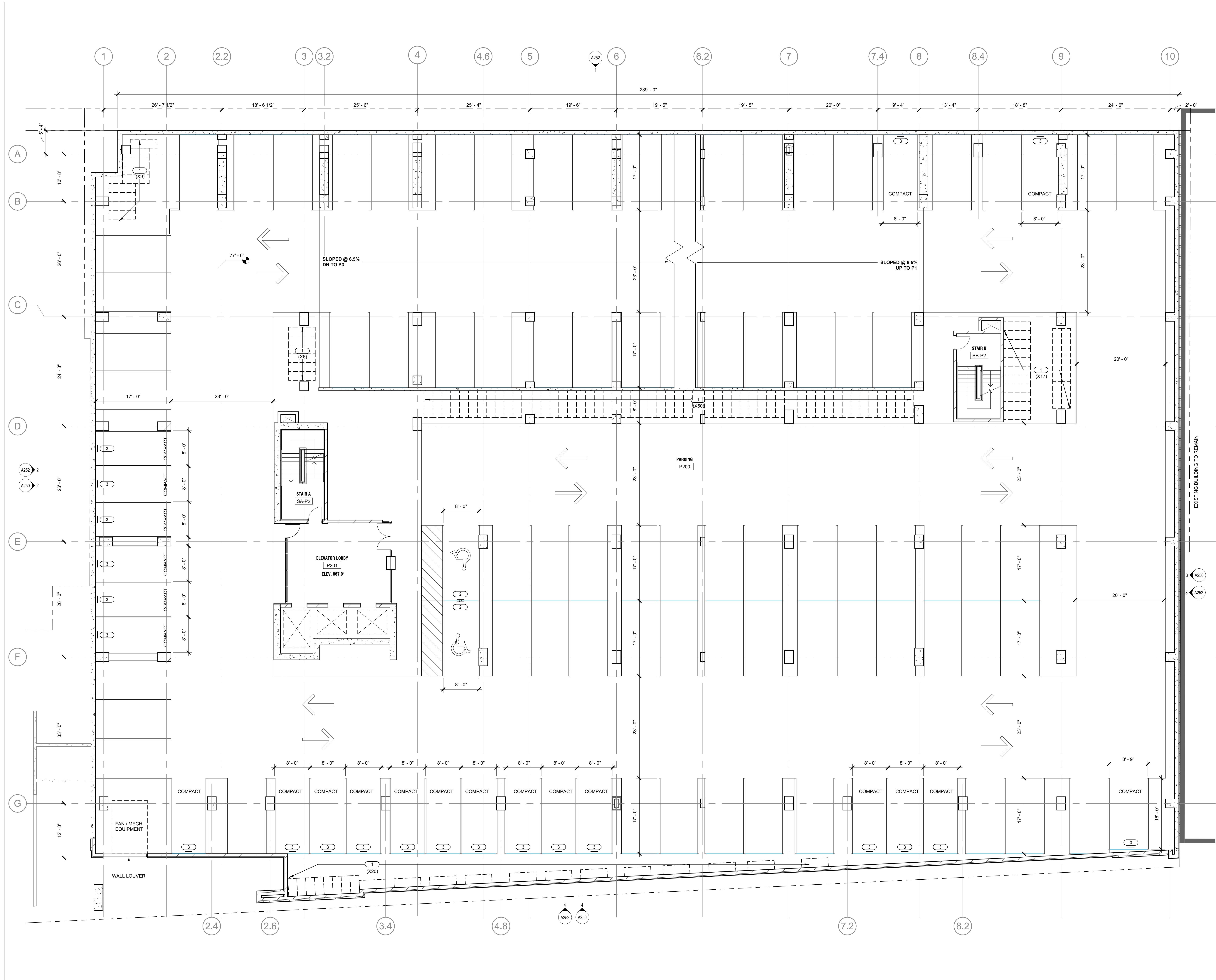
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**PARKING LEVEL 2
PLAN**

A098



1 PARKING LEVEL 2
A098 1/8" = 1'-0"



Parking Count	Vehicle	Level 1 Parking:
Parking Level 1	89	Regular Stalls: 56
Parking Level 2	98	ADA Stalls: 4
Parking Level 3	93	Compact Stalls: 21
Parking Level 4	65	EV Charging: 8
Bike Stall Total	345	Total: 89
		Bike Racks: 88

- Notes:
- ALL PARKING STALLS ARE 8'-9" X 17'-0" U.O.N.
 - ALL BIKE STALLS ARE 2'-0" X 6'-0", HORIZONTALLY ORIENTATED, FLOOR MOUNTED, U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 ADA PARKING SIGNAGE
 - 3 COMPACT VEHICLE PARKING SIGNAGE
 - 4 NEW EV CHARGING STATION & SIGNAGE
 - 5 BOLLARD
 - 6 ENTER SIGNAGE
 - 7 EXIT SIGNAGE

PRELIMINARY
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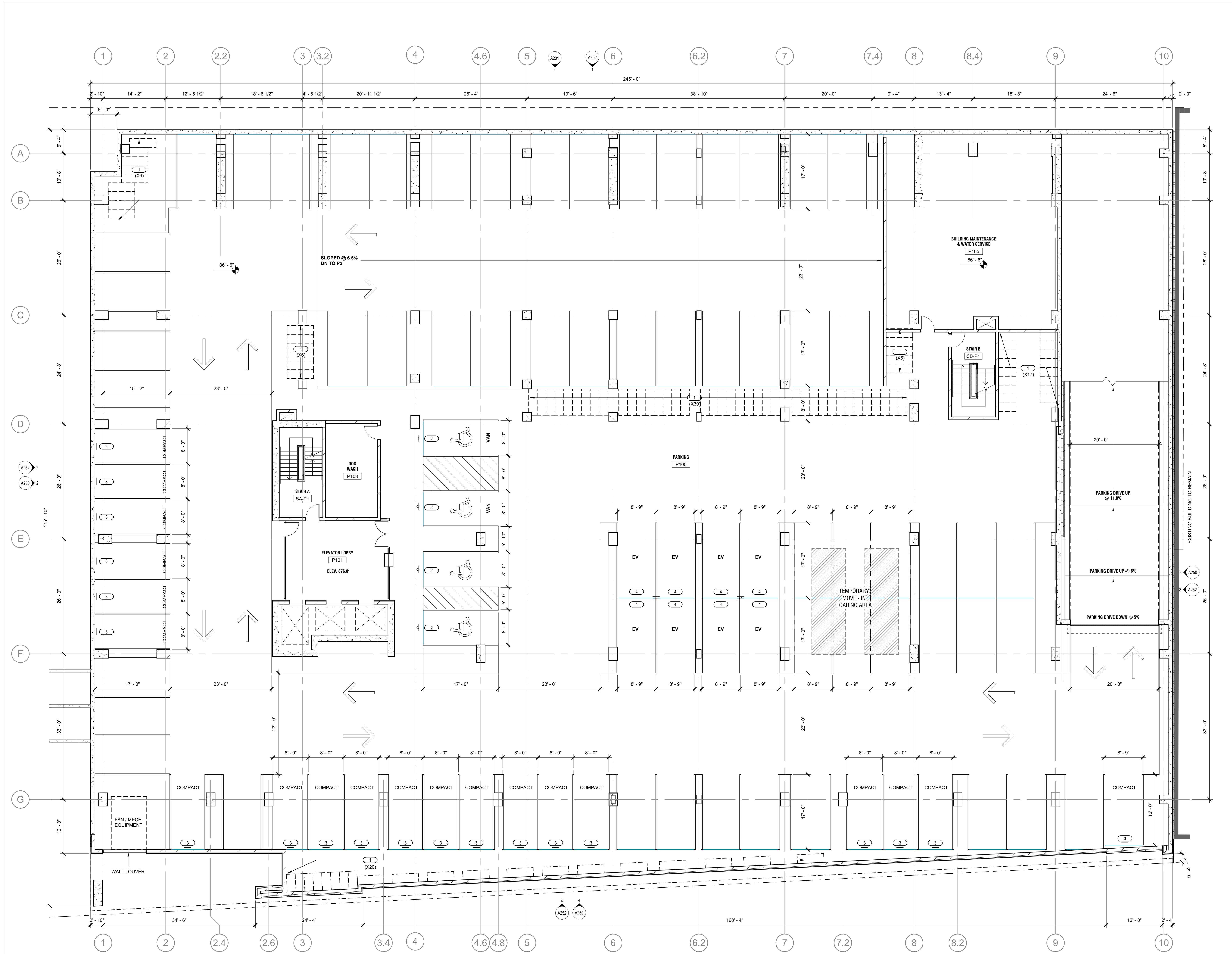
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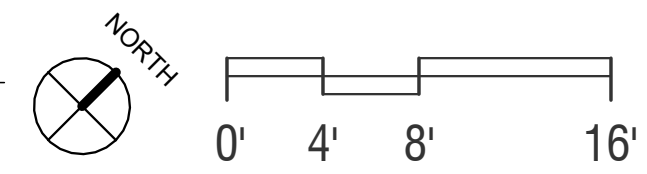
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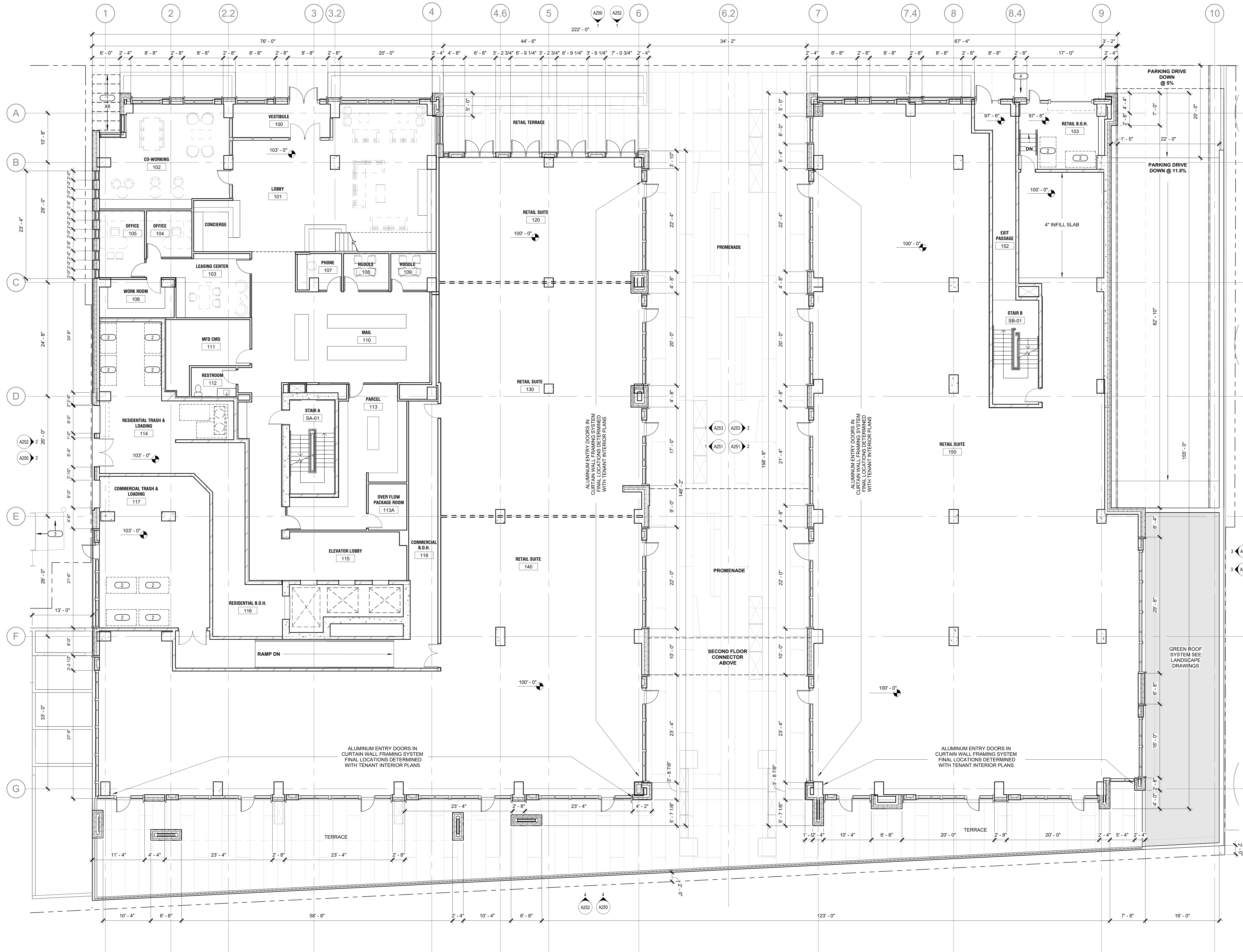
**PARKING LEVEL 1
PLAN**

A099



1 PARKING LEVEL 1
A099 1/8" = 1'-0"





- Notes:
- ALL BIKE STALLS ARE 2'-0" X 6'-0", HORIZONTALLY ORIENTATED, FLOOR MOUNTED, U.O.N.

- KEYNOTES:
- 1 GROUND OR FLOOR MOUNTED BIKE RACKS
 - 2 TRASH OR RECYCLING DUMPSTER (N.I.C)
 - 3 EXISTING WISCONSIN DEPARTMENT OF ADMINISTRATION LOADING DOCK AND LIFT EQUIPMENT TO REMAIN
 - 4 FIRE DEPARTMENT CONNECTION
 - 5

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**FIRST FLOOR
PLAN**

1 FIRST FLOOR PLAN
A101 1/8" = 1'-0"



A101

Notes:

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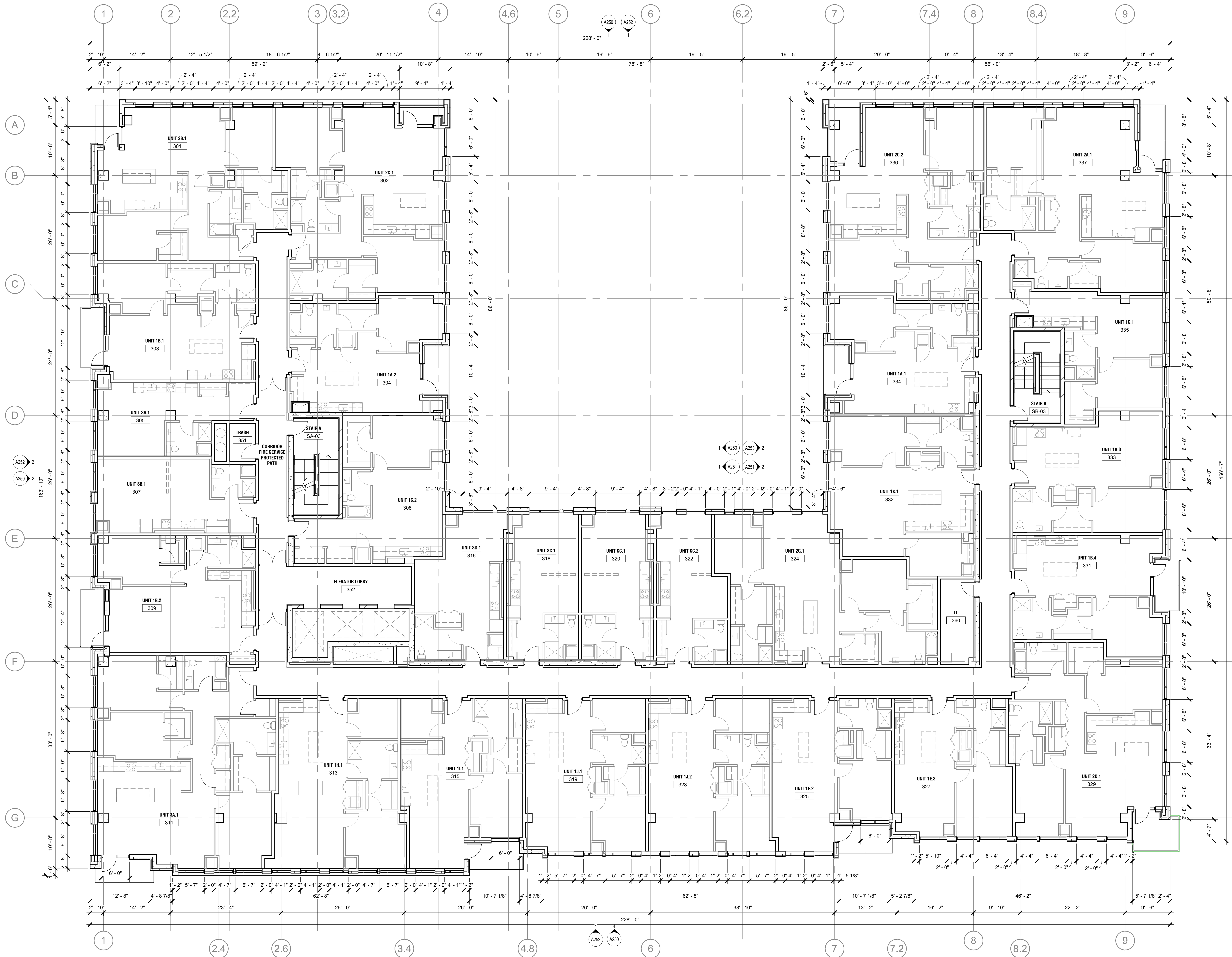
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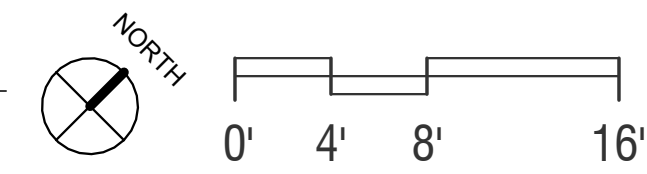
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**THIRD FLOOR
PLAN**

