



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>3/18/15</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>5/6/15</u>	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>5/18/15</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 1200-1212 E. WASHINGTON AVE & 9-13 N. FEN ST.
Project Title (if any): T.B.D.

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: LANCE MCGRATH
Street Address: 222 S. BEDFORD ST.
Telephone: (608) 345-3975 Fax: ()

Company: MCGRATH PROPERTY GROUP
City/State: MADISON/WI Zip: 53703
Email: LANCE.MCGRATH@MCGRATHPROPERTYGROUP.COM

Project Contact Person: SAME
Street Address: _____
Telephone: () _____ Fax: () _____

Company: _____
City/State: _____ Zip: _____
Email: _____

Project Owner (if not applicant): LLOYD BUCHMEIER & RON BAMBROUGH
Street Address: 1 W3830 MOORE RD R10, WI 53960
Telephone: () _____ Fax: () _____

City/State: VERONA, WI Zip: 53593
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 1/28/15
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: LANCE MCGRATH
Authorized Signature: (Signature)

Relationship to Property: CONTRACT OWNER
Date: 3/17/15

1200 LOFTS
(WORKING NAME)

1200 EAST WASHINGTON AVENUE
MADISON, WISCONSIN



CONDITIONAL USE & UDC SUBMITTAL

McGRATH PROPERTY GROUP



AYRES ASSOCIATES

101 East Badger Road
Madison, WI 53713
Ph. 608.255.0800
Fx. 608.255.7750
www.saa-madison.com
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

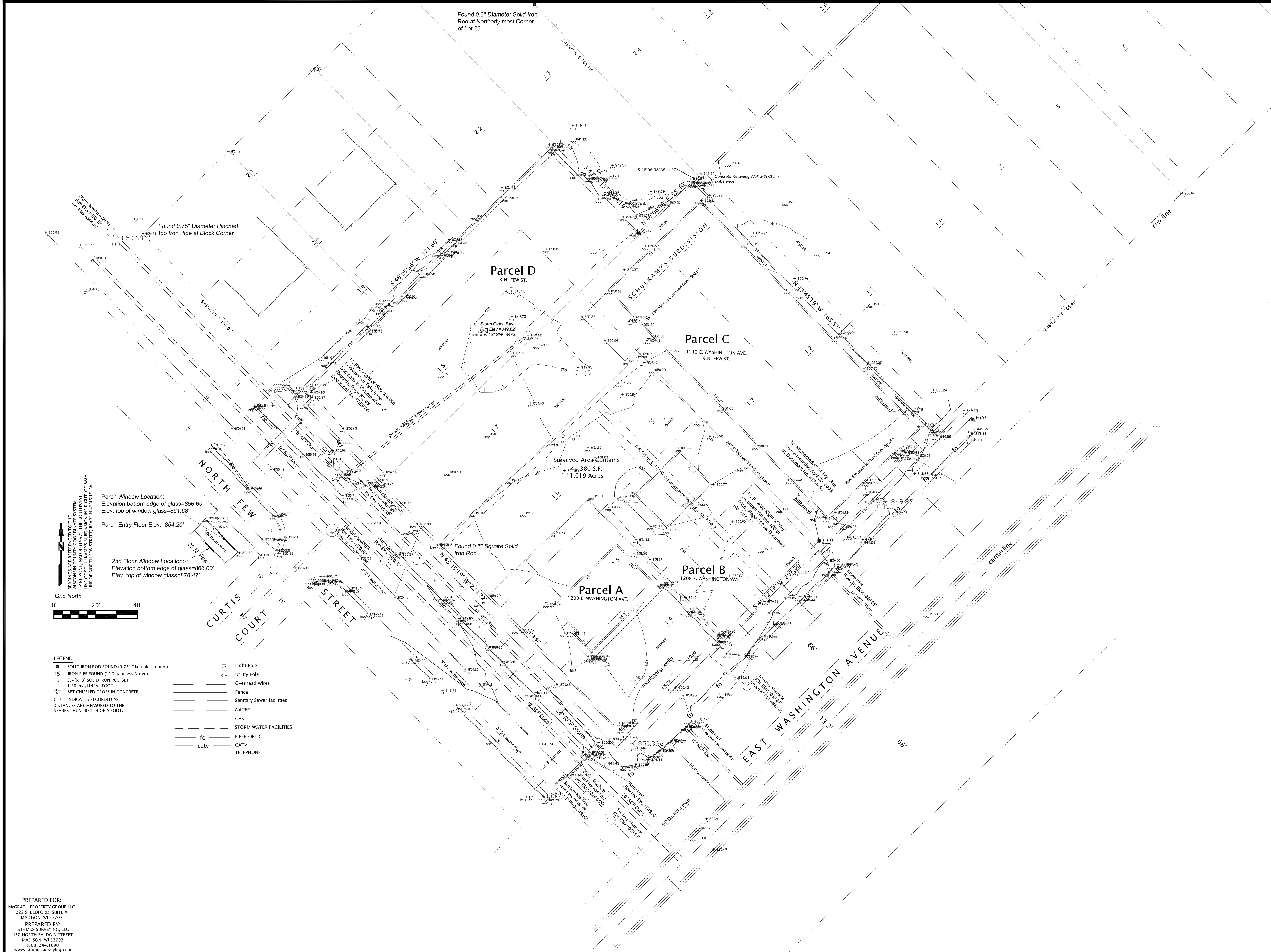
REVISION SCHEDULE		
Mark	Description	Date

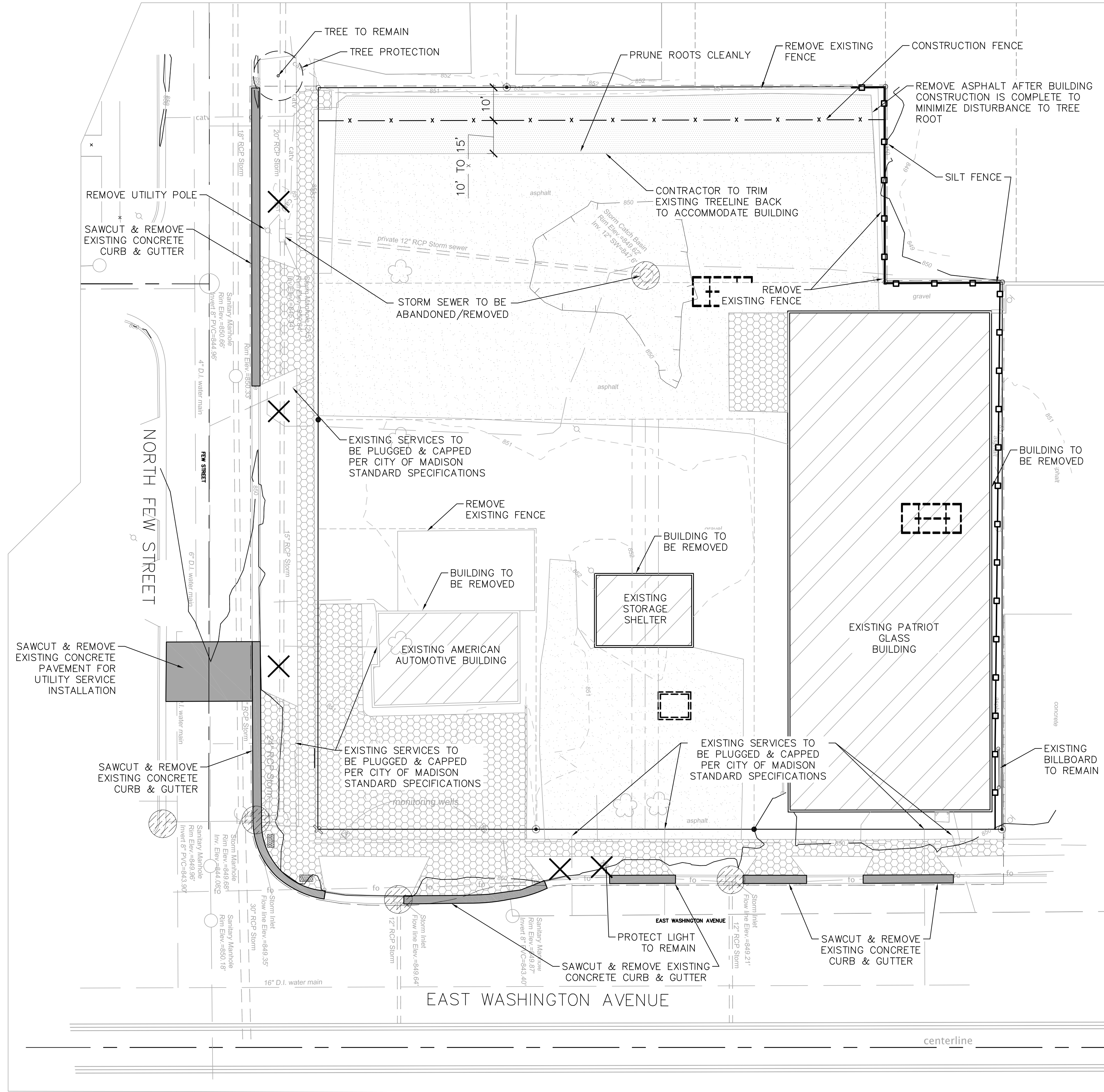
SHEET TITLE

Existing Conditions Plan

SHEET NUMBER

C100





- EROSION NOTES:**
- THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND UTILIZE EXISTING ASPHALT PAVEMENT TO PREVENT TRACKING ONTO FEW STREET.
 - DOWNSTREAM INLETS IN AND ADJACENT TO THE SITE SHALL HAVE TYPE D INLET PROTECTION ON EXISTING AND PROPOSED INLETS ONCE THEY ARE CONSTRUCTED.
 - SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
 - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS OF LAWN SHALL BE PATCHED WITH SEED FERTILIZER AND MULCH/MAT
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR RE-DISTURBANCE. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%)
 - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - A TRACKING MAT WILL NOT BE REQUIRED DUE TO THE LIMITED NATURE OF DISTURBANCE FOR THIS BUILDING. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
 - CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE FROM THE WESTERNMOST ENTRY. CONTRACTOR SHALL ENSURE THAT ACCESS TO THE SITE AND FEW STREET ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.
 - BORROW MATERIAL FOR SLOPE CONSTRUCTION NEED NOT BE STRUCTURAL FILL, BUT MUST BE REASONABLY FREE OF BOULDERS OR DEBRIS TO ALLOW EASE OF PLACEMENT.
 - BECAUSE OF THE SIGNIFICANT EXCAVATION BELOW THE SURFACE FOR UNDERGROUND PARKING, THE CONTRACTOR WILL NEED TO PUMP STORM WATER FROM THE EXCAVATION. THE CONTRACTOR WILL USE APPROPRIATELY SIZED SEDIMENT BAGS FOR ANY TRENCH WATER DISCHARGE.

- ANTICIPATED CONSTRUCTION SCHEDULE:**
- INSTALL INLET PROTECTION AS DETAILED ON THE PLAN.
 - REMOVE EXISTING ITEMS AS DETAILED IN THE DEMOLITION PLAN.
 - CONSTRUCT BUILDING AND UTILITIES AS PRESCRIBED IN THE PLAN. CONTRACTOR SHALL INSTALL PHASE 1 STORM SEWER AS SOON AS POSSIBLE TO PROVIDE DRAINAGE FOR LOW SPOT ON THE NORTH PROPERTY LINE ONCE THE EXISTING 24" STORM SEWER HAS BEEN CUT OFF DUE TO FOUNDATION CONSTRUCTION.
 - GRADE AREA IMMEDIATELY ADJACENT TO THE NEW BUILDING FOR PAVEMENT AND CURB CONSTRUCTION.
 - CONSTRUCT PAVEMENT, CURB & SIDEWALK.
 - RESTORE DISTURBED AREAS WITH TEMPORARY SEEDING IN CENTER OF PARCEL. FINAL RESTORATION MAY BE COMPLETED ALONG WEST AND NORTHWEST PROPERTY LINES.
 - TOPSOIL, SEED AND MULCH/EROSION MAT ALL DISTURBED AREAS.
 - INSTALL LANDSCAPING PLANTS.
 - REMOVE EROSION CONTROL ITEMS.
- AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
- AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
- AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLIMIDE)

LEGEND

PROPERTY LINE	---
PROJECT LIMITS	---
REMOVE ASPHALT - PHASE 1	[Pattern]
REMOVE ASPHALT - PHASE 2	[Pattern]
REMOVE CONCRETE	[Pattern]
REMOVE EXISTING BUILDING	[Pattern]
REMOVE TREE	[Symbol]
ELECTRICAL SERVICE	E
SANITARY SEWER	SAN
TELEPHONE	T
WATER MAIN	W
CONTOUR - MINOR (1')	929
CONTOUR - MAJOR (5')	925
SILT FENCE	[Symbol]
TYPE D INLET PROTECTION	[Symbol]

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
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 www.DiggersHotline.com



JOSEPH LEE + ASSOCIATES
 2418 CROSSROADS DRIVE - SUITE 2300
 MADISON, WISCONSIN 53718
 608.241.9500

JLA PROJECT NUMBER: 14-1010-01

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE: _____

Demolition & Erosion Control Plan

SHEET NUMBER: _____

C200

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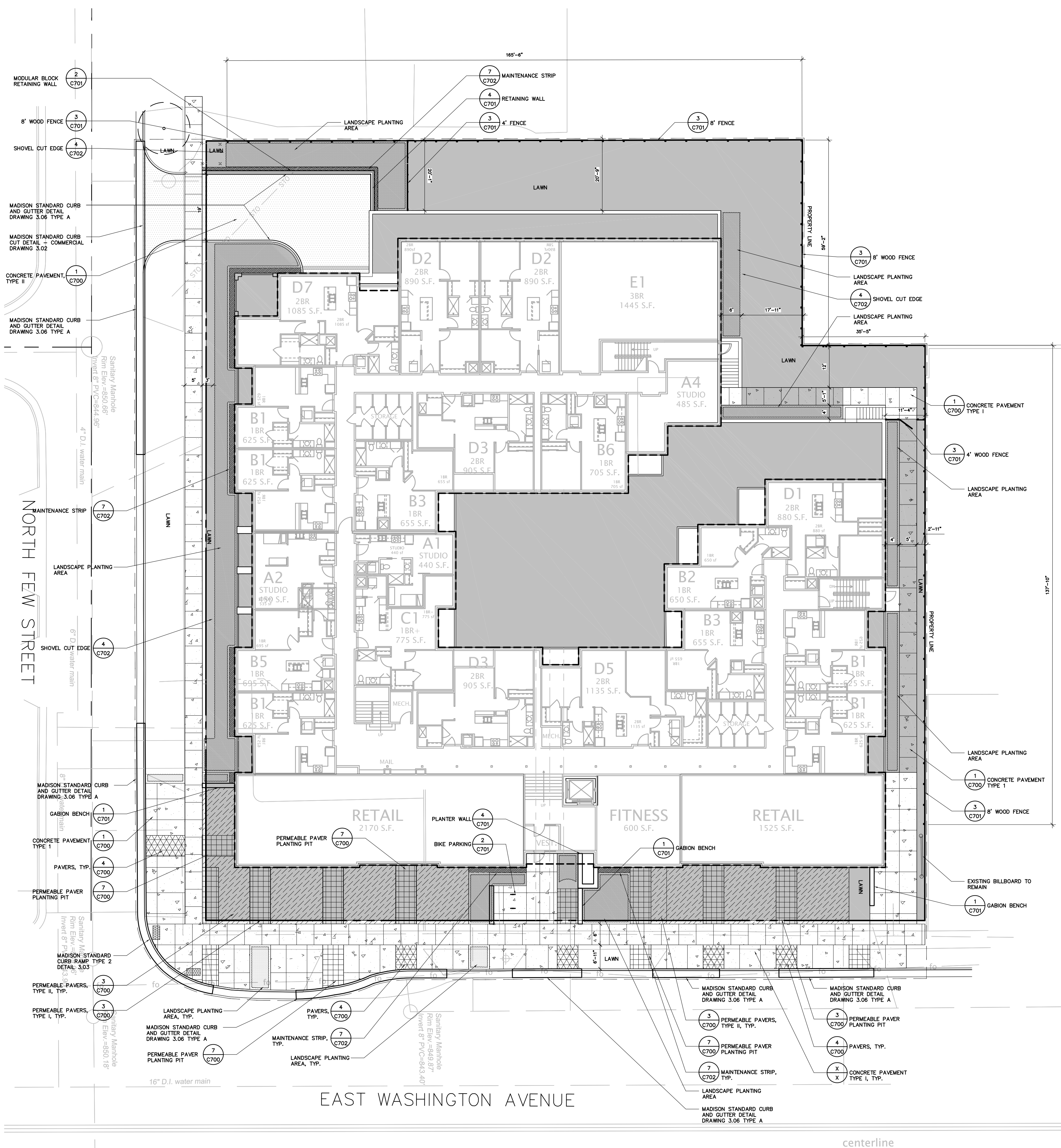
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

Site Plan

SHEET NUMBER

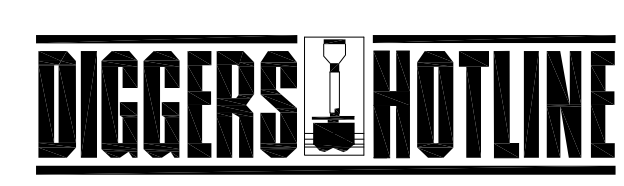
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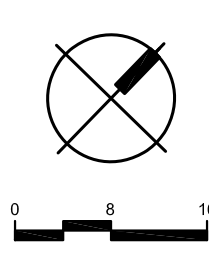
- NOTES:
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
 - ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
 - MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
 - ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
 - BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.11.
 - ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.

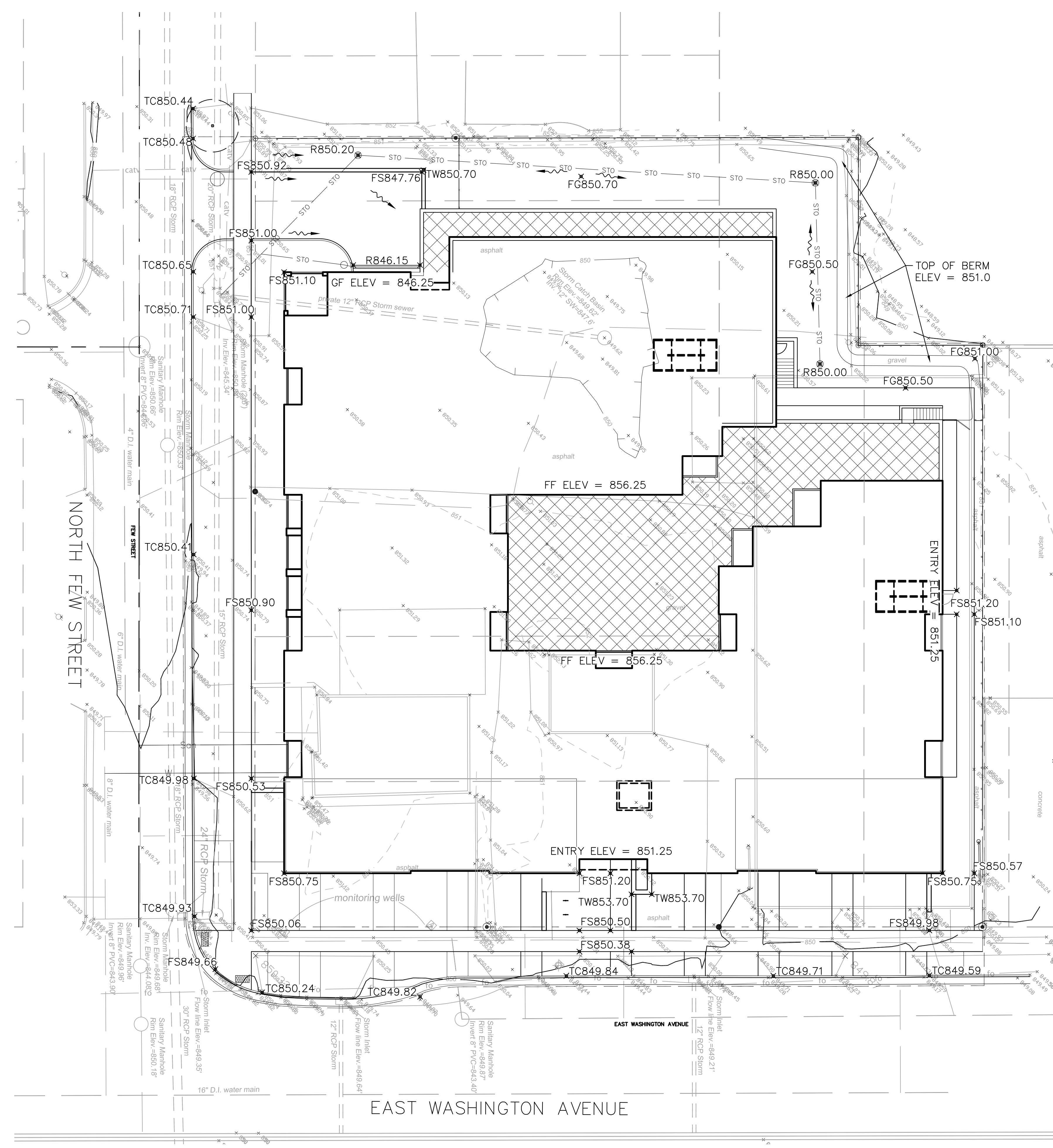
- PROPERTY LINE
- PROJECT LIMIT LINE
- [Pattern] CONCRETE PAVEMENT, TYPE 1
- [Pattern] CONCRETE PAVEMENT, TYPE 2
- [Pattern] PERMEABLE PAVERS
- [Pattern] LANDSCAPE PLANTING AREA
- [Pattern] USABLE OPEN SPACE

SITE STATISTICS	
SITE AREA	44,380sf
USABLE OPEN SPACE REQUIREMENTS	
SITE DWELLINGS	
1-BEDROOM	50 (160sf per unit)
>1-BEDROOM	26 (320sf per unit)
REQUIRED USABLE OPENS SPACE	16,320 SF
PROPOSED USABLE OPEN SPACE	
LANDSCAPE AREAS	8,176SF
PERVIOUS PAVEMENT	2,394SF
GREENROOF/BALCONY	5,979SF
TOTAL	16,549 SF



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GRADING & EROSION CONTROL GENERAL NOTES:

- CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NOT LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SILT FENCE SHALL BE INSTALLED PER DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1.
- EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
- WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN FOURTEEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN DAYS. TEMPORARY STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
- ALL EXCESS MATERIAL SHALL BE STOCKPILED AT LOCATIONS APPROVED BY THE CITY/DEVELOPER PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND SHALL UTILIZE THE METHODS OUTLINED IN WDNR TECH STD. 1068.
- THE REMOVAL OF VEGETATIVE COVER AND EXPOSURE OF THE BARE GROUND MUST BE RESTRICTED TO THE MINIMUM AMOUNT NECESSARY FOR CONSTRUCTION. AREAS WHERE SOIL IS EXPOSED MUST BE PROTECTED FROM EROSION BY SEEDING AND MULCHING, SODDING, DIVERSION OF SURFACE RUNOFF, INSTALLATION OF STRAW BALES OR SILT SCREENS, CONSTRUCTION OF SETTLING BASINS, OR SIMILAR METHODS AS SOON AS POSSIBLE AFTER REMOVAL OF THE ORIGINAL GROUND COVER AS DESCRIBED IN THE WISCONSIN DNR TECHNICAL STANDARDS. ANY STOCKPILE THAT REMAINS OVER 7 DAYS MUST BE STABILIZED WITH MIXTURE NO. 20 FROM THE WISDOT SECTION 630.
- STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN WDNR TECHNICAL STANDARDS.
- EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS.
- AFTER THE SITE IS UNIFORMLY STABILIZED ACROSS 80% OF THE SITE AREA, OR PRIOR TO, AT THE DIRECTION OF THE DEVELOPER'S REPRESENTATIVE, ALL TEMPORARY EROSION CONTROL MEASURES MUST BE REMOVED AND DISPOSED OF PROPERLY. THE CONTRACTOR SHALL MAKE ALL REPAIRS OF LAWNS AND LANDSCAPED AREAS FOLLOWING THE REMOVAL OF SILT FENCES AND STAKES.
- THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY INFORMATION FROM THE WDNR. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH. ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED TO EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
- REFER TO THE CONSTRUCTION DETAILS FOR MORE INFORMATION.

