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REVISIONS	DATE

CLIENT  
**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

MADISON, WI

DRAWN BY  
KJOHNSON  
CHECKED BY  
RJOHNSON  
DATE  
03.02.2026  
JOB NUMBER  
24-102  
VOLUME / BID SET

SHEET NAME  
**EXISTING CONDITIONS/  
DEMOLITION PLAN**

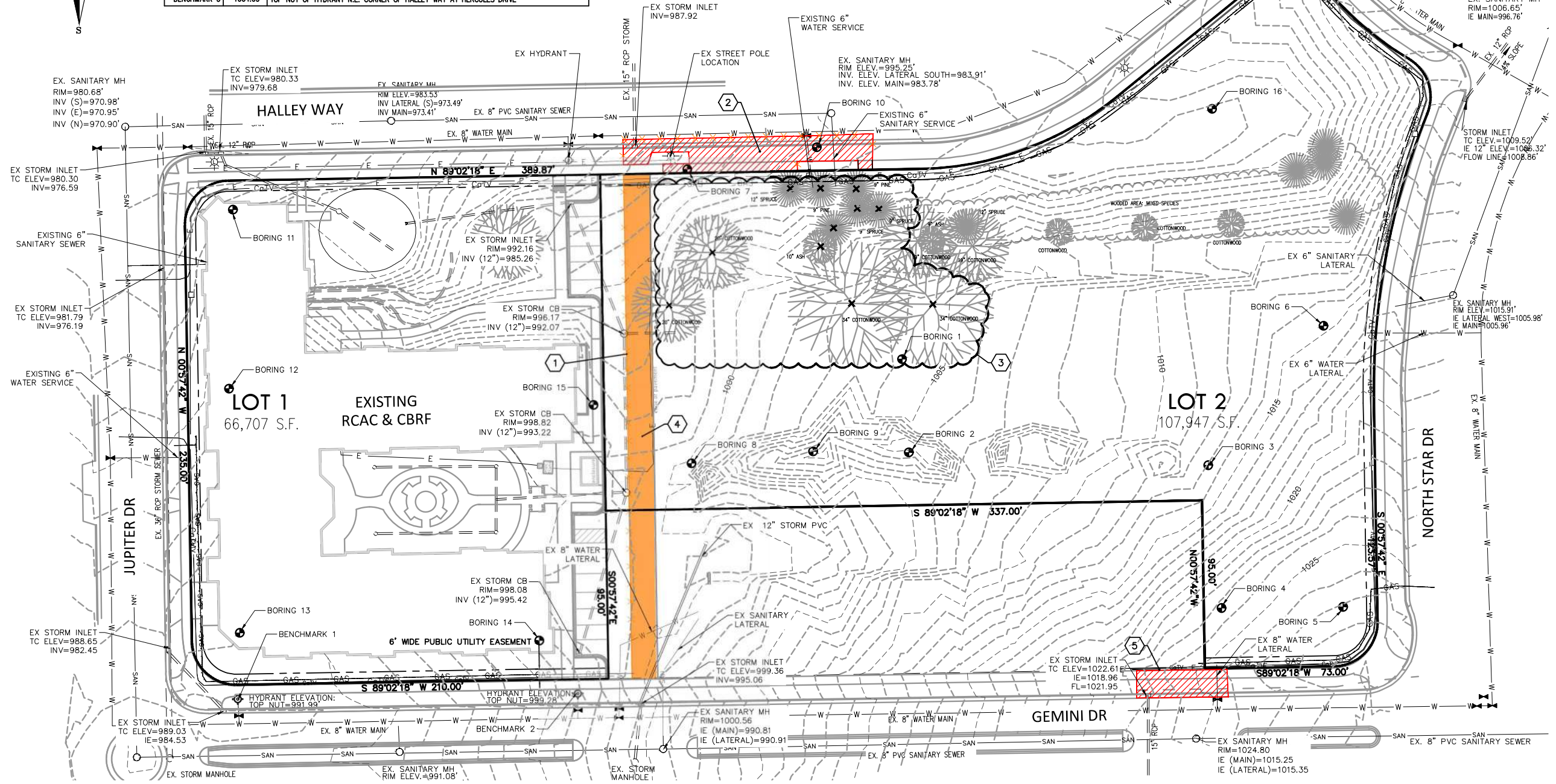
SHEET NUMBER

**C100**



BENCHMARKS		
No.	ELEVATION	LOCATION
BENCHMARK 1	991.99'	TOP NUT OF HYDRANT, N.W. CORNER OF GEMINI DRIVE AT JUPITER DRIVE
BENCHMARK 2	999.28'	TOP NUT OF HYDRANT, NORTH SIDE OF GEMINI DRIVE, 230' EAST OF JUPITER DRIVE
BENCHMARK 3	1004.69'	TOP NUT OF HYDRANT N.E. CORNER OF HALLEY WAY AT HERCULES DRIVE

**NOTE:**  
RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



**LEGEND**

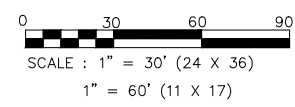
— W — W —	WATER	☼	LIGHT POLE
— G — G —	GAS UNDERGROUND	▶	WATER GATE VALVE OR GAS VALVE BOX
— S — S —	STORM SEWER	⊙	MANHOLE
— SAN —	SANITARY SEWER	⊙	HYDRANT
— T — T —	TELEPHONE UNDERGROUND		
— E — E —	ELECTRIC UNDERGROUND		
— CoTV —	CABLE TV		

**PLAN KEY**

- ① SAW CUT EX ASPHALT DRIVEWAY
- ② REMOVE AND REPLACE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALK & PART OF DRIVEWAY APRON
- ③ REMOVE TREES — CLEAR AND GRUB
- ④ REMOVE EXISTING PAVEMENT
- ⑤ SAWCUT EXISTING CURB FOR NEW DRIVEWAY APRON, REMOVE SIDEWALK & REPLACE STORM CASTING

**DEMOLITION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE PRIOR TO START OF DEMOLITION.
2. CONTRACTOR TO DISPOSE OF ALL MATERIALS OFF SITE, UNLESS DIRECTED OTHERWISE.
3. ALL MATERIALS, UTILITIES, AND PAVEMENT DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL PROTECT ALL EXISTING PUBLIC AND PRIVATE FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, PAVING, ETC.) THAT IS TO REMAIN.
5. REMOVAL OF AN ASPHALTIC SURFACE, WHERE AN ABUTTING ASPHALTIC SURFACE IS TO REMAIN IN PLACE, SHALL REQUIRE SAW CUTTING AN EDGE.

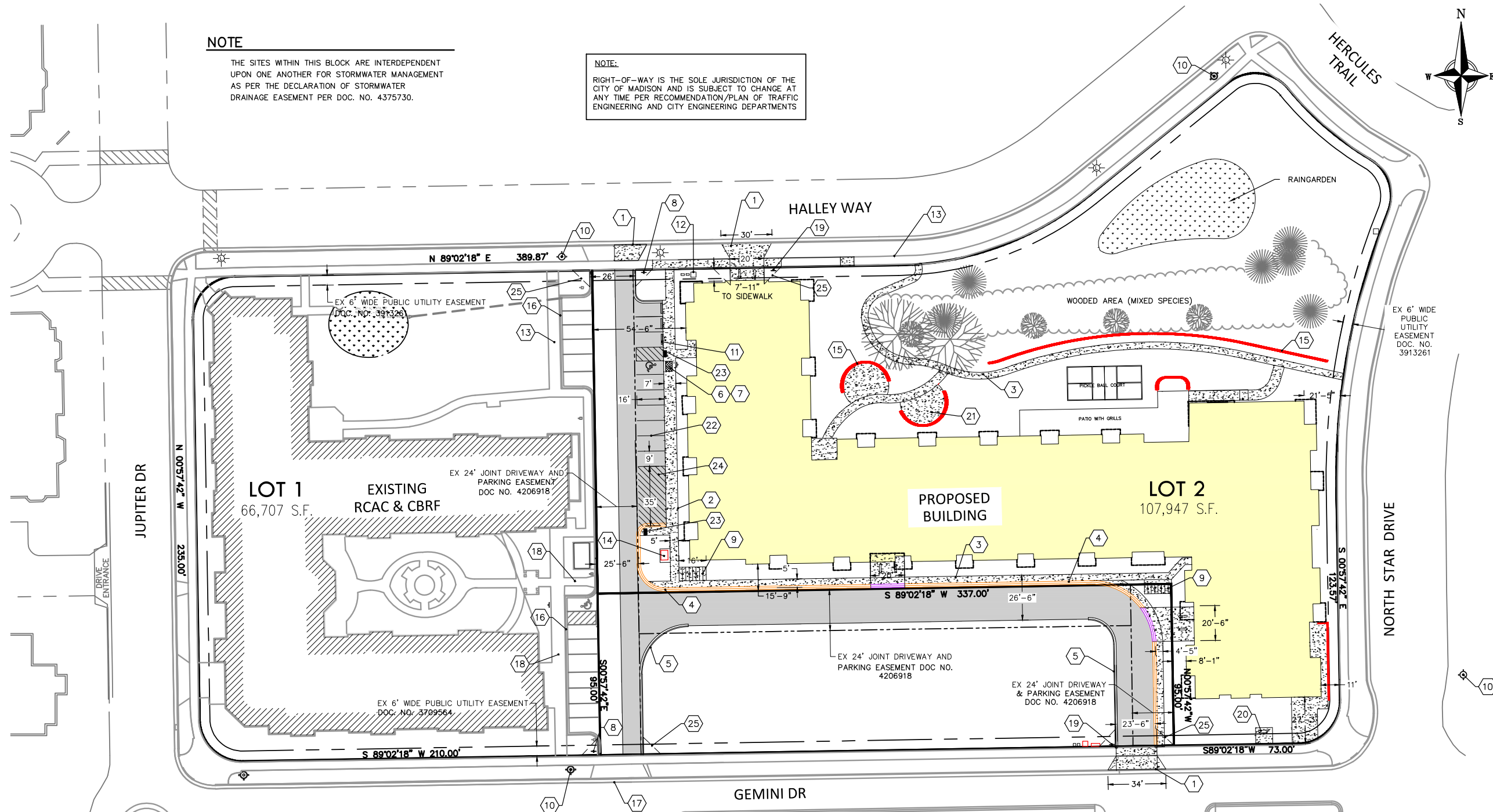


**NOTE**

THE SITES WITHIN THIS BLOCK ARE INTERDEPENDENT UPON ONE ANOTHER FOR STORMWATER MANAGEMENT AS PER THE DECLARATION OF STORMWATER DRAINAGE EASEMENT PER DOC. NO. 4375730.