A103



1 THIRD FLOOR PLAN
1/8" = 1'-0"



Notes:

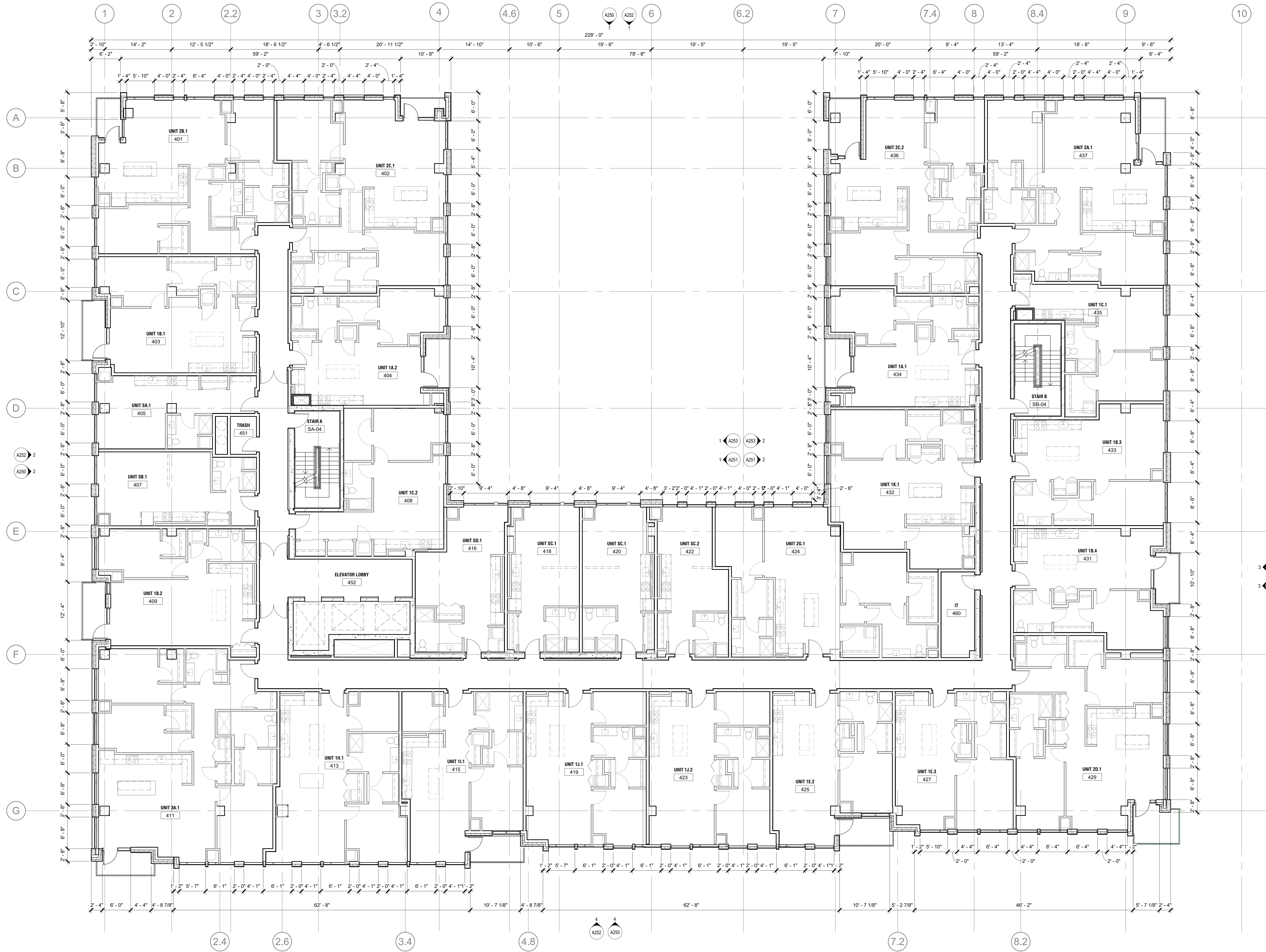
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**FOURTH FLOOR
PLAN**



Notes:

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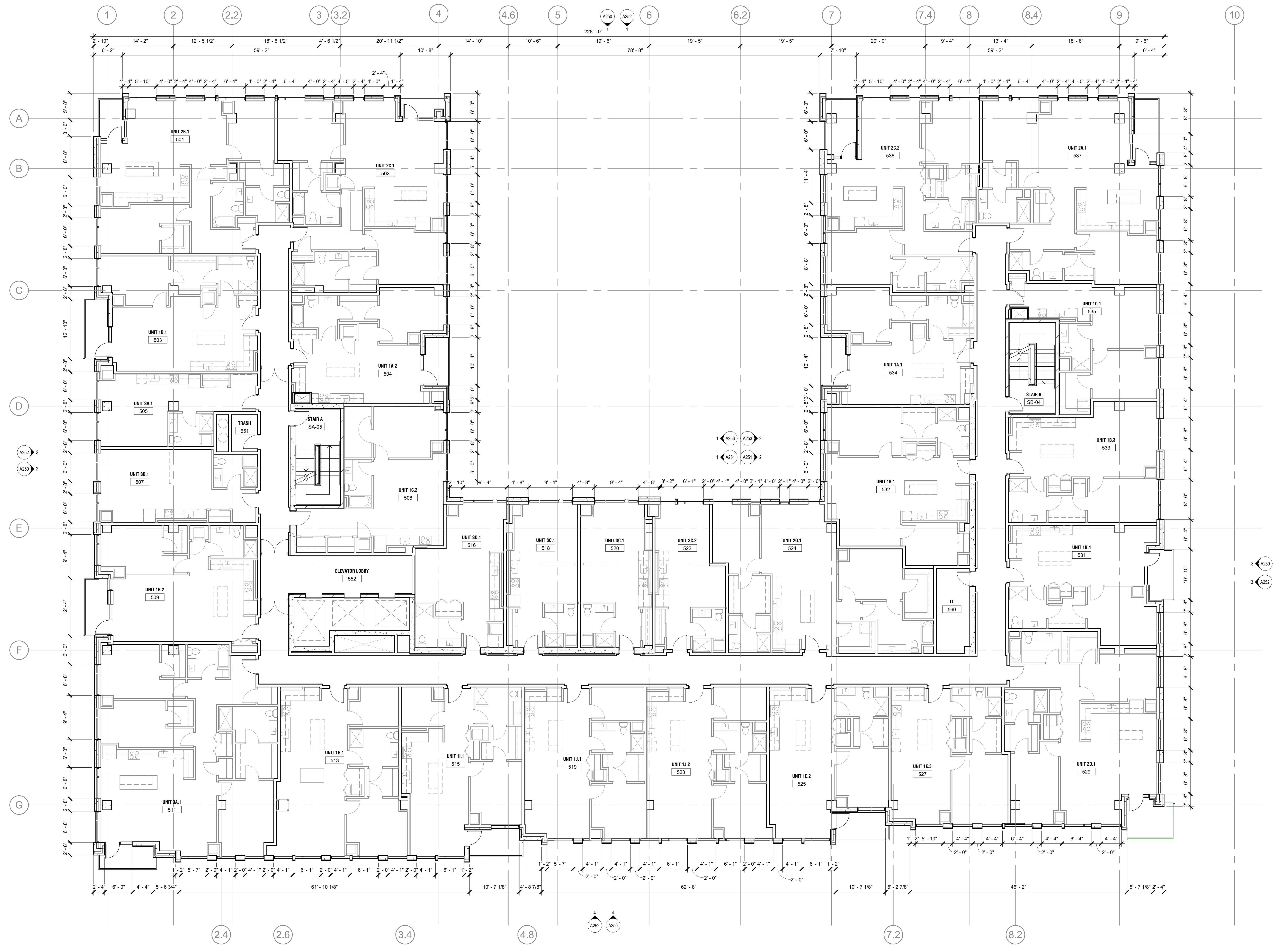
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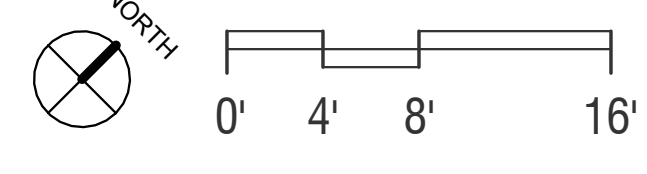
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FIFTH FLOOR PLAN

A105



1 FIFTH FLOOR
A105 1/8" = 1'-0"



Notes:

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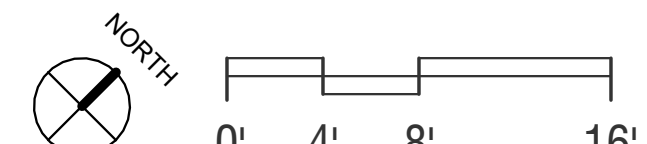
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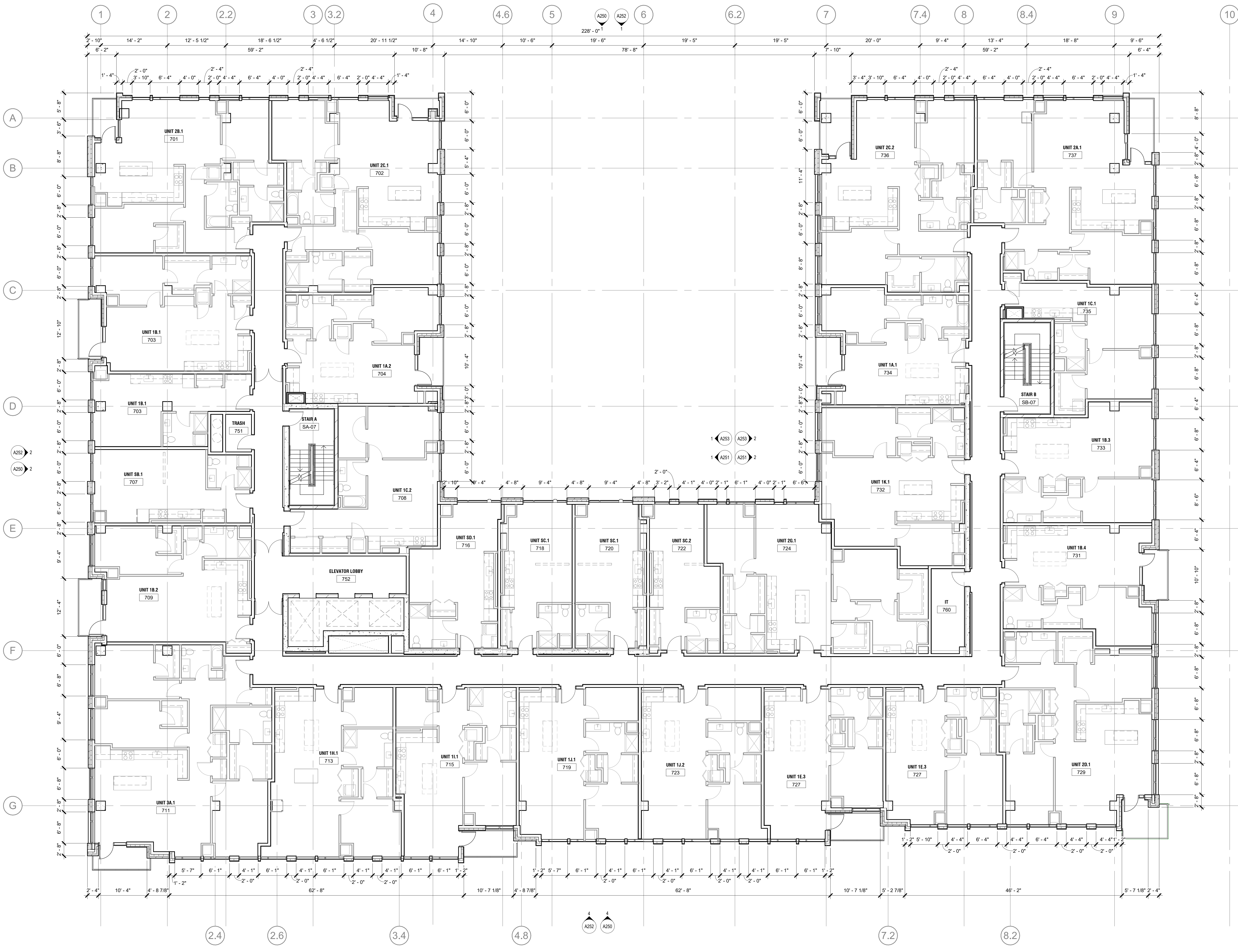
**SIXTH FLOOR
PLAN**

A106



1 SIXTH FLOOR
A106 1/8" = 1'-0"





Notes:

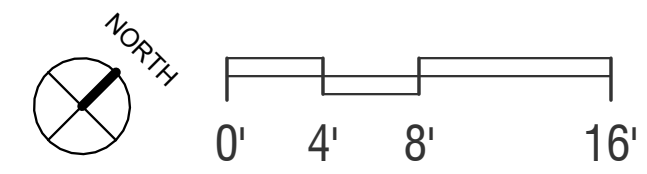
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1 SEVENTH FLOOR
1/8" = 1'-0"



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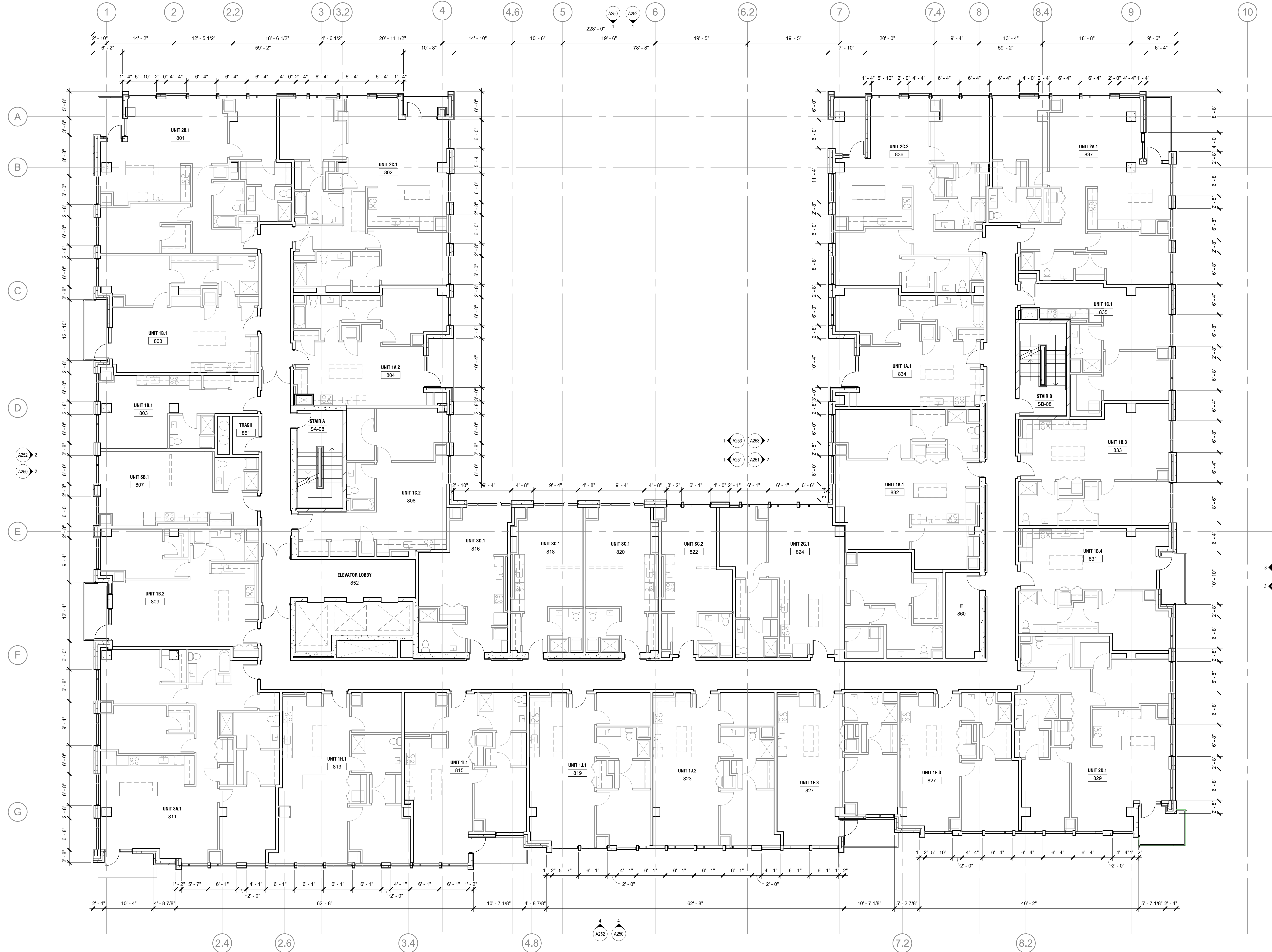
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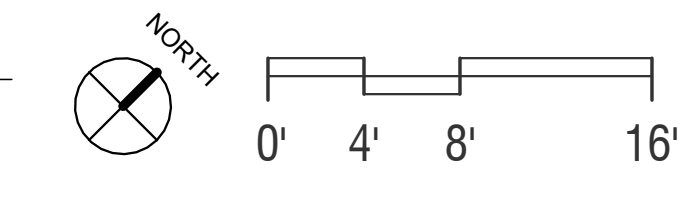
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**EIGHTH FLOOR
PLAN**