NOTES:

- CLASS I TYPE A EROSION MAT REQUIRED ON ALL 4:1 OR STEEPER SLOPES, TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALL IMPORTED GRANULAR FILL FOR USE UNDER ROADWAYS, SIDEWALKS OR STRUCTURES SHALL BE FREE OF ANY ORGANIC MATERIAL OR LARGE STONES. OTHER FILL IMPORTED FOR AREAS NOT UNDER PAVED OR GRAVELED AREAS SHALL BE REASONABLY FREE OF DEBRIS, ROOTS AND STONES LARGER THAN 6".
- GRADING TOLERANCES:
 FINISH GROUND = ±0.10'
 SUBGRADE = ±0.10'
 GRAVEL GRADE = ±0.05'
 CONCRETE/ASPHALT = ±0.03'
 BERMS = +0.00' - 0.25'

LEGEND

PROPERTY LINE	---
PROJECT LIMITS	---
EXISTING BUILDING	
ELECTRICAL SERVICE	E---
SANITARY SEWER	SAN---
TELEPHONE	T---
WATER MAIN	W---
CONTOUR - MINOR (1')	-929-
CONTOUR - MAJOR (5')	-925-

SPOT ELEVATION ABBREVIATIONS:

P	= PROPOSED ASPHALT
EW	= EXISTING WALK
EG	= EXISTING GRADE
EC	= EXISTING CONCRETE
FS	= FINISHED SURFACE
FG	= FINISHED GRADE
TW	= TOP OF WALL
BW	= BOTTOM OF WALL
TC	= TOP OF CURB
TR	= TOP OF ROCK
TS	= TOP OF SLOPE
BS	= BOTTOM OF SLOPE
IE	= INVERT ELEVATION
R	= RIM
FLG	= FLANGE OF CURB

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JLA
 architects + planners
 JOSEPH LEE + ASSOCIATES
 2418 CROSSROADS DRIVE - SUITE 2300
 Madison, Wisconsin 53718
 608.241.9500

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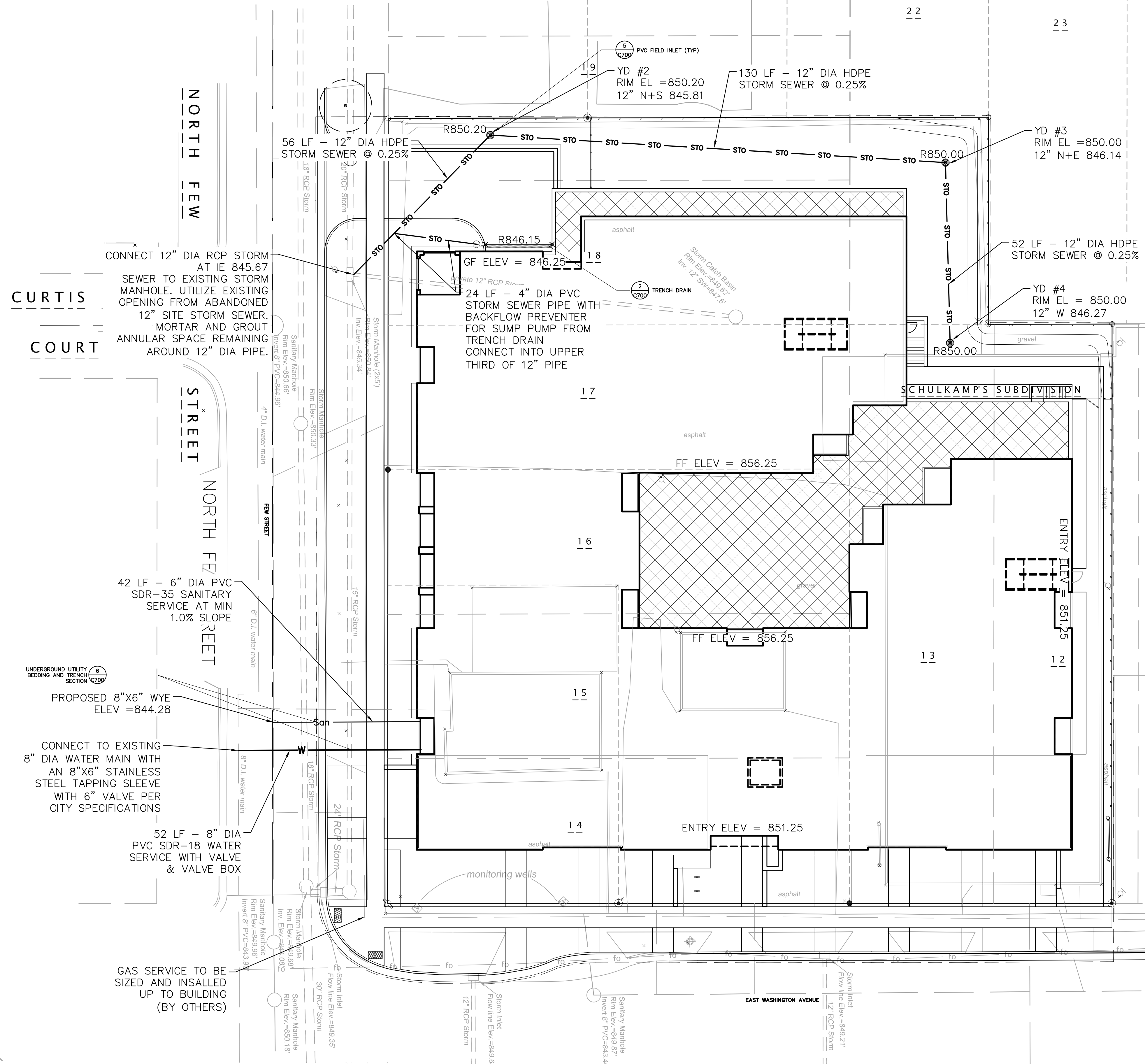
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Mark	Description	Date

SHEET TITLE: **Grading & Drainage Plan**

SHEET NUMBER: **C400**



UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY THE INVERTS OF EXISTING STRUCTURES PRIOR TO EXCAVATION AND SHALL NOTIFY THE ENGINEER IF ELEVATIONS ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN ON THE PLAN.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

-"STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION

-CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS.

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED PER CITY OF MADISON STANDARDS

WATER DISTRIBUTION SYSTEM:

MAIN:

-DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR

-POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

-ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

-6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52

-2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

-WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

-VALVES & VALVE BOXES SHALL BE PER CITY OF MADISON STANDARD SPECIFICATIONS

SANITARY SEWER

MAIN:

-8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-35 (BURY DEPTH 16' OR LESS)

-8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-26 (BURY DEPTH 22' TO 16')

-WHERE LARGER 10" SANITARY SEWER IS REPLACING EXISTING 6" SEWER, CONTRACTOR SHALL REMOVE THE BENCH OF THE EXISTING MANHOLE AND OBTAIN THE LOWEST INVERT ELEVATIONS POSSIBLE FOR THE ENTIRE RUN.

STORM SEWER:

-STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

- 12" DIA - CLASS V RCP
- 15" DIA - CLASS IV RCP
- 18" DIA - CLASS III RCP

-STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

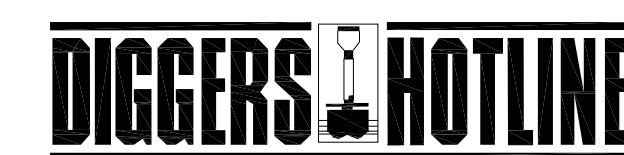
-STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.

-ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

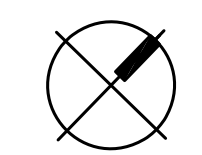
-AT EACH POINT WHERE A STORM SEWER "DAYLIGHTS", A MARKER POST EQUIVALENT TO THOSE SPECIFIED BY WSDOT, SHALL BE INSTALLED AT THE END TO MARK THE LOCATION.

LEGEND

- PROPERTY LINE ———
- PROJECT LIMITS - - - - -
- EXISTING BUILDING [Hatched Box]
- ELECTRICAL SERVICE — E —
- SANITARY SEWER — SAN —
- TELEPHONE — T —
- WATER MAIN — W —
- CONTOUR - MINOR (1') — 929 —
- CONTOUR - MAJOR (5') — 925 —



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1200 LOFTS

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DATE OF ISSUANCE MARCH 17, 2015

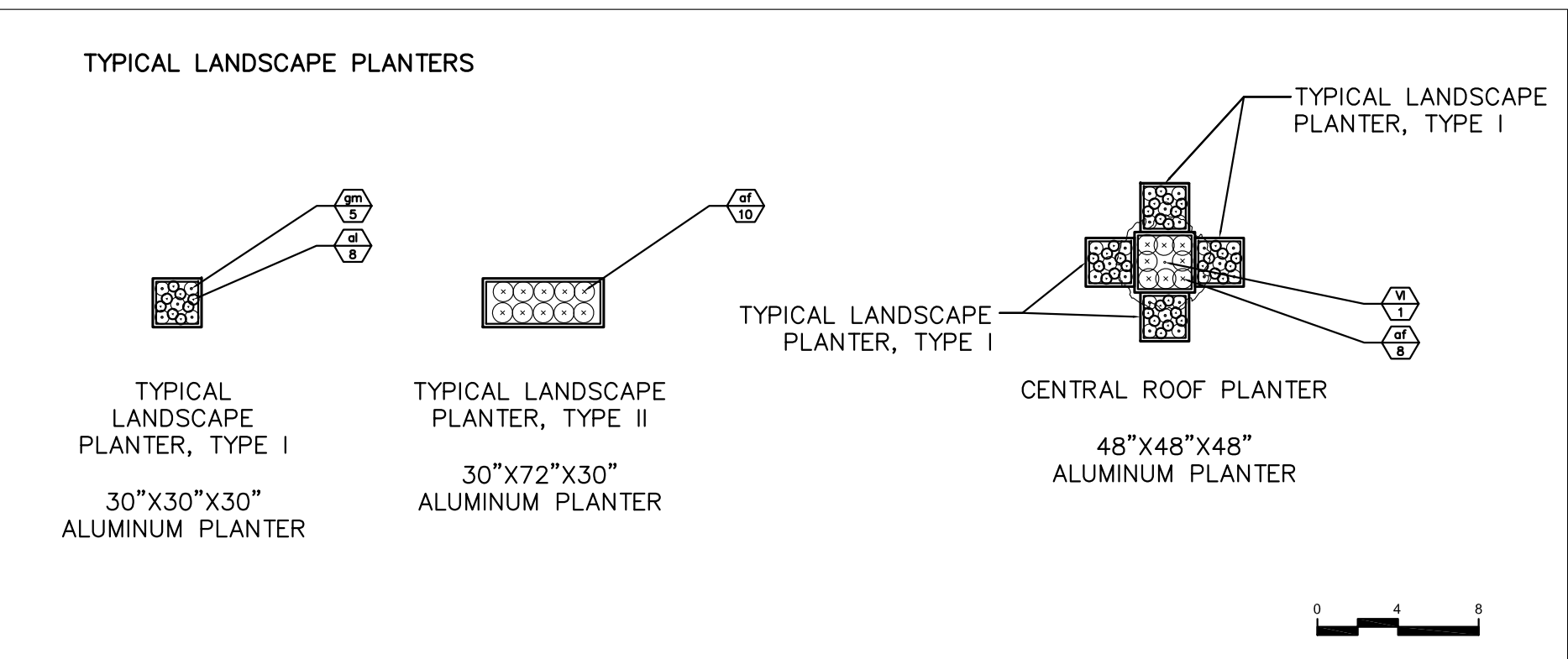
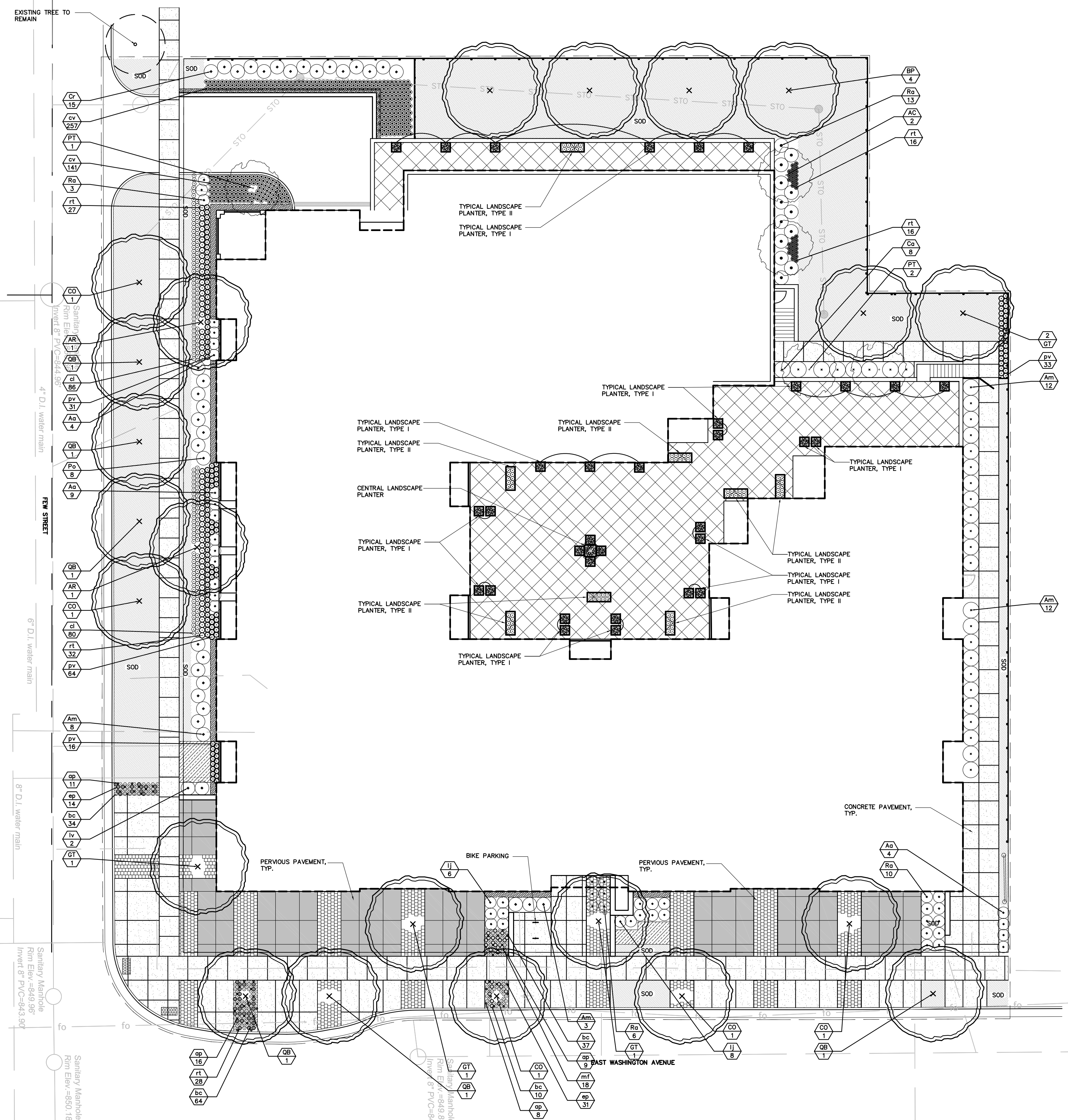
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

Utility Plan

SHEET NUMBER

C500



Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
TREES						
AC	Amelanchier canadensis	Shadblow Serviceberry	#10	Cont.	2	na
AR	Acer rubrum	Red Maple	2-1/2"	B&B	2	na
BP	Betula papyrifera	Paper Birch	1-1/2"	B&B	4	na
CO	Celtis occidentalis	Common Hackberry	2-1/2"	B&B	5	na
GT	Gleditsia trianthos	Skyline Honeylocust "Skycole"	2-1/2"	B&B	5	na
PT	Populus tremuloides	Quaking Aspen	2-1/2"	B&B	3	na
QB	Quercus bicolor	Swamp White Oak	2-1/2"	B&B	6	na
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	#3	Cont.	34	3'-6"
Aa	Aronia arbutifolia	Upright Red Chokeberry	#3	Cont.	17	3'
Ca	Ceanothus americanus	New Jersey Tea	#3	Cont.	8	3'
Cr	Cornus racemosa	Gray Dogwood	#3	Cont.	15	3'
Ij	Ilex verticillata 'Jim Dandy'	Winterberry 'Jim Dandy'	#3	Cont.	14	4'
Iv	Ilex verticillata	Winterberry	#3	Cont.	2	4'
Po	Physocarpus opulifolius	Ninebark "Little Devil"	#3	Cont.	8	4'
Ra	Rhus aromatica	Gro-Low Sumac	#3	Cont.	32	4'
Vi	Viburnum lentago	Nannyberry Viburnum	#5	Cont.	1	4'
PERENNIAL						
af	Athyrium filixfemina	Lady Fern	1 Gal	Cont.	88	As Shown
al	Allium cernuum	Nodding Onion	Quart	Cont.	264	As Shown
ap	Anemone patens	Pasque Flower	2"	Plug	44	As Shown
bc	Bouteloua curtipendula	Side Oats Grama	2"	Plug	145	As Shown
cl	Coreopsis lanceolata	Lance-leaf Coreopsis	Quart	Cont.	166	As Shown
cv	Carex vulpinoidea	Fox Sedge	2"	Plug	398	As Shown
ep	Echinacea purpurea	Purple Coneflower	2"	Plug	45	As Shown
gm	Geranium maculatum	Bigroot Geranium	Quart	Cont.	165	As Shown
mf	Monarda fistulosa	Wild Bergamot	2"	Cont.	18	As Shown
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	141	As Shown
rt	Rudbeckia triloba	Brown-eyed Susan	Quart	Cont.	119	As Shown
MEADOW PLANTING						
bc	Bouteloua curtipendula	Side Oats Grama	2"	Plug	84	12"
ls	Liatris spicata	Gayfeather	2"	Plug	12	12"
mf	Monarda fistulosa	Wild Bergamot	2"	Plug	12	12"
rt	Rudbeckia triloba	Brown-eyed Susan	2"	Plug	12	12"
TURF						
SOD	Mix		n/a	Roll	6253 sf	na

- - - - - PROPERTY LINE
 - - - - - PROJECT LIMIT LINE
 [Pattern] CONCRETE PAVEMENT, TYP.

NOTES:
 1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS
 3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.
 4. ALL CONCRETE DOOR STOOPS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS, SEE ARCHITECTURAL DRAWINGS.
 5. ALL LANDSCAPE PAVEMENT AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION.
 6. ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 3" OF NATURAL COLORED, DOUBLE SHREDDED HARDWOOD MULCH.
 7. ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 20" OF PLANTING SOIL.
 8. ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES UNLESS OTHERWISE NOTED.
 9. ALL STONE MAINTENANCE STRIP AREAS SHALL BE EDGED WITH A METAL EDGING.
 10. RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.

LANDSCAPE POINTS	
DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	20,043 SF
DEVELOPED AREA POINTS REQUIRED (20,043/300)x5	335 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	453 LF
PROPOSED LANDSCAPING	16 CANOPY TREES, 71 SHRUBS
INTERIOR PARKING LOT LANDSCAPING:	
NOT REQUIRED: ALL PARKING IS COVERED	
FOUNDATION PLANTING LANDSCAPING:	
PROPOSED LANDSCAPE	5 ORNAMENTAL TREES, 44 SHRUBS, 173 PERENNIALS
TOTAL LANDSCAPE POINTS REQUIRED	335 POINTS
TOTAL LANDSCAPE POINTS PROVIDED	1,676 POINTS

DIGGERS HOTLINE
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 www.DiggersHotline.com



JOSEPH LEE + ASSOCIATES
 2418 CROSSROADS DRIVE, SUITE 2300
 MADISON, WISCONSIN 53718
 608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



AYRES ASSOCIATES

101 East Badger Road
 Madison, WI 53713
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 Fx. 608.255.7750
 www.saa-madison.com
 AYRES # 27-0169.00

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1200 LOFTS

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SHEET TITLE

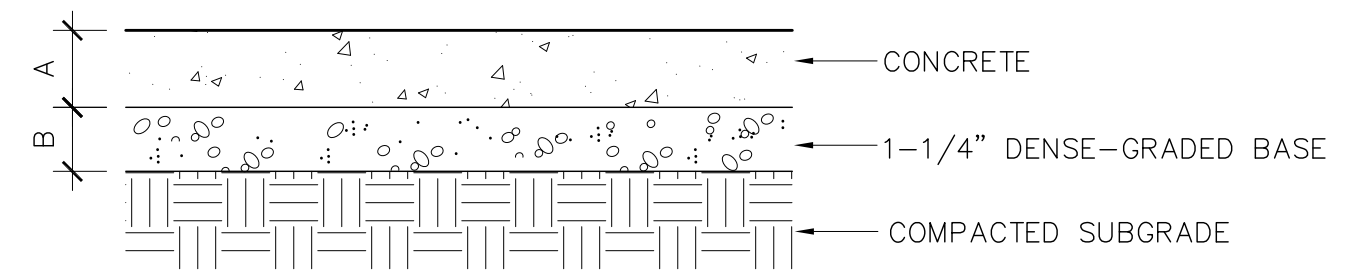
Landscape Plan

SHEET NUMBER

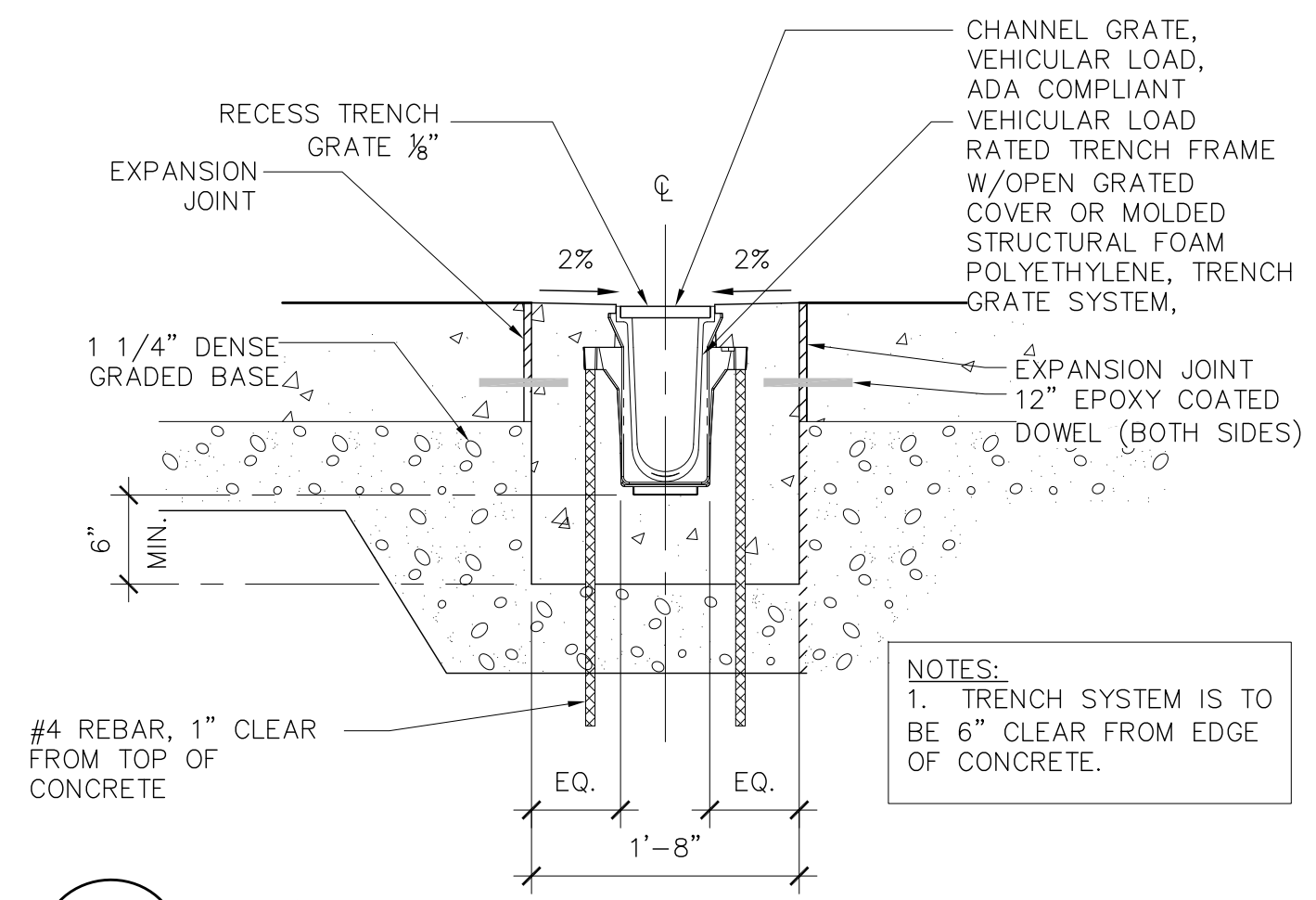
C600

PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)
TYPE 1 - CONCR. PAVEMENT-PEDESTRIAN LOAD	5"	3"
TYPE 2 - CONCR. PAVEMENT-VEHICULAR LOAD	7"	6"