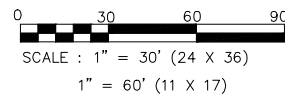
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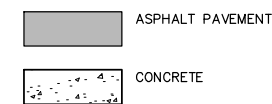


**PLAN KEY**

- |  |  |   |
|--|--|---|
| 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH M.G.O. 10.08 (F). CONTRACTOR TO OBTAIN PERMIT FROM CITY TO WORK IN THE RIGHT-OF-WAY | 9 BIKE RACK TO BE DERO PART# BH-FE-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH | 18 ACCESS TO EX. PUBLIC SIDEWALK  |
| 2 THICKENED EDGE SIDEWALK  | 10 EX HYDRANT  | 19 7' HIGH STOP SIGN  |
| 3 SIDEWALK   | 11 PRECAST CURB STOP, TYP.   | 20 BENCH, BY OWNER  |
| 4 24" MOUNTABLE CURB   | 12 EX UTILITY PEDESTALS  | 21 OUTDOOR PATIO, TYP.  |
| 5 18" CURB & GUTTER  | 13 EX SIDEWALK   | 22 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP. |
| 6 VAN ACCESSIBLE STALL, TYP.   | 14 TRANSFORMER PAD   | 23 ACCESSIBLE CURB RAMP W/ DETECTABLE WARNING STRIP                       |
| 7 VAN ACCESSIBLE PARKING SIGN, TYP.  | 15 RETAINING WALL, TYP.  | 24 LOADING ZONE - PAVEMENT STRIPING                                       |
| 8 EX 7' HIGH STOP SIGN   | 16 EX CURB AND GUTTER  | 25 VISION TRIANGLE, TYP.  |
|  | 17 EX DRIVEWAY APRON   |   |



**PAVEMENT KEY**



**SITE INFORMATION**

SITE ADDRESS: 5817 HALLEY WAY  
 LEGAL DESCRIPTION: LOT 2 OF CERTIFIED SURVEY MAP NO. 12324 AS RECORDED IN VOL. 76, PG 226, OF C.S.M.'S AS DOC. NO. 4377275, IN THE SE 1/4 AND THE SW 1/4 OF THE NW 1/4 OF SECTION 11, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN  
 SITE ACREAGE TOTAL: 107,947 SF (2.48 ACRES)  
 NUMBER OF BUILDING STORIES = 4  
 BUILDING HEIGHT = 56'-3"  
 BUILDING AREA = 208,856 SF (41,582 SF FOOTPRINT)  
 TYPE OF CONSTRUCTION: VA  
 NUMBER OF EXTERIOR PARKING STALLS: 10 (1 HC)  
 NUMBER OF UNDERGROUND PARKING STALLS: 117 (7 HC)

TOTAL NUMBER OF PARKING STALLS: 127 (8 HC)  
 101 INTERIOR  
 16 EXTERIOR  
 EXISTING IMPERVIOUS AREA = 5,330 SF  
 PROPOSED IMPERVIOUS AREA = 58,914 SF  
 IMPERVIOUS SURFACE % = 54.6%

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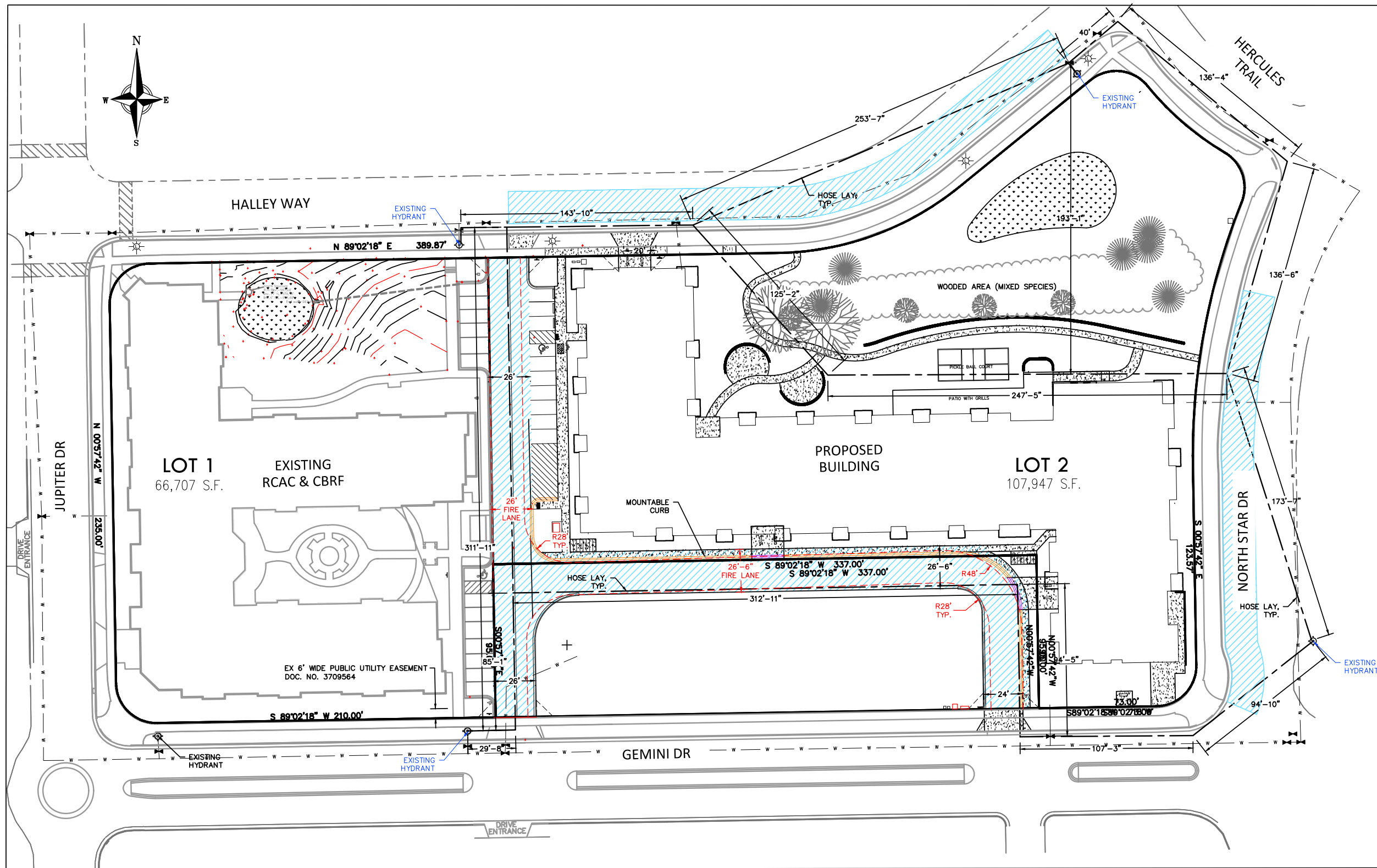
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VOLUME / BID SET

SHEET NAME  
**FIRE ACCESS PLAN**

SHEET NUMBER

**C201**



**KEY**



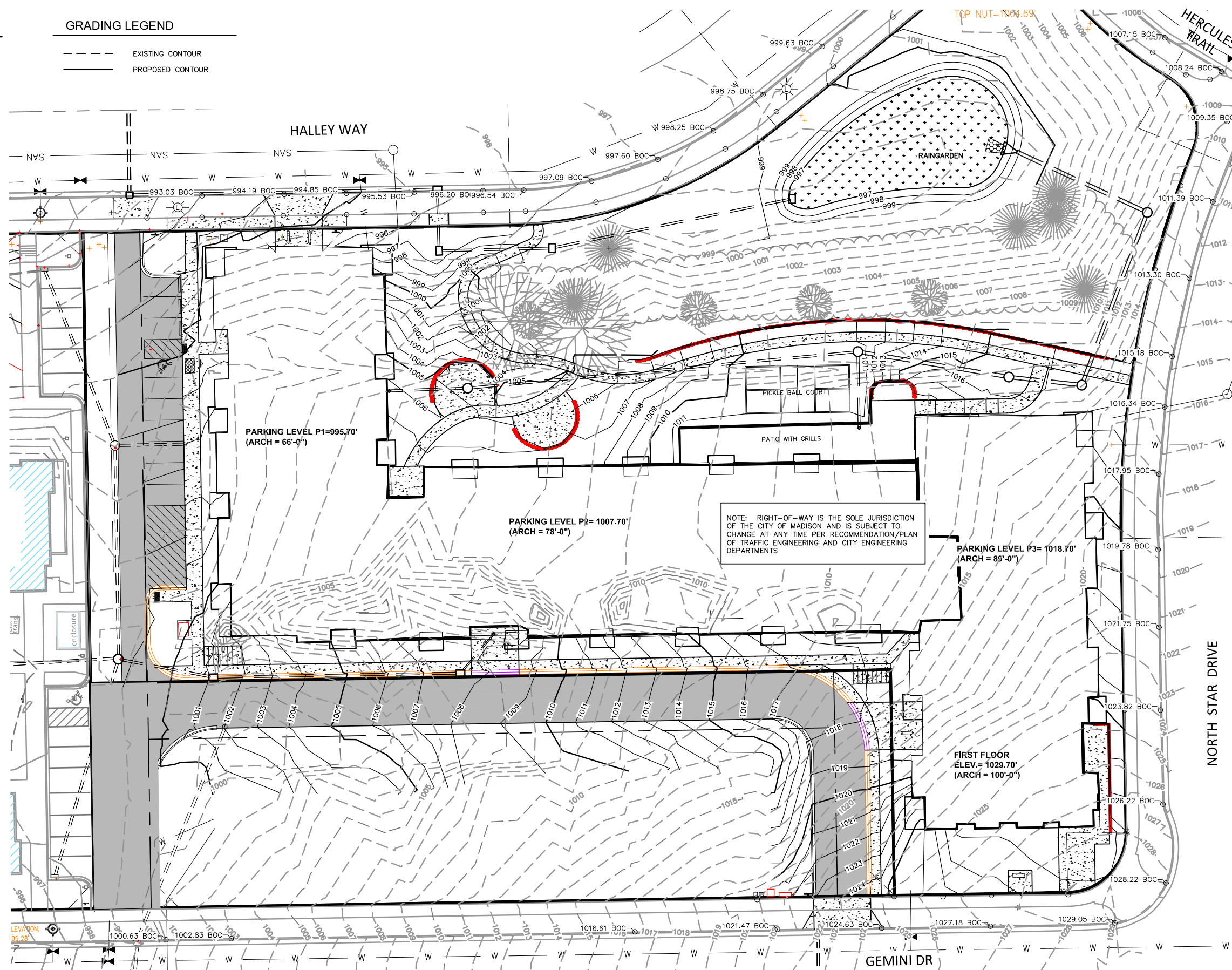
SCALE : 1" = 30' (24 X 36)  
 1" = 60' (11 X 17)

**GRADING NOTES**

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.

**GRADING LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR



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0 20 40  
SCALE: 1" = 20' (24 X 36)  
1" = 40' (11 X 17)

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CLIENT  
**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