A108



1 EIGHTH FLOOR
A108 1/8" = 1'-0"



Notes:

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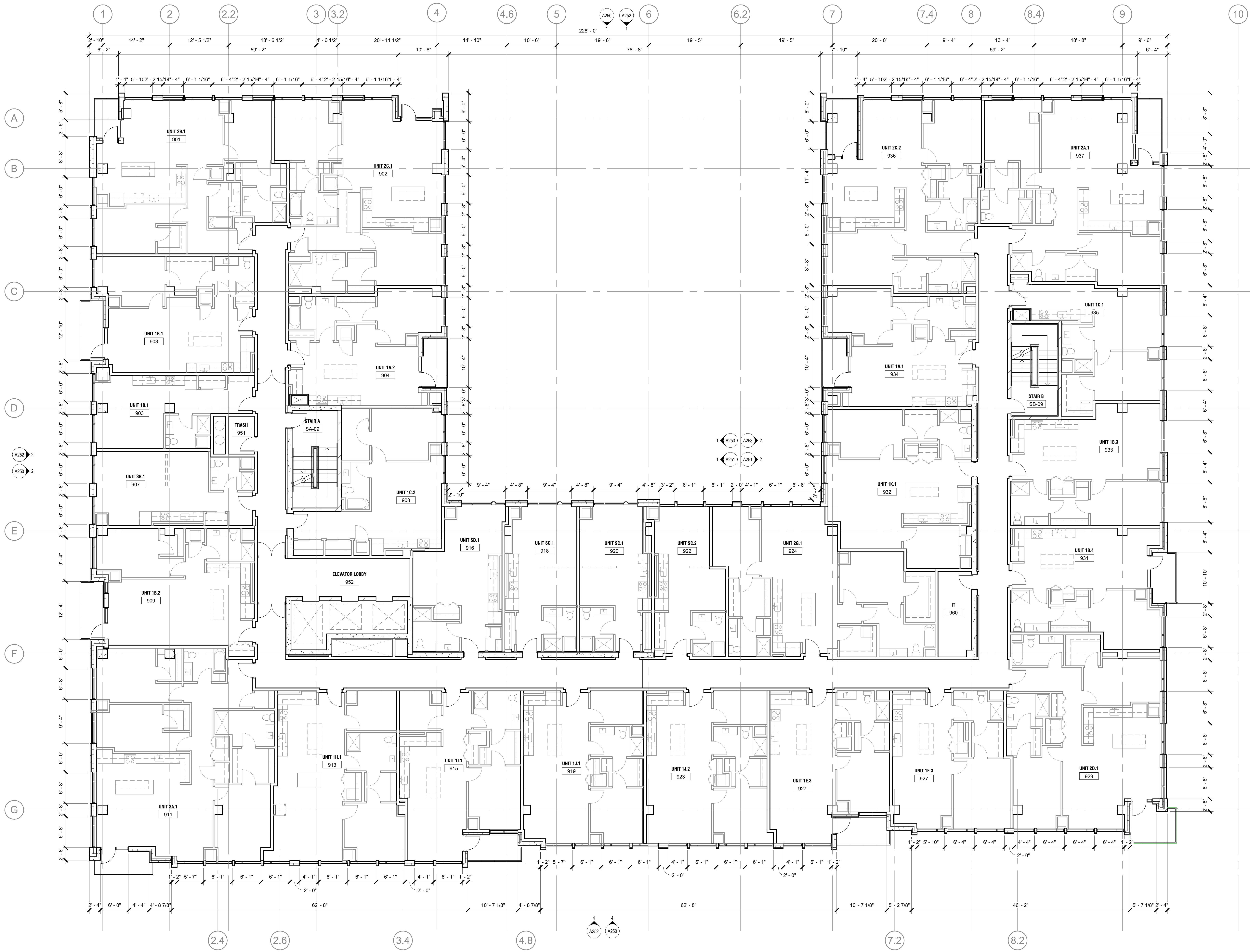
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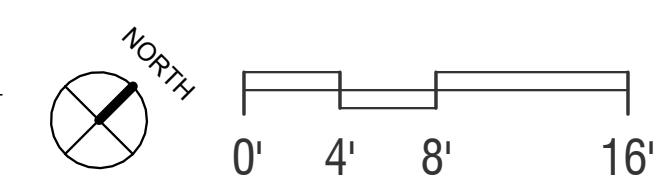
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**NINTH FLOOR
PLAN**

A109



1 NINTH FLOOR
A109 1/8" = 1'-0"



Notes:

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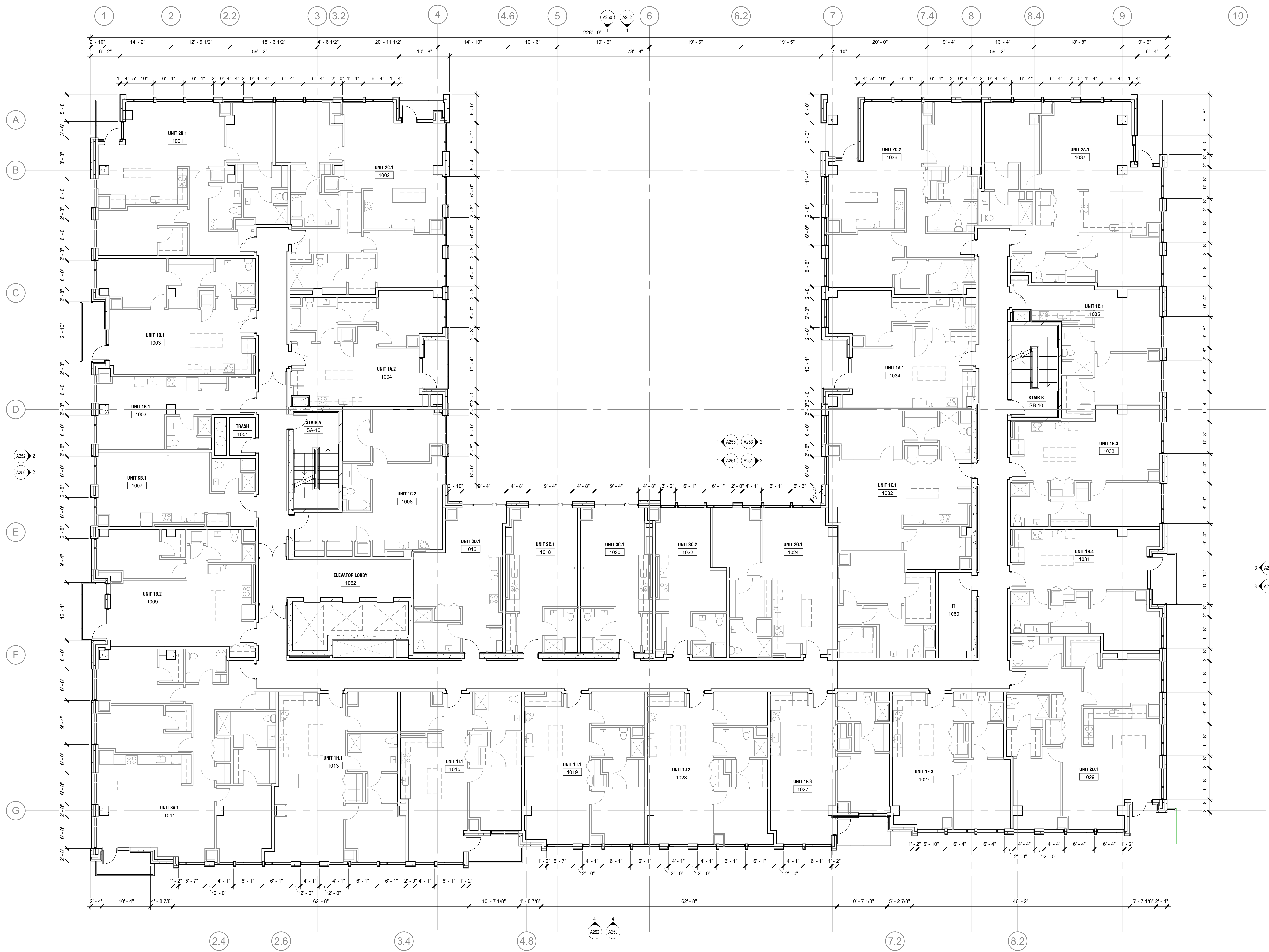
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**TENTH FLOOR
PLAN**

A110



Notes:

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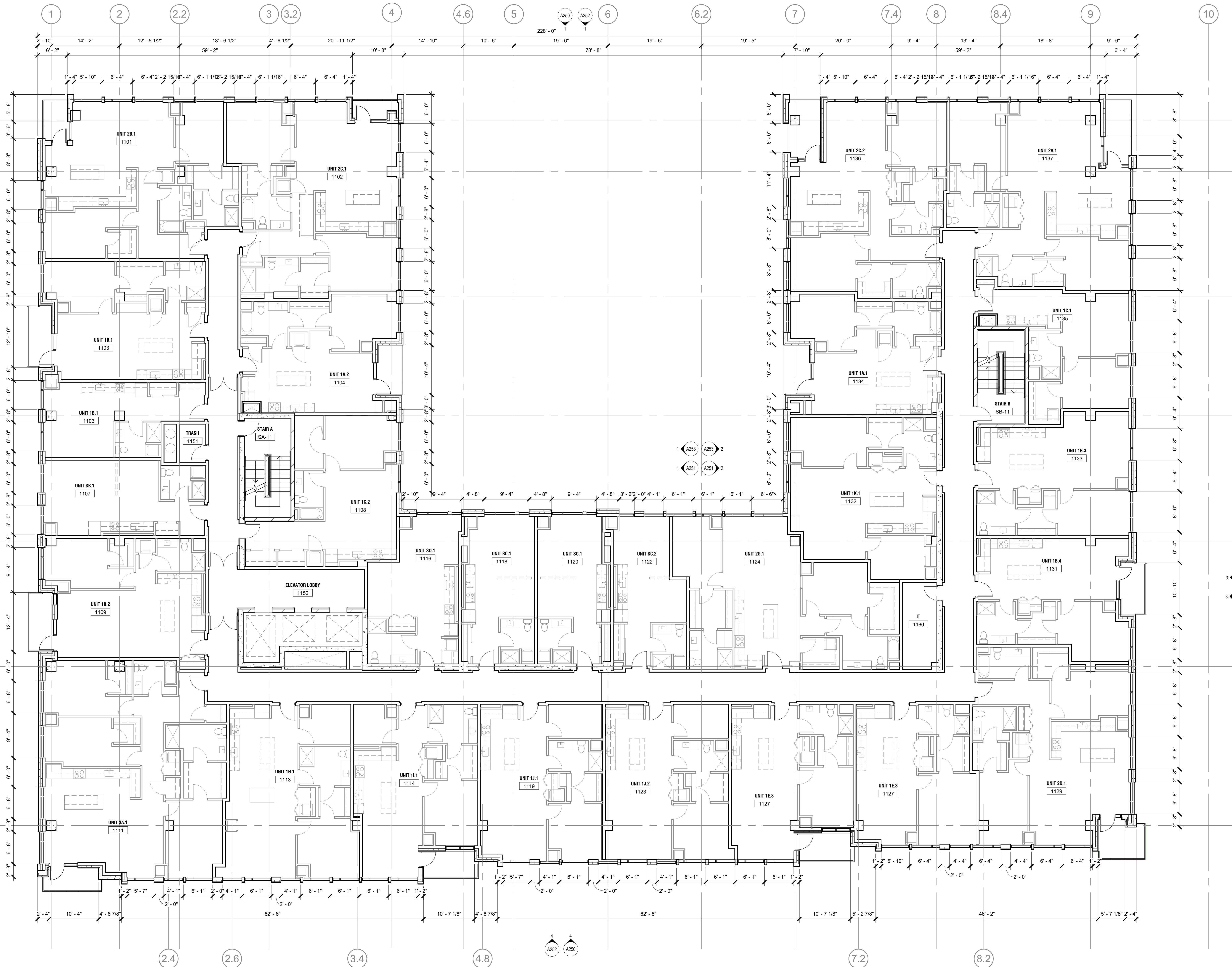
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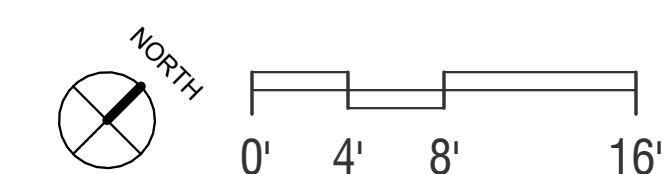
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**ELEVENTH FLOOR
PLAN**

A111



1 ELEVENTH FLOOR
A111 1/8" = 1'-0"



Notes:

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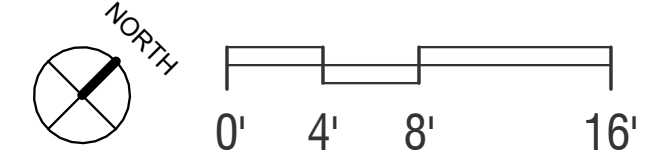
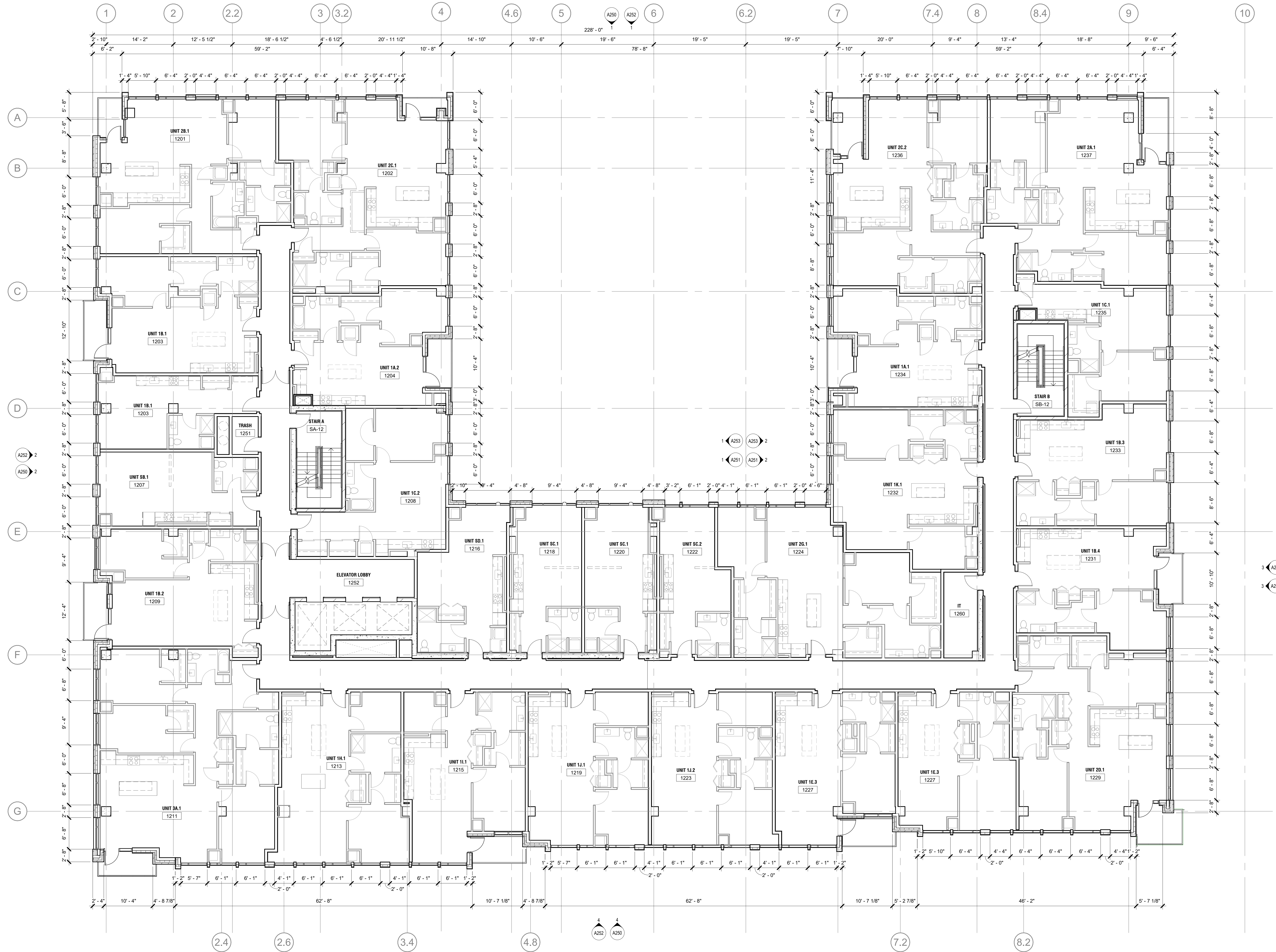
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**TWELFTH FLOOR
PLAN**