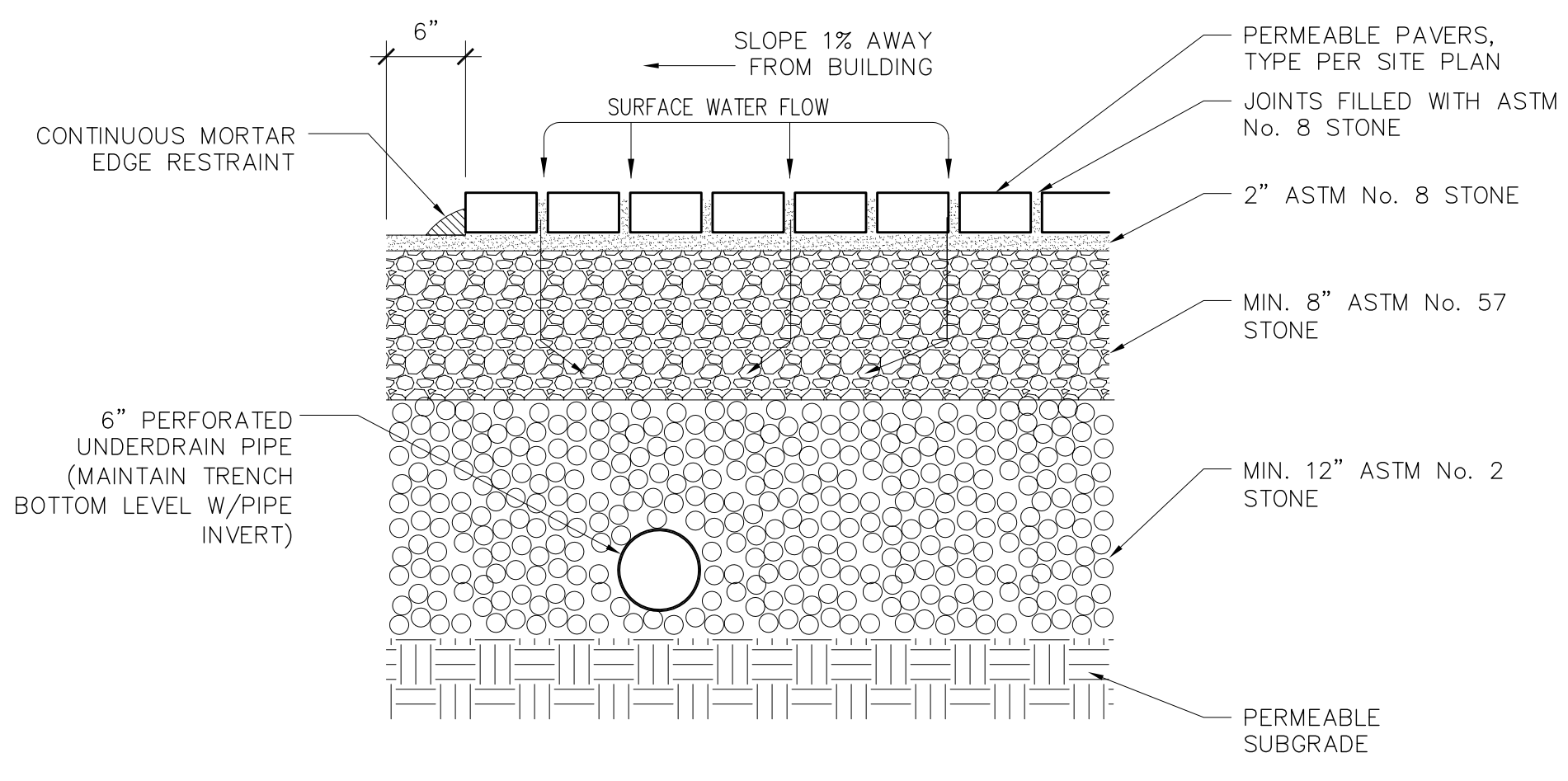
- NOTES:**
- MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED
 - PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM OR AS NOTED ON PLANS
 - STANDARD COLOR CONCRETE.
 - VEHICULAR LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
 - VEHICULAR LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 1/2" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.



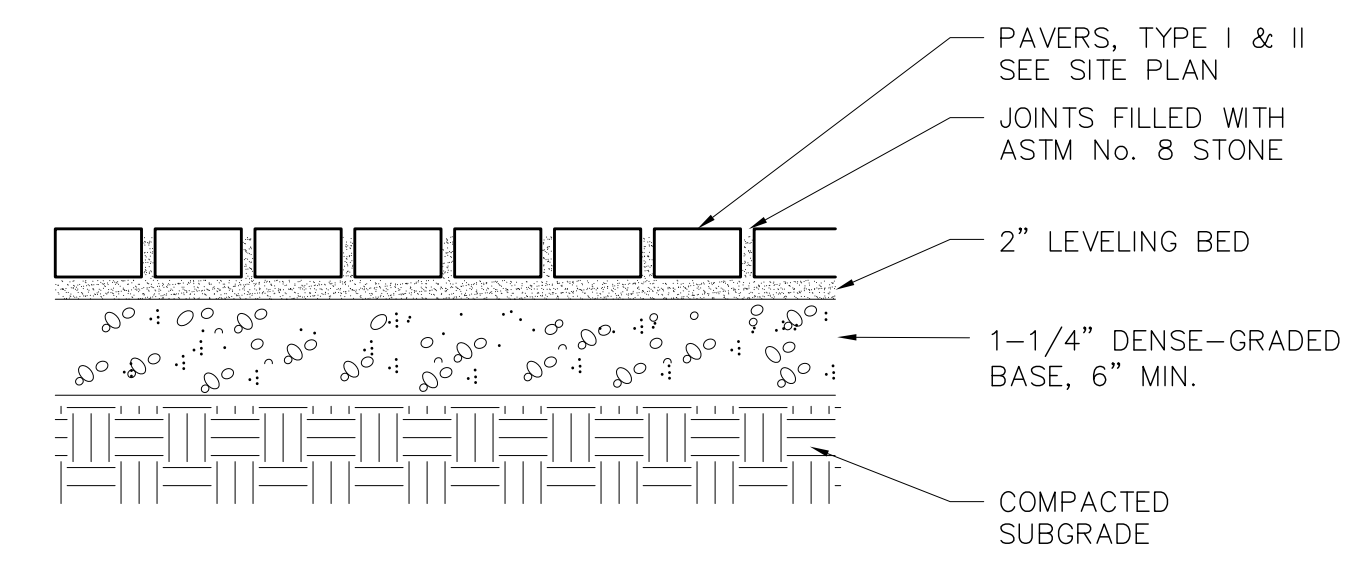
1 CONCRETE PAVEMENT
C700 SCALE 1"=1'-0"



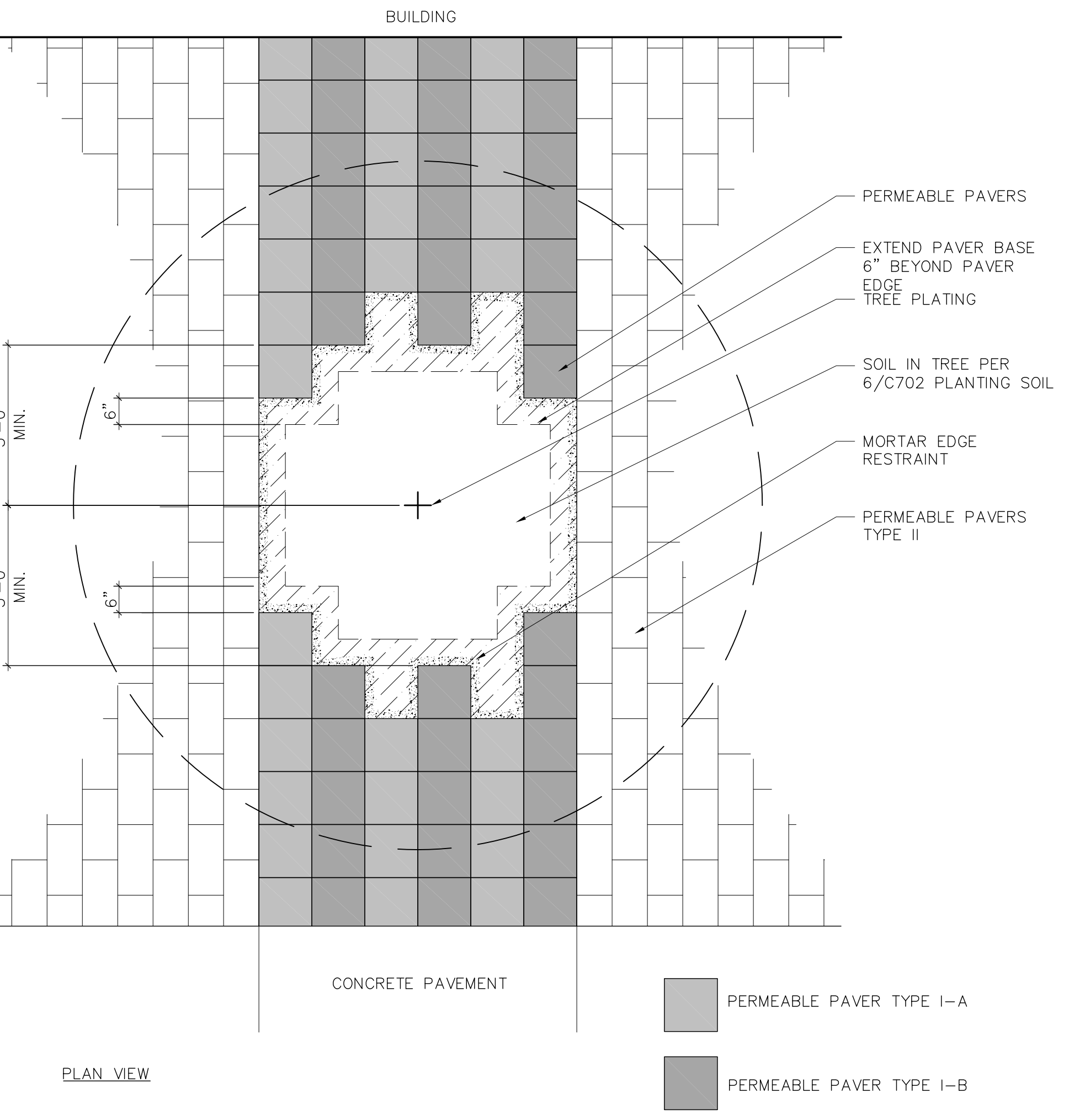
2 TRENCH DRAIN
C700 SCALE 1" = 1'-0"



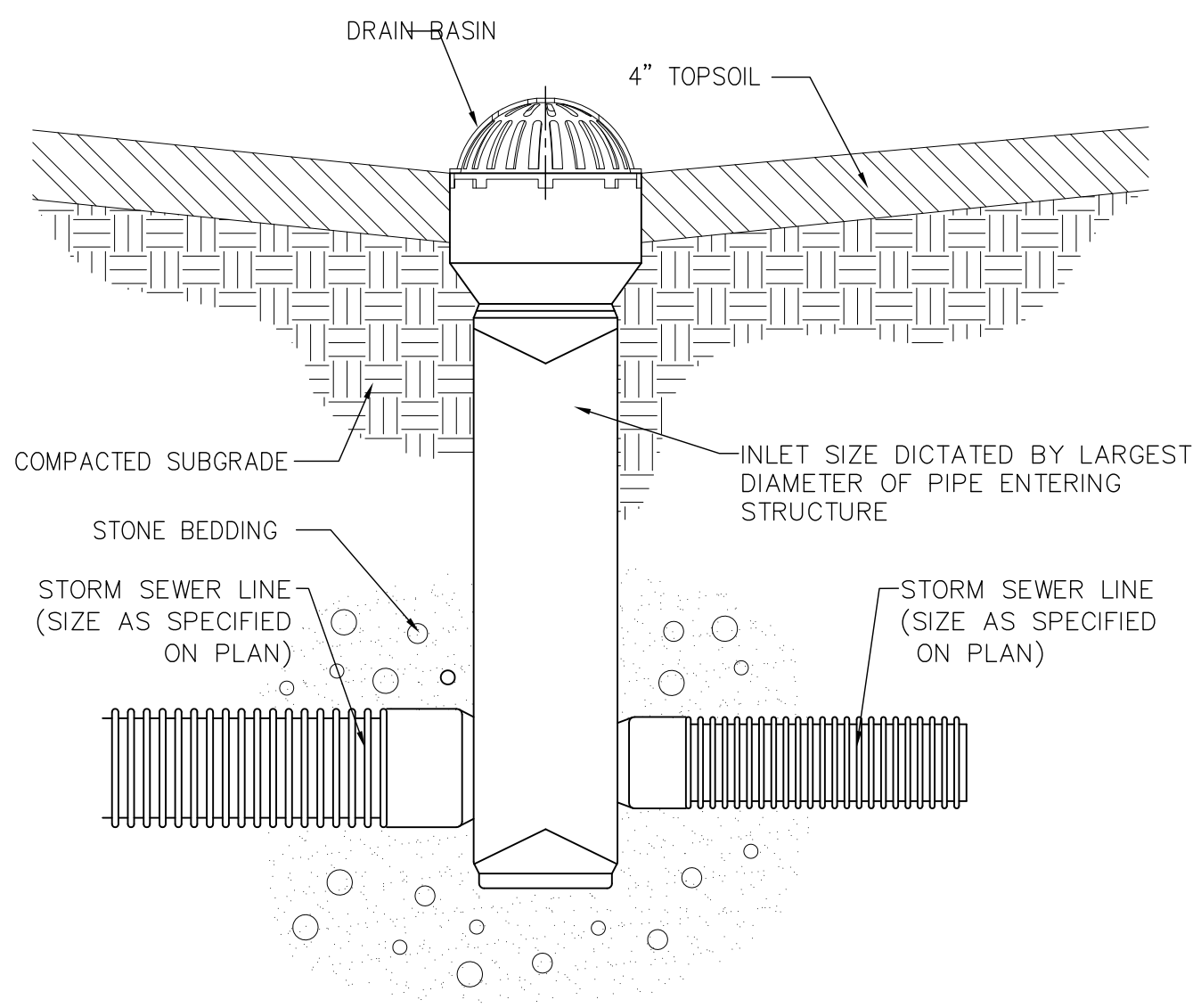
3 PERMEABLE PAVERS TYPE I & II
C700 SCALE 1"=1'-0"



4 PAVERS TYPE I & II
C700 SCALE 1"=1'-0"

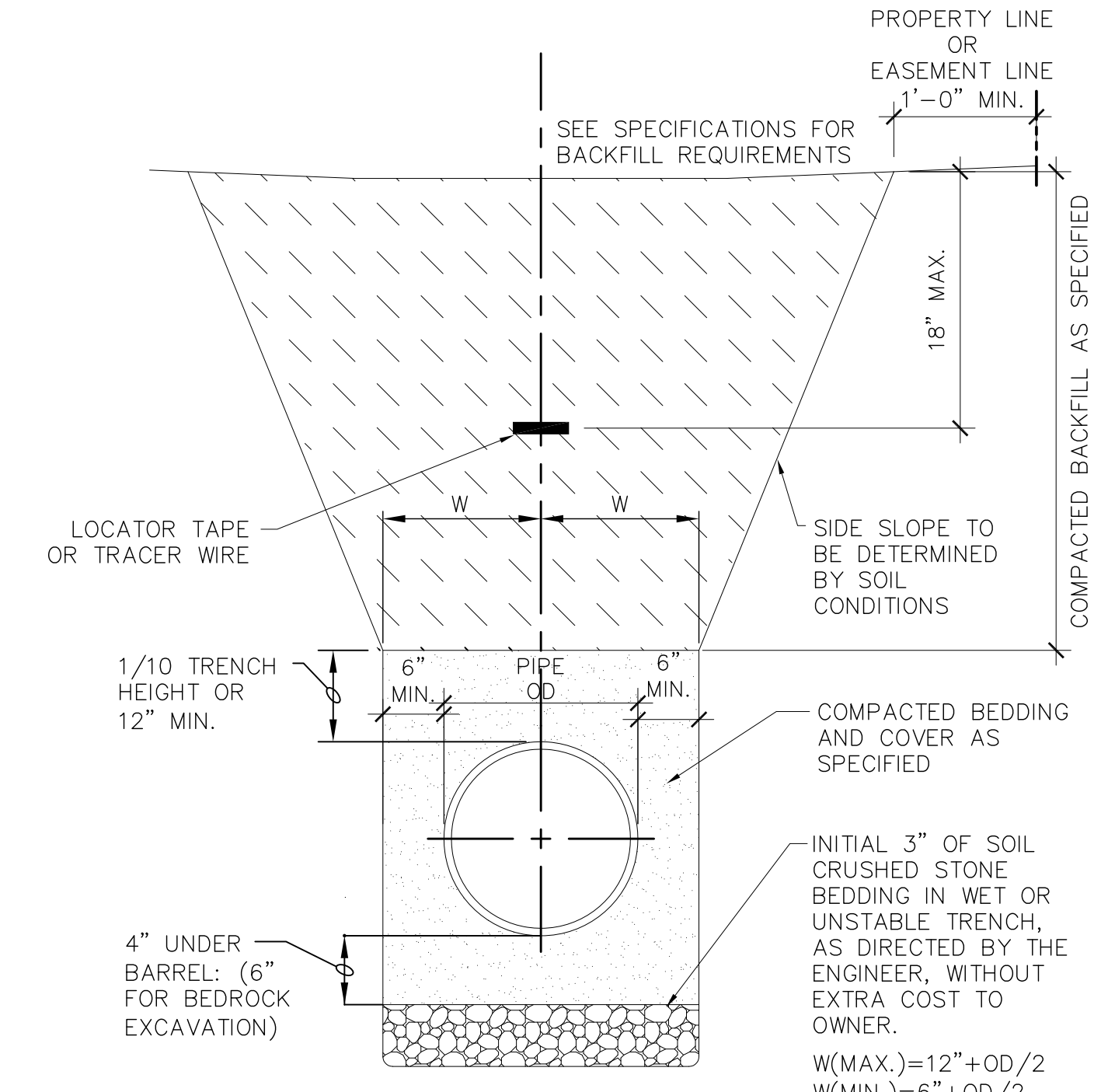


7 PERMEABLE PAVER PLANTING PIT
C700 NTS



5 PVC FIELD INLET
C700 SCALE NTS

- NOTE:**
- SURFACE RESTORATION REQUIREMENTS PER SPECIFICATIONS.
 - WATER & SANITARY SEWER WILL NEED A 6' MINIMUM COVER DEPTH AT ANY PAVEMENT CROSSINGS, INSULATION AND SPECIAL APPROVAL BY THE ENGINEER WILL BE REQUIRED.
 - APPLICABLE TO STORM SEWER, INLETS AND MANHOLES.