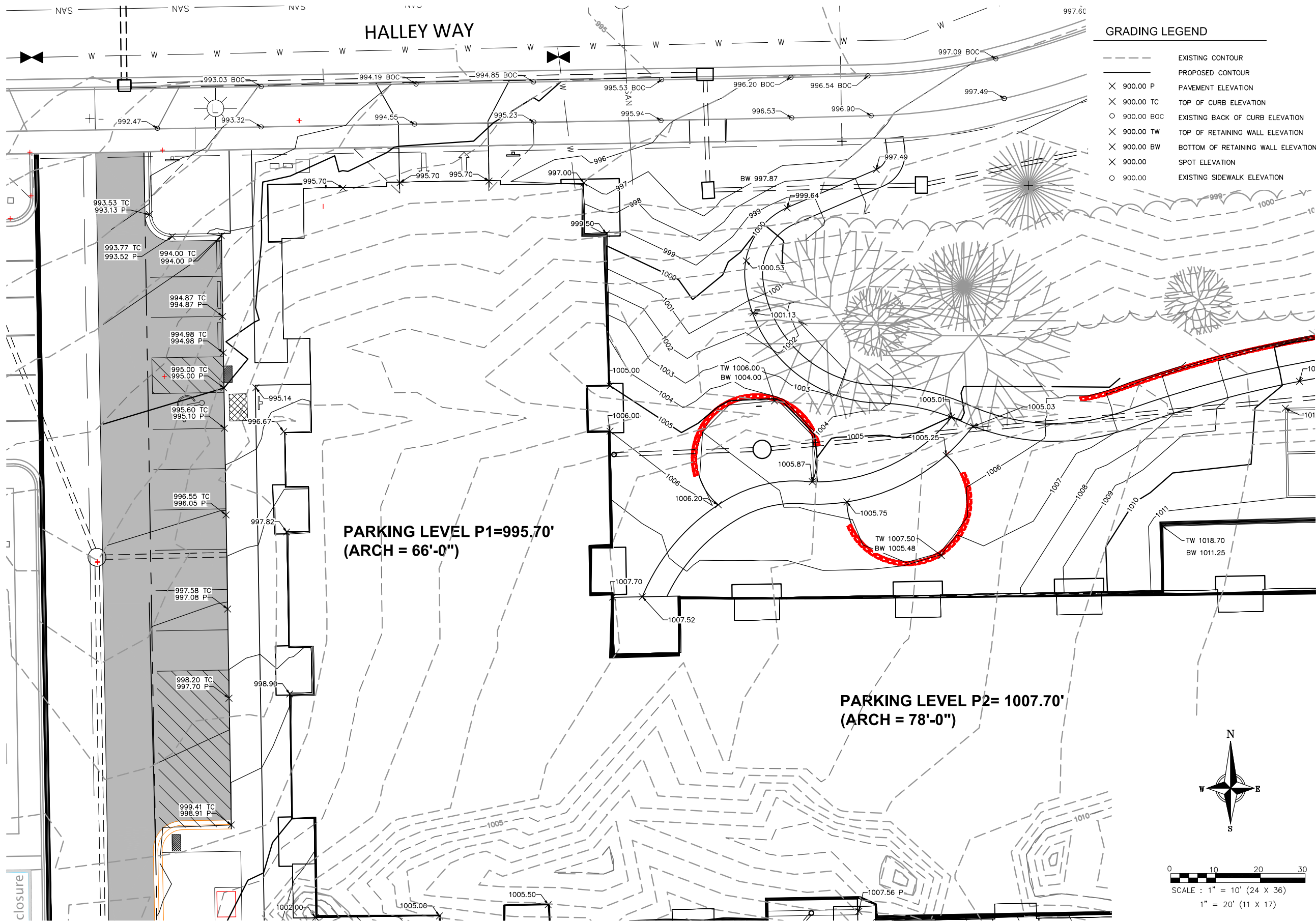
MADISON, WI

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SHEET NAME  
**GRADING PLAN**

SHEET NUMBER  
**C300**

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**GRADING LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- X 900.00 P PAVEMENT ELEVATION
- X 900.00 TC TOP OF CURB ELEVATION
- O 900.00 BOC EXISTING BACK OF CURB ELEVATION
- X 900.00 TW TOP OF RETAINING WALL ELEVATION
- X 900.00 BW BOTTOM OF RETAINING WALL ELEVATION
- X 900.00 SPOT ELEVATION
- O 900.00 EXISTING SIDEWALK ELEVATION

REVISIONS	DATE

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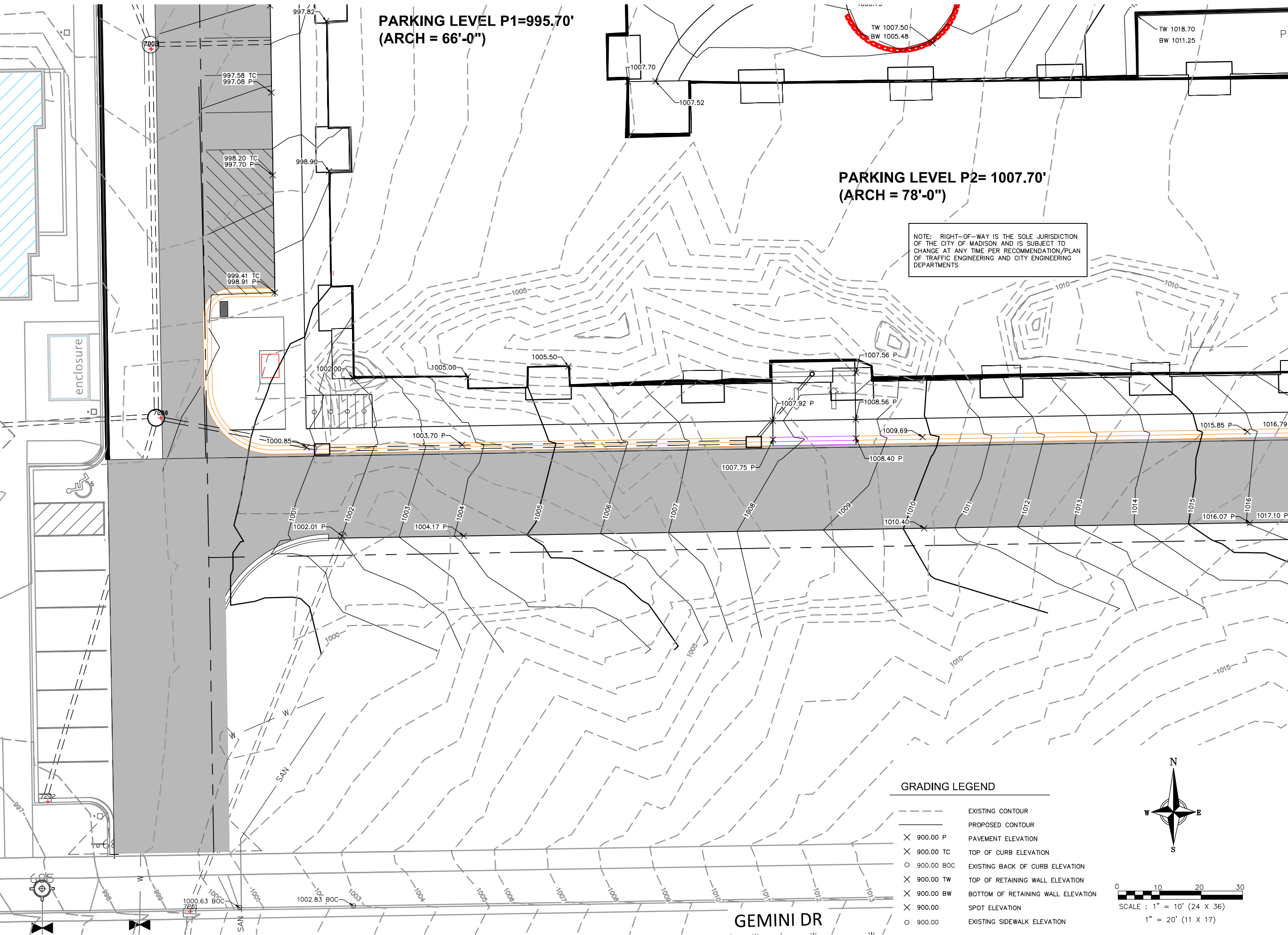
VOLUME / BID SET

SHEET NAME  
**GRADING PLAN - NW AREA**

SHEET NUMBER

**C301**





REVISIONS	DATE

CLIENT  
**OAK PARK PLACE**

PROJECT  
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VOLUME / BID SET

SHEET NAME  
**GRADING PLAN - SW AREA**

SHEET NUMBER

**C303**

REVISIONS	DATE

CLIENT  
**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

MADISON, WI

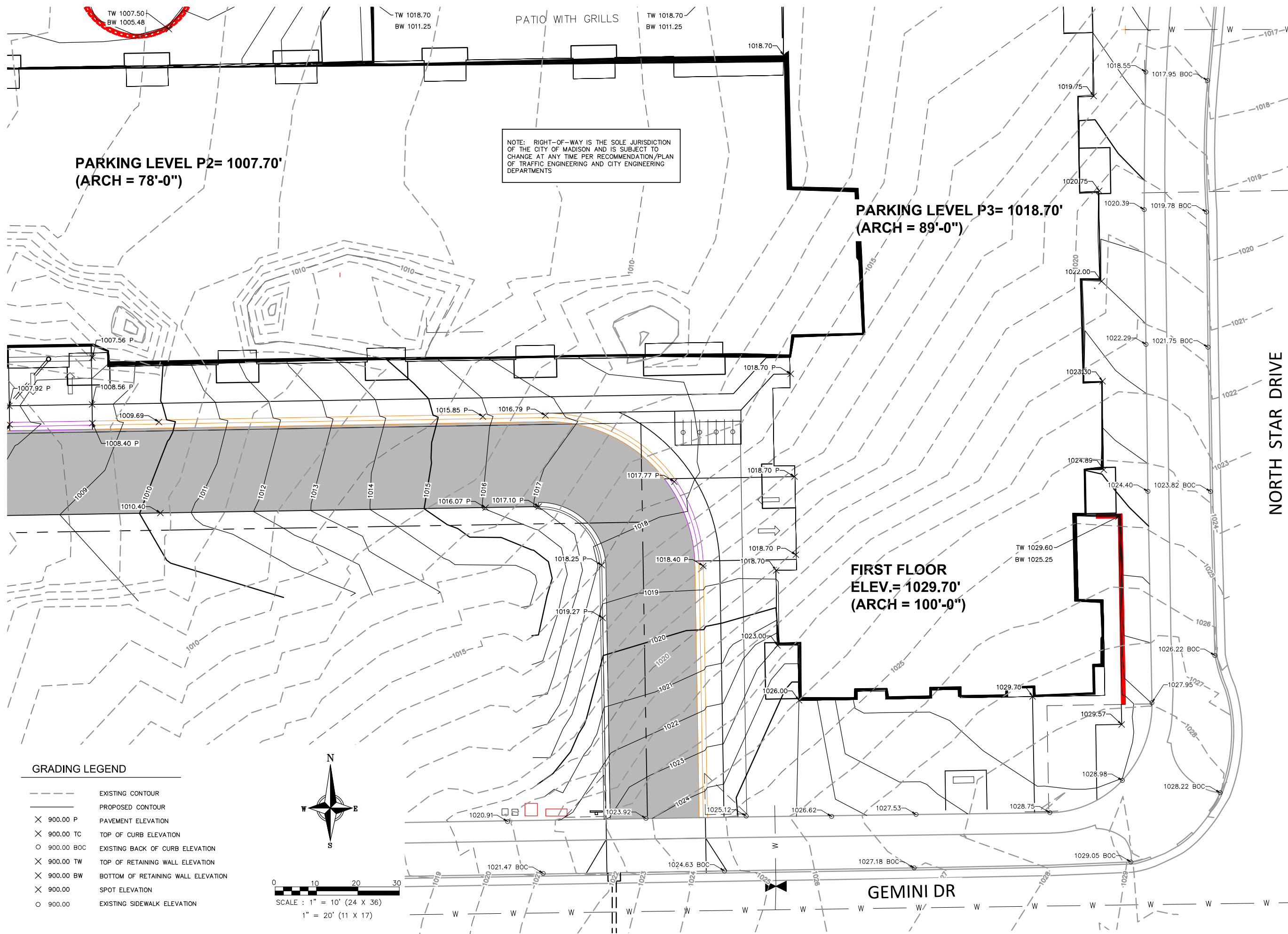
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VOLUME / BID SET

SHEET NAME  
**GRADING PLAN - SE AREA**

SHEET NUMBER

**C304**

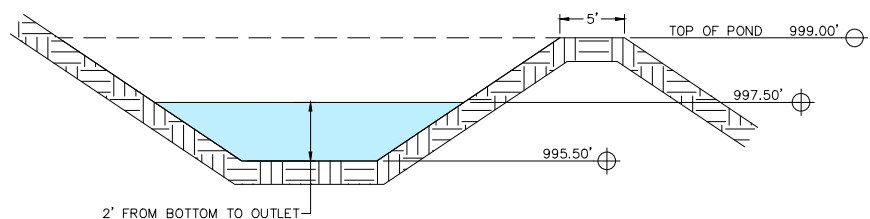


**EROSION CONTROL NOTES**

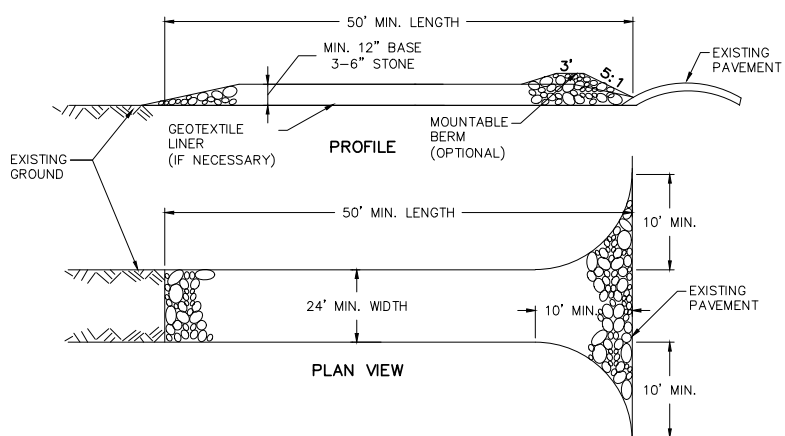
1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE VILLAGE RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT OR WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT AS NOTED.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
11. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
12. SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 3.5 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
13. STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
14. POLYMER. BARE SOILS TO BE EXPOSED OVER WINTER SHALL BE SPRAYED WITH POLYMER IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1050.