A112



Notes:

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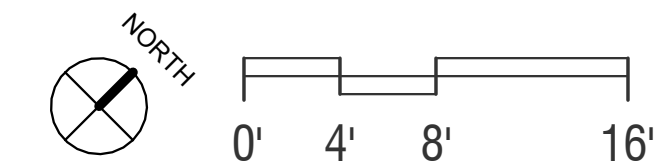
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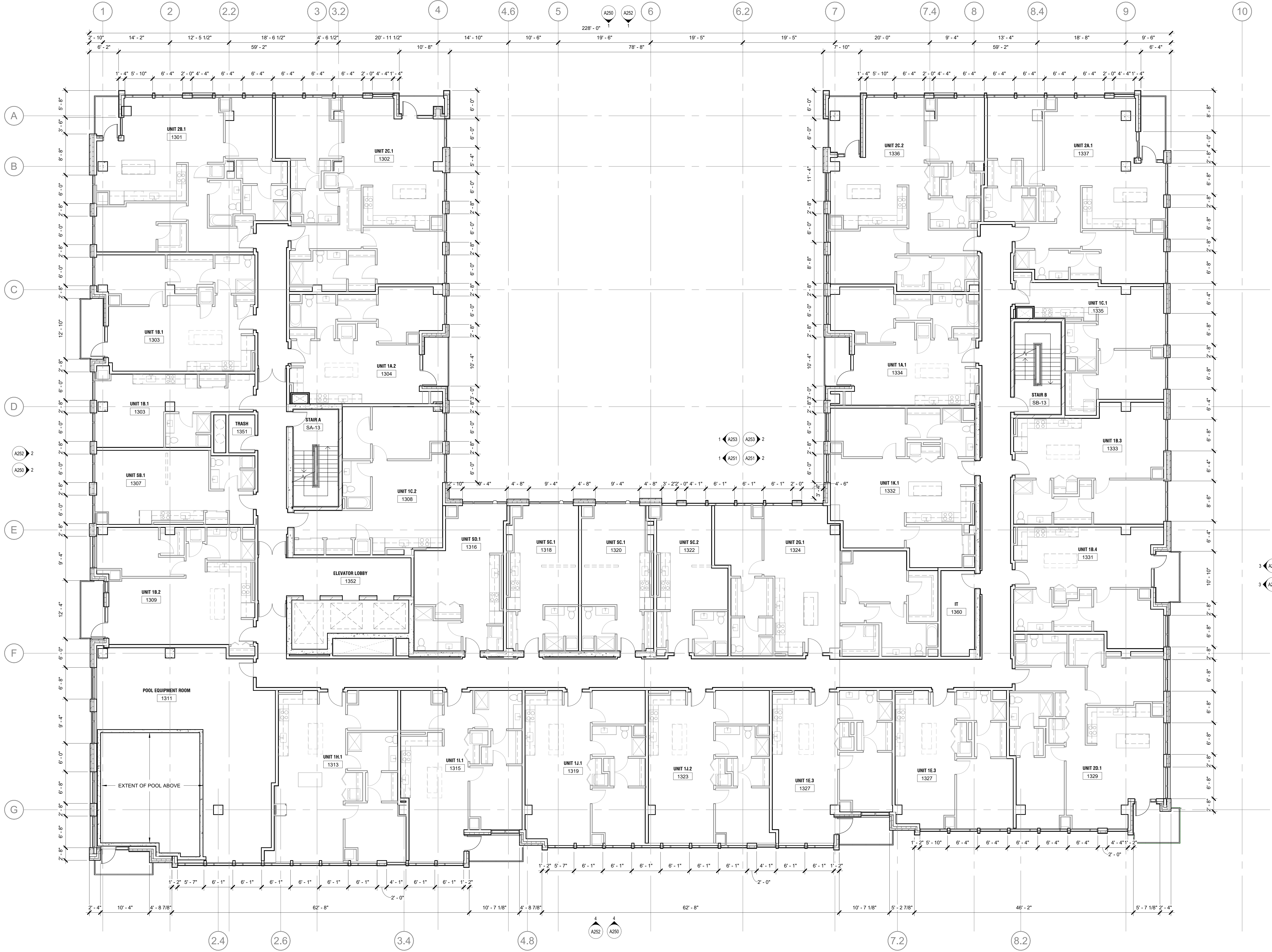
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THIRTEENTH
FLOOR PLAN

1 THIRTEENTH FLOOR
1/8" = 1'-0"



A113



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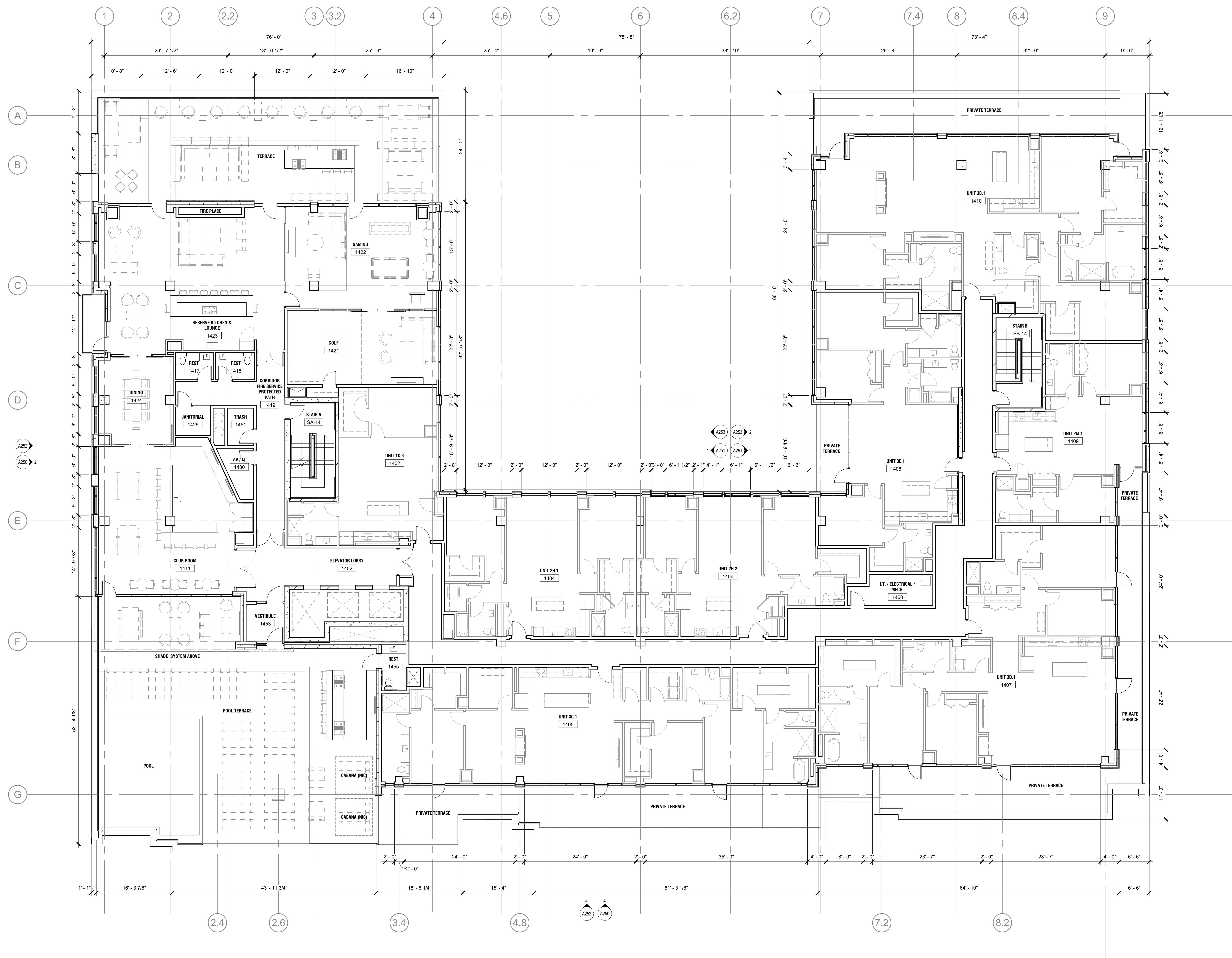
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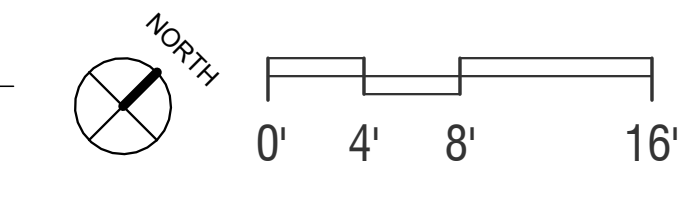
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**FOURTEENTH
FLOOR PLAN**

A114



1 FOURTEENTH FLOOR PLAN
A114 1/8" = 1'-0"



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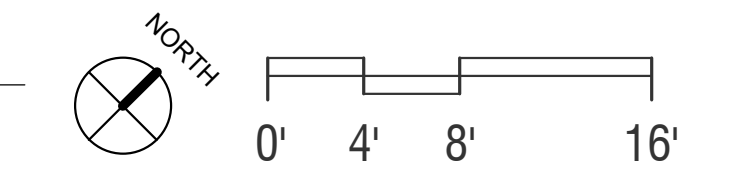
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ROOF PLAN



1
A115 **ROOF PLAN**
1/8" = 1'-0"



8/5/2022 4:00:29 PM

ELEVATION KEY NOTES

- 1 ALUMINUM STOREFRONT SYSTEM, ANODIZED MEDIUM BRONZE
- 2 ALUMINUM CURTAIN WALL SYSTEM, FULLY CAPTURED, 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT. UNITS, ANODIZED MEDIUM BRONZE
- 3 ALUMINUM WINDOW WALL SYSTEM, FULLY CAPTURED, 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT. UNITS, ANODIZED MEDIUM BRONZE
- 4 UNITIZED SSG ALUMINUM WINDOW WALL SYSTEM, ZERO SIGHT LINE VENTS AT APT. UNITS
- 5 BRICK VENEER
- 6 BRICK VENEER, EVERY OTHER COURSE EXTENDS OUT FROM FACE OF WALL 3/4"
- 7 CONCEALED FASTENER FORMED METAL PANEL, ANODIZED MEDIUM BRONZE
- 8 PLEATED CONCEALED FASTENER FORMED METAL PANEL, ANODIZED MEDIUM BRONZE
- 9 CONCEALED FASTENER ANODIZED ALUMINUM SURROUND, MEDIUM BRONZE
- 10 STEEL SHADE STRUCTURE
- 11 MECHANICAL LOUVER
- 12 MECHANICAL LOUVER IN CURTAIN WALL FRAMING SYSTEM, FINAL LOCATIONS DETERMINED WITH TENANT INTERIOR PLANS
- 13 GLASS GUARDRAIL
- 14 EXPOSED CONCRETE BALCONY
- 15 SITE CAST CONCRETE W/ FORM-LINER FINISH
- 16 SITE CAST CONCRETE
- 17 COILING ENTRANCE
- 18 EXPOSED FASTENER FIBER CEMENT PANEL
- 19 GALVANIZED CABLE HUNG FROM OVERHANG AND SECURED TO CONCRETE PLANTER WALL
- 20 CORETEN STEEL AND PRECAST CONCRETE PLANTER
- 21 ANODIZED ALUMINUM ENTRY DOORS IN CURTAIN WALL FRAMING SYSTEM, MEDIUM BRONZE
- 22 ALUMINUM ENTRY DOORS IN CURTAIN WALL FRAMING SYSTEM, FINAL LOCATIONS DETERMINED WITH TENANT INTERIOR PLANS
- 23 CAST STONE SILL
- 24 PLANNED TENANT SIGNAGE ZONE, FINAL LOCATIONS DETERMINED BY TENANT, WALL, PROJECTING AND GROUND SIGNAGE IS ANTICIPATED
- 25 ENTRANCE CANOPY

ELEVATION KEY
SPANDREL GLAZING

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**BUILDING
ELEVATIONS**

A250



3 NE ELEVATION
A250 1/16" = 1'-0"

1 NW ELEVATION
A250 1/16" = 1'-0"



4 SE ELEVATION
A250 1/16" = 1'-0"

2 SW ELEVATION
A250 1/16" = 1'-0"

ELEVATION KEY NOTES

- 1 ALUMINUM STOREFRONT SYSTEM, ANODIZED MEDIUM BRONZE
- 2 ALUMINUM CURTAIN WALL SYSTEM, FULLY CAPTURED, 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT UNITS, ANODIZED MEDIUM BRONZE
- 3 ALUMINUM WINDOW WALL SYSTEM, FULLY CAPTURED 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT UNITS, ANODIZED MEDIUM BRONZE
- 4 UNITIZED SSG ALUMINUM WINDOW WALL SYSTEM, ZERO SIGHT LINE VENTS AT APT UNITS.
- 5 BRICK VENEER
- 6 BRICK VENEER, EVERY OTHER COURSE EXTENDS OUT FROM FACE OF WALL 3/4"
- 7 CONCEALED FASTENER FORMED METAL PANEL, ANODIZED MEDIUM BRONZE
- 8 PLEATED CONCEALED FASTENER FORMED METAL PANEL, ANODIZED MEDIUM BRONZE.
- 9 CONCEALED FASTENER ANODIZED ALUMINUM SURROUND, MEDIUM BRONZE
- 10 STEEL SHADE STRUCTURE
- 11 MECHANICAL LOUVER
- 12 MECHANICAL LOUVER IN CURTAIN WALL FRAMING SYSTEM, FINAL LOCATIONS DETERMINED WITH TENANT INTERIOR PLANS
- 13 GLASS GUARDRAIL
- 14 EXPOSED CONCRETE BALCONY
- 15 SITE CAST CONCRETE W/ FORM-LINER FINISH
- 16 SITE CAST CONCRETE
- 17 COILING ENTRANCE
- 18 EXPOSED FASTENER FIBER CEMENT PANEL
- 19 GALVANIZED CABLE HUNG FROM OVERHANG AND SECURED TO CONCRETE PLANTER WALL.
- 20 CORETEN STEEL AND PRECAST CONCRETE PLANTER
- 21 ANODIZED ALUMINUM ENTRY DOORS IN CURTAIN WALL FRAMING SYSTEM, MEDIUM BRONZE
- 22 ALUMINUM ENTRY DOORS IN CURTAIN WALL FRAMING SYSTEM, FINAL LOCATIONS DETERMINED WITH TENANT INTERIOR PLANS
- 23 CAST STONE SILL
- 24 PLANNED TENANT SIGNAGE ZONE, FINAL LOCATIONS DETERMINED BY TENANT, WALL, PROJECTING AND GROUND SIGNAGE IS ANTICIPATED.
- 25 ENTRANCE CANOPY

ELEVATION KEY
SPANDREL GLAZING

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Quad Capital Partners
Madison, WI