6 UNDERGROUND UTILITY BEDDING & TRENCH SECTION
C700 NTS



PROGRESS DOCUMENTS

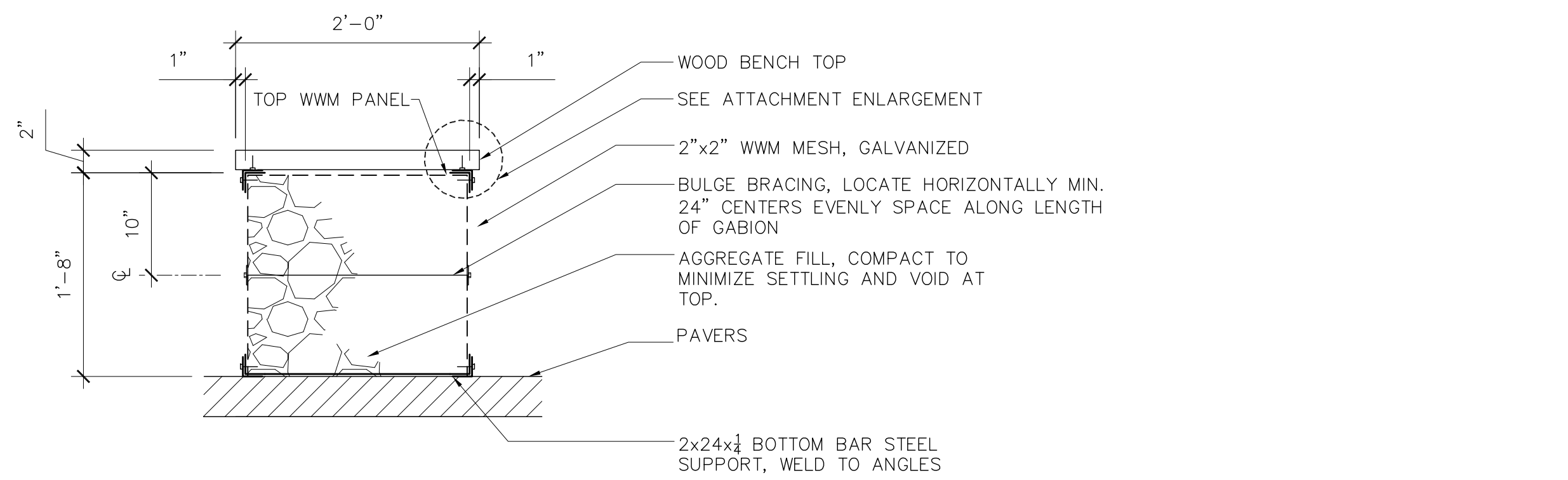
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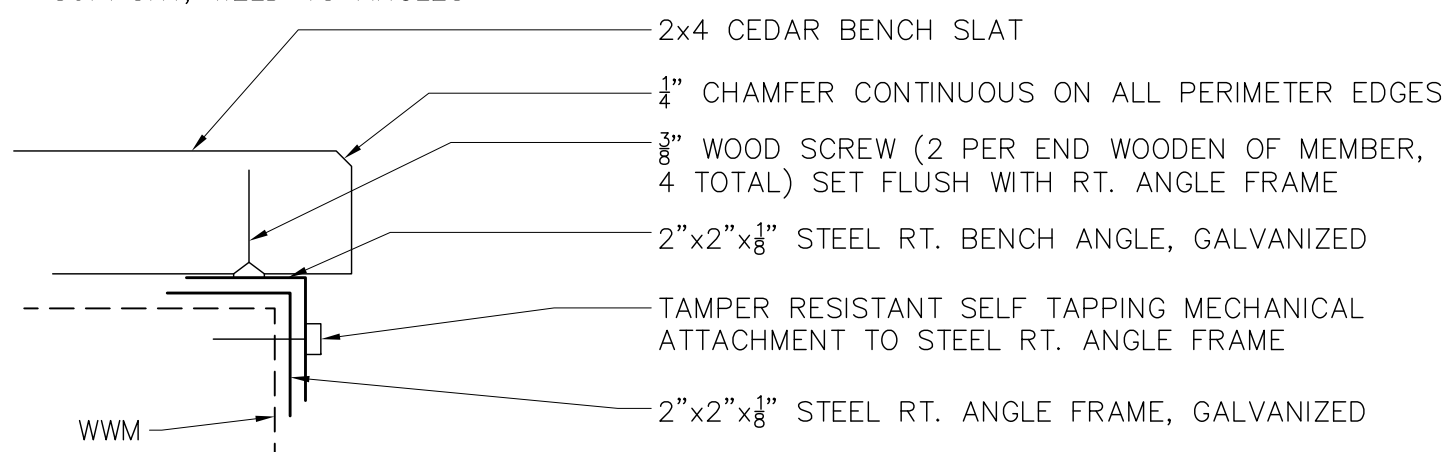
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
Details

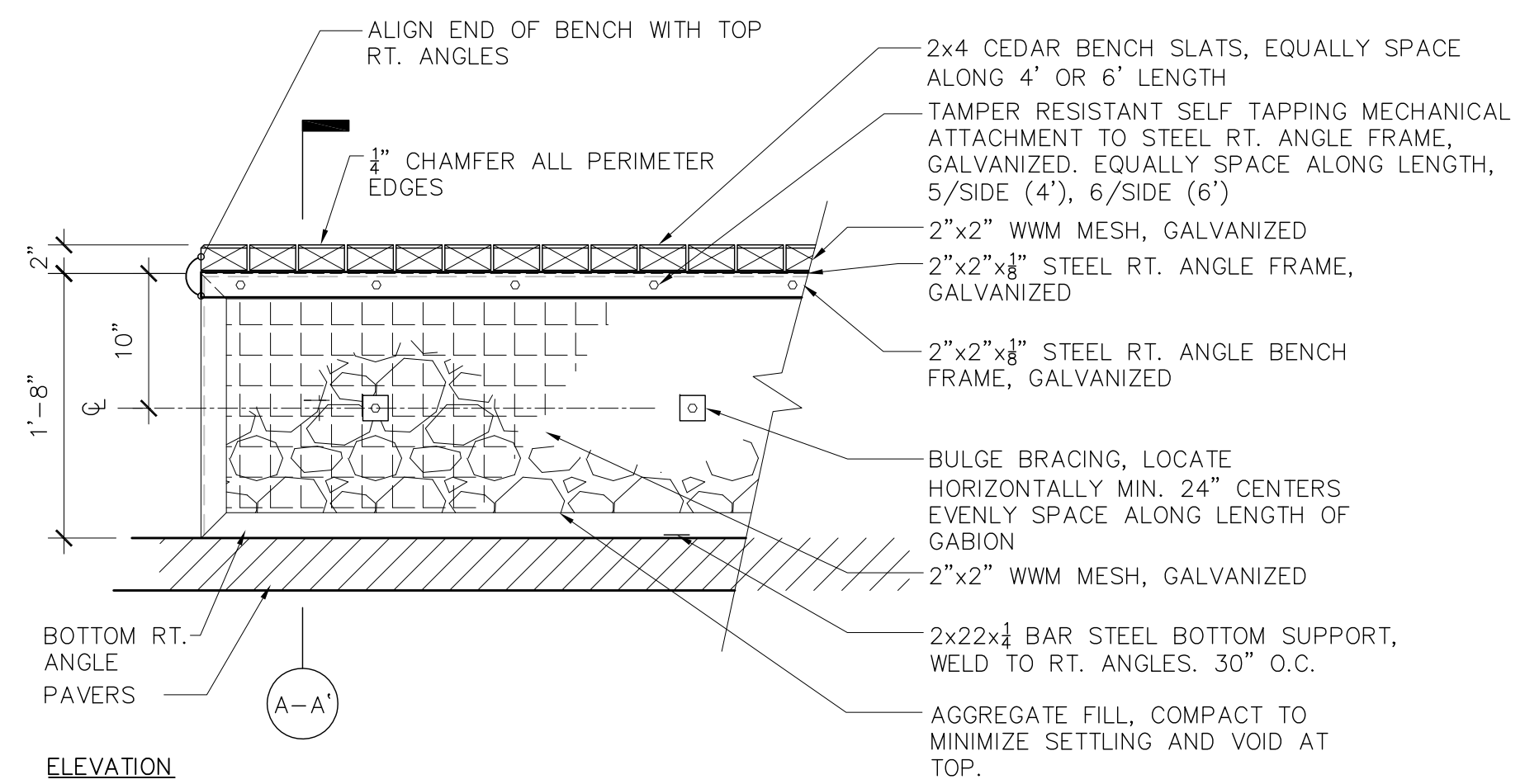
SHEET NUMBER
C700



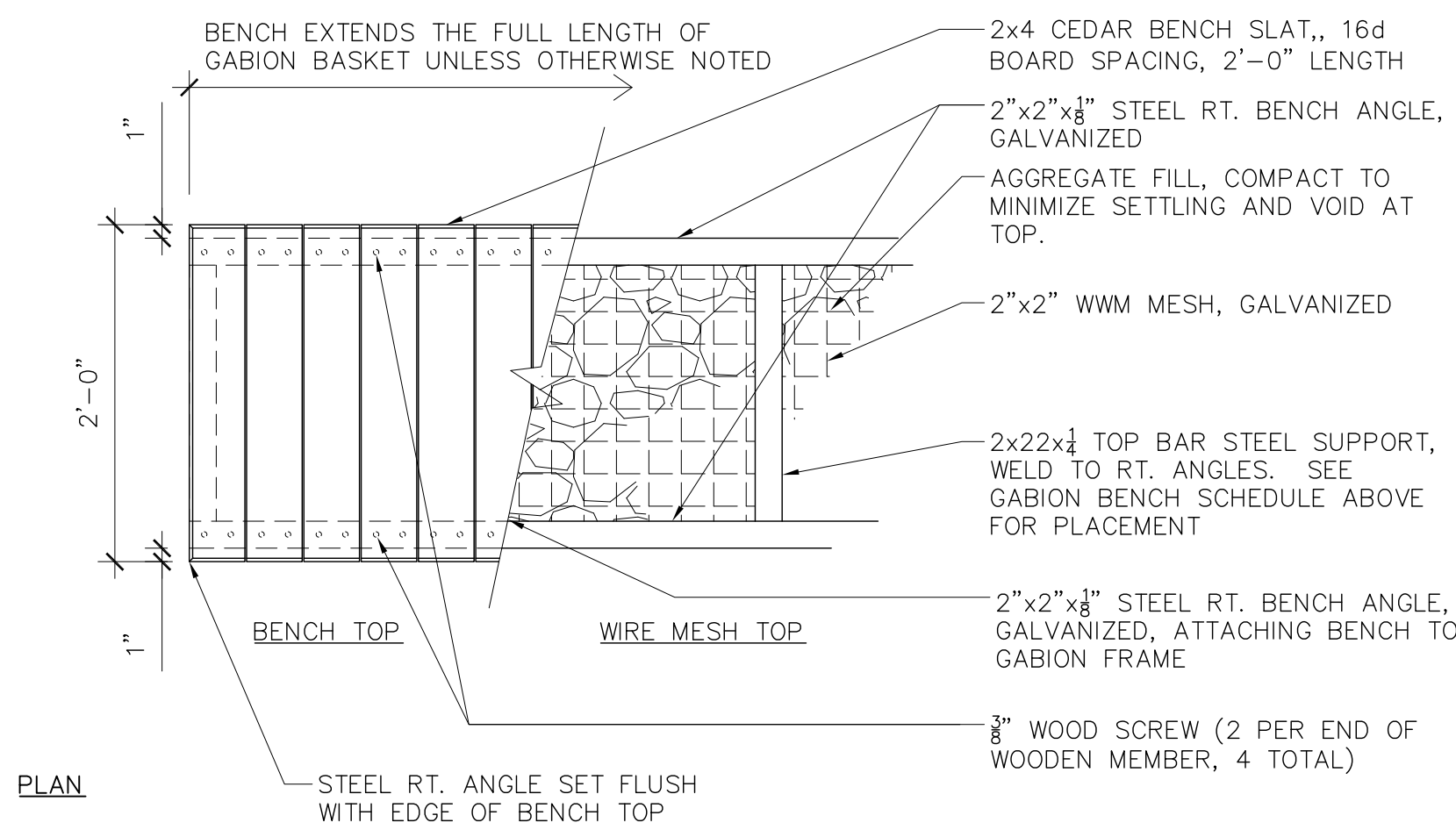
SECTION A-A'



ATTACHMENT ENLARGEMENT
SCALE: 1/4" = 1'-0"

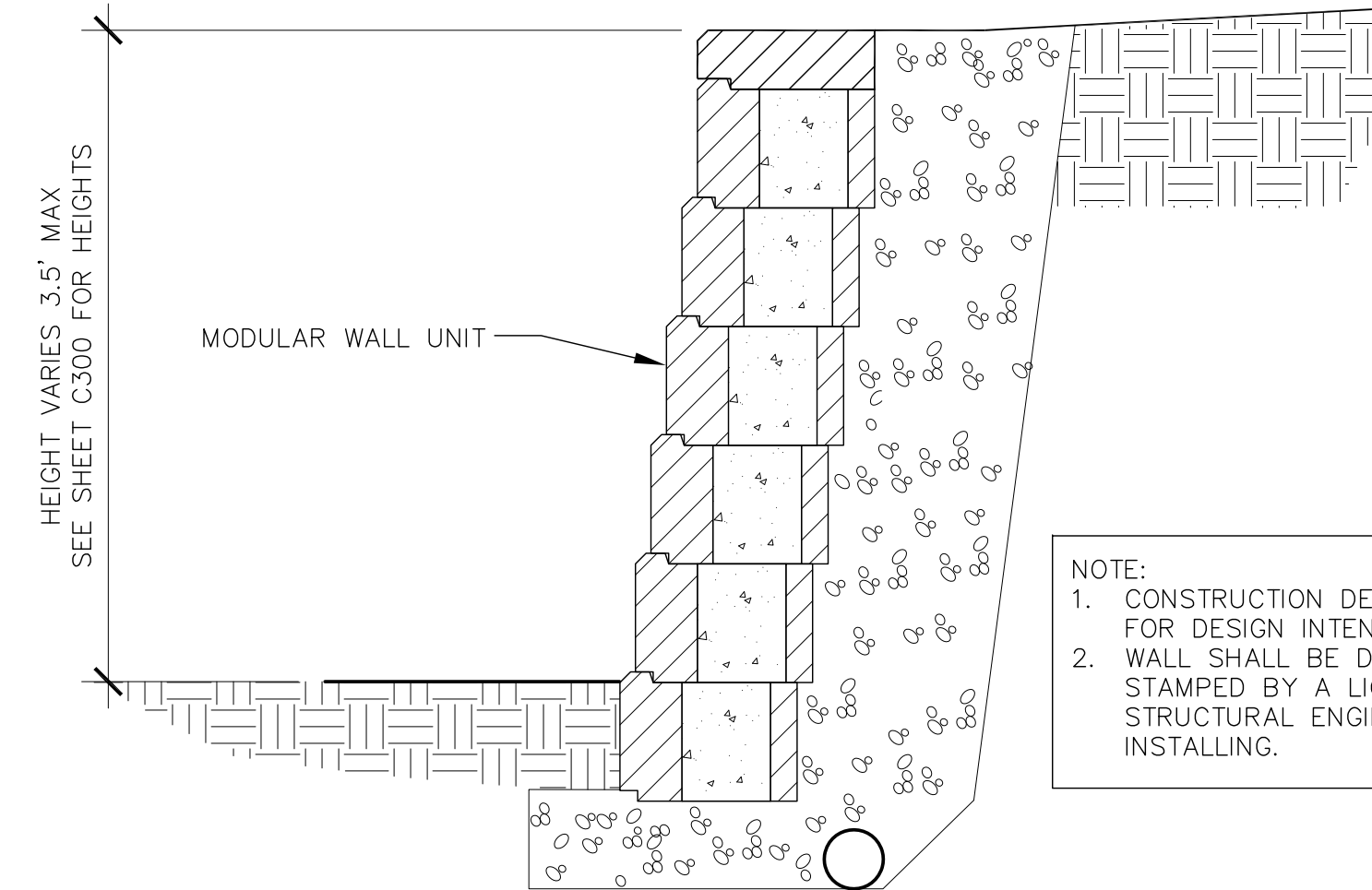


ELEVATION



PLAN

- NOTES:
- 1/4" CONTINUOUS CHAMFER ON ALL PERIMETER EDGES OF WOODEN BENCH TOP
 - ALL WELDS TO BE GRIND SMOOTH AND FREE OF BURRS AND SHARP EDGE.
 - COMPLETELY FILL GABION BASKET WITH AGGREGATE MATERIAL ONE LEVEL AT A TIME. AT NO TIME SHALL THE STONE FILL VARY MORE THAN 6" FROM ONE TO THE OTHER.
 - PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.



- NOTE:
1. CONSTRUCTION DETAILS SHOWN FOR DESIGN INTENT ONLY.
 2. WALL SHALL BE DESIGNED & STAMPED BY A LICENSED STRUCTURAL ENGINEER BEFORE INSTALLING.

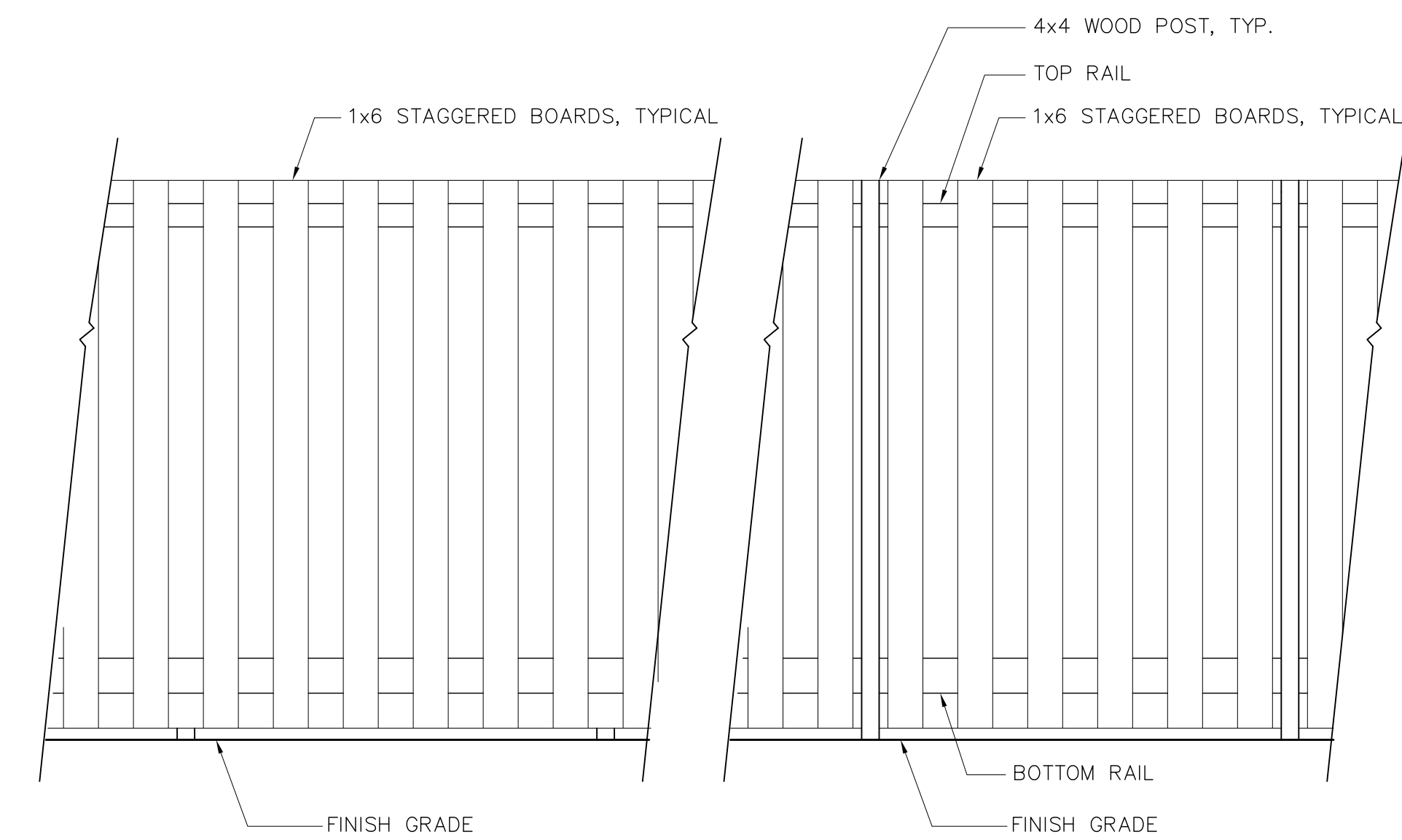
*CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTING THE WALL.

1 GABION BENCH
C701

SCALE: 1" = 1'-0"

2 MODULAR BLOCK RETAINING WALL
C701

SCALE NTS



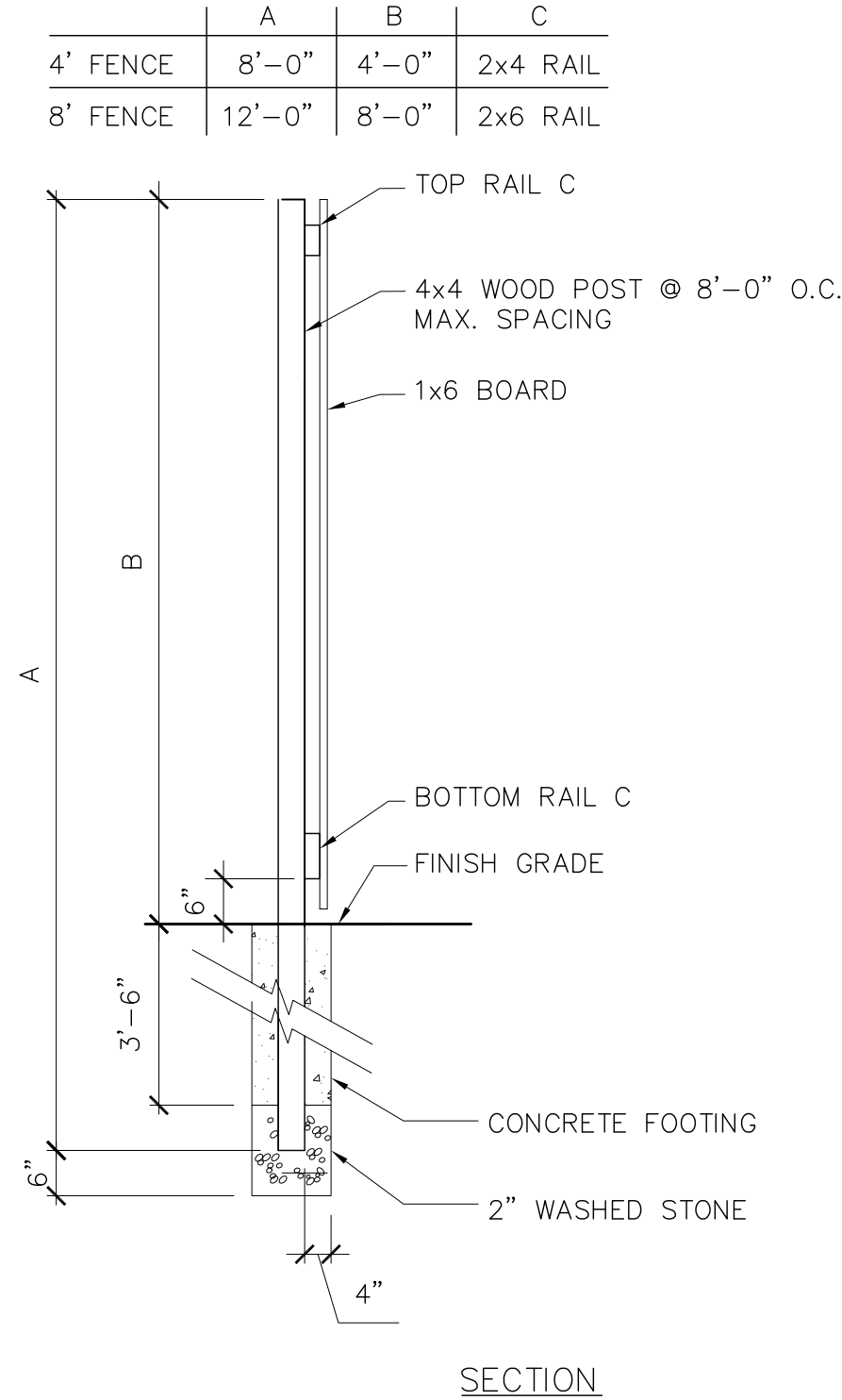
NEIGHBOR ELEVATION

PROPERTY ELEVATION

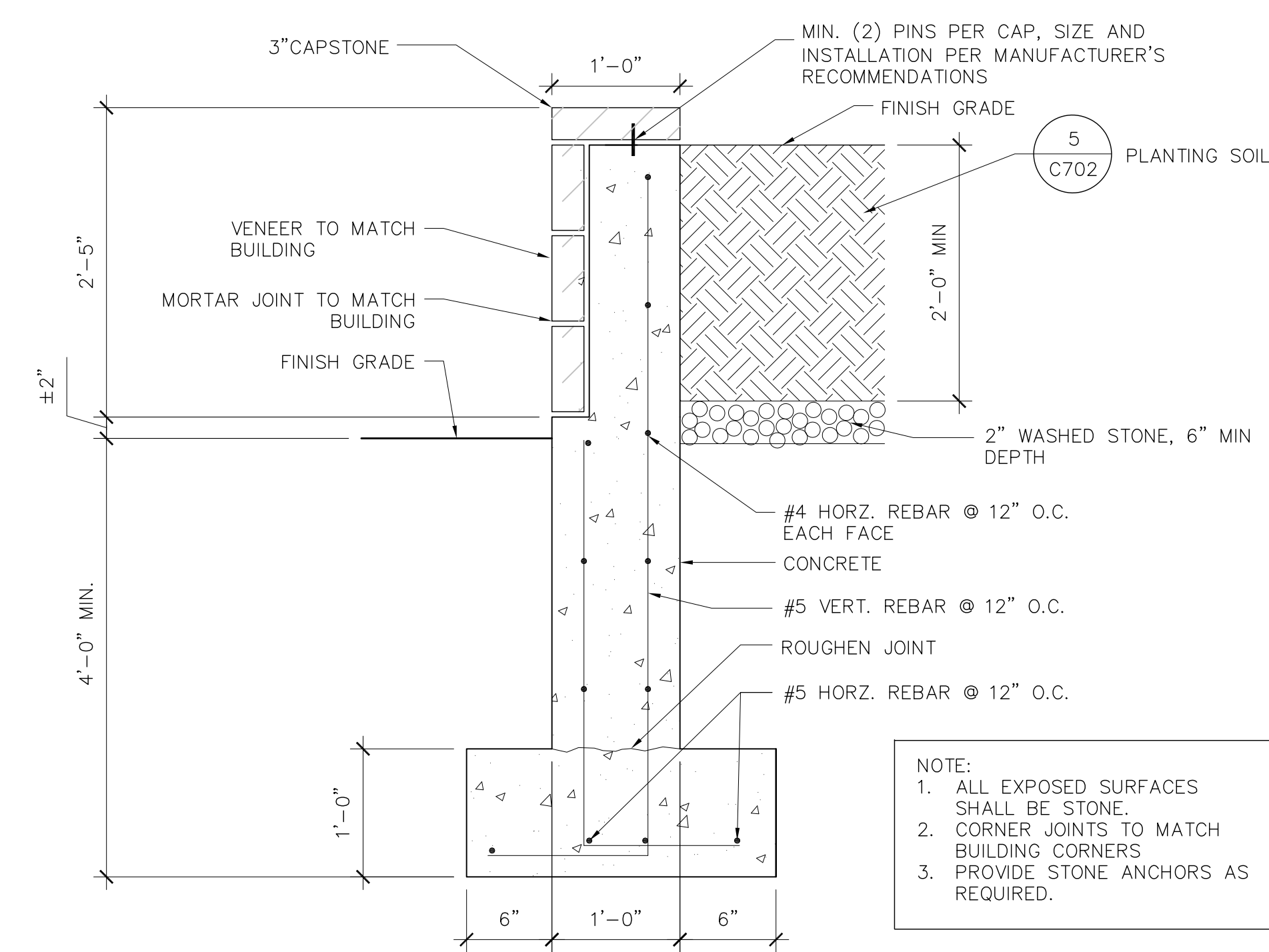
- NOTES:
1. ALL WOOD TO BE STAINED
 2. ALL FASTENERS TO BE NON-CORROSIVE, CONCEALED AND SHALL BE INCLUDED WITH FENCE
 3. STEP FENCE TO FOLLOW GRADE

3 4' and 8' FENCE
C701

SCALE 1/2" = 1'-0"



SECTION



- NOTE:
1. ALL EXPOSED SURFACES SHALL BE STONE.
 2. CORNER JOINTS TO MATCH BUILDING CORNERS
 3. PROVIDE STONE ANCHORS AS REQUIRED.