**KEY**

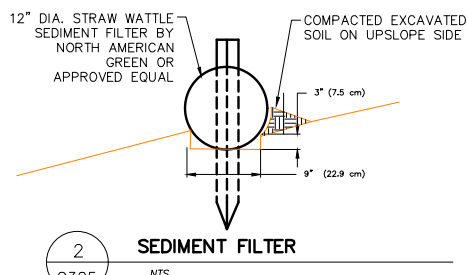
WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT



**3 TEMPORARY SEDIMENT TRAP DETAIL**  
C301 NTS



**1 STONE TRACKING PAD**  
C305 NTS



**2 SEDIMENT FILTER**  
C305 NTS



**CONSTRUCTION SCHEDULE**

INSTALL EROSION CONTROL MEASURES: MAY 1, 2026  
 BEGIN GRADING FOR BUILDING FOUNDATIONS ONLY (USLE FLOW PATH 1): MAY 2, 2026  
 INSTALL SEDIMENT TRAP AND BEGIN PARKING LOT GRADING (USLE FLOW PATH 2): MAY 15, 2026  
 PLACE BASE COURSE IN PARKING LOT: JUNE 22, 2026  
 PLACE SEED & EROSION MAT ON DISTURBED AREAS (USLE FLOW PATH 3): SEPTEMBER 1, 2026  
 REMOVED SEDIMENT FROM SEDIMENT TRAP AND CONSTRUCT BIORETENTION AREA: MAY 20, 2027  
 FINISH CONSTRUCTING BIORETENTION AREA: MAY 30, 2027  
 VEGETATION ESTABLISHED: JULY 30, 2027

0 30 60 90  
 SCALE : 1" = 30' (24 X 36)  
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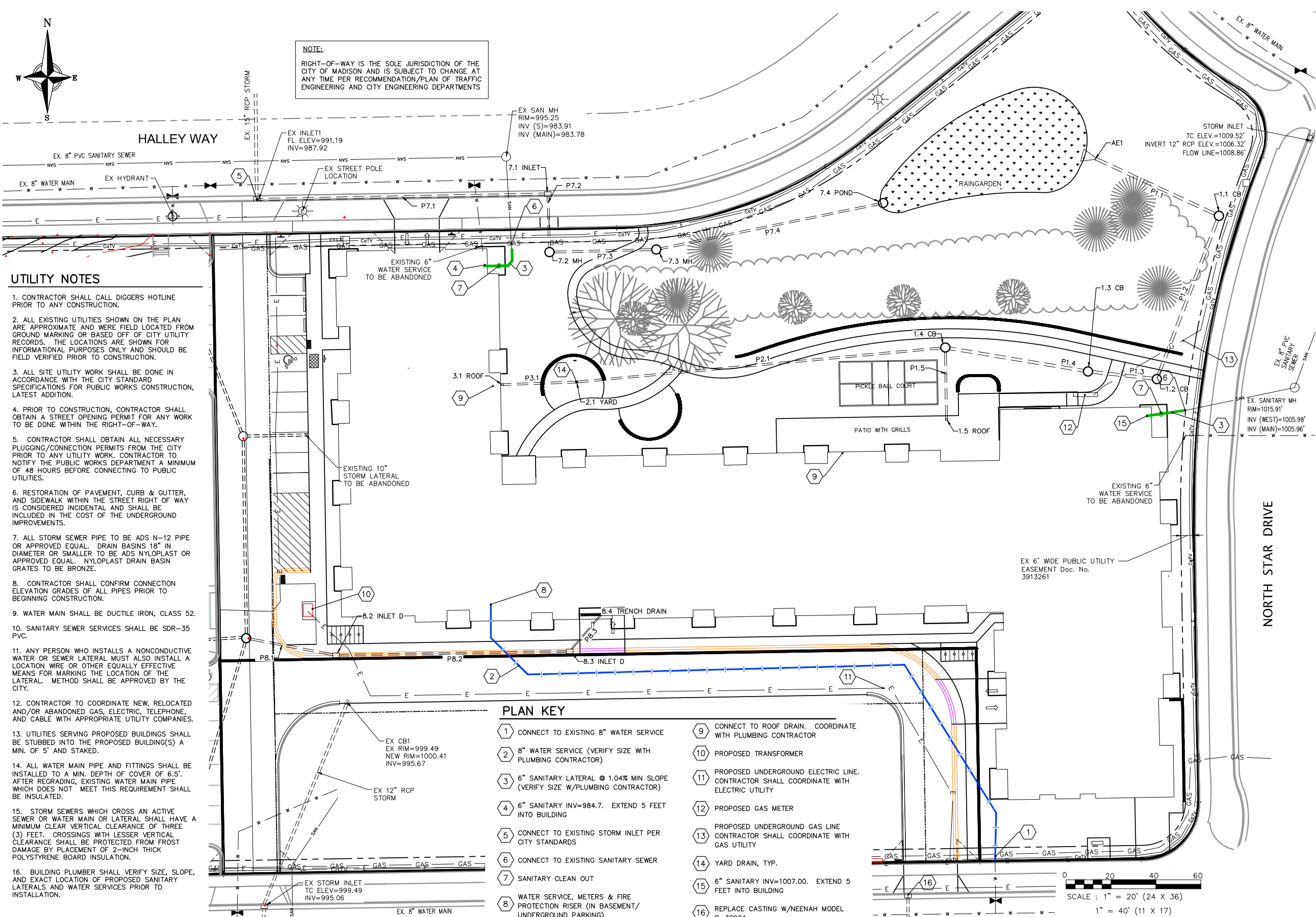
SHEET NAME  
**EROSION CONTROL PLAN**

SHEET NUMBER

**C305**



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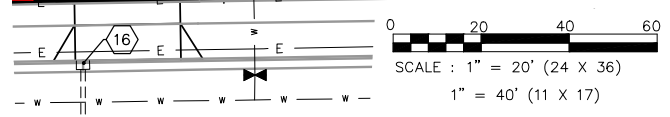


**UTILITY NOTES**

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE ADS N-12 PIPE OR APPROVED EQUAL. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADS NYLOPLAST OR APPROVED EQUAL. NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDING(S) SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

**PLAN KEY**

- |  |  |
|--|--|
| 1 CONNECT TO EXISTING 8" WATER SERVICE   | 9 CONNECT TO ROOF DRAIN. COORDINATE WITH PLUMBING CONTRACTOR                             |
| 2 8" WATER SERVICE (VERIFY SIZE WITH PLUMBING CONTRACTOR)                          | 10 PROPOSED TRANSFORMER  |
| 3 6" SANITARY LATERAL @ 1.04% MIN SLOPE (VERIFY SIZE W/PLUMBING CONTRACTOR)        | 11 PROPOSED UNDERGROUND ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY |
| 4 6" SANITARY INV=984.7. EXTEND 5 FEET INTO BUILDING                               | 12 PROPOSED GAS METER  |
| 5 CONNECT TO EXISTING STORM INLET PER CITY STANDARDS                               | 13 PROPOSED UNDERGROUND GAS LINE. CONTRACTOR SHALL COORDINATE WITH GAS UTILITY           |
| 6 CONNECT TO EXISTING SANITARY SEWER   | 14 YARD DRAIN, TYP.  |
| 7 SANITARY CLEAN OUT   | 15 6" SANITARY INV=1007.00. EXTEND 5 FEET INTO BUILDING                                  |
| 8 WATER SERVICE, METERS & FIRE PROTECTION RISER (IN BASEMENT/ UNDERGROUND PARKING) | 16 REPLACE CASTING W/NEENAH MODEL R-3290A  |