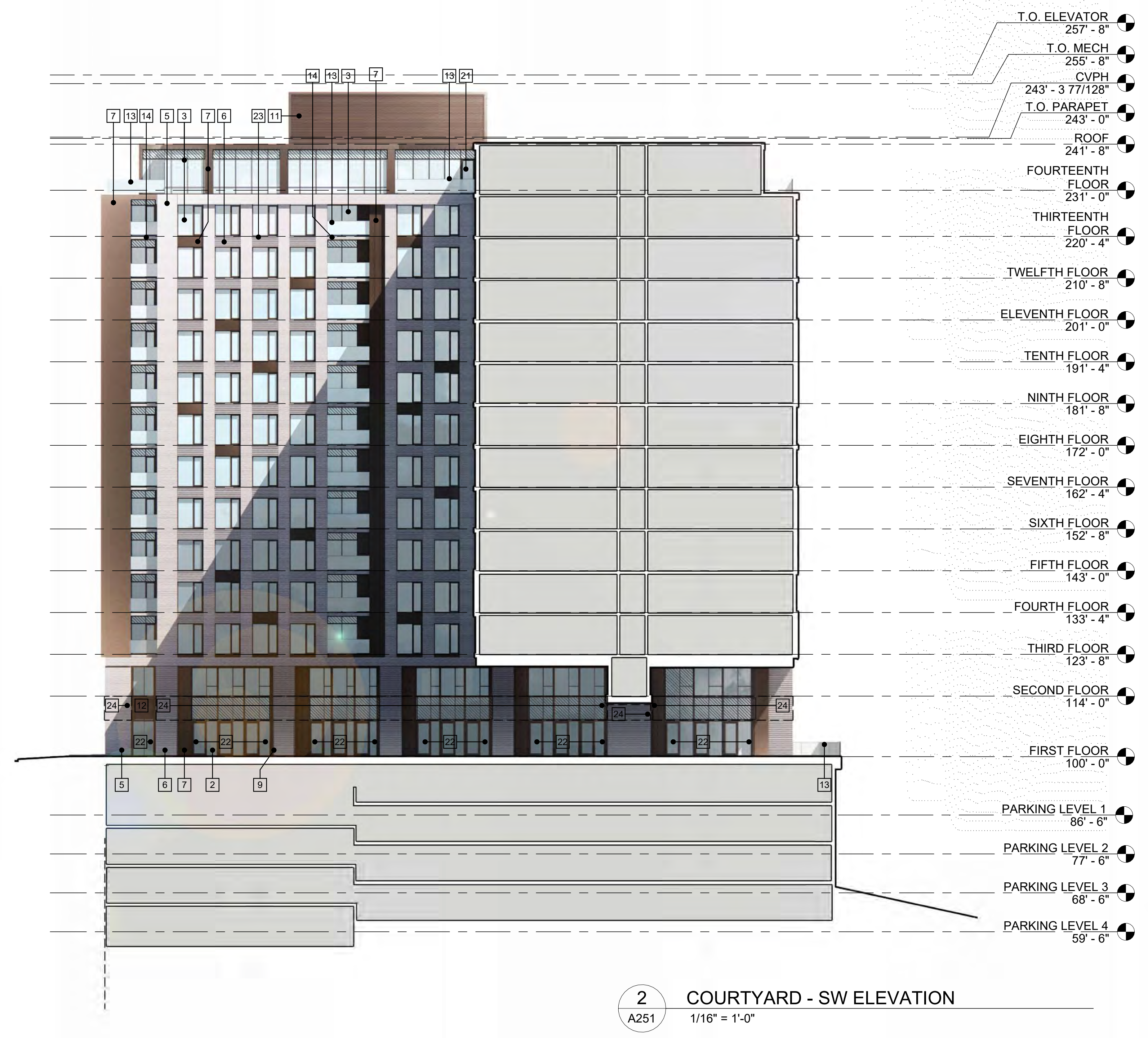
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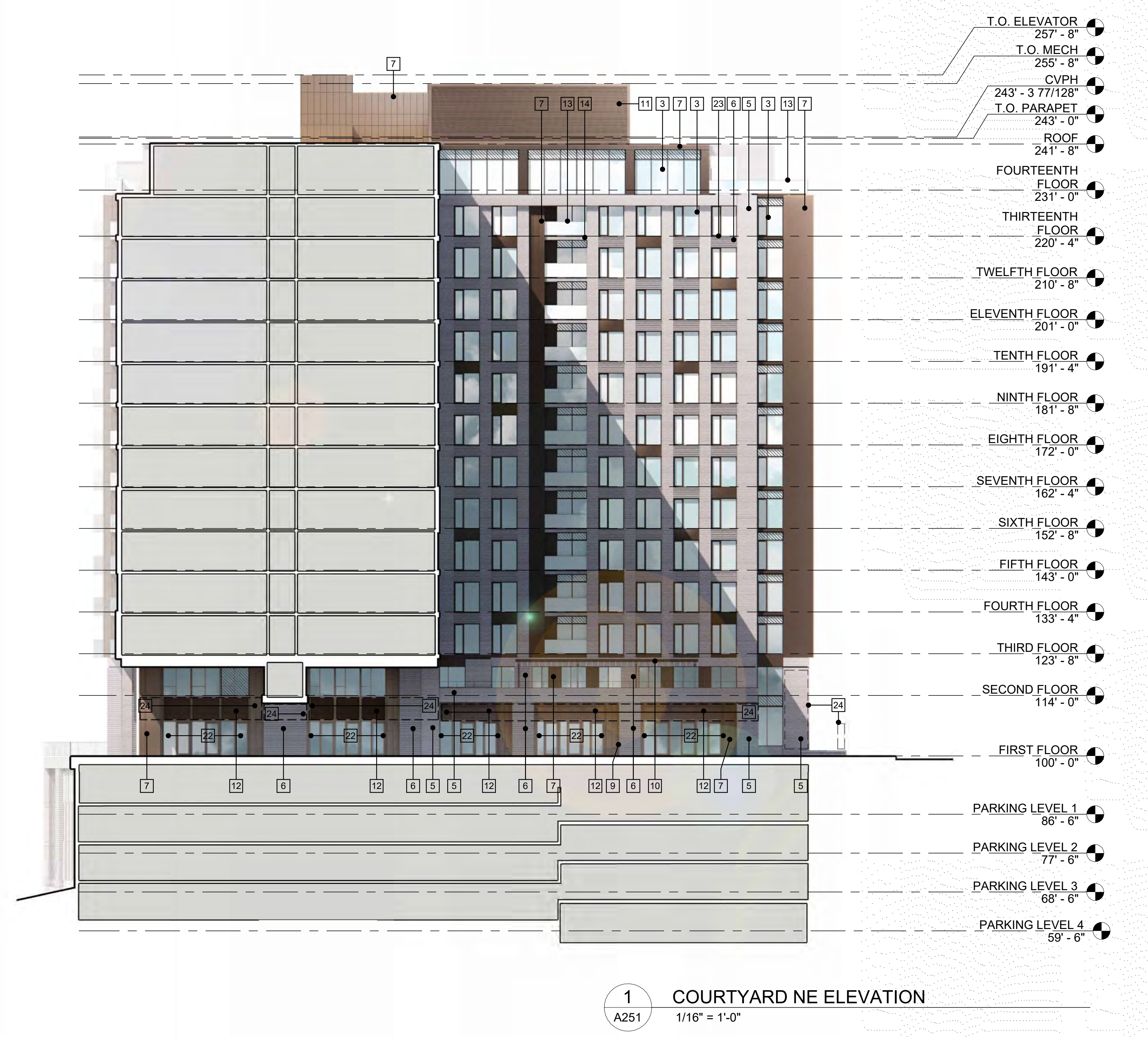
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**BUILDING
ELEVATIONS**

A251



2 COURTYARD - SW ELEVATION
A251 1/16" = 1'-0"



1 COURTYARD NE ELEVATION
A251 1/16" = 1'-0"

ELEVATION KEY NOTES

- 1 ALUMINUM STOREFRONT SYSTEM, ANODIZED MEDIUM BRONZE
- 2 ALUMINUM CURTAIN WALL SYSTEM, FULLY CAPTURED, 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT. UNITS, ANODIZED MEDIUM BRONZE
- 3 ALUMINUM WINDOW WALL SYSTEM, FULLY CAPTURED, 1" DEEP WINDOW MULLION CAPS W/ VENTS AT APT. UNITS, ANODIZED MEDIUM BRONZE
- 4 UNFINISHED SSG ALUMINUM WINDOW WALL SYSTEM, ZERO SIGHT LINE VENTS AT APT. UNITS
- 5 BRICK VENEER
- 6 BRICK VENEER, EVERY OTHER COURSE EXTENDS OUT FROM FACE OF WALL 3/4"
- 7 CONCEALED FASTENER FORMED METAL PANEL, ANODIZED MEDIUM BRONZE
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- 25 ENTRANCE CANOPY

ELEVATION KEY

- SPANDREL GLAZING

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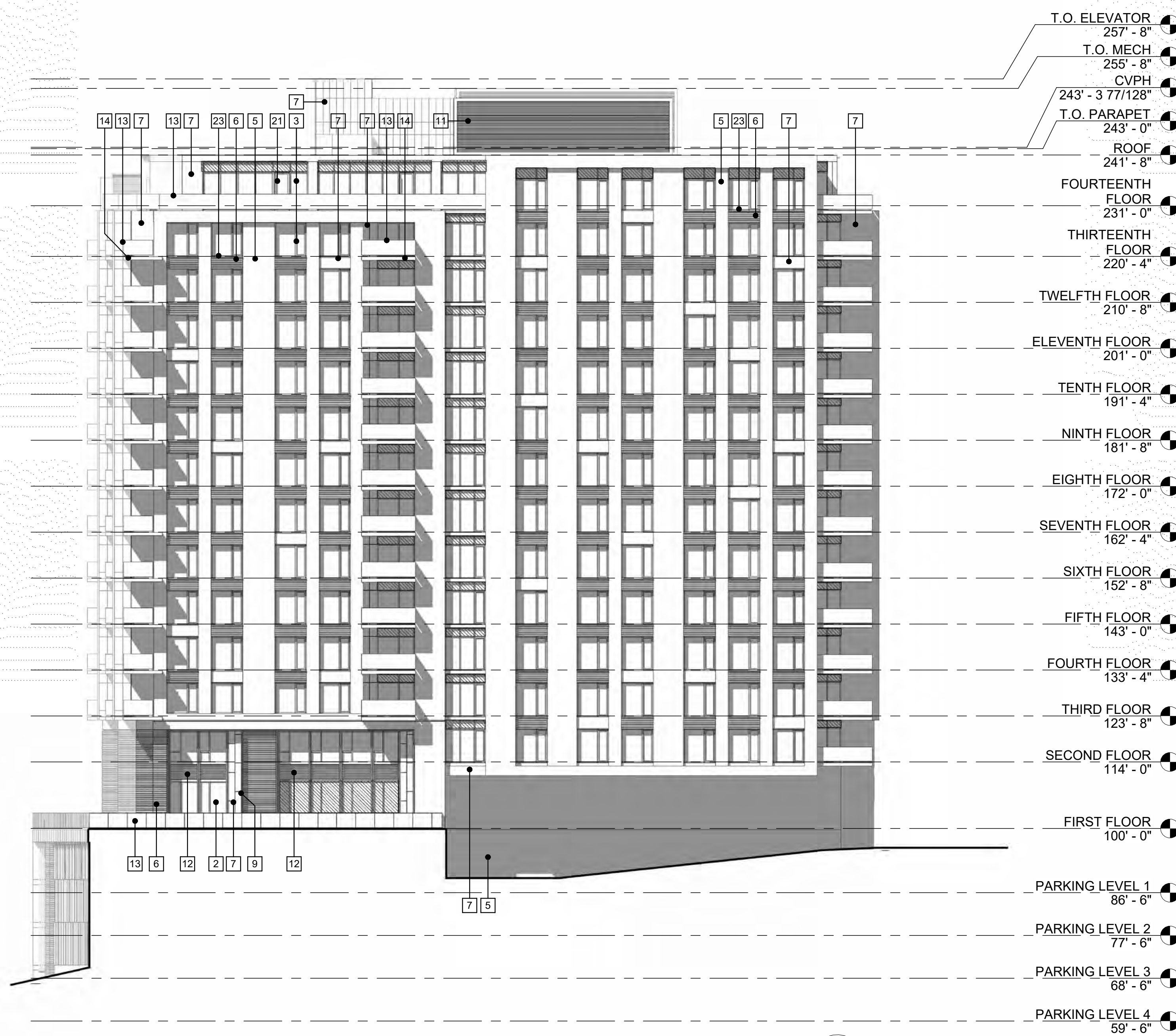
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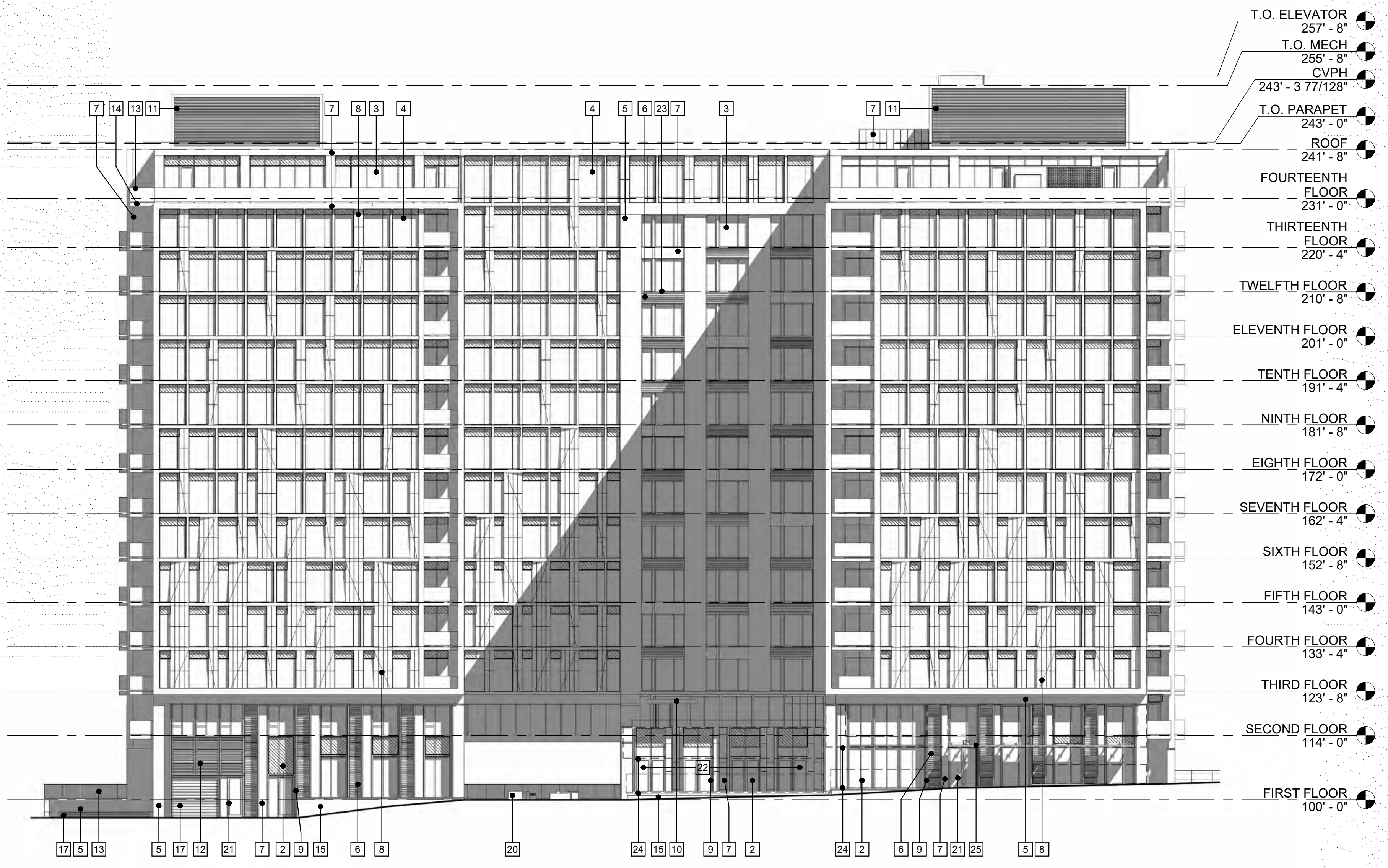
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**BUILDING
ELEVATIONS - BW**