4 PLANTER WALL
C701

SCALE 1" = 1'-0"

McGRATH PROPERTY GROUP



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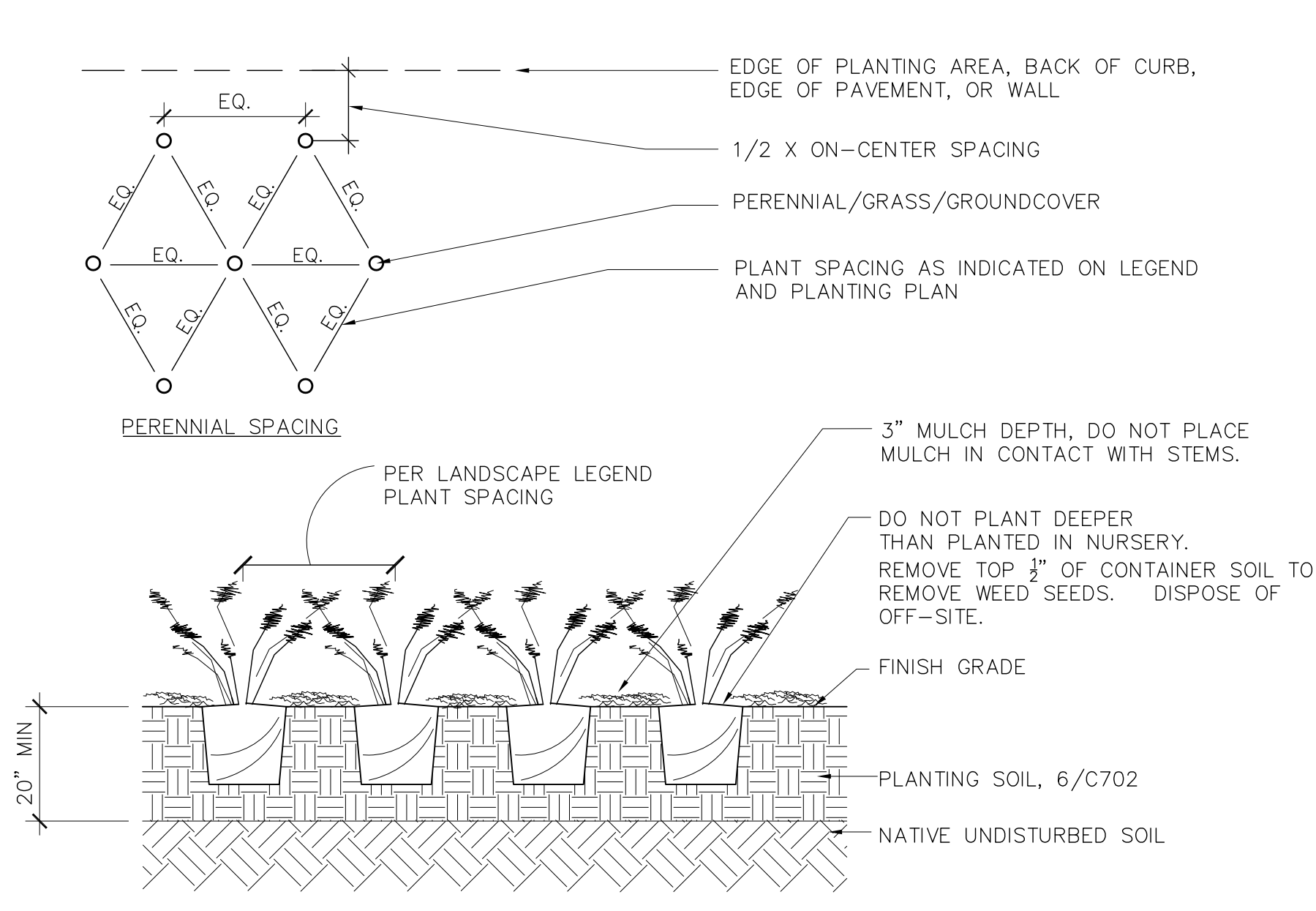
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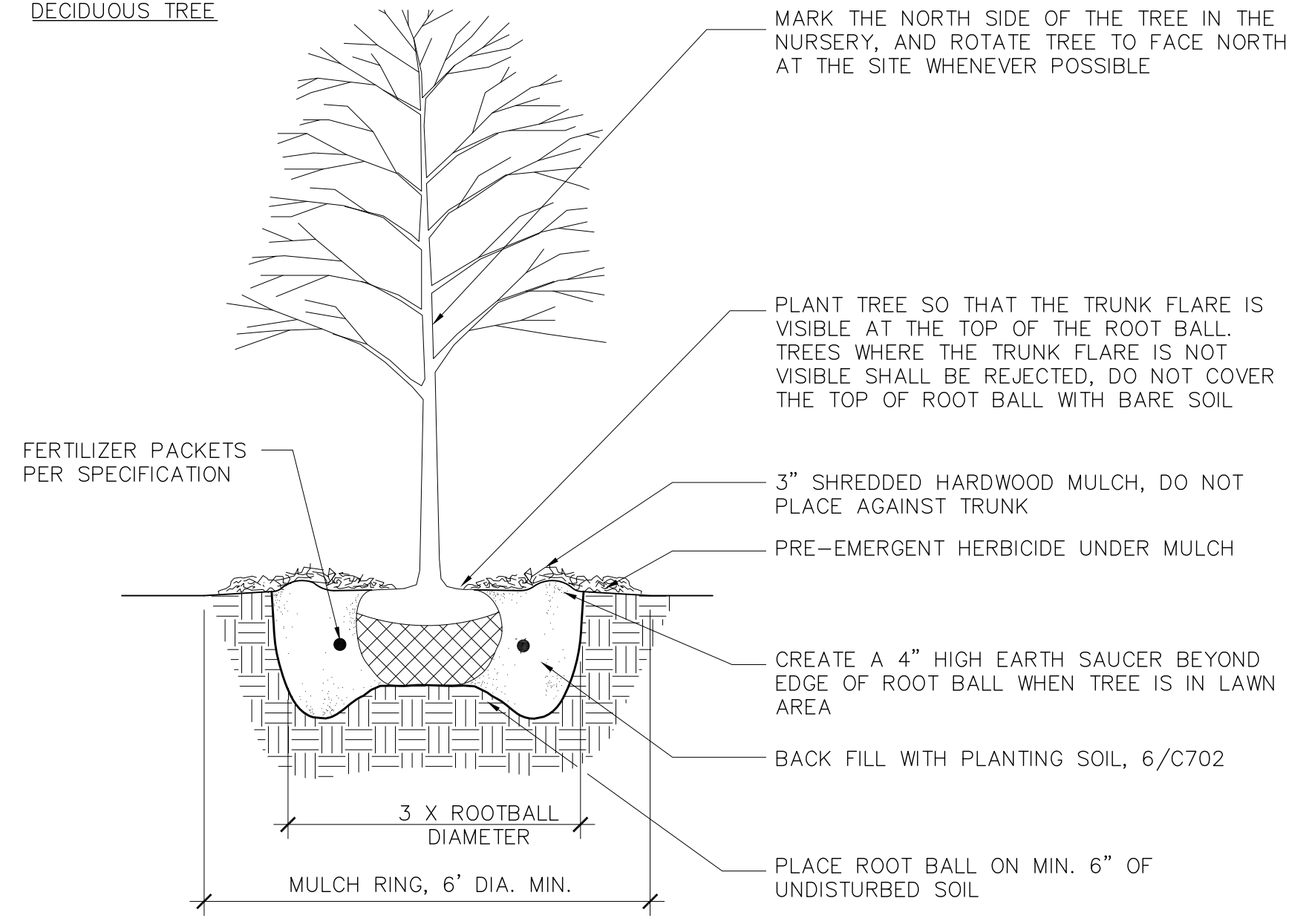
SHEET TITLE
Details

SHEET NUMBER
C701



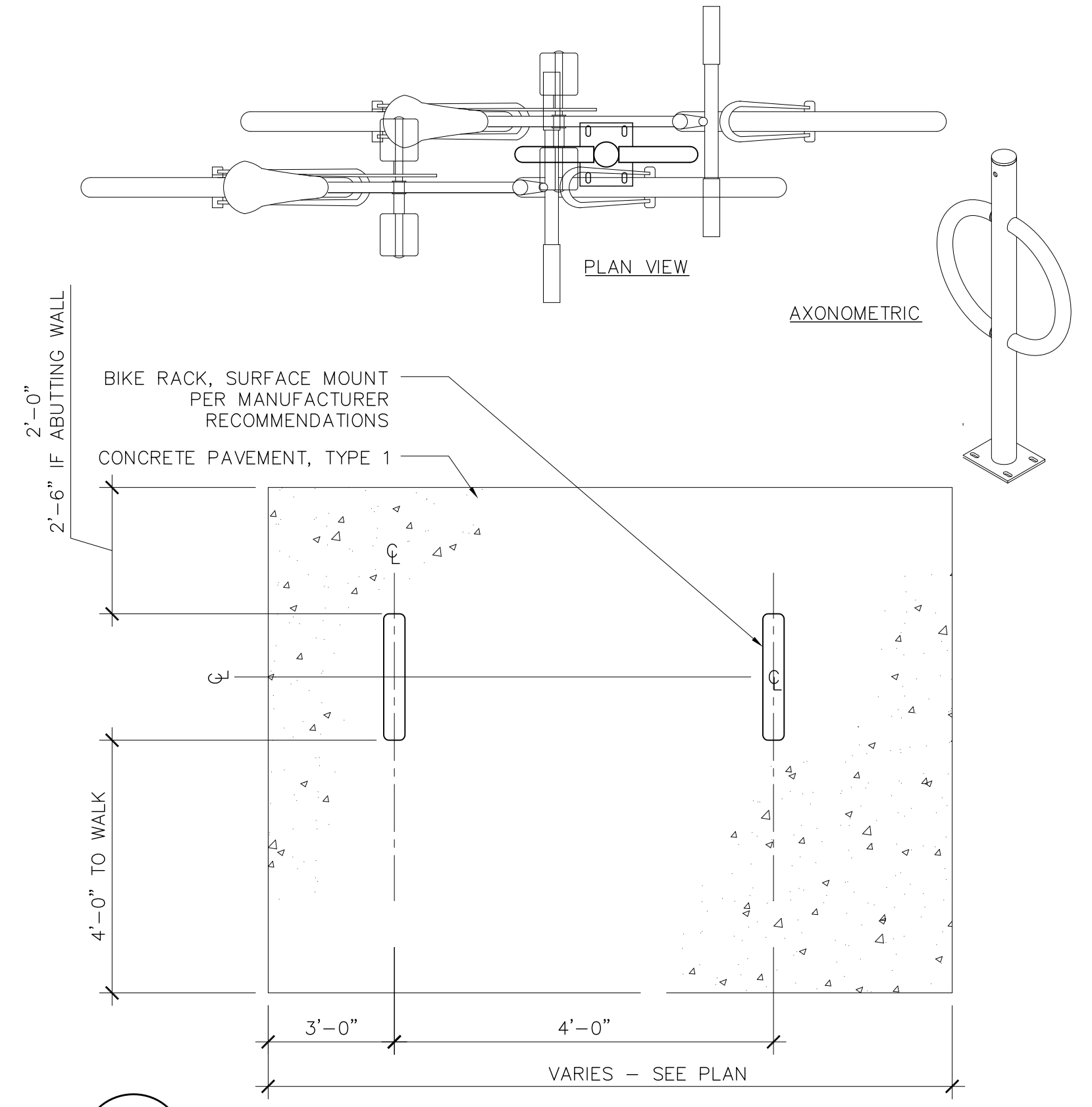
1 GROUNDCOVER/PERENNIAL PLANTING
C702 SCALE NTS

- NOTES:
1. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOTBALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN HALF THE ROOTBALL DISTANCE. REMOVE TWINE, ROPE, AND REMOVE TOP 1/3 OF BURLAP FROM ROOTBALL.
 3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.

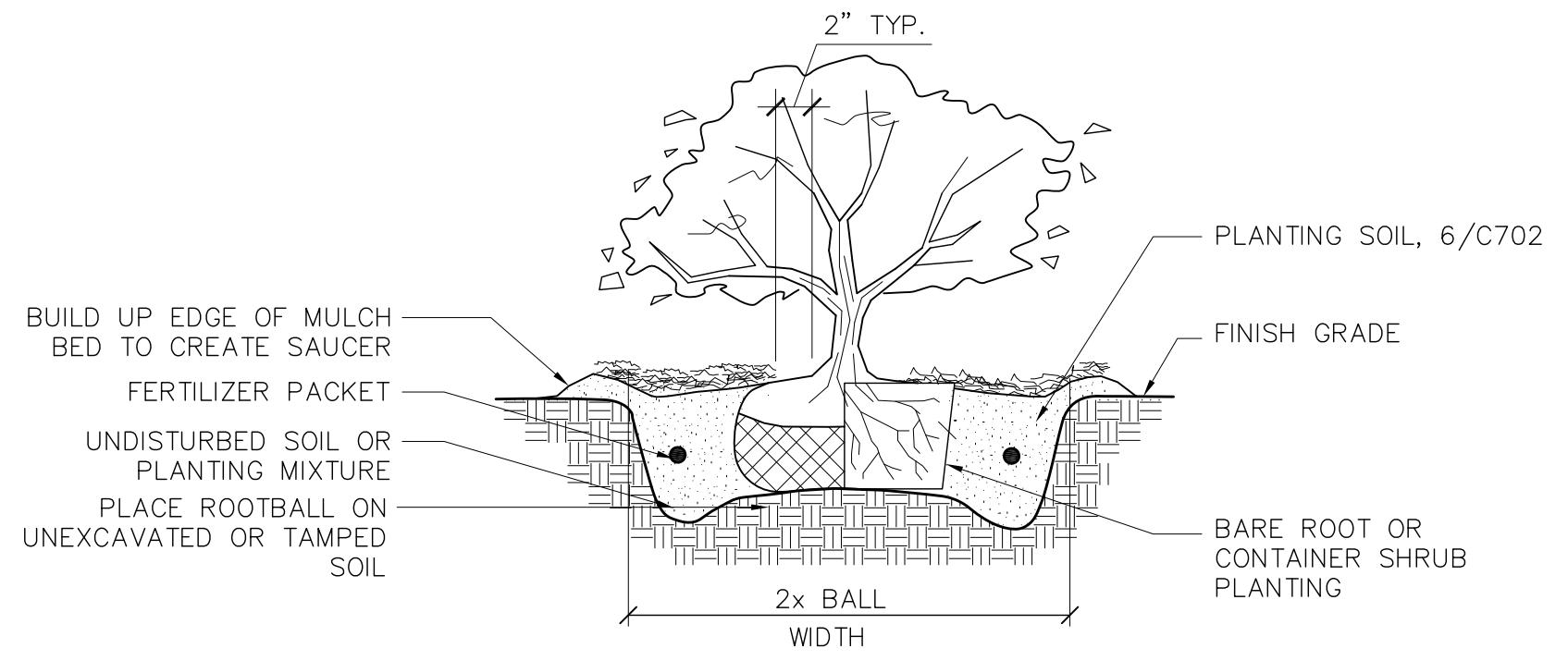


2 B&B TREE PLANTING DETAIL
C702 NTS

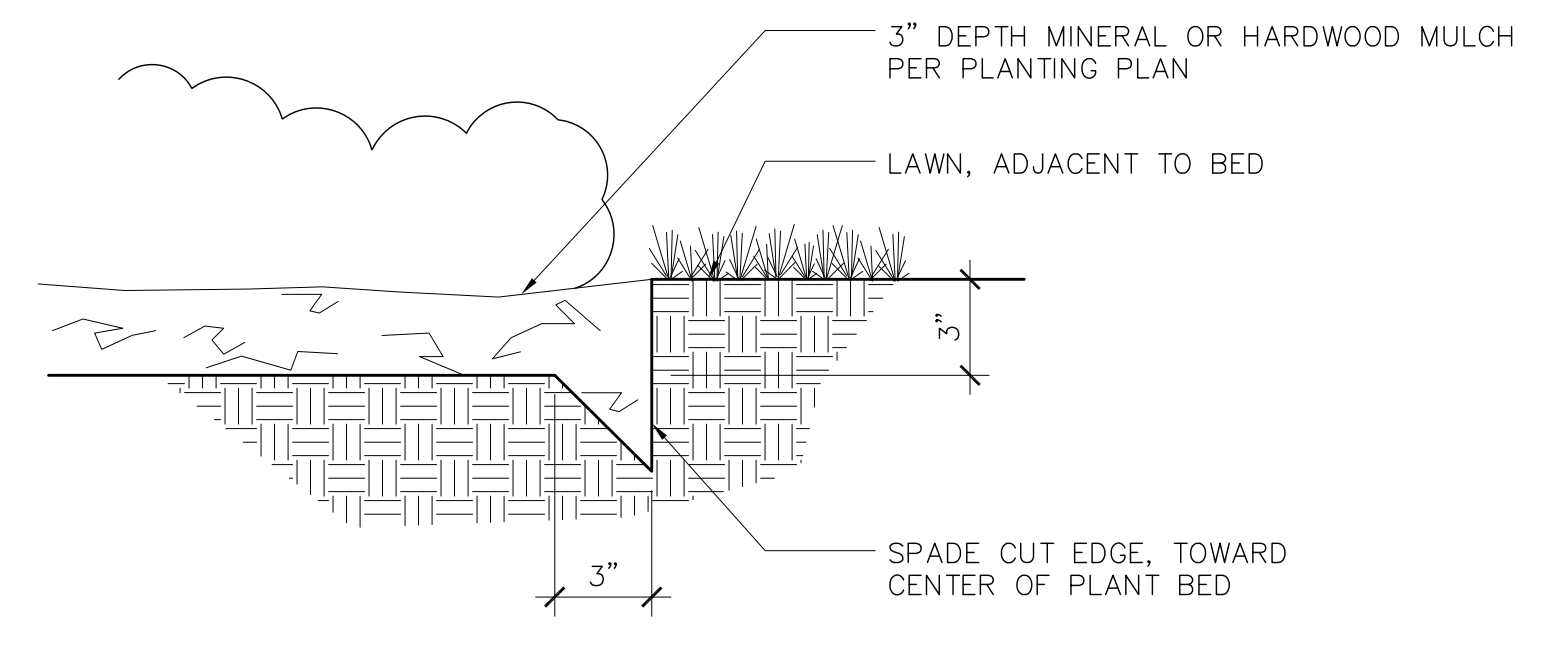
- NOTES:
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT
 3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT
 4. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP AND SIDES OF ROOT BALL.