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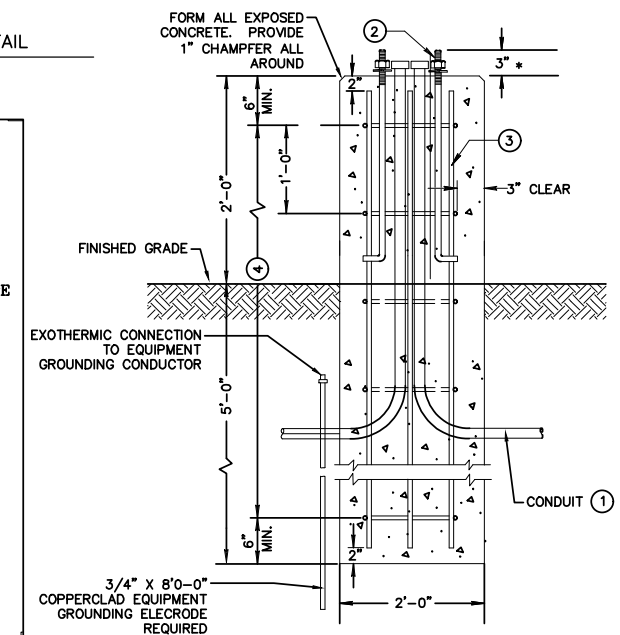
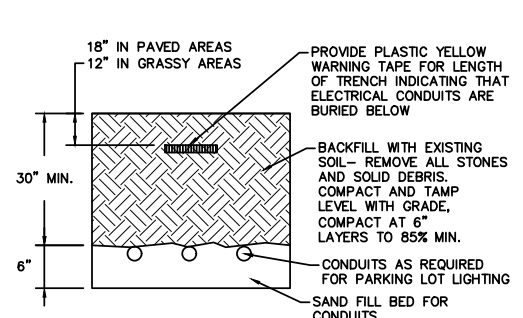
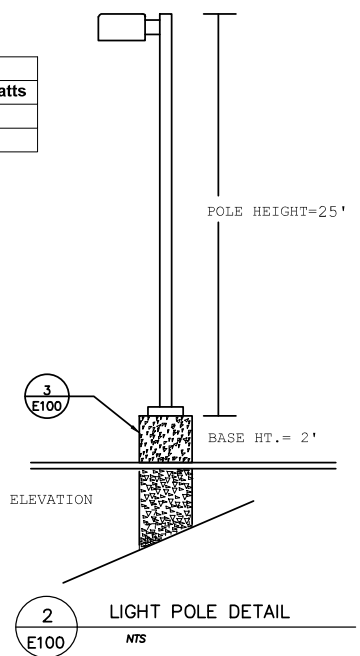
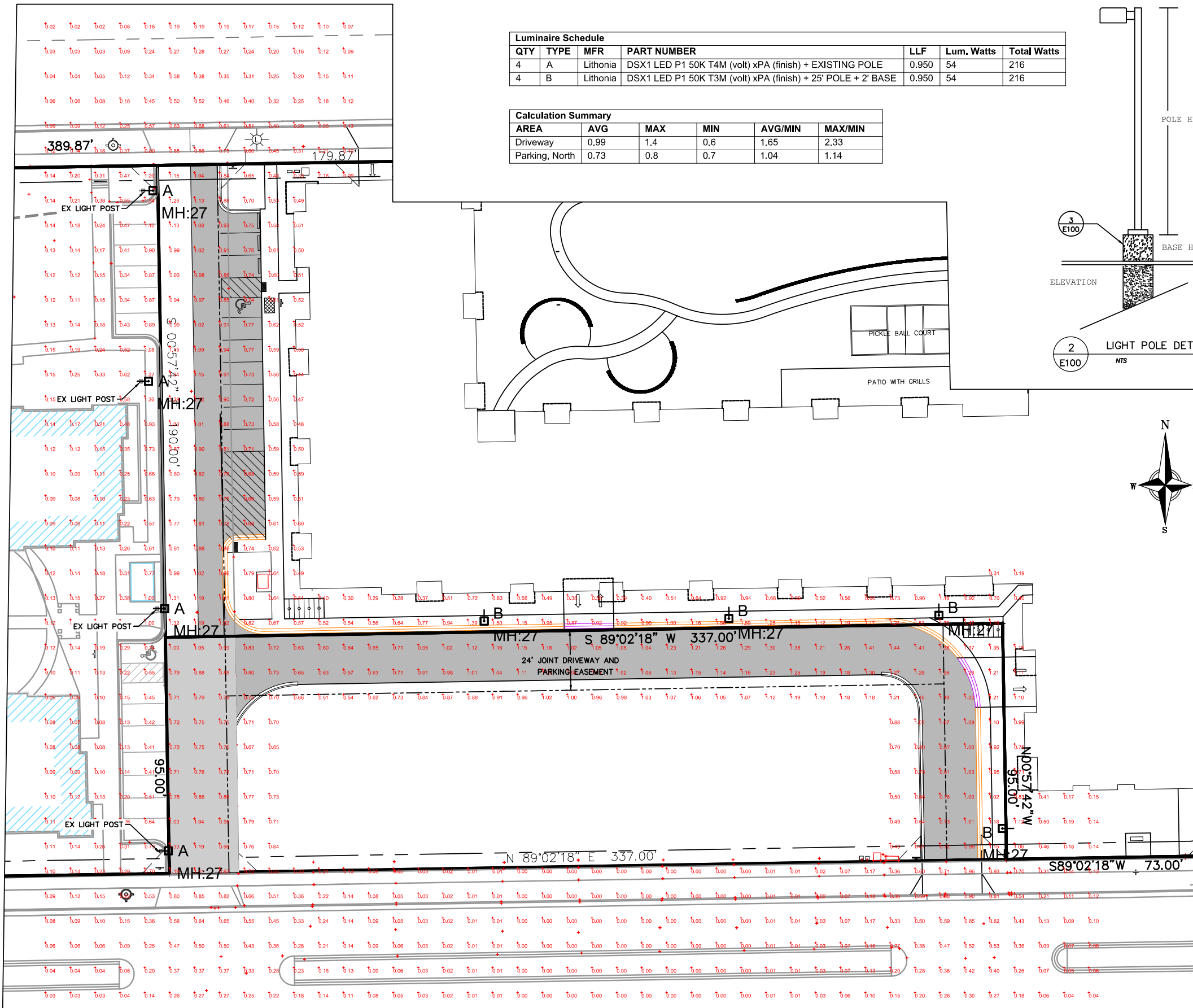
**C400**

STRUCTURE TABLE					
STRUCTURE NAME:	SIZE	TOP OF CASTING	PIPES IN:	PIPES OUT	CASTING:
1.1 CB	4-FT DIA. CB	1010.00	P1.2, 15" REINFORCED CONCRETE PIPE INV IN =1001.08	P1.1, 15" REINFORCED CONCRETE PIPE INV OUT =1000.00	NEENAH R-2050
1.2 CB	4-FT DIA. CB	1016.51	P1.3, 15" REINFORCED CONCRETE PIPE INV IN =1001.28	P1.2, 15" REINFORCED CONCRETE PIPE INV OUT =1001.20	NEENAH R-2050
1.3 CB	4-FT DIA. CB	1015.00	P1.4, 15" REINFORCED CONCRETE PIPE INV IN =1001.55	P1.3, 15" REINFORCED CONCRETE PIPE INV OUT =1001.50	NEENAH R-2050
1.4 CB	4-FT DIA. CB	1010.27	P2.1, 10" INV IN =1002.04 P1.5, 10" INV IN =1003.20	P1.4, 15" REINFORCED CONCRETE PIPE INV OUT =1002.00	NEENAH R-2050
1.5 ROOF	CONNECT TO ROOF DRAIN	1018.70		P1.5, 10" INV OUT =1004.50	CONNECT TO ROOF DRAIN
2.1 YARD	8" BASIN	1005.96	P3.1, 10" INV IN =1003.27	P2.1, 10" INV OUT =1003.20	8" GRATE
3.1 ROOF	CONNECT TO ROOF DRAIN	1006.30		P3.1, 10" INV OUT =1003.50	CONNECT TO ROOF DRAIN
7.1 INLET	2X3-FT	995.75	P7.2, 10" INV IN =990.65	P7.1, 12" INV OUT =990.65	NEENAH R-3067
7.2 MH	3-FT DIA. CB	996.01	P7.3, 10" INV IN =990.90	P7.2, 10" INV OUT =990.90	NEENAH R-1550
7.3 MH	3-FT DIA. CB	998.50	P7.4, 10" INV IN =991.34	P7.3, 10" INV OUT =991.34	NEENAH R-1550
7.4 POND	3-FT DIA. CB	997.50		P7.4, 10" INV OUT =992.31	HAALA INDUSTRIES CG36TM
8.1 EX CB	EXISTING CB	998.85	P8.1, 10" INV IN =993.00		ADJUST CASTING RIM HEIGHT
8.2 INLET D	2X3-FT	1001.50	P8.2, 10" INV IN =997.00	P8.1, 10" INV OUT =997.00	NEENAH R-3290A
8.3 INLET D	2X3-FT	1007.67	P8.3, 6" INV IN =1003.24	P8.2, 10" INV OUT =1003.24	NEENAH R-3290A
8.4 TRENCH DRAIN	20' LONG	1007.63		P8.3, 6" INV OUT =1004.32	ZURN Z886-8606-HD-DGE
AE1	12" RCP A.E.	1000.02	P1.1, 15" REINFORCED CONCRETE PIPE INV IN =998.50		
EX INLET1	EX STRUCTURE	992.56	P7.1, 12" INV IN =988.25		

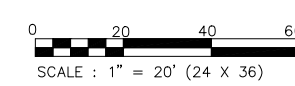
PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	15"	61'	2.48%	ADS N-12	1000.00'	998.50'
P1.2	15"	78'	0.15%	ADS N-12	1001.20'	1001.08'
P1.3	15"	31'	0.70%	ADS N-12	1001.50'	1001.28'
P1.4	15"	65'	0.70%	ADS N-12	1002.00'	1001.55'
P1.5	10"	33'	4.05%	ADS N-12	1004.50'	1003.20'
P2.1	10"	166'	0.70%	ADS N-12	1003.20'	1002.04'
P3.1	10"	34'	0.70%	ADS N-12	1003.50'	1003.27'
P7.1	12"	130'	1.85%	RCP	990.65'	988.25'
P7.2	10"	26'	0.97%	ADS N-12	990.90'	990.65'
P7.3	10"	48'	0.92%	ADS N-12	991.34'	990.90'
P7.4	10"	104'	0.94%	ADS N-12	992.31'	991.34'
P8.1	10"	41'	9.82%	ADS N-12	997.00'	993.00'
P8.2	10"	105'	5.99%	ADS N-12	1003.24'	997.00'
P8.3	6"	22'	5.00%	ADS N-12	1004.32'	1003.24'

Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
4	A	Lithonia	DSX1 LED P1 50K T4M (volt) xPA (finish) + EXISTING POLE	0.950	54	216
4	B	Lithonia	DSX1 LED P1 50K T3M (volt) xPA (finish) + 25' POLE + 2' BASE	0.950	54	216

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Driveway	0.99	1.4	0.6	1.65	2.33
Parking, North	0.73	0.8	0.7	1.04	1.14



- THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE AND INSTALLED BELOW THE TRAVELED WAY SHALL BE 24 INCHES. THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE THAT IS NOT INSTALLED BELOW THE TRAVELED WAY SHALL BE 18 INCHES. THE MAXIMUM DEPTH OF ALL CONDUIT SHALL BE 36 INCHES EXCEPT WITH WRITTEN APPROVAL BY THE ENGINEER.
- ANCHOR BOLTS PER MANUFACTURER'S INSTRUCTIONS
- (6) NO. 4 X 4'-8" BAR STEEL REINFORCEMENT.
- (5) NO. 4 X 5'-1" BAR STEEL REINFORCEMENT @ 1'-0" C-C.