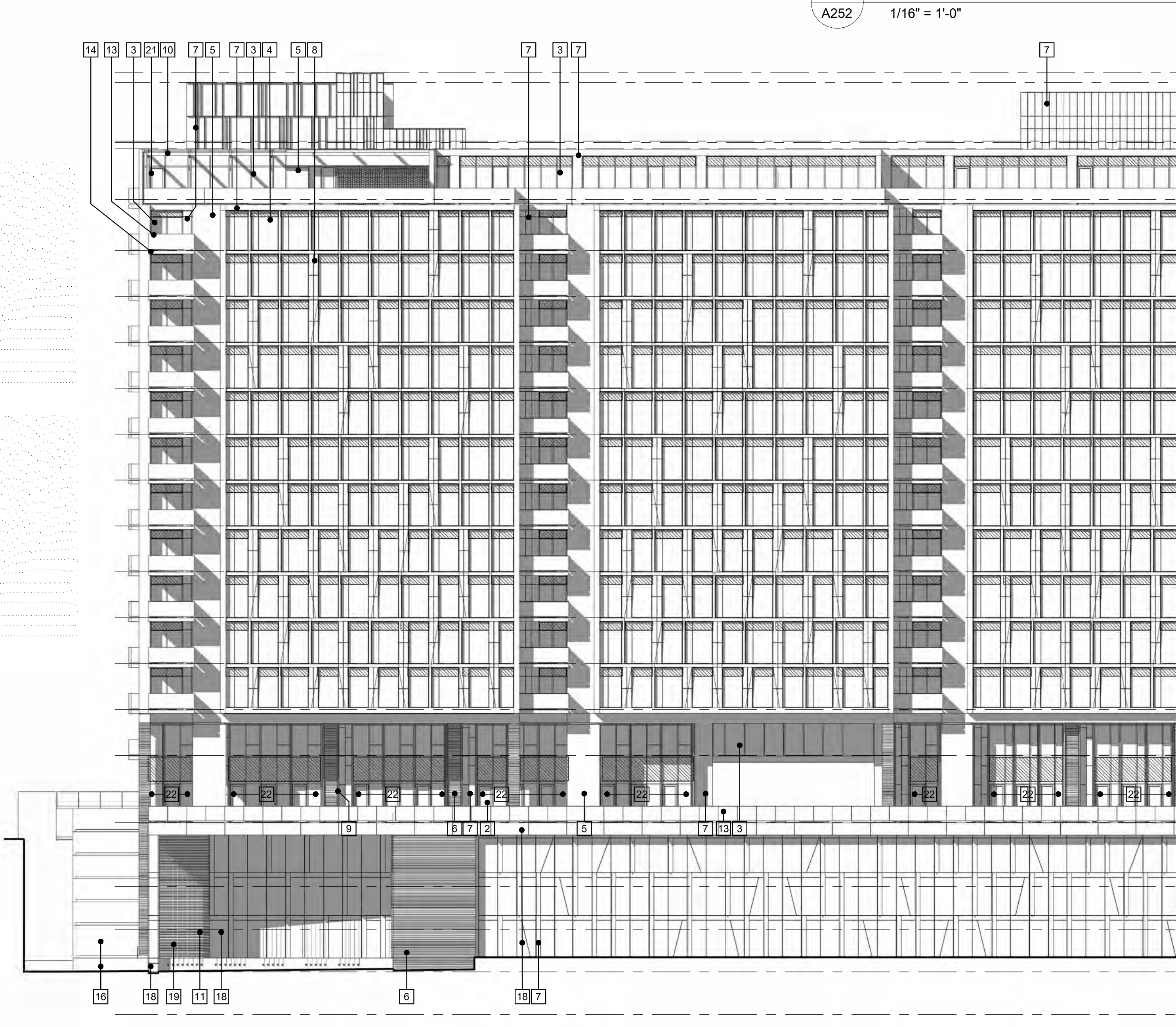
A252



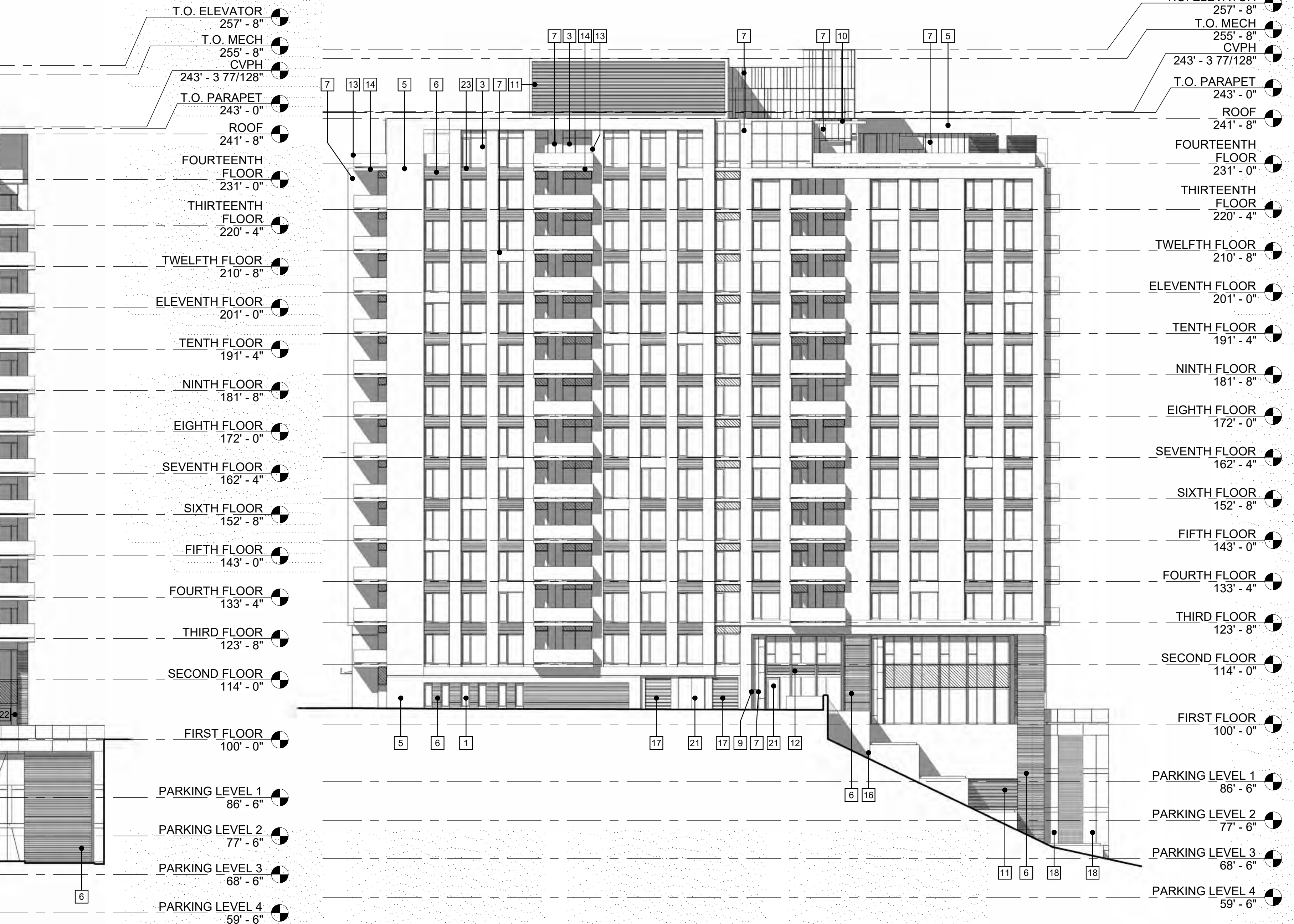
3 NE ELEVATION - BW
A252 1/16" = 1'-0"



1 NW ELEVATION - BW
A252 1/16" = 1'-0"



4 SE ELEVATION - BW
A252 1/16" = 1'-0"



2 SW ELEVATION - BW
A252 1/16" = 1'-0"

ELEVATION KEY NOTES

- 1 ALUMINUM STOREFRONT SYSTEM, ANODIZED MEDIUM BRONZE
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ELEVATION KEY

- SPANDREL GLAZING

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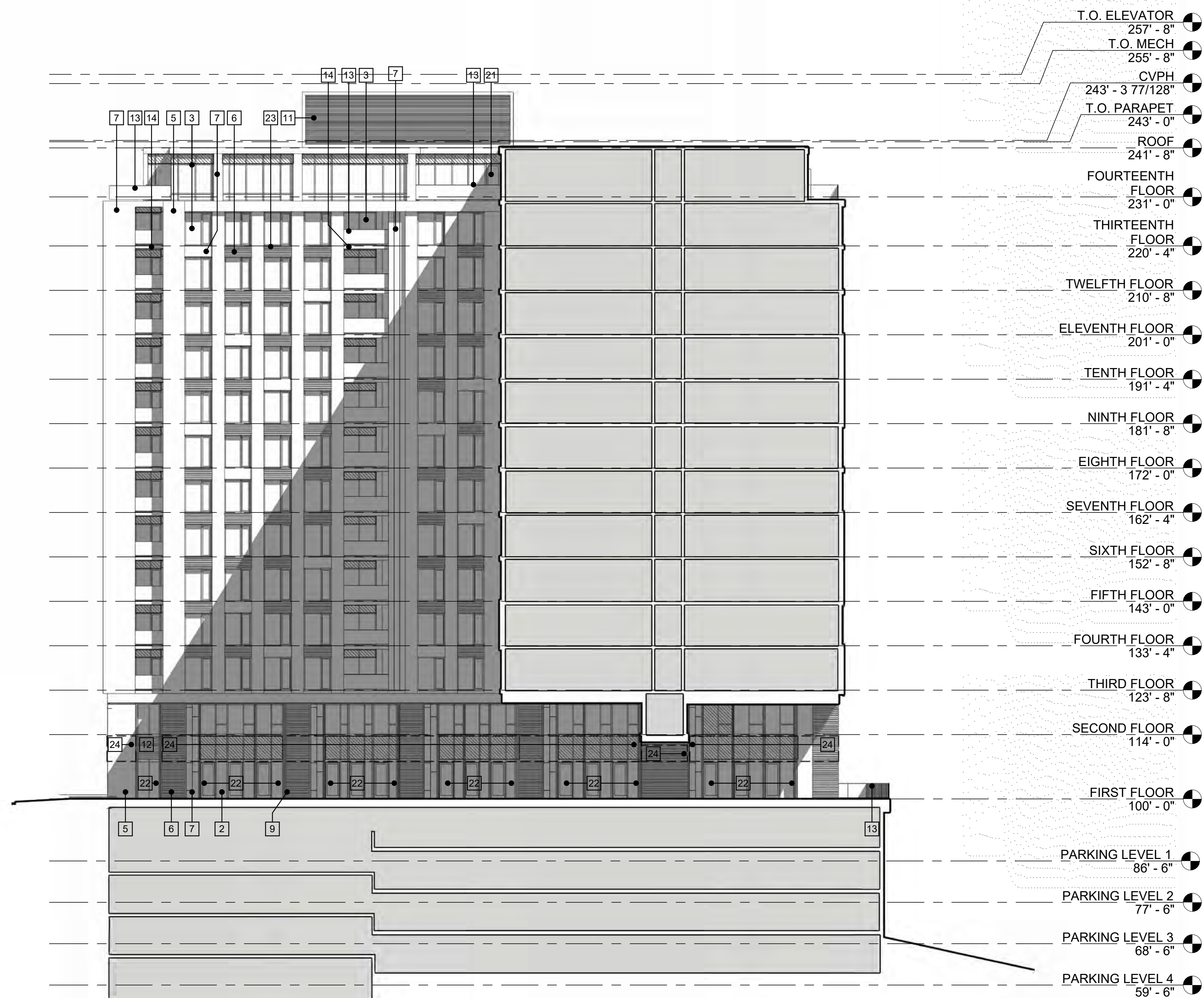
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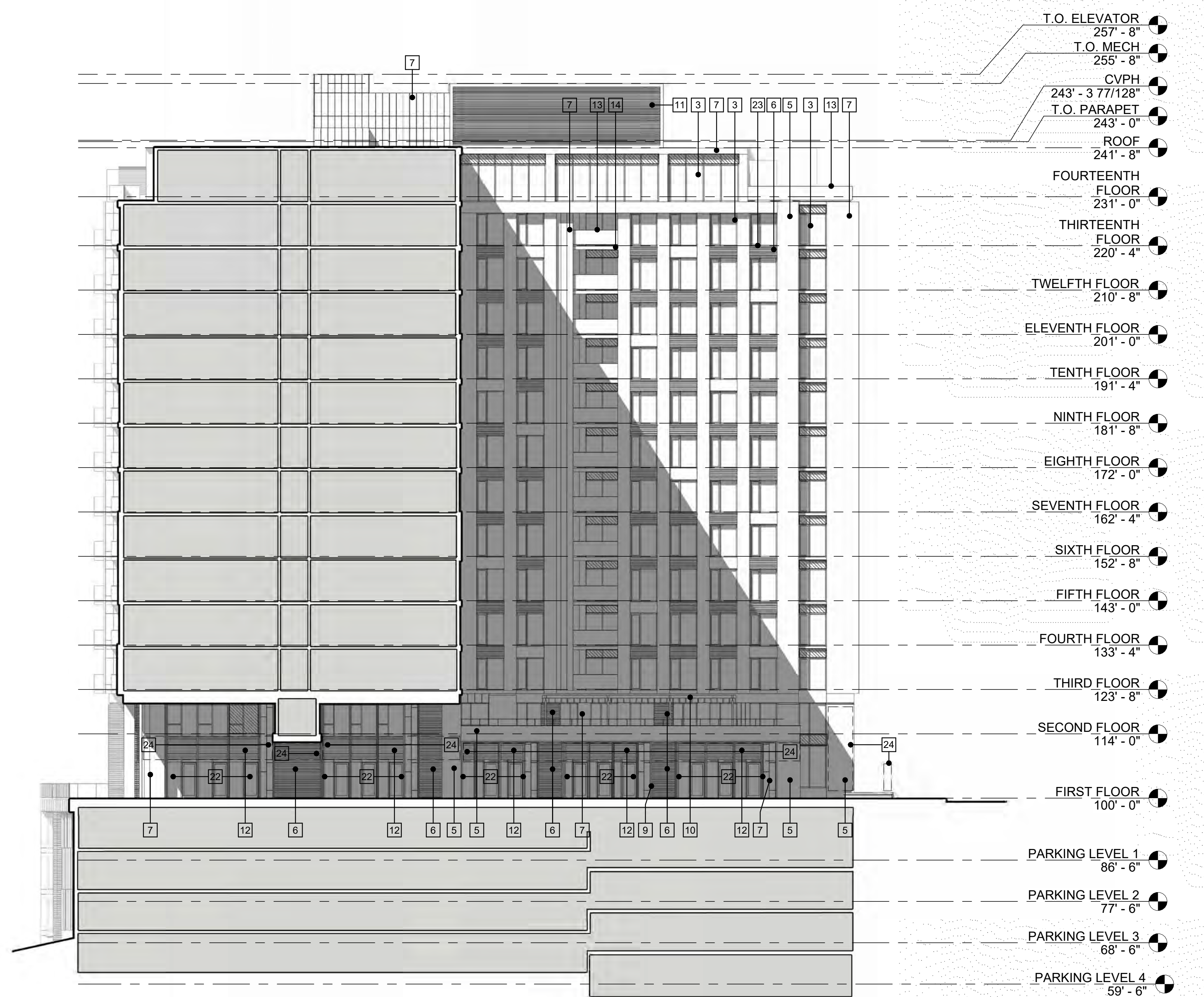
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**BUILDING
 ELEVATIONS - BW**

A253



2 COURTYARD - SW ELEVATION - BW
 A253 1/16" = 1'-0"



1 COURTYARD NE ELEVATION - BW
 A253 1/16" = 1'-0"

Notes:



NORTH PERSPECTIVE FROM PROMENADE



NORTH WEST PERSPECTIVE ALONG EAST WILSON STREET



EAST WILSON STREET - PERSPECTIVE - NIGHT



EAST WILSON STREET - PERSPECTIVE - DAY

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PERSPECTIVES

A254

Notes:

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PERSPECTIVES



SOUTH PERSPECTIVE OF TERRACE OVERLOOKING JOHN NOLAN DRIVE



NORTH EAST PERSPECTIVE FACING MARINA CONDOMINIUMS



SOUTHEAST PERSPECTIVE ALONG JOHN NOLAN DRIVE

1. Brick Veneer - Gray
2. Exposed Fastener Fiber Cement Panel
3. Exposed Fastener Fiber Cement Panel
4. Aluminum Window Mullion - Medium Bronze
5. Concealed Fastener Formed Metal Panel - Medium Bronze
6. Vision Glazing



Notes:

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**BUILDING
MATERIALS**

urban design commission and plan commission review

EXTERIOR LIGHTING

121 EAST WILSON STREET

Madison, Wisconsin

August 8, 2022



LIGHTING **ERGONOMICS**

100 Sunbridge Ln,
Buffalo Grove (Chicago), IL 60089.
Ph1: +1 312 994 2374,
mail@lightingergonomics.com



INDEX	LIGHTING LEGEND				
<p>LD100: COVER SHEET LIGHTING LD101: PARKING LEVEL 3 LIGHTING PLAN LD102: FIRST FLOOR LIGHTING PLAN LD103: SECOND FLOOR LIGHTING PLAN LD104: FORTTEENTH FLOOR LIGHTING PLAN LD105: BUILDING FAÇADE LIGHTING LD106: LIGHTING SCHEDULES</p>	<div data-bbox="2003 976 2507 1207"> <p>TYPE → [Symbol]</p> <p>CONTROL → [Symbol]</p> <p>POWER IN:</p> <ul style="list-style-type: none"> • HOLLOW CIRCLE - NORMAL POWER • SOLID CIRCLE - EMERGENCY POWER • LOCATION OF CIRCLE INDICATES SUGGESTED POWER ENTRY FEED TO THE LUMINAIRE <p>SUGGESTED SUSPENSION POINT</p> <p>CIRCUIT/SWITCH, OR LOW-VOLTAGE RELAY/ZONE DIMMING ZONE</p> </div> <div data-bbox="2003 1218 2507 1312"> <p>LUMINAIRE TYPE</p> <table border="1"> <thead> <tr> <th>TYPE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>L</td> <td>LUMINAIRE</td> </tr> </tbody> </table> </div> <div data-bbox="2003 1365 2507 1942"> <ul style="list-style-type: none"> [Symbol] RECESSED LINEAR LED PROFILE MOUNTING LOCATION: CEILING [Symbol] SUSPENDED LINEAR LED PROFILE MOUNTING LOCATION: CEILING [Symbol] SURFACE MOUNTED LINEAR LED PROFILE MOUNTING LOCATION: ARCHITECTURAL SOFFIT OR COVE UNDER CABINET [Symbol] WALL SURFACE MOUNTING LOCATION: WALL [Symbol] WALL RECESSED MOUNTING LOCATION: WALL [Symbol] PENDANT/SUSPENDED LUMINAIRE MOUNTING LOCATION: CEILING [Symbol] SURFACE MOUNTED DOWNLIGHT MOUNTING LOCATION: CEILING [Symbol] RECESSED DOWNLIGHT LUMINAIRE MOUNTING LOCATION: CEILING [Symbol] TRACK MOUNTING LOCATION: AS NOTED [Symbol] TRACK HEAD MOUNTING LOCATION: TRACK </div>	TYPE	DESCRIPTION	L	LUMINAIRE
TYPE	DESCRIPTION				
L	LUMINAIRE				
GENERAL NOTES					
<ol style="list-style-type: none"> ALL THE SHEETS IN THIS DESIGN DEVELOPMENT MANUAL, UNLESS OTHERWISE MENTIONED, TO BE PLOTTED TO 30" X 42" SHEET REFER TO LIGHTING LEGEND ON THE SIDE FOR THE FIXTURE SYMBOL & ABBREVIATION INFORMATION. REFER TO SHEET LD106 FOR LUMINAIRE SCHEDULE ALL DIMENSIONS ARE IN INCHES & FOOT UNLESS OTHERWISE SPECIFIED. ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED. DO NOT SCALE THE DRAWING. ALL THE REFERENCED HEIGHTS ARE FROM FINISHED FLOOR TO THE BOTTOM OF THE LUMINAIRE, UNLESS OTHERWISE NOTED. FOR ALL THE LINEAR LUMINAIRES, EXACT LENGTH TO BE DERIVED FROM THE ARCHITECTURAL CONDITIONS WITHIN WHICH THEY ARE INSTALLED. PROVISIONS FOR THE REMOTE DRIVER SHALL BE MADE IN THE NEAREST ACCESSIBLE LOCATION FOR EASY MAINTENANCE. DISTANCE OF THE DRIVER FROM THE LUMINAIRE SHALL BE MAINTAINED AS PER MANUFACTURER'S RECOMMENDATIONS RELEVANT SERVICES DRAWINGS ARE TO BE READ SIMULTANEOUSLY AND PROVISION OF CUTOUTS / SLEEVES TO BE PROVIDED AS REQUIRED. ALL MANUFACTURERS CONTAINED WITHIN THIS MANUAL ARE PRESENTED TO DEFINE DESIGN DIRECTION AND PERFORMANCE. ALL FINAL SELECTIONS OF MANUFACTURERS SHALL BE AS SPECIFIED OR EQUAL. 					
OTHER SYMBOLS					
<ul style="list-style-type: none"> [Symbol] NOTE DESIGNATION [Symbol] CONTROL NOTE 					