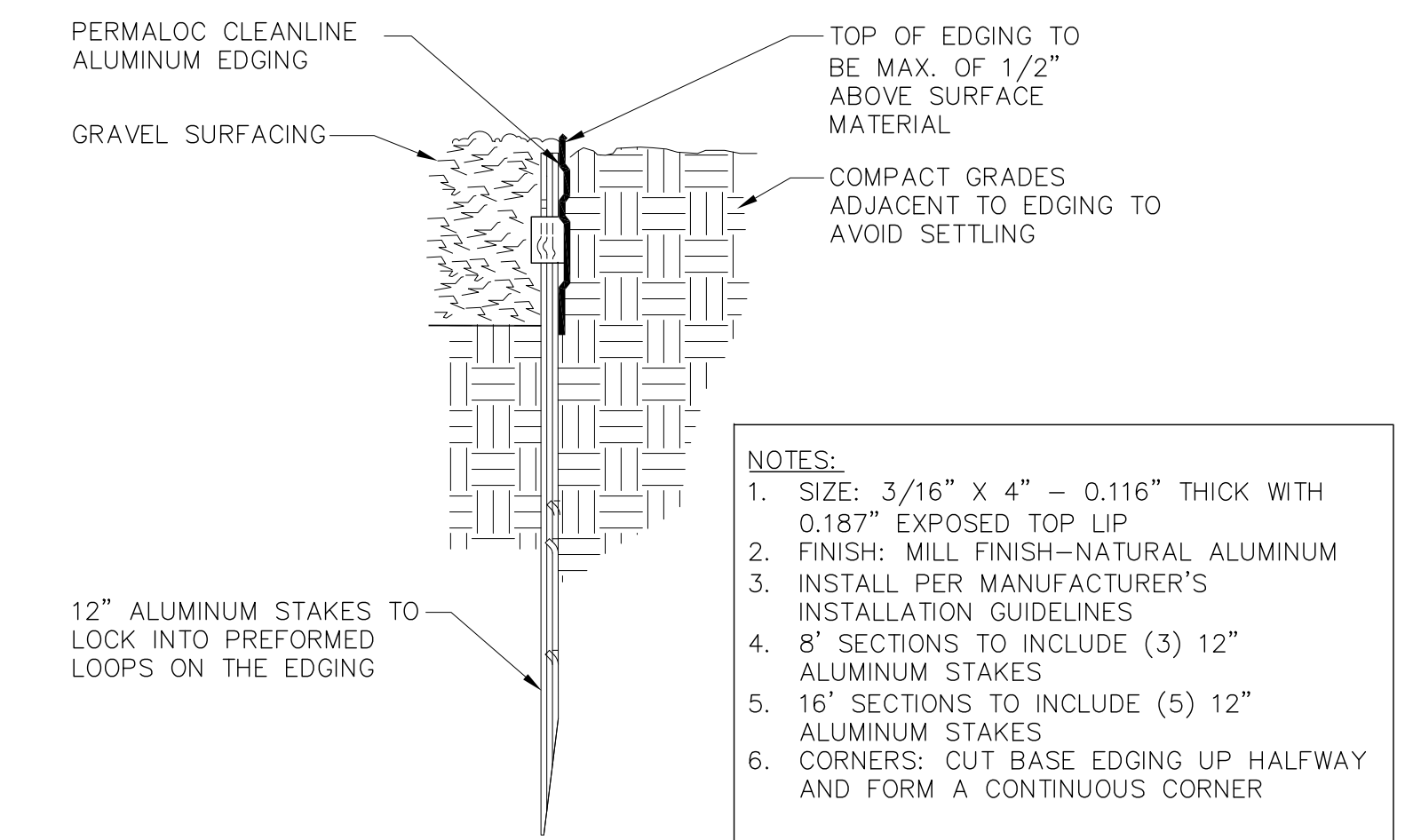
8 BIKE PARKING
C702 SCALE 1"=1'-0"



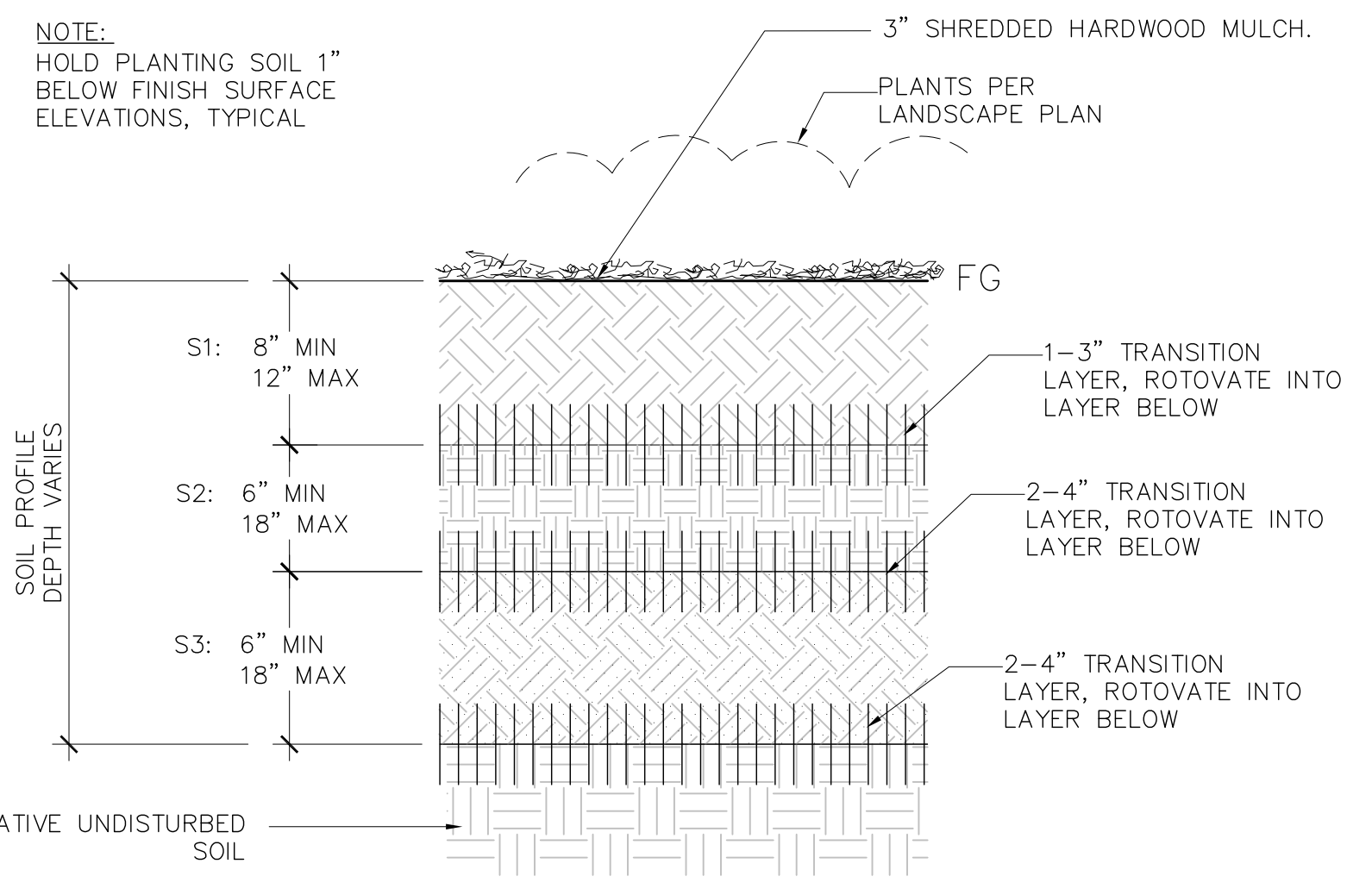
3 SHRUB PLANTING DETAIL
C702 SCALE 1"=1'-0"



4 SHOVEL CUT EDGE
C702 SCALE 1"=1'-0"

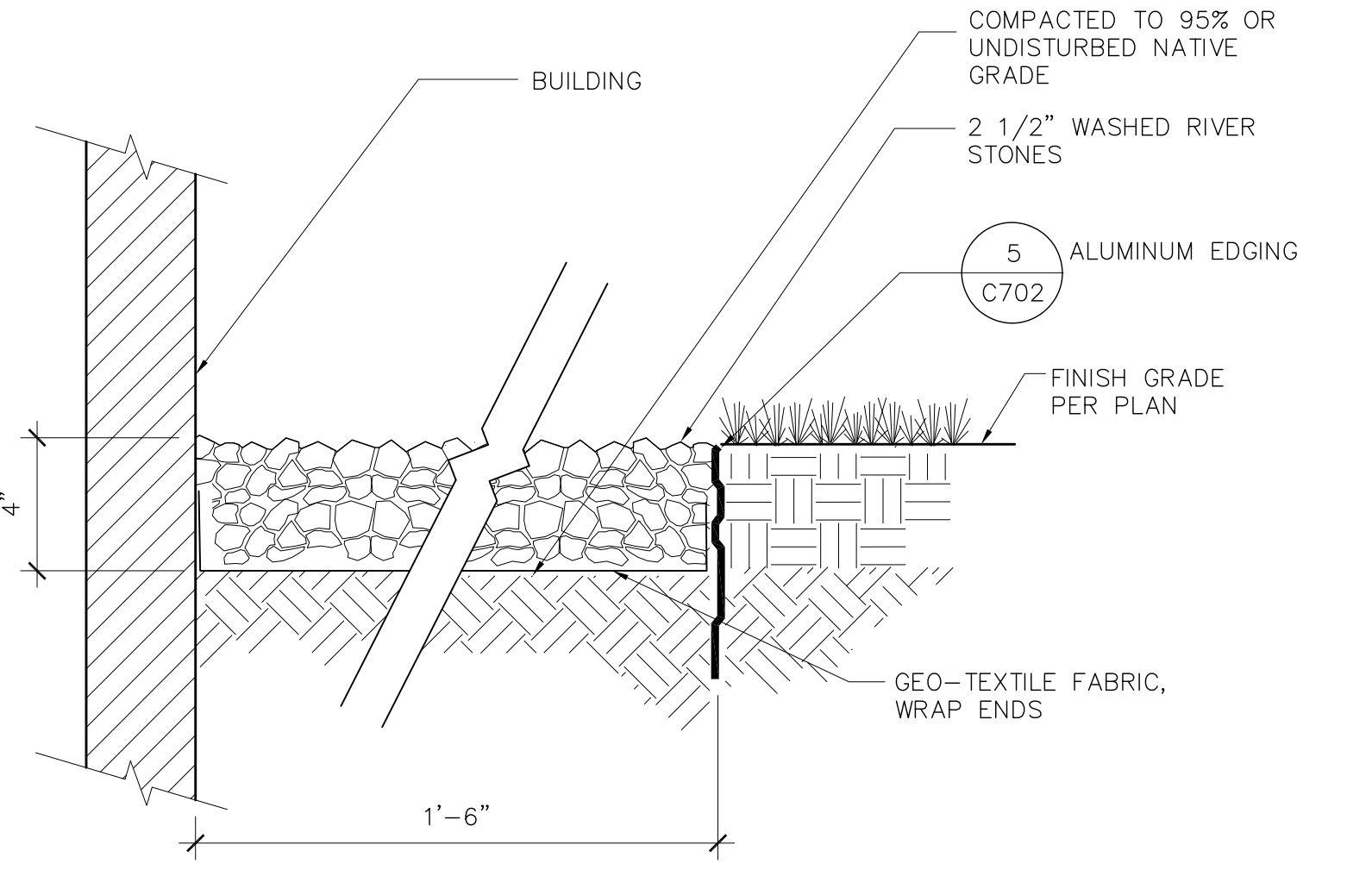


5 ALUMINUM EDGING
C702



6 PLANTING SOIL
C702 SCALE NTS

- S1 LAYER:**
1. 40-70% SAND, BY DRY WEIGHT
 2. 20-40% SILTY, BY DRY WEIGHT
 3. 10-30% CLAY, BY DRY WEIGHT
 4. 8-10% ORGANIC MATTER BY DRY WEIGHT*
 5. TOTAL POROSITY: 55% MIN. AT MAX COMPACTION RATE OF 70-80% PROCTOR DENSITY
 6. BULK DENSITY: 1.0-1.3 g/cu cm AT MAX COMPACTION RATE OF 70% PROCTOR DENSITY
 7. C:N RATION OF 11-12:1
 8. pH OF 6-8
- S2 LAYER:**
1. 50-75% SAND, BY DRY WEIGHT
 2. 10-20% SILTY, BY DRY WEIGHT
 3. 20-30% CLAY, BY DRY WEIGHT
 4. 3-5% ORGANIC MATTER BY DRY WEIGHT
 5. TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
 6. BULK DENSITY: 1.0-1.5 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
 7. pH OF 6-8
- S3 LAYER:**
1. 60-85% SAND, BY DRY WEIGHT
 2. 5-10% SILTY, BY DRY WEIGHT
 3. 20-30% CLAY, BY DRY WEIGHT
 4. 1-3% ORGANIC MATTER BY DRY WEIGHT
 5. TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
 6. BULK DENSITY: 1.3-1.6 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
 7. pH OF 6-8
- * ORGANIC MATTER SHALL BE COMPOSED OF CLASS A COMPOST AS DEFINED BY THE WISCONSIN DNR: PUB. WA1589



7 MAINTENANCE STRIP
C702 NTS



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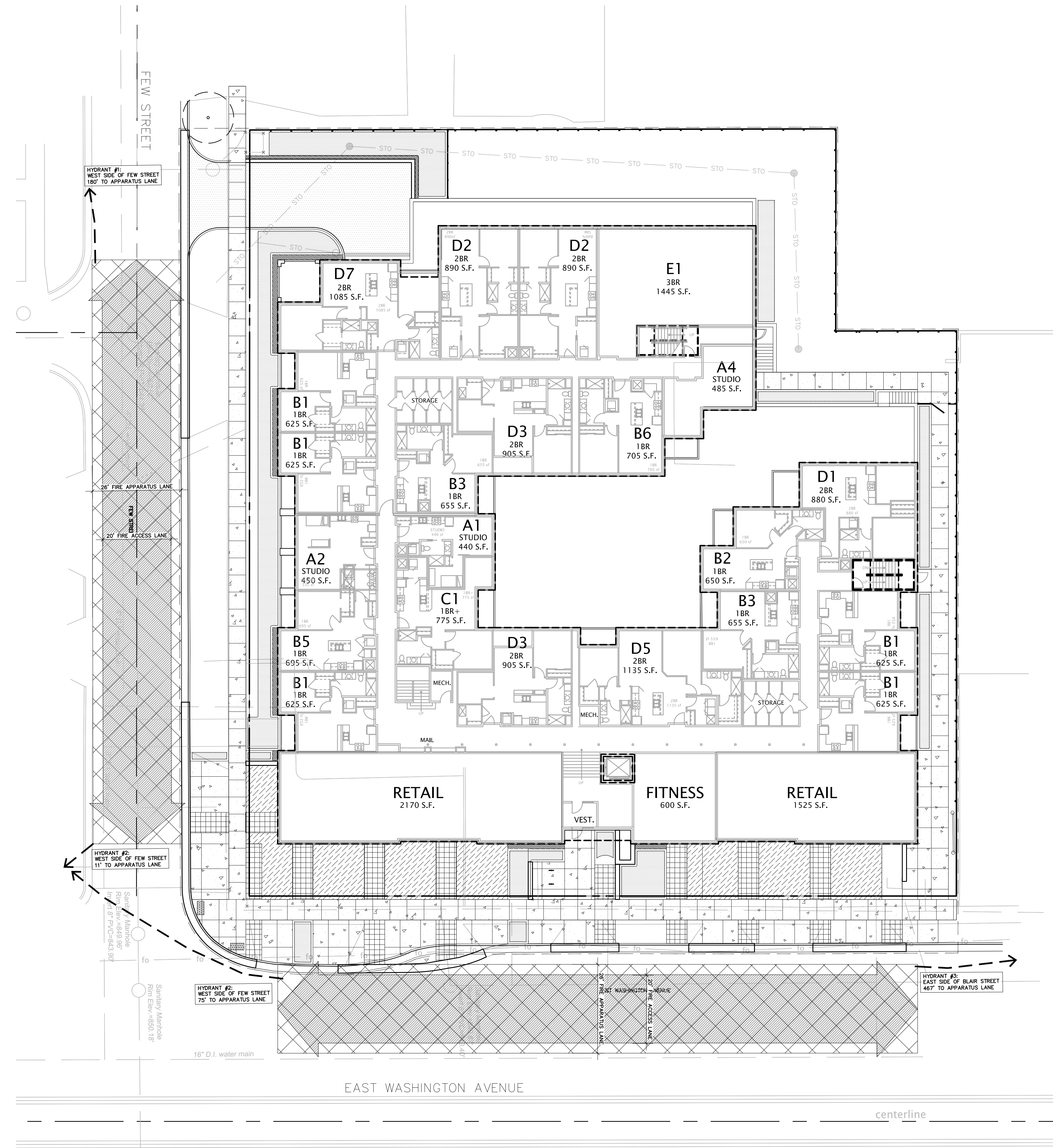
Mark	Description	Date

SHEET TITLE

Details

SHEET NUMBER

C702



- NOTES:
1. NO OVERHEAD POWERLINES ARE EXPECTED WITHIN THE FOOTPRINT OF THE NEW BUILDING.
 2. REQUIRED STREET TREES ARE SHOWN IN THE TERRACE BETWEEN THE PROPOSED STRUCTURE AND EAST WASHINGTON AVENUE; AND BETWEEN THE PROPOSED STRUCTURE AND FEW STREET.
 3. REFER TO SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
 4. MAX SLOPE ON THE PROPOSED FIRE LANE IS <8%.

- PROPERTY LINE
- - - PROJECT LIMITS
- CONCRETE PAVEMENT, TYPE 1
- CONCRETE PAVEMENT, TYPE 2
- PERMEABLE PAVERS
- LANDSCAPE PLANTING AREA
- FIRE APPARATUS LANE (26' WIDE)
- FIRE ACCESS LANE (20' WIDE)

McGRATH PROPERTY GROUP



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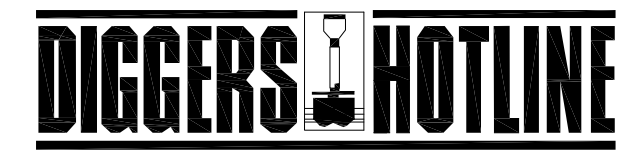
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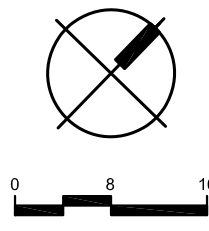
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
Fire Access Plan

SHEET NUMBER
C800



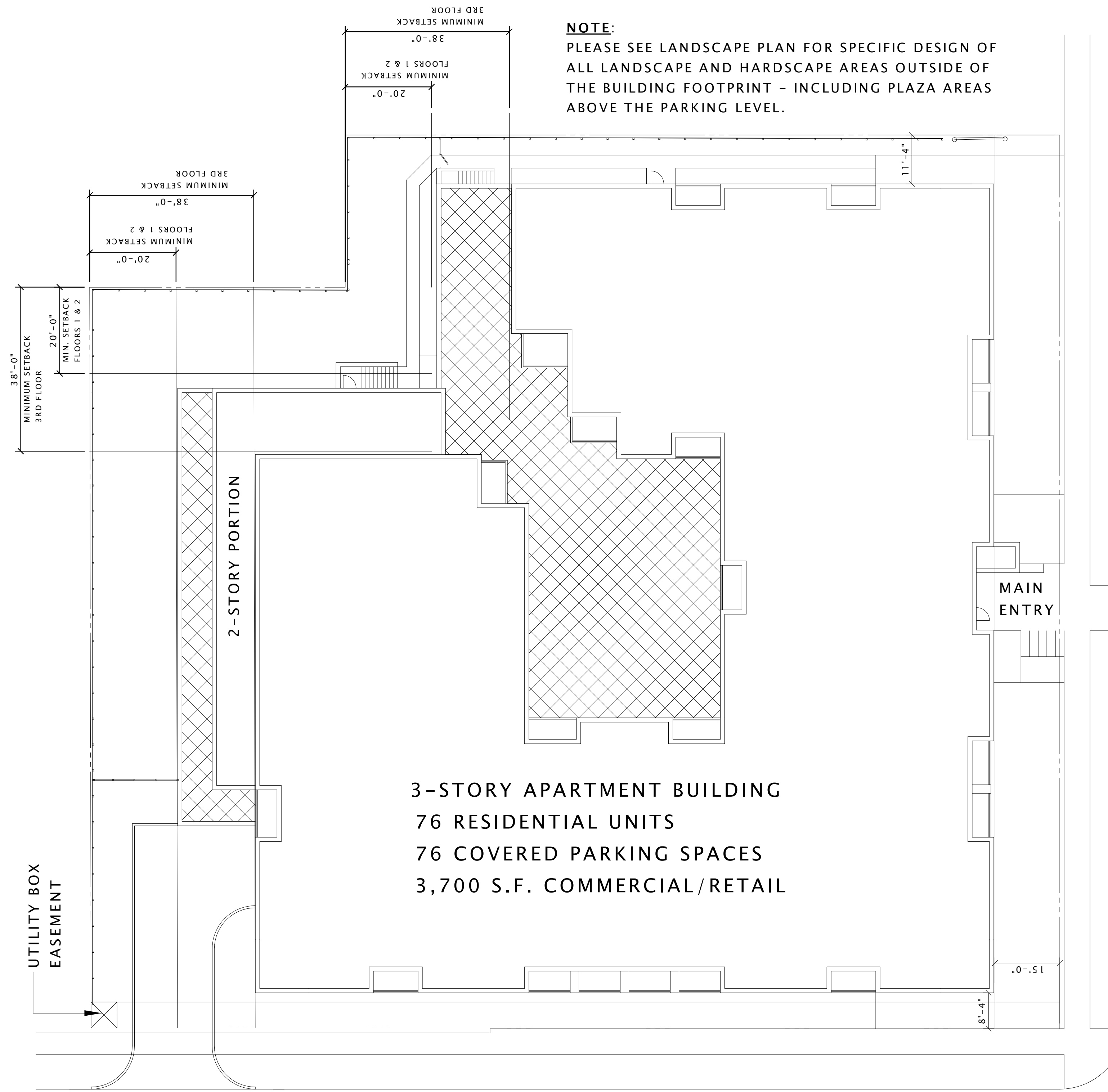
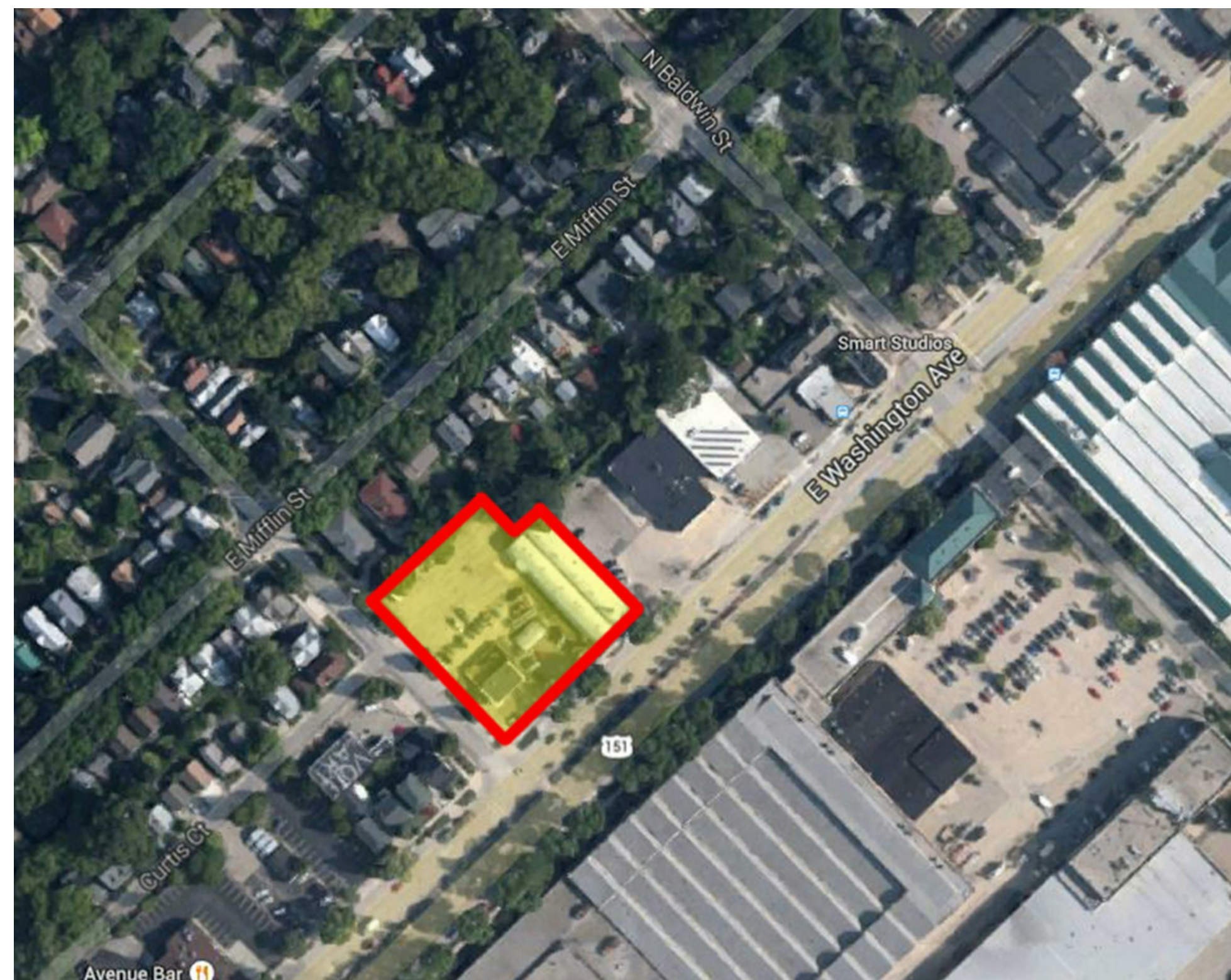
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Milwaukee Area (414) 259-1181
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BUILDING DATA - BUILDING 'A1'