REVISIONS	DATE

CLIENT  
**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

MADISON, WI

DRAWN BY  
KJOHNSON  
CHECKED BY  
RJOHNSON  
DATE  
03.02.2026  
JOB NUMBER  
24-102  
VOLUME / BID SET

SHEET NAME  
**LIGHTING PLAN**

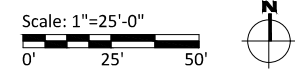
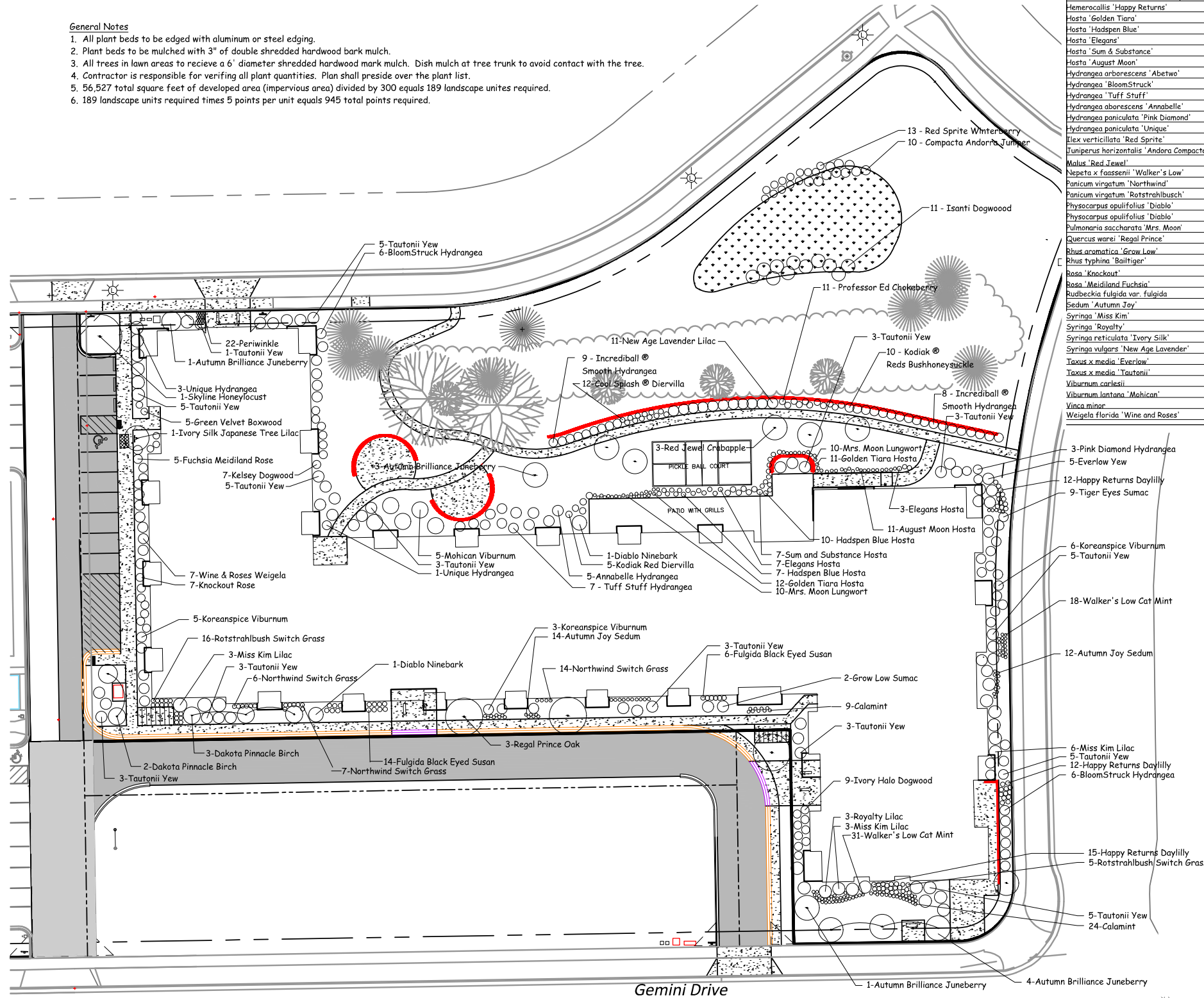
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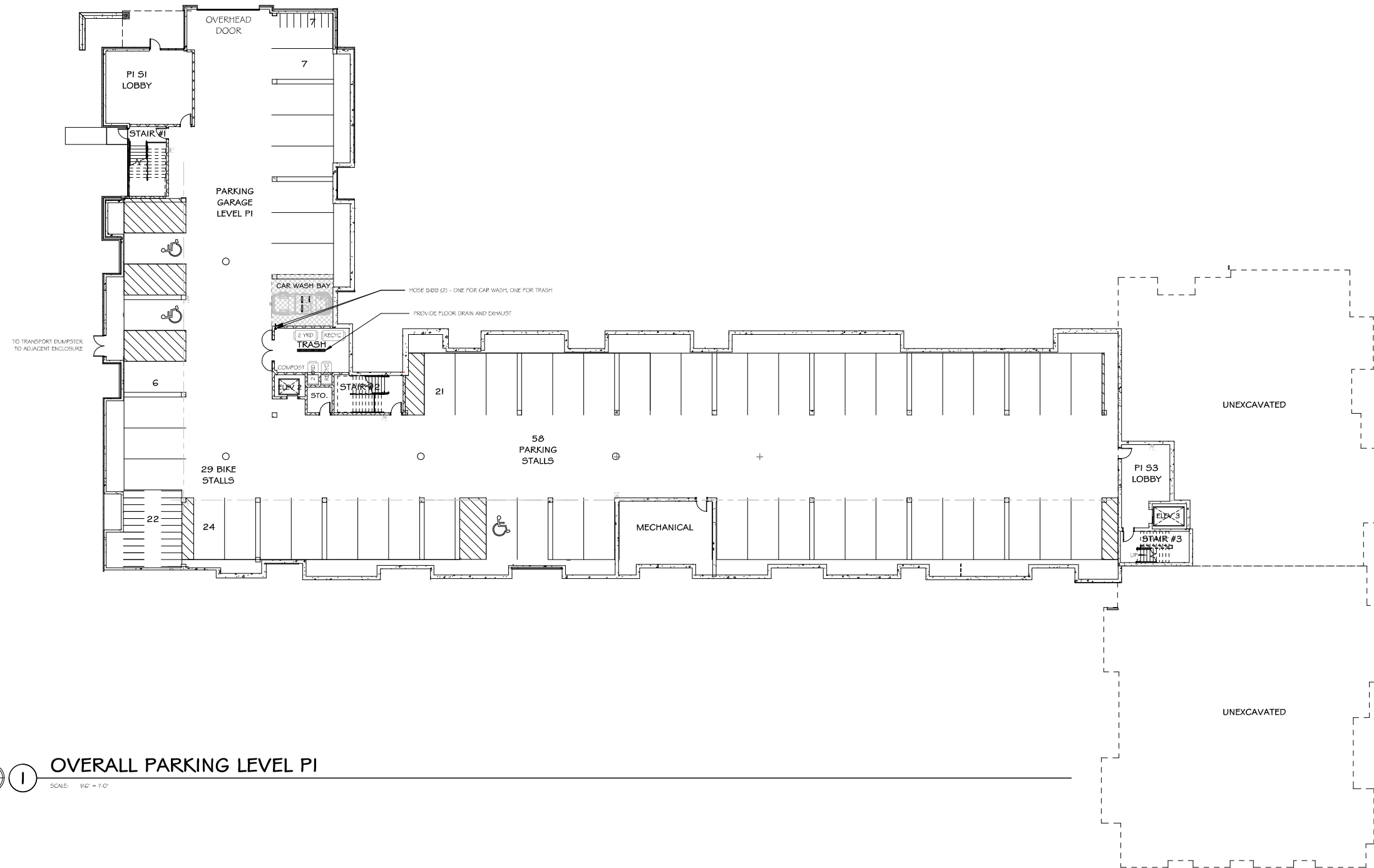
**E100**

PLANT LIST					
Latin Name	Common Name	Quantity	Scheduled Size	Points Per Plant	Total Points
<b>Existing Plants</b>					
	Existing Overstory Trees	10		35	350
	Existing Evergreen Trees	7		15	105
				Existing Points:	455
<b>Proposed Plants</b>					
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry	9	2in BB	15	135
Aronia melanocarp 'Professor Ed'	Professor Ed Chokeberry	11	#3	2	22
Betula platyphylla 'Fargo'	Dakota Pinnacle Birch	5	2' BB	15	75
Buxus x sempervirens 'Green Velvet'	Green Velvet Boxwood	5	#2	3	15
Calamintha nepeta 'Montrose White'	Calamint	33	4.5in Pot	2	66
Cornus alba 'Baibala'	Ivory Halo Dogwood	9	18-24in	2	18
Cornus sericea 'Tsanti'	Tsanti Dogwood	11	2-3ft	2	22
Cornus sericea 'Kelsey'	Kelsey Dogwood	7	3-4ft	2	14
Diervilla sp. Cool Splash®	Cool Splash® Diervilla	12	#3	2	24
Diervilla sp. Kodiak Red	Kodiak Red Bush Honeysuckle	15	#3	2	30
Eleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	1	3in BB	35	35
Hemerocallis 'Happy Returns'	Happy Returns Daylily	39	4.5in Pot	2	78
Hosta 'Golden Tiara'	Golden Tiara Hosta	23	#1	2	46
Hosta 'Hadspen Blue'	Hadspen Blue Hosta	17	#1	2	34
Hosta 'Elegans'	Elegans Hosta	10	#1	2	20
Hosta 'Sum & Substance'	Sum & Substance Hosta	7	#1	2	14
Hosta 'August Moon'	August Moon Hosta	9	#1	2	18
Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	18	#3	2	36
Hydrangea 'BloomStruck'	BloomStruck Hydrangea	12	#1 Grade	2	24
Hydrangea 'Tuff Stuff'	Tuff Stuff Hydrangea	5	#1 Grade	2	10
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	10	#1 Grade	2	20
Hydrangea paniculata 'Pink Diamond'	Pink Diamond Hydrangea	3	18in	2	6
Hydrangea paniculata 'Unique'	Unique Hydrangea	11	2ft	2	22
Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	13	24"	2	26
Juniperus horizontalis 'Andora Compacta'	Compacta Andorra Juniper	10	#3	2	20
Malus 'Red Jewel'	Red Jewel Crabapple	3	2in BB	15	45
Nepeta x faassenii 'Walker's Low'	Walker's Low Cat Mint	49	4.5in Pot	2	98
Panicum virgatum 'Northwind'	Northwind Switch Grass	27	1 Gal	2	54
Panicum virgatum 'Rotstrahlbusch'	Rotstrahlbusch Switch Grass	21	1 Gal	2	42
Physocarpus opulifolius 'Diablo'	Diablo Ninebark	2	2-3ft	2	4
Physocarpus opulifolius 'Diablo'	Diablo Ninebark	20	2.5in Pot	2	40
Pulmonaria saccharata 'Mrs. Moon'	Mrs. Moon Lungwort	2	2-3ft	2	4
Quercus warei 'Regal Prince'	Regal Prince Oak	3	2in BB	15	45
Rhus aromatica 'Grow Low'	Grow Low Sumac	2	15-18in	2	4
Rhus typhina 'Bailtiger'	Tiger Eyes Sumac	9	2-3ft	2	18
Rosa 'Knockout'	Knockout Rose	7	2 Gal	2	14
Rosa 'Meidiland Fuchsia'	Fuchsia Meidiland Rose	5	2 Gal	2	10
Rudbeckia fulgida var. fulgida	Fulgida Black Eyed Susan	20	4.5in Pot	2	40
Sedum 'Autumn Joy'	Autumn Joy Sedum	26	4.5in Pot	2	52
Syringa 'Miss Kim'	Miss Kim Lilac	12	2-3ft	2	24
Syringa 'Royalty'	Royalty Lilac	3	3-4ft	2	6
Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	2in BB	15	15
Syringa vulgaris 'New Age Lavender'	New Age Lavender Lilac	11	2 Gal	2	22
Taxus x media 'Everlow'	Everlow Yew	5	#5	3	15
Taxus x media 'Tautonii'	Tautonii Yew	52	#5	3	156
Viburnum carlesii	Koreanspice Viburnum	14	#5	2	28
Viburnum lantana 'Mahican'	Mahican Viburnum	10	3ft	2	20
Vinca minor	Periwinkle	22	2.5in Pot	0	0
Weigela florida 'Wine and Roses'	Wine & Roses Weigela	7	2ft	2	14
				Proposed Points:	1600
				Total Points:	2055

**General Notes**

- All plant beds to be edged with aluminum or steel edging.
- Plant beds to be mulched with 3" of double shredded hardwood bark mulch.
- All trees in lawn areas to receive a 6' diameter shredded hardwood mulch. Dish mulch at tree trunk to avoid contact with the tree.
- Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.
- 56,527 total square feet of developed area (impervious area) divided by 300 equals 189 landscape units required.
- 189 landscape units required times 5 points per unit equals 945 total points required.