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COVER SHEET LIGHTING

LD100

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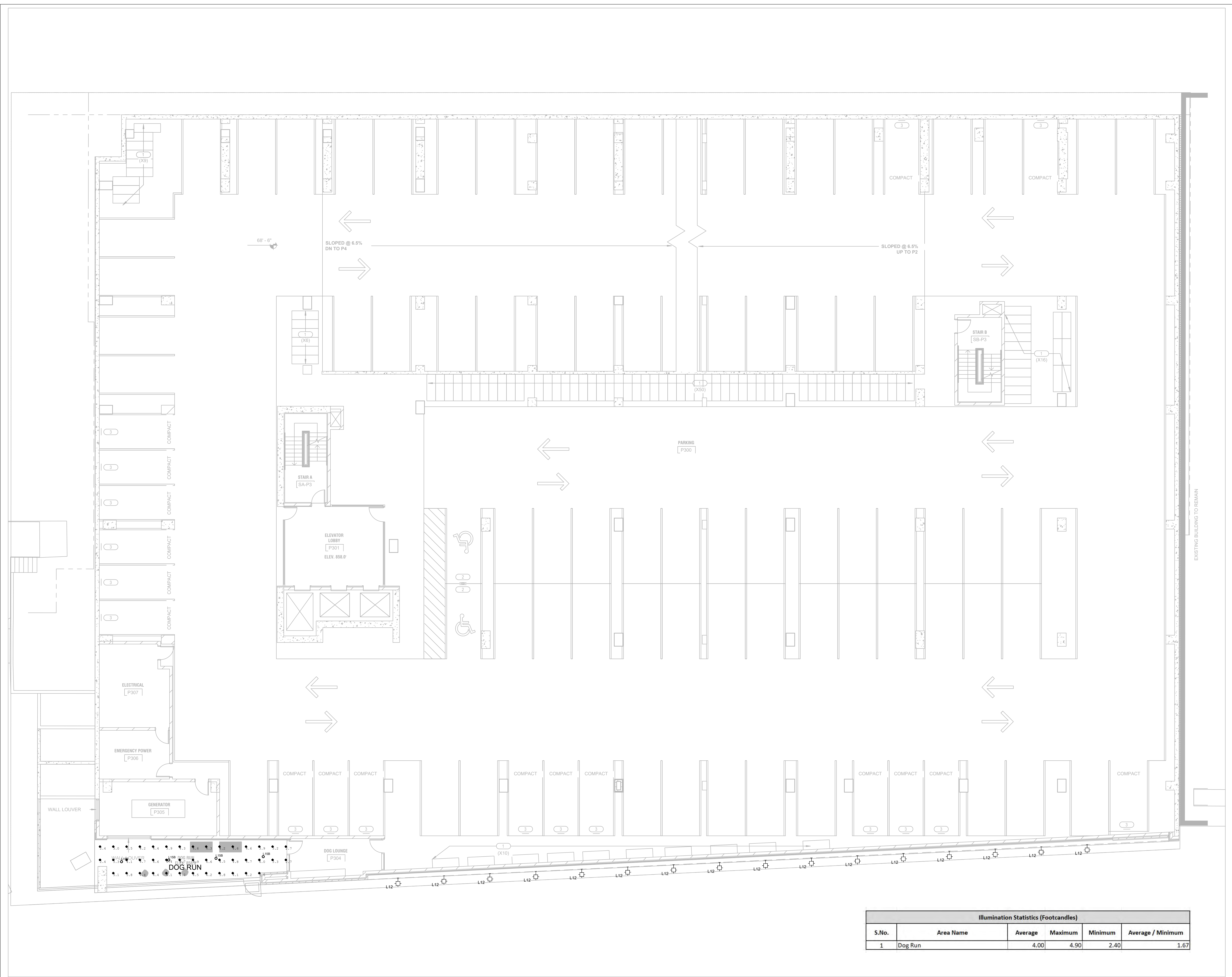
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**PARKING LEVEL 3
LIGHTING PLAN**

LD101



Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	Dog Run	4.00	4.90	2.40	1.67

01 PARKING LEVEL 3 LIGHTING PLAN
LD101 1/8" = 1'-0"

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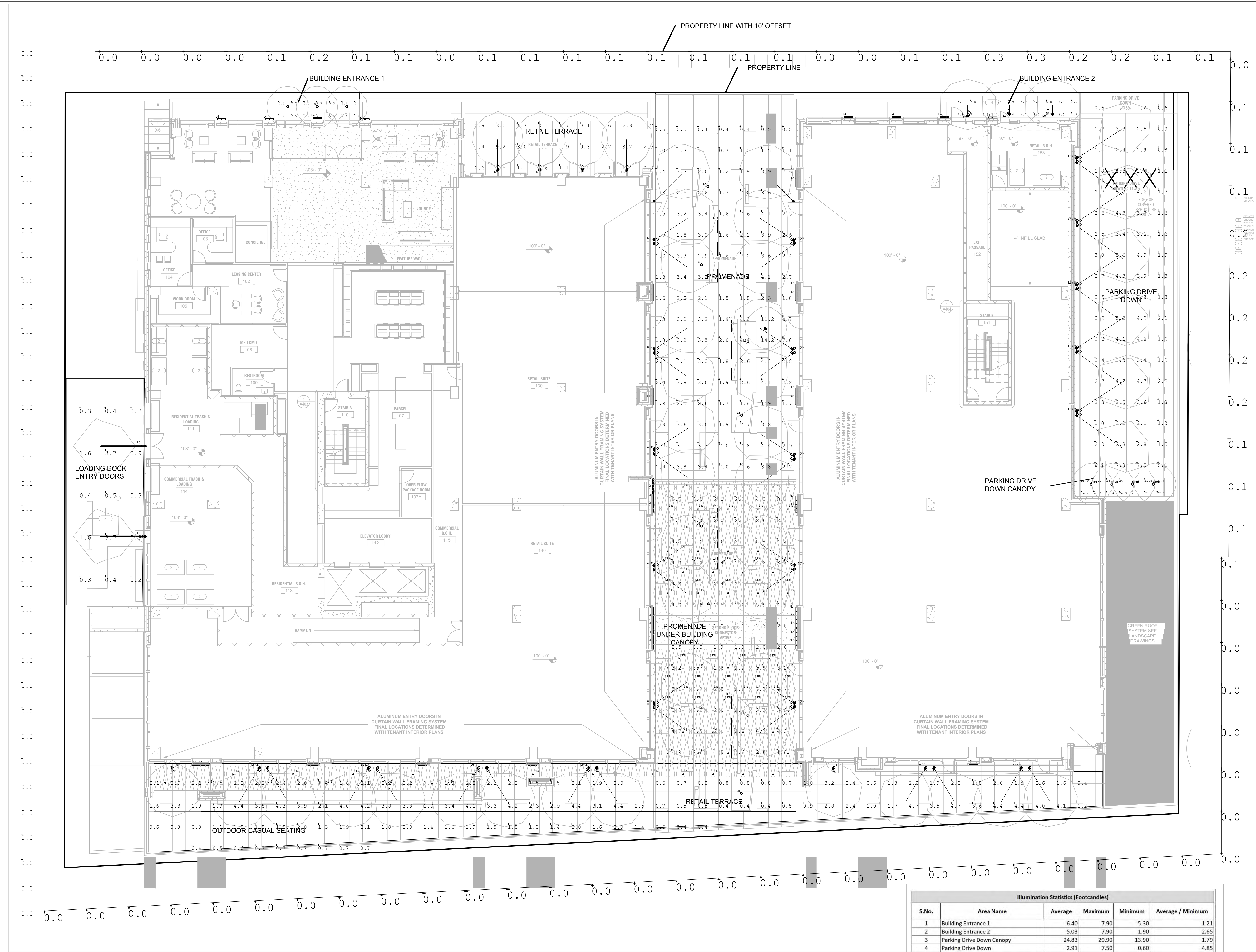
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**FIRST FLOOR
LIGHTING PLAN**

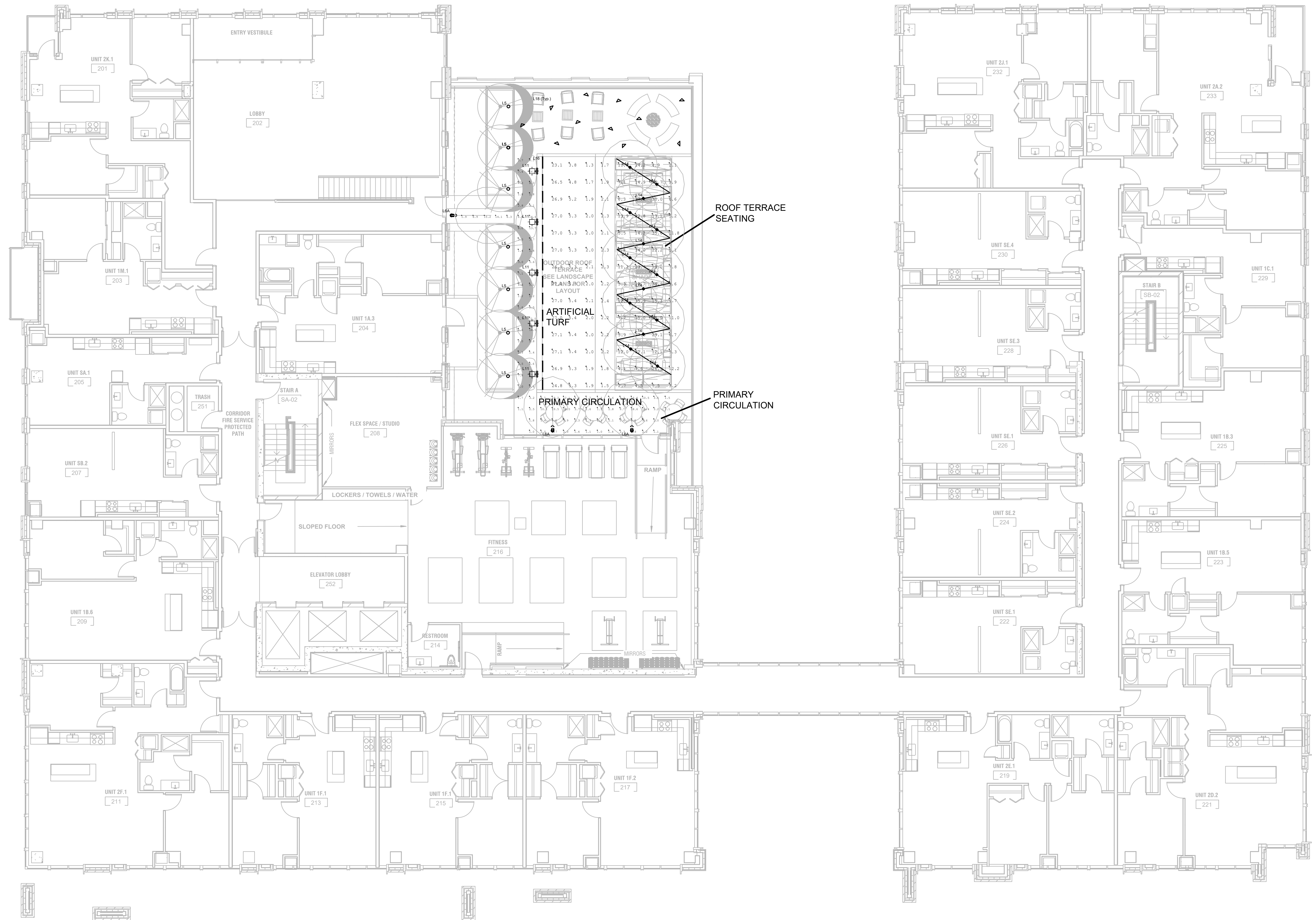
LD102



01 FIRST FLOOR LIGHTING PLAN
LD102 1/8" = 1'-0"

Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	Building Entrance 1	6.40	7.90	5.30	1.21
2	Building Entrance 2	5.03	7.90	1.90	2.65
3	Parking Drive Down Canopy	24.83	29.90	13.90	1.79
4	Parking Drive Down	2.91	7.50	0.60	4.85
5	Promenade	2.39	14.20	0.40	5.98
6	Promenade-Under Building Canopy	3.33	7.20	1.50	2.22
7	Property Line Trespass West, North and E	0.07	0.30	0.00	N.A.
8	Property Line Trespass J Nolan	0.00	0.00	0.00	N.A.
9	Retail Terrace	2.92	9.30	0.60	4.87
10	Seating Terrace	2.13	4.70	0.40	5.33
11	Loading Dock Entry Doors	1.03	3.70	0.20	2.77

Note:
Luminaire type L5 (Tree uplight) and L16 (Landscape Bench integrated light) is not included in the calculations



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Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	Artificial Turf	11.21	27.10	1.30	8.62
2	Primary Circulation	5.67	19.50	1.00	5.67
3	Roof Terrace Seating	12.31	35.90	1.50	8.21