FLOOR	RETAIL	STUDIO UNITS					1-BEDROOM UNITS							1-BEDROOM+DEN					2-BEDROOM UNITS							3-BEDROOM UNITS			TOTALS			
		Unit A1 - Studio 440 S.F.	Unit A2 - Studio 450 S.F.	Unit A3 - Studio 465 S.F.	Unit A4 - Studio 465 S.F.	Unit A5 - Studio 565 S.F.	Unit B1 - 1BR 625 S.F.	Unit B2 - 1BR 635 S.F.	Unit B3 - 1BR 650 S.F.	Unit B4 - 1BR 650 S.F.	Unit B5 - 1BR 690 S.F.	Unit B6 - 1BR 705 S.F.	Unit B7 - 1BR 720 S.F.	Unit C1 - 1BR+D 775 S.F.	Unit C2 - 1BR+D 800 S.F.	Unit C3 - 1BR+D 800 S.F.	Unit D1 - 2BR 880 S.F.	Unit D2 - 2BR 890 S.F.	Unit D3 - 2BR 905 S.F.	Unit D4 - 2BR 905 S.F.	Unit D5 - 2BR 1060 S.F.	Unit D6 - 2BR 1085 S.F.	Unit D7 - 2BR 1135 S.F.	Unit E1 - 3BR 1440 S.F.	Unit E2 - 3BR 1300 S.F.	Unit E3 - 3BR 0 S.F.	Unit E4 - 3BR 0 S.F.	Total Units 809 A.S.F.	Common Space	Building Totals Area Efficiency RDU/DT		
Floor 4	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Floor 3	-	1	1	1	1	7	1	2	1	1	1	1	1	1	1	2	2	1	2	1	1	1	-	-	-	-	26	19,750	3,380	23,130	85.4%	
Floor 2	-	1	1	1	1	4	1	2	2	1	1	1	1	1	2	2	2	2	2	1	1	1	1	1	1	1	28	21,320	3,395	24,715	86.3%	
Floor 1	3,700	1	1	1	1	5	3	2	2	1	1	1	1	1	1	2	2	2	2	1	1	1	1	1	1	22	20,450	4,770	25,220	81.1%		
Totals	3,700	3	3	3	3	19	5	4	4	3	2	3	3	3	3	4	4	4	4	3	3	3	2	2	2	76	61,520	11,545	73,065	84.2%		
Unit Breakdown		3.9%	3.9%	3.9%	2.6%	1.3%	1.3%	25.0%	25.0%	2.6%	3.9%	7.9%	3.9%	3.9%	0.0%	0.0%	0.0%	0.0%	3.9%	5.3%	3.9%	3.9%	2.6%	1.3%	0.0%	0.0%	100%			961	s.f. per unit	
Unit Breakdown		Total Studios: 10 13.2% Average Studio Size (sf): 463					Total 1BRs: 36 47.4% Average 1BR Size (sf): 646							Total 1BR+D: 3 3.9% Avg. Size: 775					Total 2BRs: 24 31.6% Average 2BR Size (sf): 976							Total 3BRs: 3 3.9% Average 3BR Size (sf): 1396.67						

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change. The Total Unit Count & Density for Entire Development shall be regulated by the Approved PUD/GDP Package and subsequently Approved PUD/SIP Packages.



NORTH FEW STREET

EAST WASHINGTON AVENUE



JOSEPH LEE + ASSOCIATES
2418 CROSSROADS DRIVE - SUITE 2300
MADISON, WISCONSIN 53718
608.741.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP

CONDITIONAL USE SUBMITTAL

1200 LOFTS

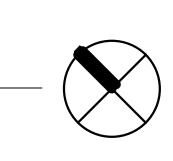
PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

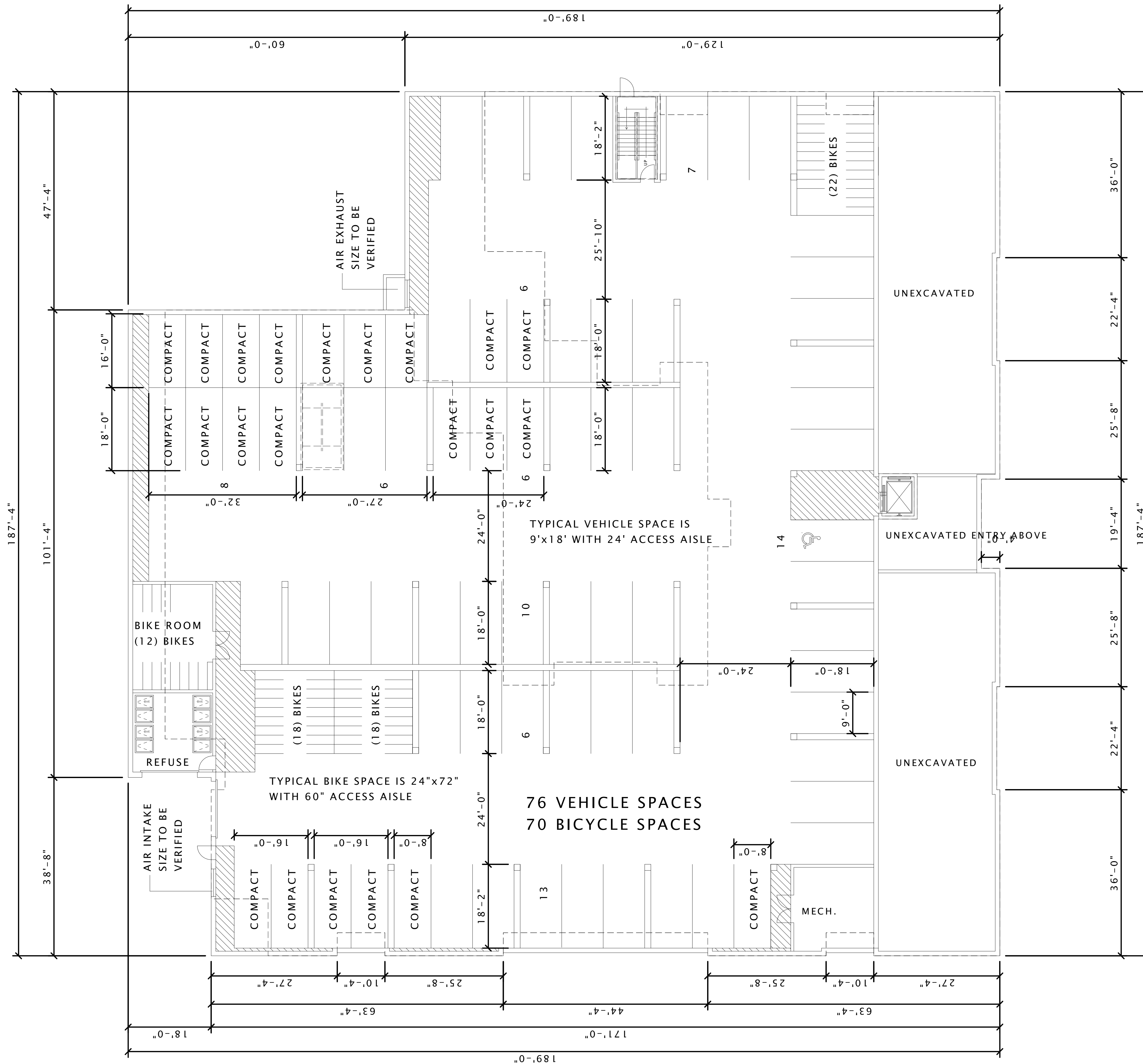
DATE OF ISSUANCE: MARCH 18, 2015

Mark	Description	Date

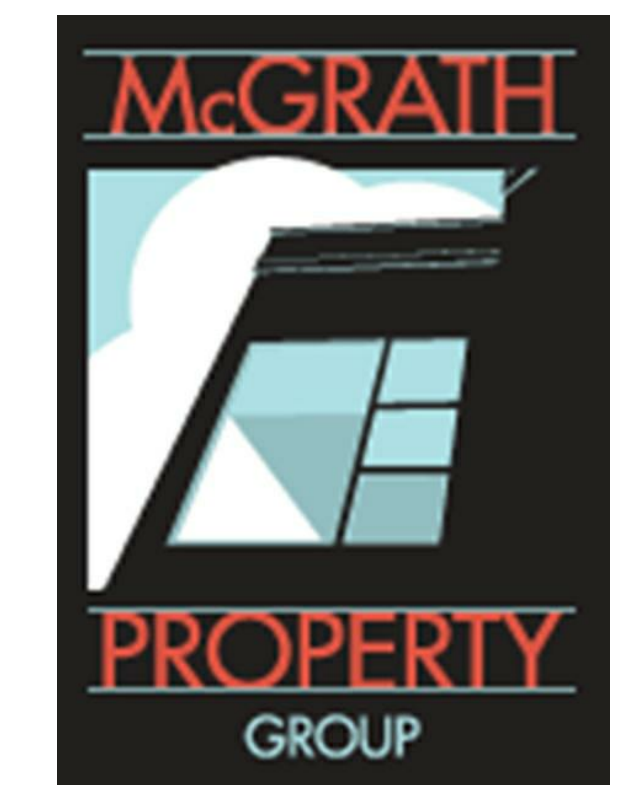
SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER
ASP-100





McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

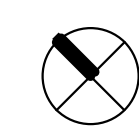
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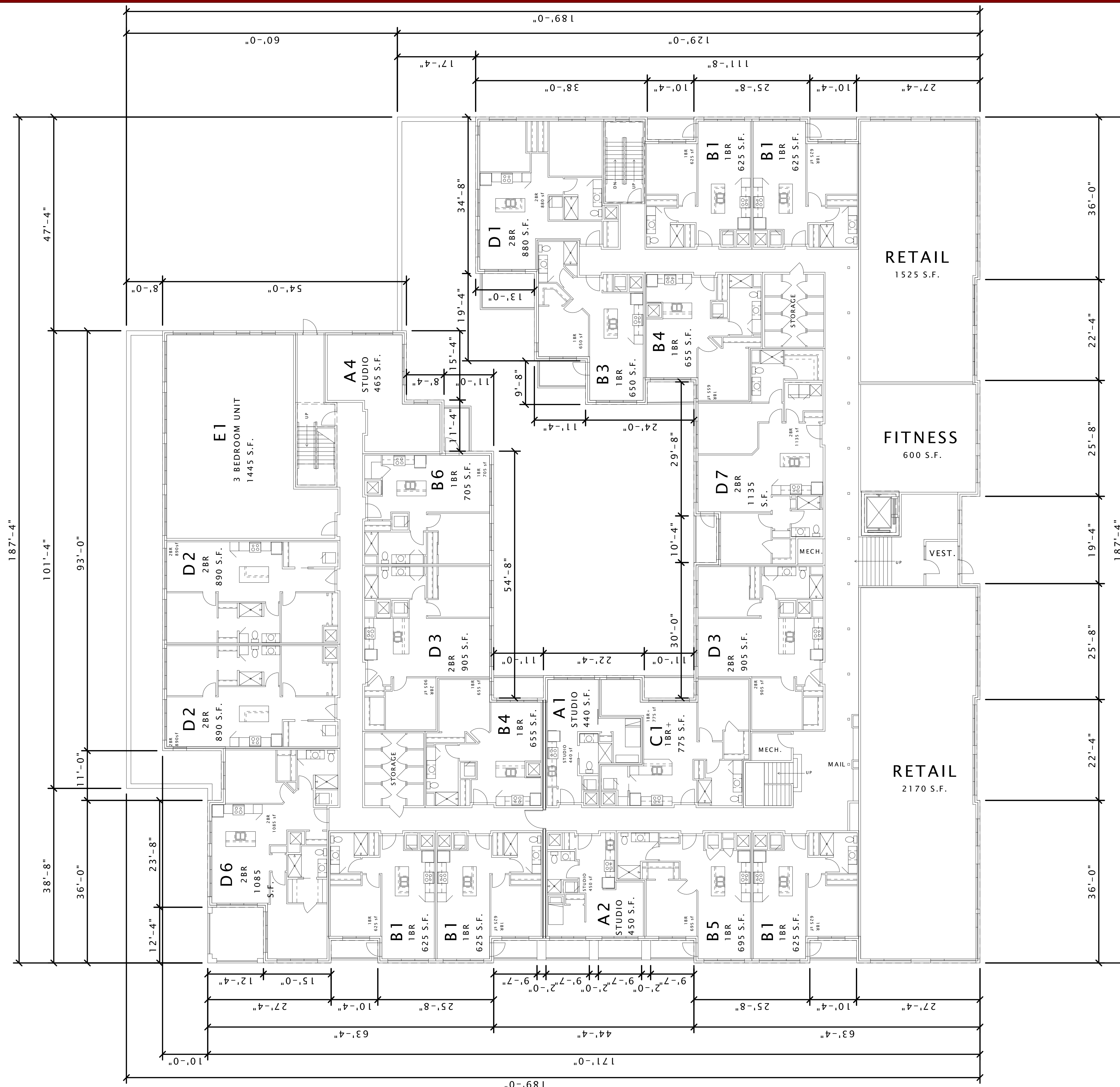
SHEET TITLE

LOWER LEVEL PARKING PLAN

SHEET NUMBER

A110





McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

Mark	Description	Date

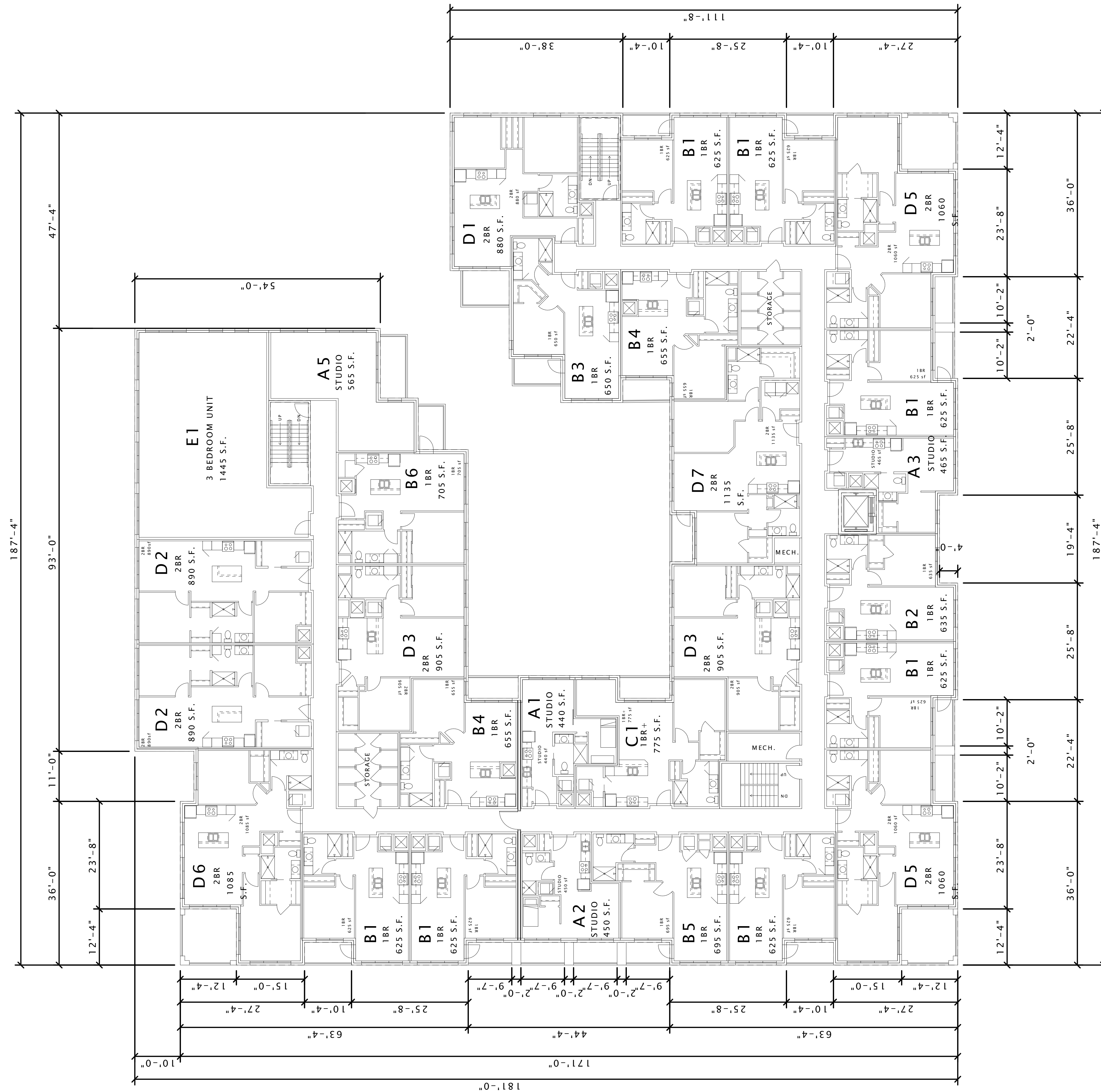
SHEET TITLE

FIRST FLOOR PLAN

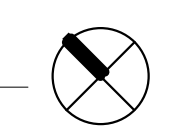
SHEET NUMBER

A111

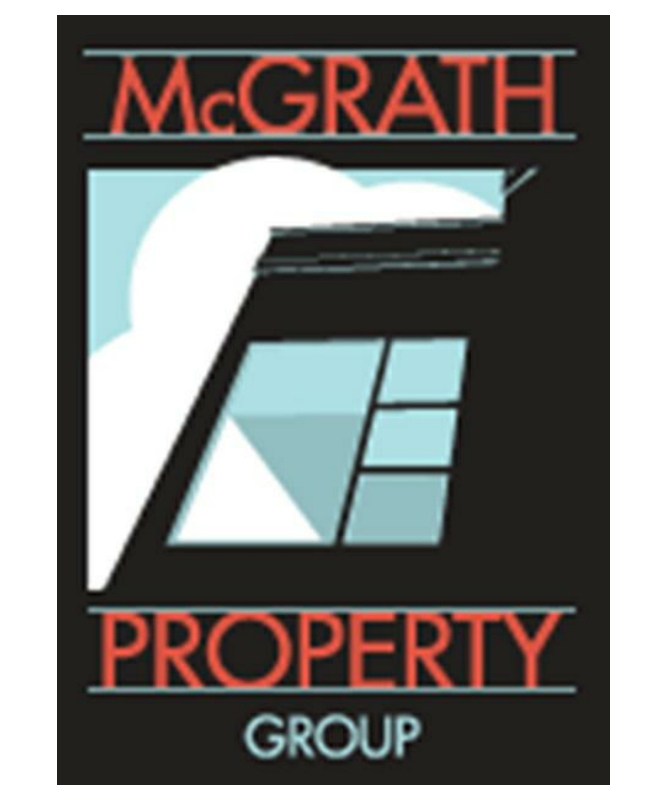




16 FEW - 2ND FLOOR PLAN
3/32" = 1'-0"



McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

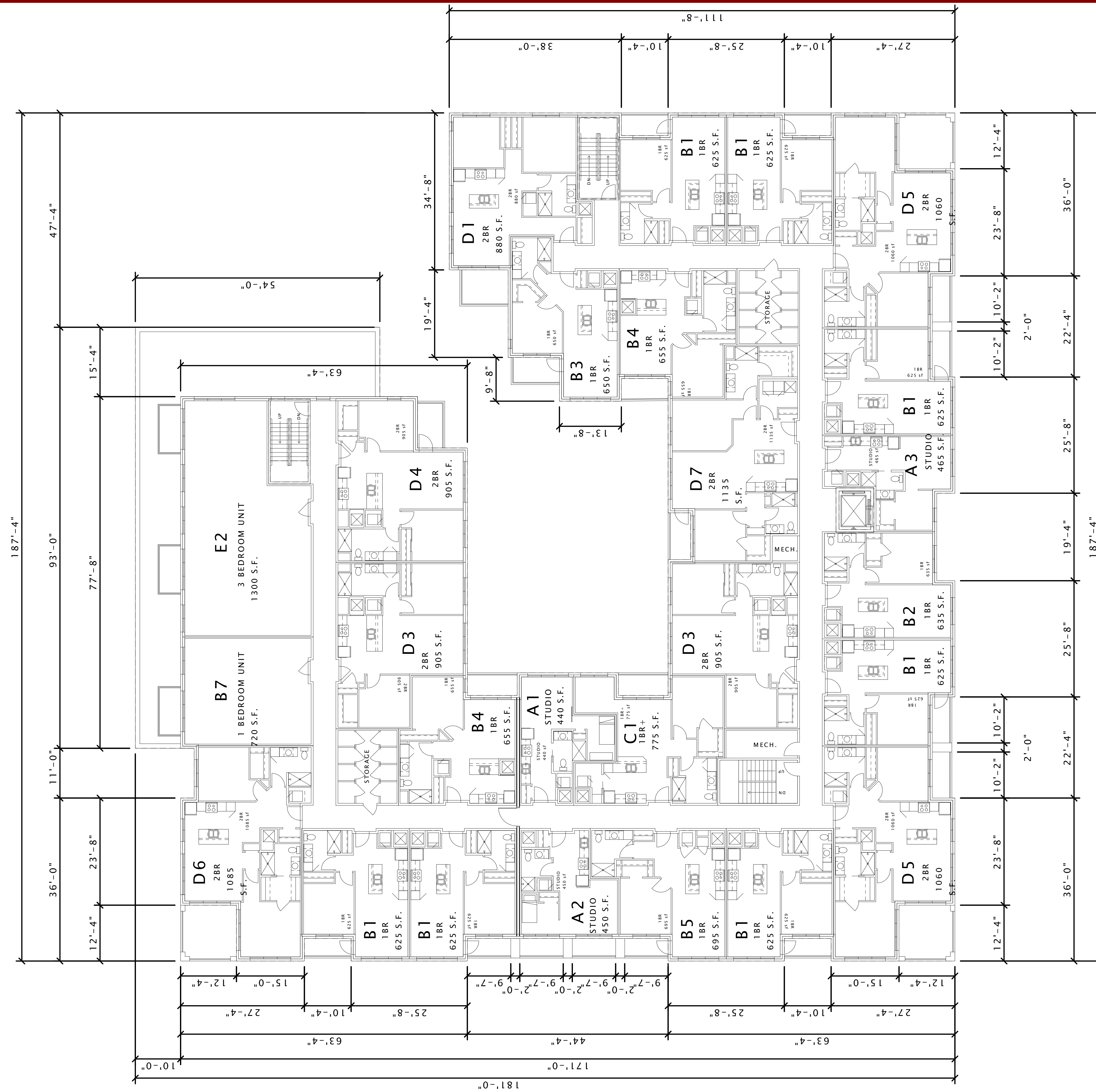
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SHEET TITLE