**OVERALL PARKING LEVEL P1**

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

**PRELIMINARY**  
NOT FOR CONSTRUCTION

CLIENT  
**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

MADISON, WI

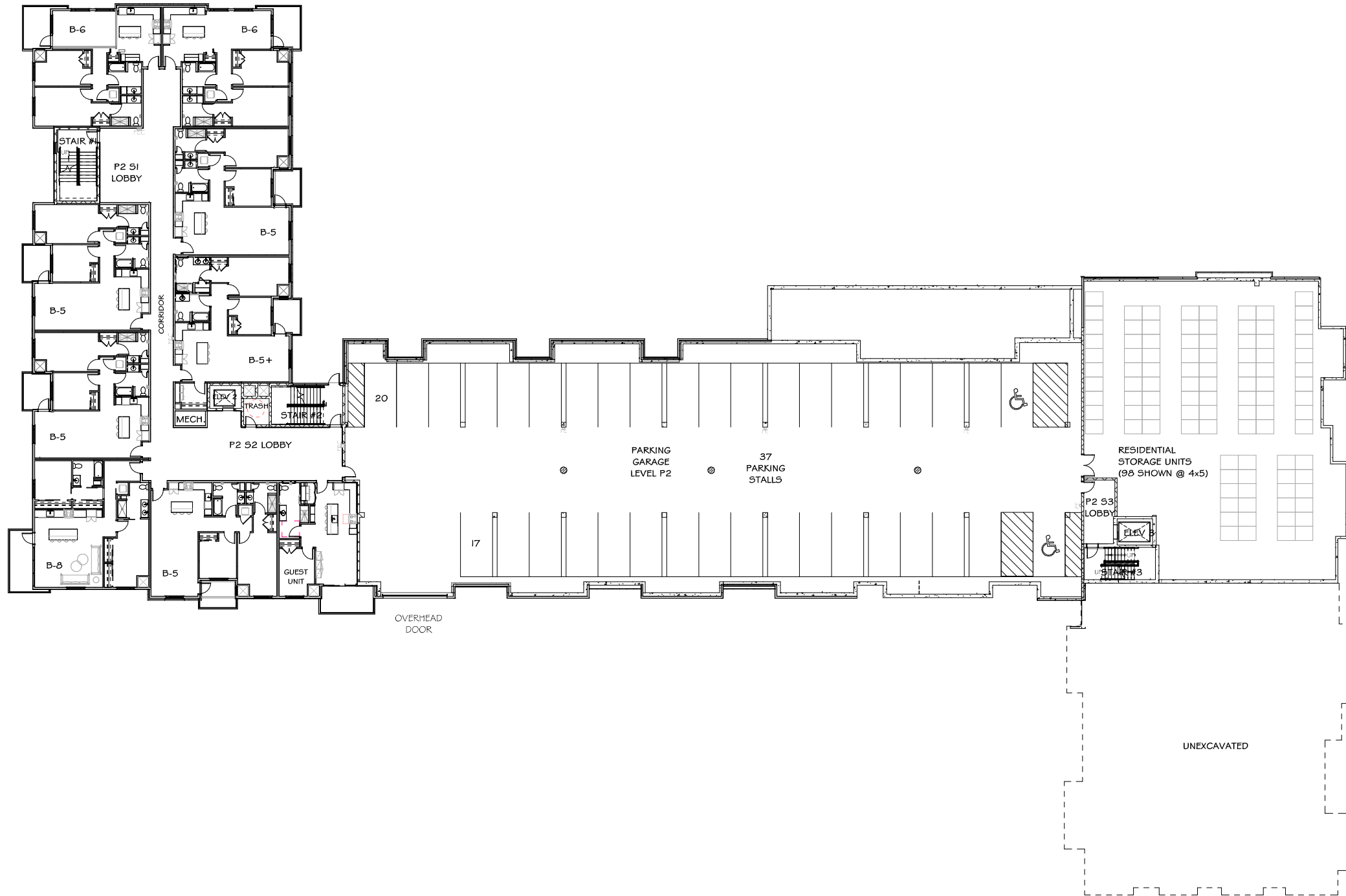
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B. SERVIN / J. GRAHAM  
DATE  
12.15.2025  
JOB NUMBER  
24-102

BID SET | VOLUME

SHEET NAME  
**OVERALL PARKING LEVEL P1**

SHEET NUMBER

**A100**



REVISIONS	DATE

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12.15.2025  
 JOB NUMBER  
24-102

BID SET | VOLUME

SHEET NAME  
**OVERALL PARKING LEVEL P2**

SHEET NUMBER

**A101**



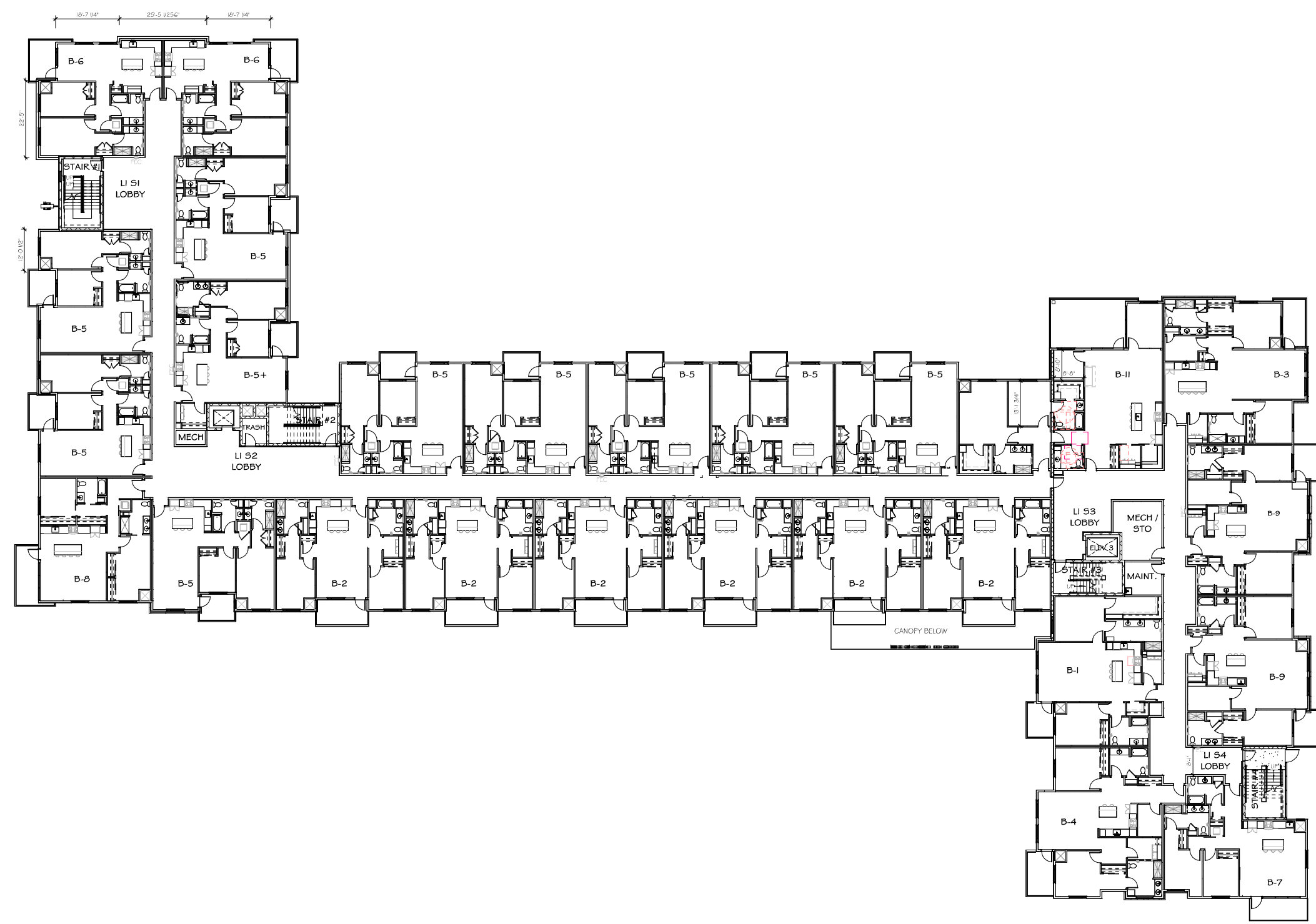
**OVERALL PARKING LEVEL P2**

SCALE: 1/8" = 1'-0"



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OVERALL SQUARE FOOTAGES	
OVERALL FLOOR	SQUARE FOOTAGE (SF)
PARKING LEVEL 1	26,971 SF
PARKING LEVEL 2	34,372 SF
PARKING LEVEL 3	39,333 SF
FIRST FLOOR	39,166 SF
SECOND FLOOR	39,166 SF
THIRD FLOOR	3,654 SF
TOTAL	210,699 SF



REVISIONS	DATE

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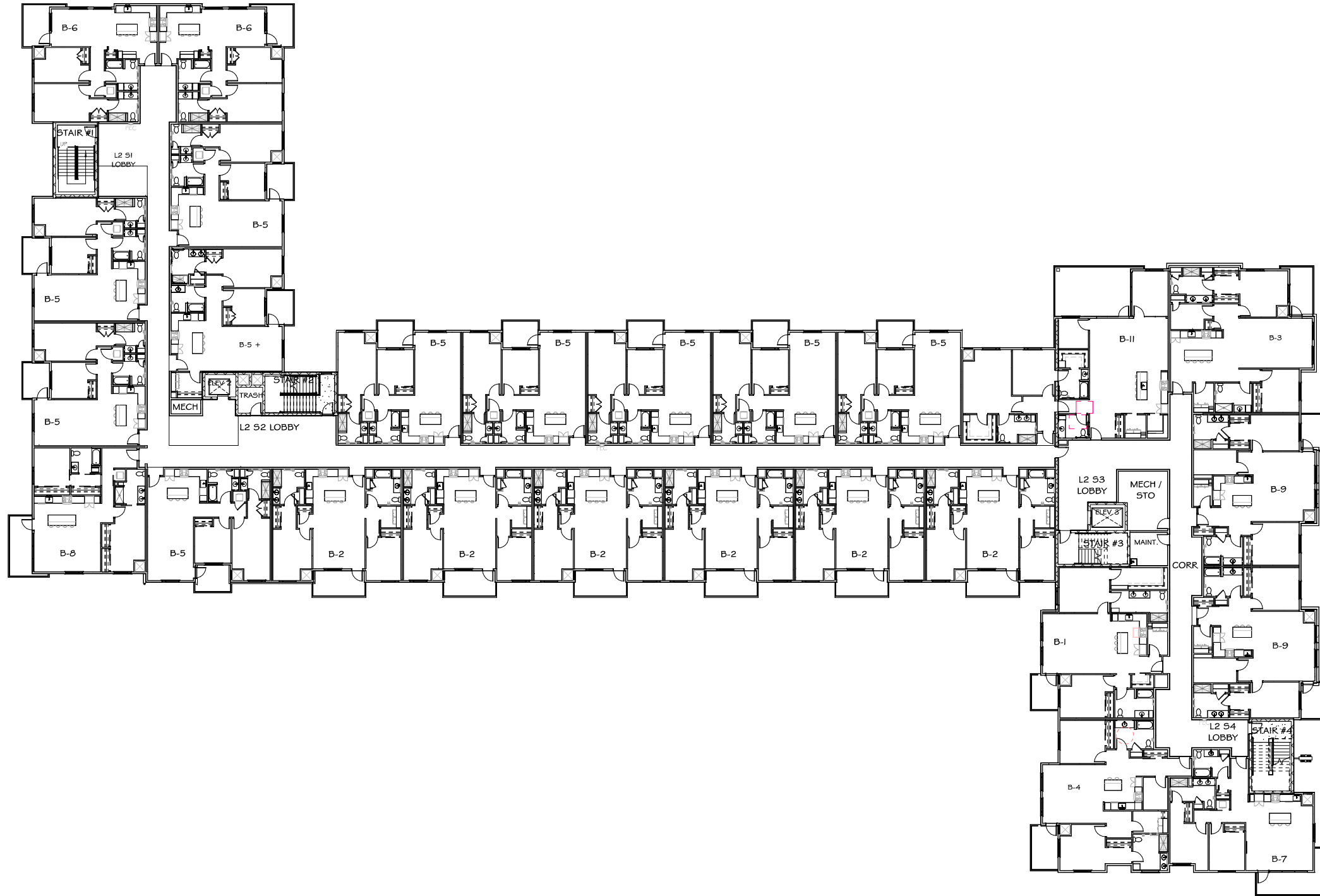
SHEET NAME  
**OVERALL FIRST FLOOR PLAN**