01 SECOND FLOOR LIGHTING PLAN
LD103 1/8" = 1'-0"

**SECOND FLOOR
LIGHTING PLAN**

LD103

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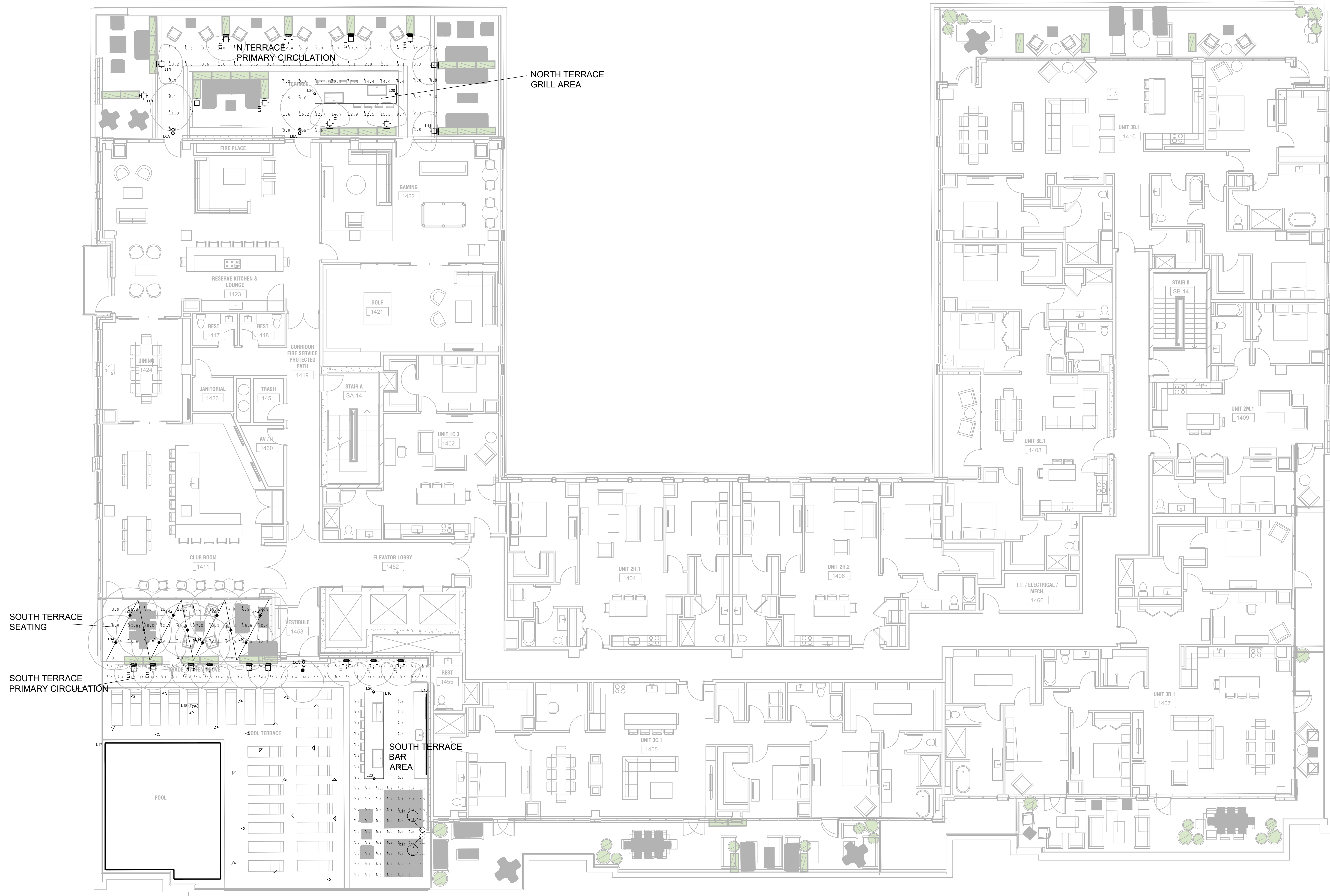
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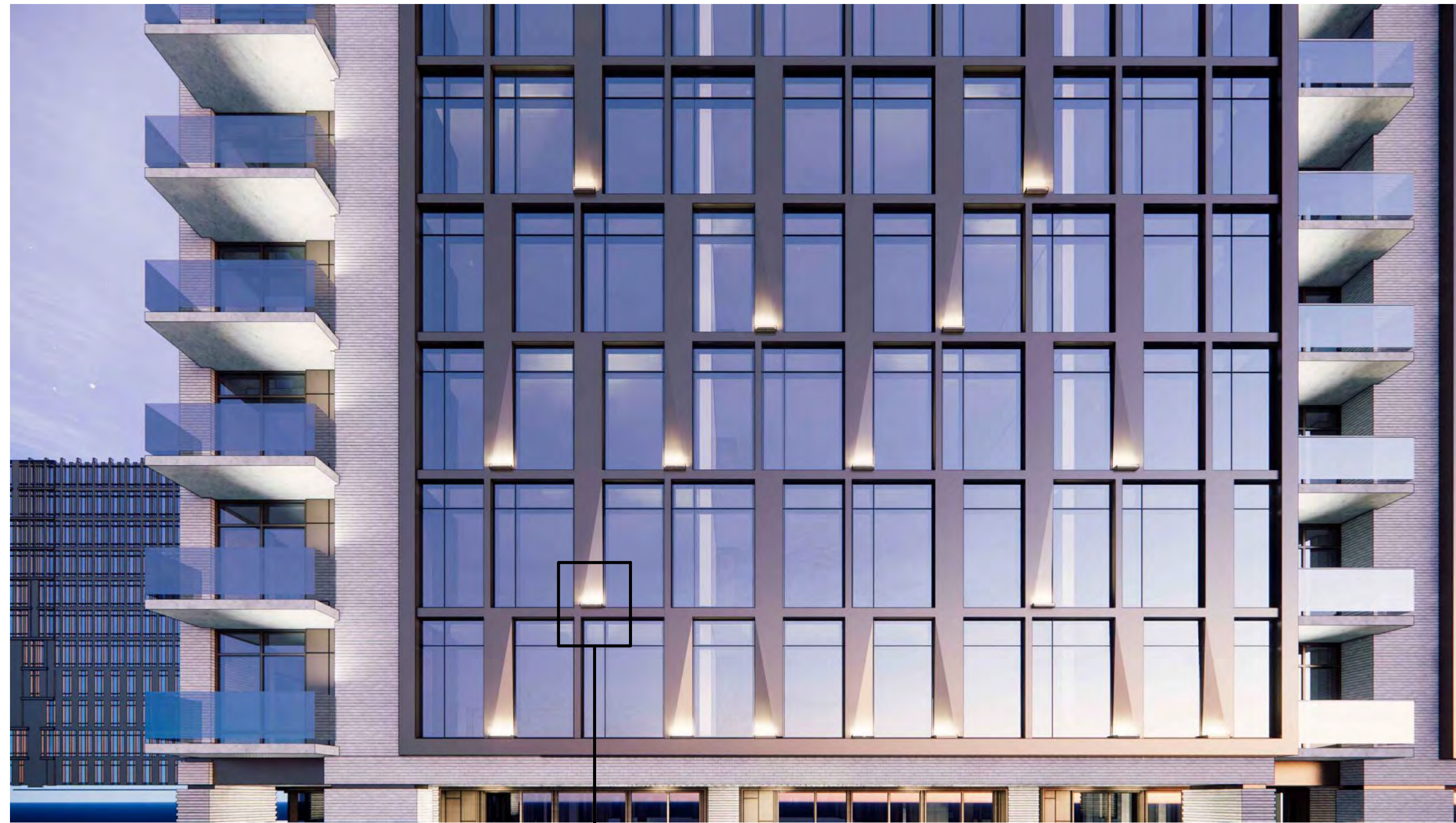
**FOURTEENTH FLOOR
LIGHTING LAYOUT**

LD104



Illumination Statistics (Footcandles)					
S.No.	Area Name	Average	Maximum	Minimum	Average / Minimum
1	N Terrace Primary Circulation	5.95	17.90	0.60	9.92
2	N Terrace Grill Area	20.41	37.00	1.60	12.76
3	S Terrace Primary Circulation	12.39	25.40	1.50	8.26
4	S Terrace Bar Area	5.56	25.40	1.50	8.26
5	S Terrace Seating	22.23	47.00	3.90	5.70

Note:
Luminaire type L7 (Pool light) and L20 (Bar Counter top task light) and L20 (Floor Lampshade) are not included in the calculations



L9
Conceptual Detail

Proposed for all of the bronze finished facade panels, to be lit from bottom of the panels. Lighting them from below, light trespass is of utmost concern, hence a detail has been provided to illustrate the solution.

Luminaire with angular light distribution. LED based design to housing for effective lighting of ramp. Luminaire installed at the bottom of the panel will create the desired effect, while fully complying to darksky fixture guidelines.

Note the shape of the folded panel, allowing space for a small lighting fixture to be mounted on the formed platform. Also note the front face plate, angular orientation of lens and luminaire's position within the confines of the facade plate - will redundantly help prevent light trespass into the sky.

L4
Grazer

10 deg beam grazer, with tight beam angle and glare shield accessory - confined close to the surface of the illuminating surface.

Proposed for all the textured brick wall at the First Floor on all sides of the building

L10
Individual Residential Unit
Patio lighting

Wall recessed mounted light fixture with asymmetric beam distribution.

Proposed for all the projecting balconies, to be lit from underside with indirect and soft diffused illumination.

As the luminaire is located deep inside the space, potential for any light trespass in to sky is greatly mitigated by the projecting balcony.

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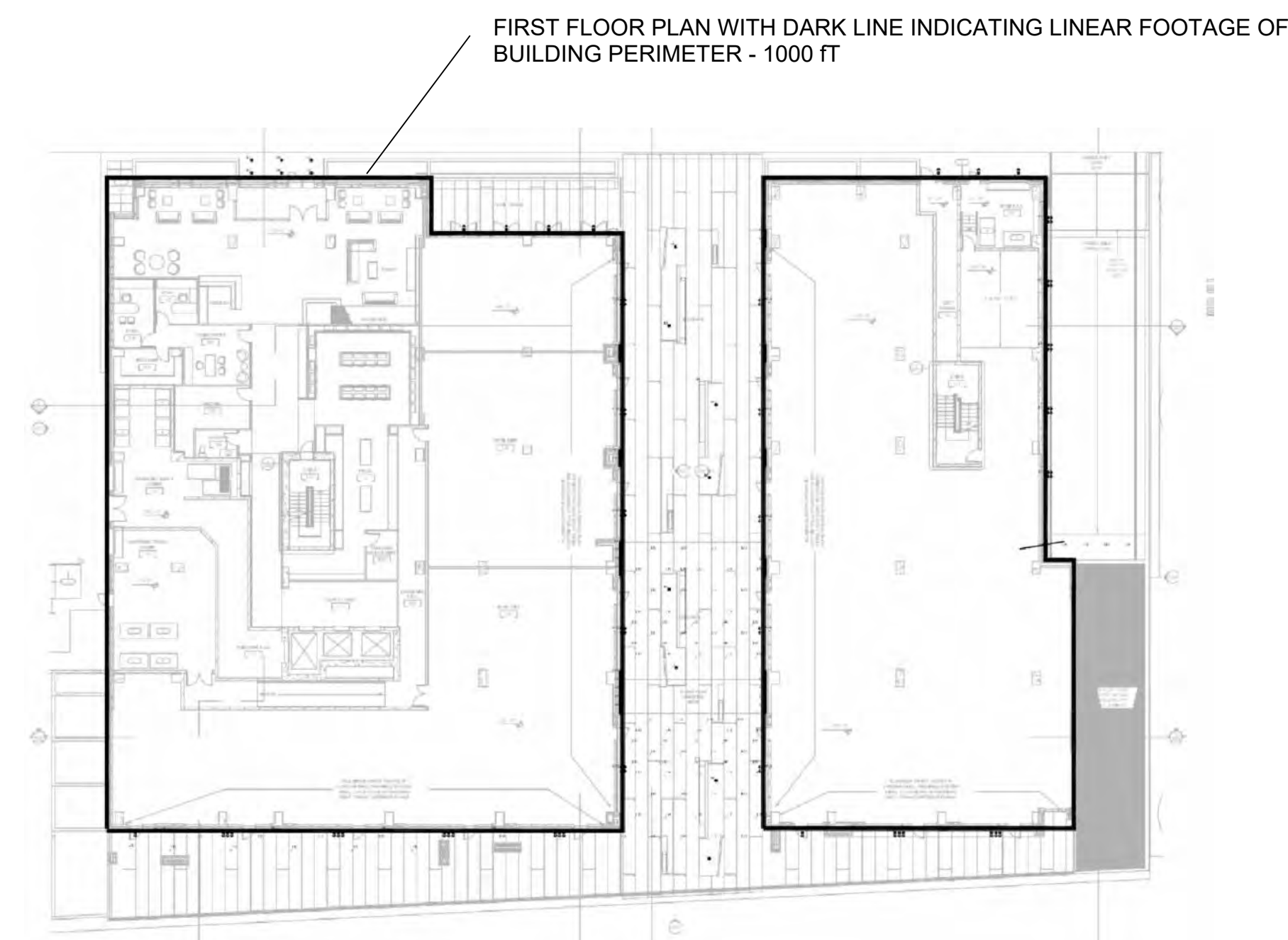
**BUILDING FACADE
LIGHTING**

LD105

LUMINAIRE SCHEDULE

Luminaire Reference	Image	Where Fixtures are Proposed to be Used	Generic Luminaire Description: [Physical] [Mounting] [Profile/Shape] & [Function]	Reference Product	Wattage	Lumens
L1	Not Used					
L2	Not Used					
L3	Not Used					
L4		Exterior Promenade Textured Column Accent	2.64"H x 2"W x 24"L Extruded Aluminum Surface Mounted Wet Location Grazing Downlight	Insight: Medley Exterior Remote (MER) Series	18 Watts	1566Lm
L5		Exterior Tree and Plant Life Uplight Accent	8-1/8" Diameter x 8-3/4" D Die-Cast Aluminum Housing with Stainless Steel Faceplate In-Grade Symmetric Uplight	BEGA: Series 77913	8.2 Watts	470Lm
L6		15 Degree Beam Pattern for Promenade Area Lighting	2.6" Square x 8.9"L Top of Mullion Surface Mounted Aimable Luminaires for Promenade Area Accent Lighting - All shielded with for Dark Sky Compliance with Honeycomb Glare Reducing Accessory	EcoSense: Rise Series F080 Single	11.5 Watts	744Lm
L6A		20 Degree Beam Spread for Seating Area Lighting	2.6" Square x 8.9"L Top of Mullion Surface Mounted Aimable Luminaires for Area Accent Lighting - All shielded for Dark Sky Compliance with Honeycomb Louver Accessory	EcoSense: Rise Series F080 Single	7.5 Watts	531Lm
L7		Elevated Terrace (Second Floor - if Shown) Circulation Spaces	7.8"W x 6.8"D x 39.3"H Extruded and Die Cast Aluminum Landscape Bollard (Where Shown)	Ligman: Prague 2 Medium Series	14 Watts	1660Lm
L8		Canopy frame integrated downlight	3" Diameter Surface Mounted Wet Location Downlight with Remote Driver	DesignPlan: EYE 80 Surface Version Series	5 Watts	400Lm
L9		Exterior Decorative Metal Panel Accent	3/4"W x 3/4"H x 24"L Extruded Aluminum Wet Location 45 Degree Channel with Remote Driver	FlexFireLEDs: Ultra Bright Accent Series	3.5W/Ft	267Lm/Ft
L10		Individual Residential Unit Balcony Uplighting	2.56"H x 12.20"L x 2.17"D Die Cast Aluminum Inverted Wall Light for Indirect Patio Ceiling Accent Light	DesignPlan: Step Linear 07 Series	10.5Watts	324Lm
L11		Flush Mounted Landscape Step Light	2.36" Square Truncated Pyramid Flush Mounted Landscape Step/Pathway Single Downlight	Design Plan: Beam 2.7 LED Wall Mount IP67 Series	2 Watts	70Lm
L12		Dog Run Back wall	1.28"D x 3.66W x 14"L & 24"L Linear Wall Scones Randomly Placed per Architect's Rendering	DesignPlan: Eclipse Linear 350 & 600 Series	14 Watts 24 Watts	584Lm 781 Lm
L13		Wilson Promenade Entrance Ceiling	5" Square x 2.52" Deep Recessed Ceiling Area Light within Decorative Ceiling System	Design Plan: QUBY IP54 Series	2 Watts	200Lm
L14		Catenary Suspended Accent Lighting	Low Voltage 1" Dia. x 7"L Cylinders for both Spot and Adjustable Models - with Remote Transformers	Bruck: Skyline Series with Zoom features on Both Spot and Downlight Fixtures	10 Watts	780Lm
L15 (A, B, C)		Various Locations Requiring Additional Downlighting	3.2", 4.9", 7.9" Diameter Recessed Downlights where indicated on Lighting Plans.	DesignPlan: EYE Recessed LED Downlight Series	5 Watts 12Watts 20 Watts	400Lm 950Lm 1400Lm
L16		Bench Integrated Linear Encapsulated LED Channel	0.7" x 0.7" Channel with Encapsulated LED Neon Strip in Lengths indicated on Lighting Plans	PureEdge: Channel Neon Series	5 Watts/Ft.	212 Lm/Ft.
L17		Pool Partial Perimeter Outline with Submersible Neon Strip	0.7" x 0.7" Channel with Encapsulated LED Neon Strip in Lengths indicated on Lighting Plans	PureEdge: Channel Neon Series	5 Watts/Ft.	212 Lm/Ft.
L18		Geometric Luminous Shapes Recessed into Grade Substance	Triangular IP67 Rated LED Luminous Grade Recessed Forms in Patterns Designed by Architect and Landscape Architect	DesignPlan: MIN/MAX Triangolo In-Grade Series	9.6 - 16 Watts Pattern Dependent	79 - 1328Lm Pattern Dependent
L19		OPTIONAL Pergola Downlight for Seating Area	Optional Luminaire System to the Type L14 Catenary System	PureEdge: Catenary Saber Neon Series	4.4 Watts/Ft.	312Lm/Ft.
L20		Surface Mounted Light on Grill Counter Top	4 7/8"W x 21"H x 1" Square Depth Surface Counter Mounted Area Light	Rejuvenation: Boyleston LED Path Light Series	2 Watts	125Lm
L20 Alternate		Surface Mounted Light on Grill Counter Top	4"W x 5.7"D x 19.6"H with 2" x 4" Footprint on Counter Top - Dimmable Task Light	Ligman: Prague 1 Small Series	8 Watts	855Lm
L21		Floor Mounted Exterior Rated Arc Light	67"W x 67.25"H x 18"D Fixture with 18.11"W x 11.4"H Shade Wet Location Rated Varnished Fiberglass Arc Floor Lamp with Varnished Fiber Shade	Foscarini: Twiggy Grid Outdoor Floor Lamps Series	31 Watts	1600Lm

CONNECTED LIGHTING LOAD FOR ILLUMINATING BUILDINGS AND STRUCTURE



LOAD CALCULATION SCHEDULE

LPD Calculations for the Building Facade Lighting

Luminaire Type	Location used on the project	Wattage	Quantity	Total Wattage
L4	First Floor Textured Stone Walls	18W	39	702W
L6	Terraces, Entrance, Promenade, Outdoor Seating & Parking Entrance	11.5W	29	333.5W
L8	Building Entrance	5W	3	15W
L9	Facade Panel Warm Uplight Accent	7W	133	931W
L10	Residence Balconies	10.5W	110	1155W
L12	Random Array of Accent Wall Fixtures at Lakeside	19W (Ave)	19 (Est) Not to Exceed	361W
L13	Retail Entrance Canopy, Under Building Canopy, Casual Seating Canopy	2W	92	184W
L15B	Parking Ramp Entrance	L15B = 12W	4	48W
Project Total				3729.5W

PRELIMINARY
NOT FOR CONSTRUCTION

121 E. Wilson Street
Quad Capital Partners

Madison, WI

2021.27.00

Date Issuance/Revisions Symbol
08/08/2022 LAND USE & UDC APPLICATION

LIGHTING SCHEDULES

LD106