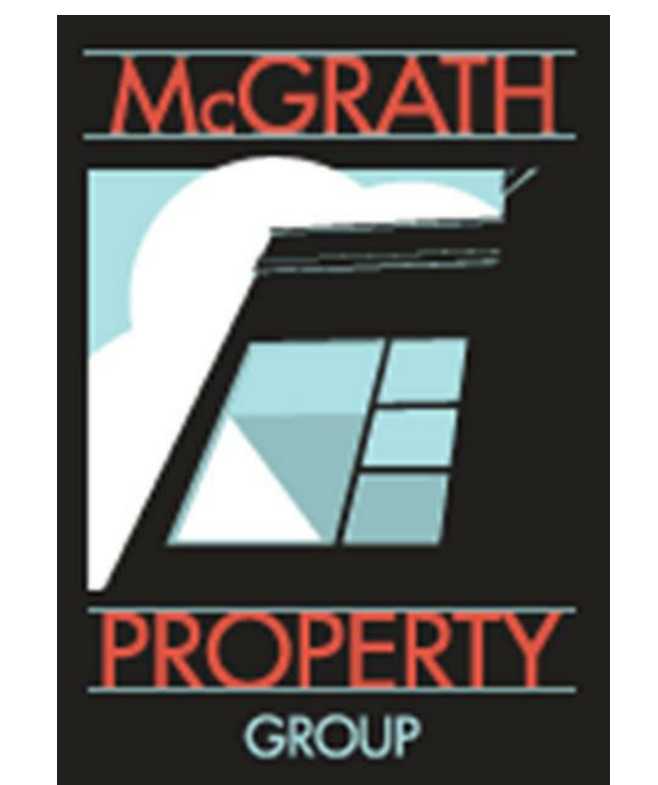
SECOND FLOOR PLAN

SHEET NUMBER

A112



McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

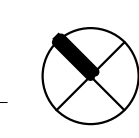
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A113



McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE		
Mark	Description	Date

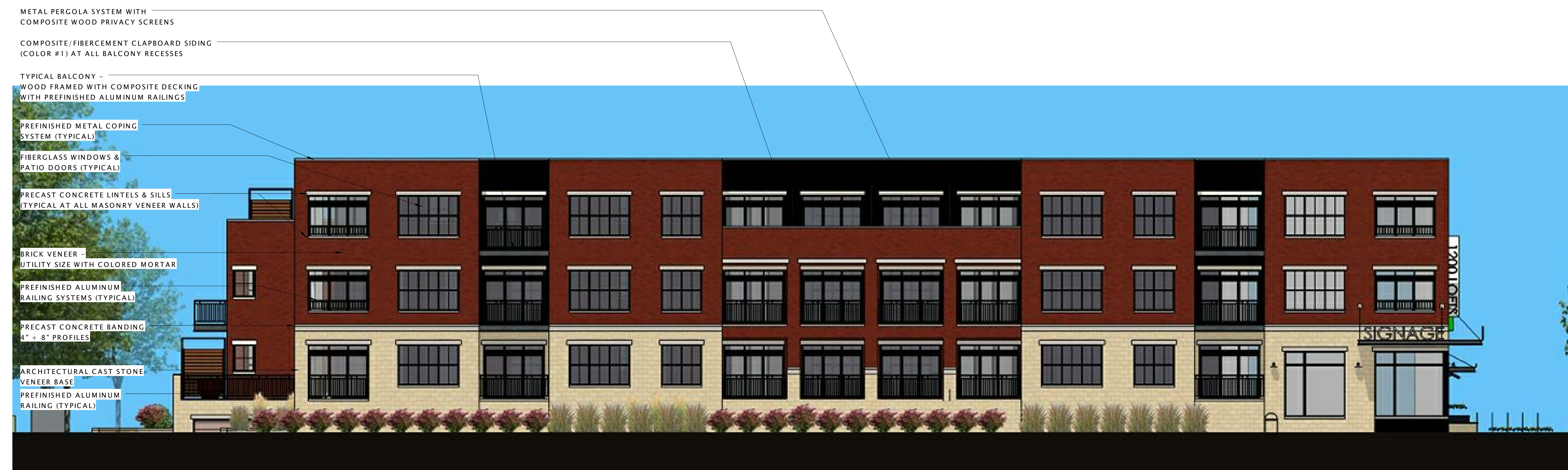
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A210



6 EAST ELEVATION (EAST WASHINGTON AVENUE)
1/8" = 1'-0"



16 SOUTH ELEVATION (FEW STREET)
1/8" = 1'-0"

McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A211



6 WEST ELEVATION
1/8" = 1'-0"



16 NORTH ELEVATION
1/8" = 1'-0"

STAIRS FROM PLAZA TO GRADE

STAIRS FROM FIRST FLOOR TO GRADE



- PREFINISHED METAL COPING SYSTEM (TYPICAL)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING (COLOR #2)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING (COLOR #1)
- COMPOSITE/FIBERCEMENT WINDOW TRIM & CORNERBOARDS AT ALL SIDED WALLS
- BRICK VENEER (UTILITY SIZE WITH COLORED MORTAR)
- FIBERGLASS WINDOWS & PATIO DOORS(TYPICAL)
- TYPICAL BALCONY - WOOD FRAMED WITH COMPOSITE DECKING WITH PREFINISHED ALUMINUM RAILINGS
- PRECAST CONCRETE BANDING 4" + 8" PROFILES
- ARCHITECTURAL CMU VENEER BASE

6 COURTYARD ELEVATION (WEST)
1/8" = 1'-0"



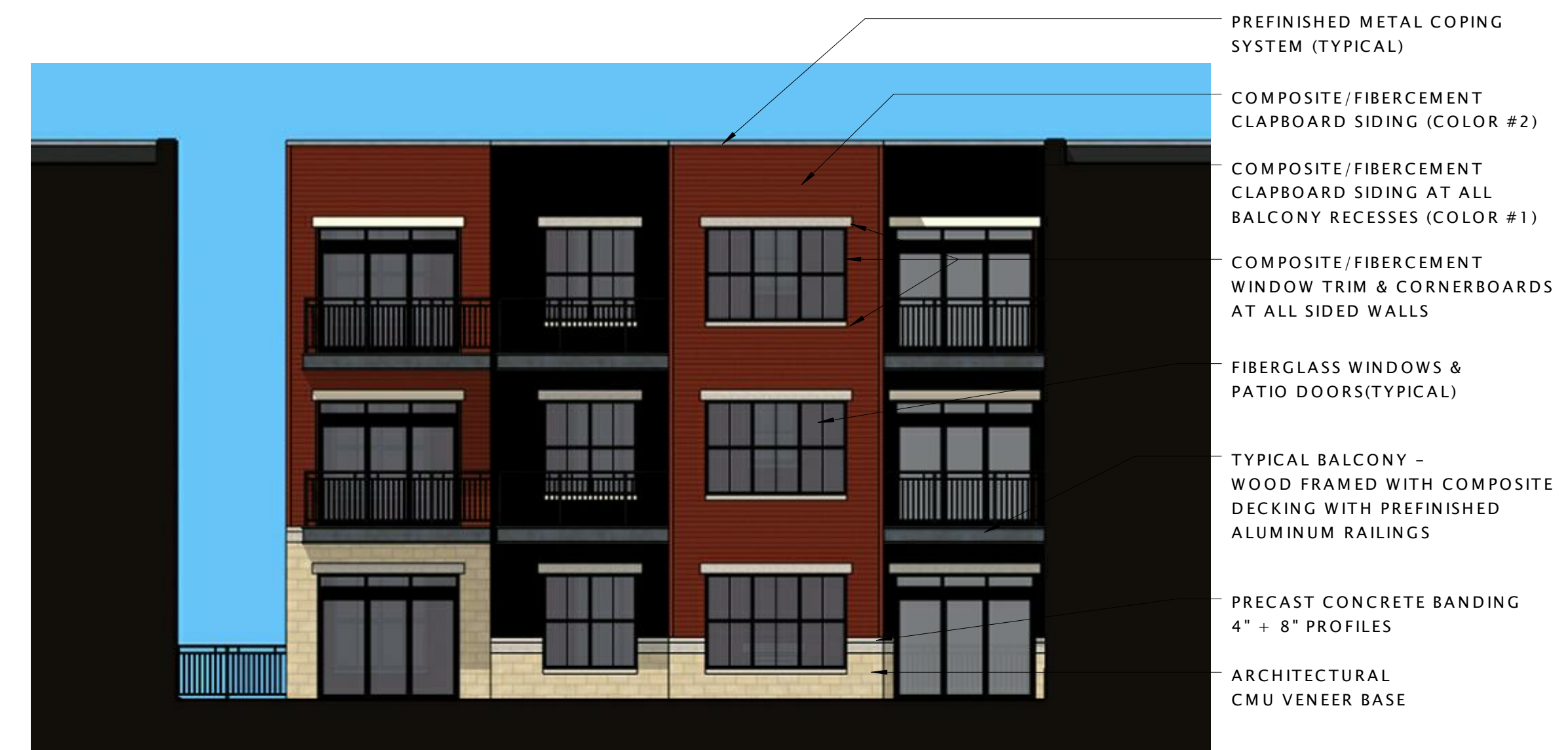
- PREFINISHED METAL COPING SYSTEM (TYPICAL)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING (COLOR #2)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING AT ALL BALCONY RECESSES (COLOR #1)
- COMPOSITE/FIBERCEMENT WINDOW TRIM & CORNERBOARDS AT ALL SIDED WALLS
- FIBERGLASS WINDOWS & PATIO DOORS(TYPICAL)
- TYPICAL BALCONY - WOOD FRAMED WITH COMPOSITE DECKING WITH PREFINISHED ALUMINUM RAILINGS
- PRECAST CONCRETE BANDING 4" + 8" PROFILES
- ARCHITECTURAL CMU VENEER BASE

7 COURTYARD ELEVATION (EAST)
1/8" = 1'-0"



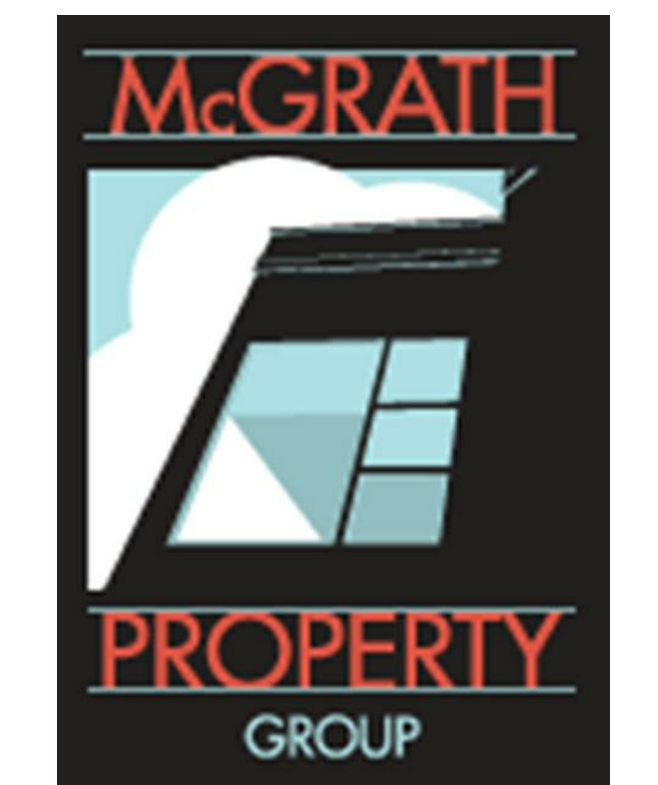
- PREFINISHED METAL COPING SYSTEM (TYPICAL)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING (COLOR #2)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING AT ALL BALCONY RECESSES (COLOR #1)
- COMPOSITE/FIBERCEMENT WINDOW TRIM & CORNERBOARDS AT ALL SIDED WALLS
- FIBERGLASS WINDOWS & PATIO DOORS(TYPICAL)
- TYPICAL BALCONY - WOOD FRAMED WITH COMPOSITE DECKING WITH PREFINISHED ALUMINUM RAILINGS
- PRECAST CONCRETE BANDING 4" + 8" PROFILES
- ARCHITECTURAL CMU VENEER BASE

14 COURTYARD ELEVATION (SOUTH)
1/8" = 1'-0"



- PREFINISHED METAL COPING SYSTEM (TYPICAL)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING (COLOR #2)
- COMPOSITE/FIBERCEMENT CLAPBOARD SIDING AT ALL BALCONY RECESSES (COLOR #1)
- COMPOSITE/FIBERCEMENT WINDOW TRIM & CORNERBOARDS AT ALL SIDED WALLS
- FIBERGLASS WINDOWS & PATIO DOORS(TYPICAL)
- TYPICAL BALCONY - WOOD FRAMED WITH COMPOSITE DECKING WITH PREFINISHED ALUMINUM RAILINGS
- PRECAST CONCRETE BANDING 4" + 8" PROFILES
- ARCHITECTURAL CMU VENEER BASE

16 COURTYARD ELEVATION (NORTH)
1/8" = 1'-0"



PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A212

McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MARCH 18, 2015

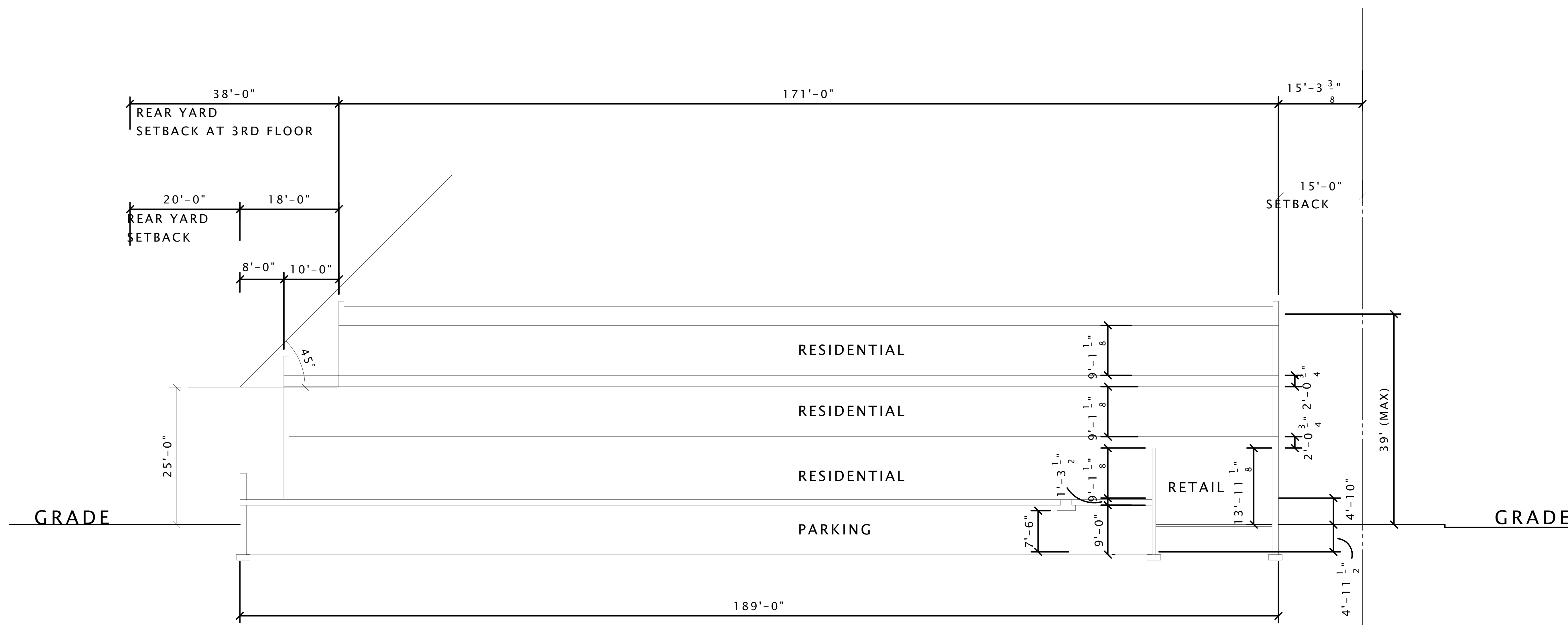
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SCHEMATIC SECTION

SHEET NUMBER

A310





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 1200, 1208 & 1212 E. WASHINGTON AVE & 9-13 N. FEW ST.
Project Title (if any): T.B.D.

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: LANCE MCGRATH Company: MCGRATH PROPERTY GROUP, LLC
 Street Address: 222 S. Bedford St. City/State: MADISON/WI Zip: 53703
 Telephone: (608) 345-3975 Fax: () N/A Email: LANCE.Mcgrath@mcgrathpropertygroup.com

Project Contact Person: SAME Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () Fax: () Email: _____

Property Owner (if not applicant): ① Lloyd Buchmeier Jr. & ② Ron Bambrough
 Street Address: ① W3830 Moore Rd City/State: ② 649 Spruce Cir. Zip: _____
R10, WI 53960 VERONA, WI 53593

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: MIXED-USE REDEVELOPMENT WITH 76 RESIDENTIAL UNITS & APPROXIMATELY 3,700 SF OF COMMERCIAL
 Development Schedule: Commencement JUNE 2015 Completion MAY 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER LEDELL ZELLERS & TLNA - PATTY PRIME & PATRICK HECK: 11/19/14

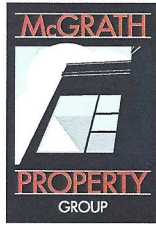
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 10/29/14 Zoning Staff: MATT TUCKER Date: 10/29/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant LANCE McGRATH Relationship to Property: CONTRACT OWNER
Authorizing Signature of Property Owner (unclear) MKL Date 3/17/15



March 18, 2015

Katherine Cornwell
City of Madison
Department of Planning & Community & Economic Development
115 Martin Luther King Jr. Blvd.
Suite LL 100, Madison Municipal Building
Madison, WI 53703

**RE: LETTER OF INTENT
NEW MIXED USE DEVELOPMENT
1200-1212 E. WASHINGTON AVE & 9-13 N. FEW ST
MADISON, WI 53703**

Dear Ms. Cornwell,

The following is submitted together with the subdivision application, associated plans and documents for review by City Staff, the Urban Design Commission, and the Plan Commission for consideration of approval.

PROJECT TEAM:

Owner: McGrath Property Group, 222 S. Bedford St. Suite A, Madison, WI 53703
Architect: JLA Architects & Planners, 2418 Crossroads Dr. Madison, WI 53718
Civil Engineer/Landscape: Ayres Associates, 101 E. Badger Road, Madison, WI 53713
Surveyor: Isthmus Surveying, 450 North Baldwin St, Madison, WI 53703

PROJECT OVERVIEW:

The proposed project consists of a 3-story wood frame building over one level of partially below grade parking. It will contain a total of 76 market rate apartments, providing a wide variety of living options with a diverse mix of residential units, ranging in size from a 440 SF studio up to a 1,445 SF 3-Bedroom. The parking level will include 76 parking stalls and several bike parking areas and a bike work room. The building will be approximately 73,065 SF on the three habitable levels.

The first floor frontage along E. Washington will include approximately 3,700 SF of commercial space broken up into a minimum of two distinct spaces, the residential entry lobby and a 600 SF professional quality fitness center for resident use. We hope to lease the commercial space to businesses that our residents and the neighborhood would consider an amenity.

Specific building areas and other pertinent information is provided in the attached plans. No public subsidy is being requested for this project.

SITE:

The project is located on a 5-parcel assembly that totals 44,308 SF (1.02 Acres). The site has 207 FT of frontage along E. Washington Avenue and 224 FT of frontage along N. Few Street. All 5-parcels are currently zoned Commercial Corridor-Transitional (CC-T) and is in Urban Design District #8 (UDD #8). The site is located in the 2nd Aldermanic District and sits within the confines of the Tenney-Lapham Neighborhood Association.

There are currently three one-story buildings on site that will be demolished prior to construction. A former gas station sits on 1200 E. Washington, a small metal building at 1208 E. Washington and a metal quonset hut building at 1212 E. Washington. The remainder of the site is predominantly asphalt parking lot. There are also two billboards on the 1212 E. Washington parcel - both billboard leases terminate at the end of April 2015 and are not being renewed. Photographs of the existing buildings are attached (Exhibit A).

There is existing soil and groundwater contamination on the 1200 E. Washington Avenue parcel from it's original gas station use. The gas station ceased operation in 1966. We will be working with the WDNR to remediate the site as part of this project. We will likely request a demolition permit in advance of obtaining a construction permit for the proposed project in order to allow us to begin the remediation work.

NEIGHBORHOOD INPUT:

The project is located in the Tenney-Lapham Neighborhood Association (TLNA). City staff, the Alder and the Neighborhood Association Chairperson were notified in writing of this project several months ago. A public notice meeting was held in December of 2014 and a steering committee was formed. The development team has met and shared information with this committee several times and will continue to meet on an as-needed basis as the final details of the project are worked thru. In March of 2015 the TLNA Council voted ***Unanimously to Support*** the proposed project (with some concerns).

ARCHITECTURE:

The building is designed with a "Modern Warehouse" aesthetic - meant to relate to the manufacturing history of the area and the older industrial buildings on the other side of E. Washington Avenue. It will be built with a very high quality exterior, primarily consisting of masonry with some cement fiber siding and very large window openings. The building wraps around the perimeter of the parking structure creating a landscaped courtyard area in the middle - over the below grade parking level. The parking level is accessed from N. Few Street. The landscaping, building exterior and the set-backs of the building have been designed to comply with the vision and the requirements of UDD #8.

REFUSE & RECYCLING:

Garbage and recycling containers serving the building will be located in an enclosed room in the lower parking level at the end of the access driveway. A private collection service will be used and their vehicles will pull into the driveway and temporarily park while the roll out containers are loaded for collection.

GREEN FEATURES:

We will be working with Focus on Energy to make the building as energy efficient as possible. We anticipate using energy efficient light fixtures, energy star appliances, high efficiency forced air furnaces and air conditioners, low flow plumbing fixtures, and Low-E glass on the windows. Common mechanicals will also be high efficiency.

We also intend to install photovoltaic solar panels on the roof - if our budget allows for it. We are working with a local installer who has applied for a Focus on Energy Grant to help subsidize the significant initial cost of the solar installation.

We will install a minimum of two electric car charging stations in the parking level and will have the ability to add more in the future if needed.

PROJECT SCHEDULE:

March 18, 2015:	Formal Application
May 6, 2015:	Urban Design Commission
May 18, 2015:	Plan Commission
June 1, 2015:	Start Demolition/Construction
May 1, 2016:	Certificate of Occupancy

Please feel free to contact me if additional information is needed.

Sincerely,



Lance T. McGrath, P.E.
Owner - McGrath Property Group, LLC

Exhibit A

McGrath Property Group

1200-1212 E. Washington Demolition



1200 E. Wash (Front)



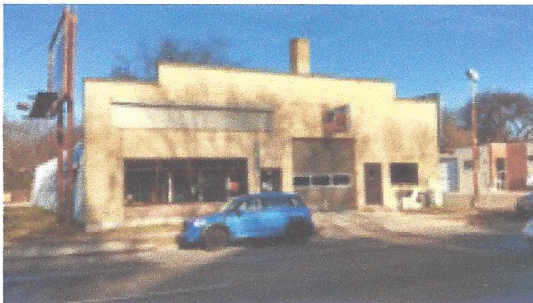
1200 E. Wash (Side from Few St.)



1208 E. Wash (Front)



1208 E. Wash (Rear)



1212 E. Wash (Front)



1212 E. Wash (Side from Few St.)



1212 E. Wash Interior



1212 E. Wash Interior