SHEET NUMBER

**A103**

**OVERALL FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

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BID SET | VOLUME

SHEET NAME  
**OVERALL SECOND FLOOR PLAN**

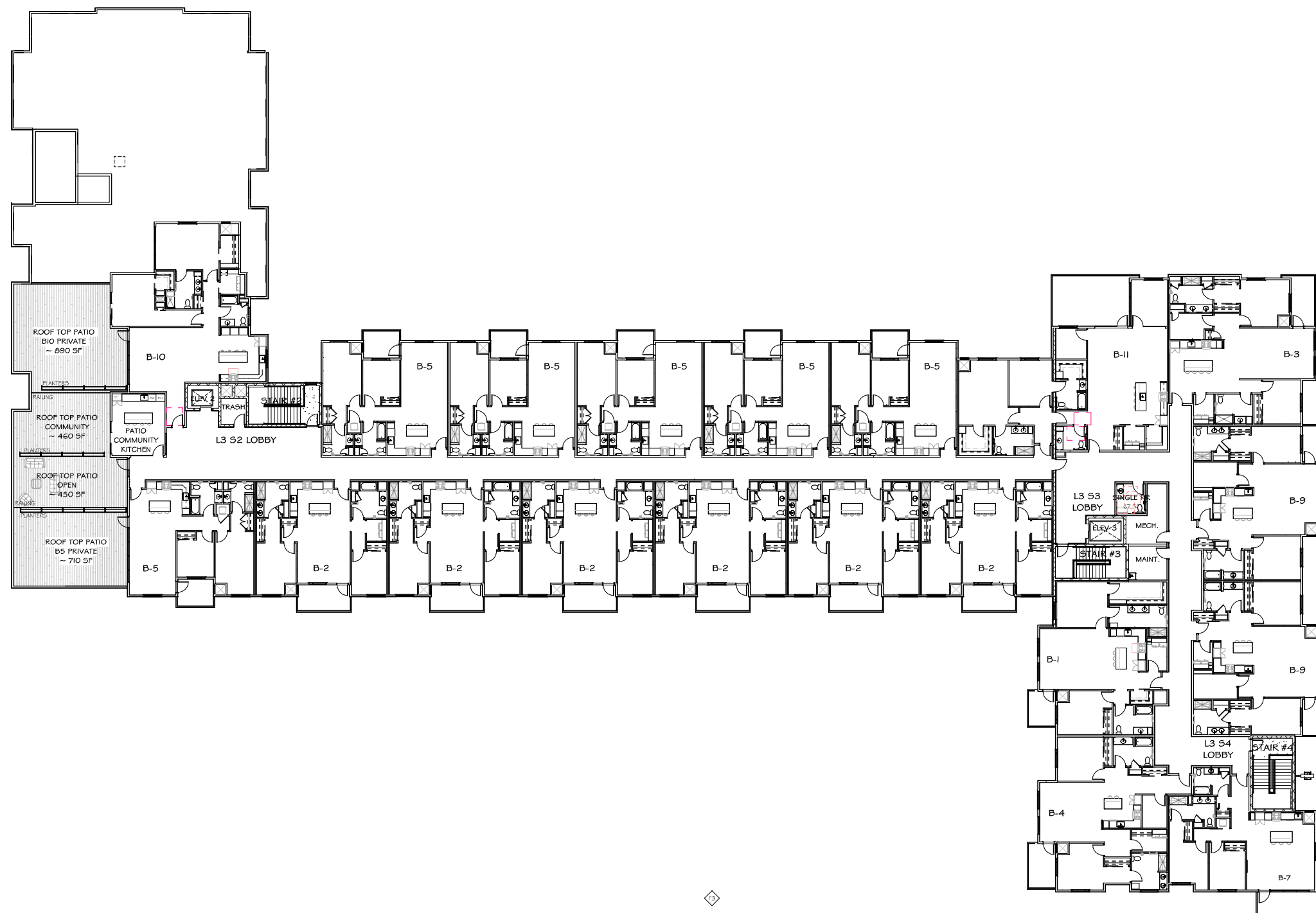
SHEET NUMBER

**A104**



**OVERALL SECOND FLOOR**

SCALE: 1/8" = 1'-0"



**OVERALL THIRD FLOOR**

SCALE: 1/8" = 1'-0"

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BID SET | VOLUME

SHEET NAME  
**OVERALL THIRD FLOOR PLAN**

SHEET NUMBER

**A105**



**ELEVATION A**

SCALE: 3/32" = 1'-0"

SOUTH



**ELEVATION B**

SCALE: 3/32" = 1'-0"

WEST



**ELEVATION C**

SCALE: 3/32" = 1'-0"

NORTH

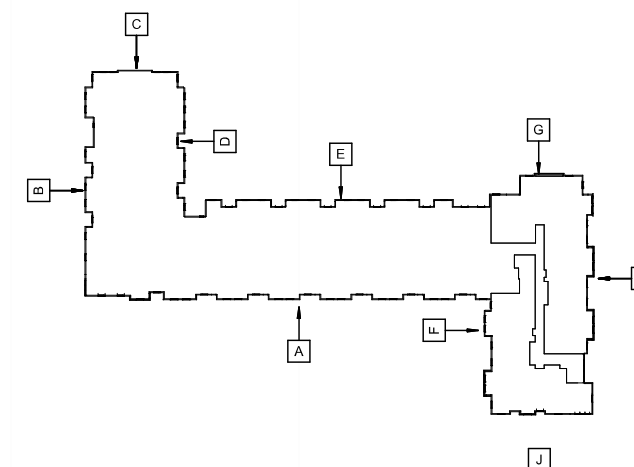


**ELEVATION D**

SCALE: 3/32" = 1'-0"

EAST

EXTERIOR FINISH SCHEDULE			
BOX	MATERIAL / MANUFACTURER	DESCRIPTION / COLOR	NOTES
A	HORIZONTAL LAP SIDING	LP SMARTSIDE DEEP GRANITE	
B	VERTICAL BOARD & BATTEN	LP SMARTSIDE / WHITE	
C	HORIZONTAL ALUMINUM SIDING	LONGBOARD ALUMINUM SIDING / DARK CHERRY	
D	NATURAL STONE VENEER	FOND DU LAC / HAMILTON DIMENSIONAL	
E	STOREFRONT ALUMINUM	BRONZE ANODIZED ALUMINUM	
F	CUT LIMESTONE SILL	INDIANA LIMESTONE / BUFF	
I	CUT LIMESTONE WALL CAP	INDIANA LIMESTONE / BUFF	
J	HVAC LOUVER - PAINT	PAINT TO MATCH	MAY VARY DEPENDENT ON LOCATION



**ELEVATION KEY PLAN**

SCALE: 1/64" = 1'-0"

REVISIONS DATE

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**OAK PARK PLACE**

PROJECT  
**CAPITOL VIEW APARTMENTS**

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12.15.2025  
JOB NUMBER  
24-102

BID SET | VOLUME

SHEET NAME  
**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A400**



**ELEVATION E**

SCALE: 3/32" = 1'-0"

NORTH



**ELEVATION F**

SCALE: 3/32" = 1'-0"

EAST



**ELEVATION G**

SCALE: 3/32" = 1'-0"

NORTH



**ELEVATION H**

SCALE: 3/32" = 1'-0"

WEST



**ELEVATION J**

SCALE: 3/32" = 1'-0"

SOUTH

**PRELIMINARY**  
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PROJECT  
**CAPITOL VIEW APARTMENTS**

MADISON, WI

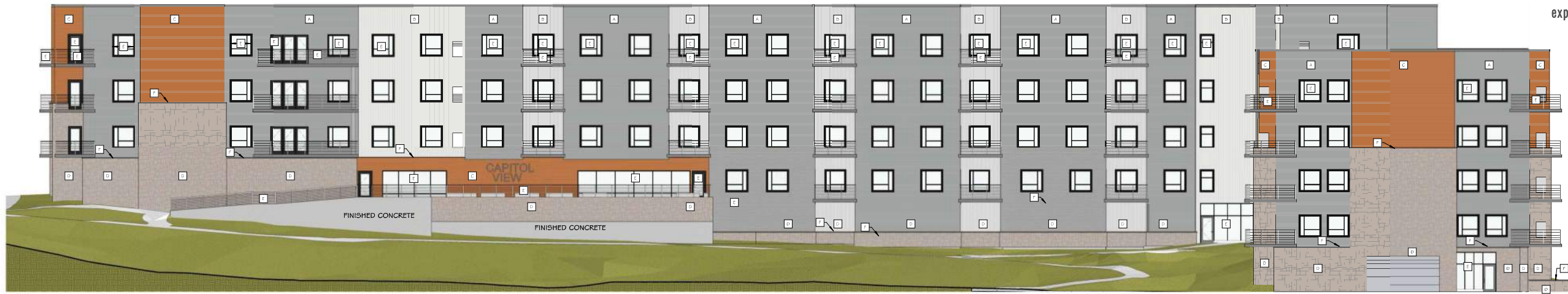
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JOB NUMBER  
24-102

BID SET | VOLUME

SHEET NAME  
**EXTERIOR ELEVATIONS**

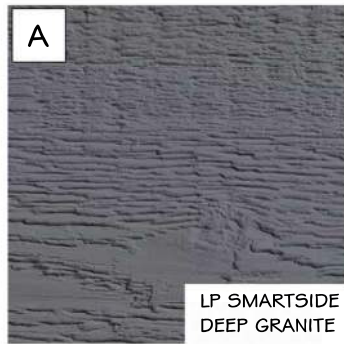
SHEET NUMBER

**A401**

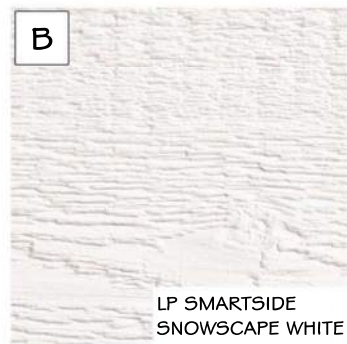


**NORTH - MATERIAL TAGS**

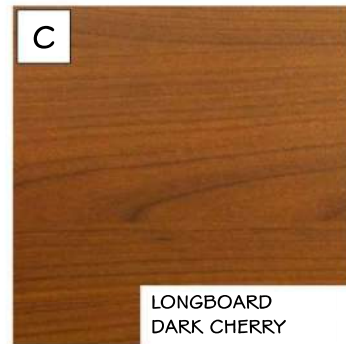
SCALE: 3/32" = 1'-0"



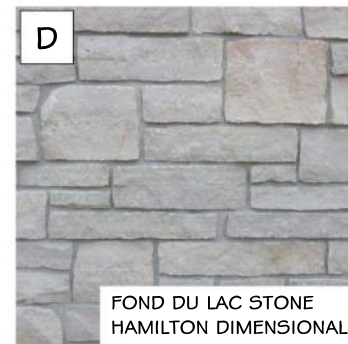
**COMPOSITE SIDING + TRIM**



**COMPOSITE SIDING + TRIM**



**ALUMINUM SIDING**



**STONE VENEER**

FINISH LEGEND		
BOX	MATERIAL / DESCRIPTION	MANUFACTURER / COLOR
A	HORIZONTAL LAP SIDING	LP SMART SIDE / DEEP GRANITE
B	VERTICAL BOARD + BATTEN	LP SMART SIDE / SNOWSCAPE WHITE
C	HORIZONTAL ALUMINUM SIDING	LONGBOARD ALUMINUM SIDING / DARK CHERRY
D	NATURAL STONE VENEER	FOND DU LAC / HAMILTON DIMENSIONAL
E	ANODIZED ALUMINUM	DARK BRONZE
F	LIMESTONE SILUCCAP	INDIANA LIMESTONE / STANDARD GRAY



**WINDOWS | RAILINGS**



**METAL COPINGS | FASCIA COVERS**



**STONE SILL**





**CAPITOL VIEW APARTMENTS @ OAK PARK PLACE**

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**NORTH WEST - PERSPECTIVE**

**02.26.2026**





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**NORTH EAST - PERSPECTIVE**

**02.26.2026**



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**PATIO - PERSPECTIVE**

**02.26.2026**



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ROOFTOP PATIO - PERSPECTIVE

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