

# LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison  
Planning Division  
126 S Hamilton St  
PO Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## 1. LOCATION

Project Address: 121 LANGDON STREET Aldermanic District: 2

## 2. PROJECT

Project Title/Description: EXTERIOR REPAIR - 121 LANGDON

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)\*\*:
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)\*\*:
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Demolition
- Alteration/Addition to a building adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission of Historic District Nomination/Amendment  
*(Please contact the Historic Preservation Planner for specific Submission Requirements.)*
- Other (specify):

DPCED USE ONLY	Legistar #: <u>53000</u>
	DATE STAMP <b>CITY OF MADISON</b>  <u>SEP - 4 2018</u> <u>11:10 AM</u> <b>Planning &amp; Community &amp; Economic Development</b>
	Preliminary Zoning Review  Zoning Staff Initial:  Date:      /      /

## 3. APPLICANT

Applicant's Name: DAVID FERCH Company: FERCH ARCHITECTURE

Address: 2704 GREGORY ST MADISON, WI 53711  
Street City State Zip

Telephone: 608-886-3394 Email: david@fercharchitecture.com

Property Owner (if not applicant): 121 LANGDON STREET GROUP LLC HAROLD LANGHAMMER  
Partner

Address: 513 N. LAKE STREET, MADISON, WI 53703  
Street City State Zip

Property Owner's Signature: Harold Langhammer Date: 9-4-18

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 126 S Hamilton Street. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: [www.cityofmadison.com/dpced/planning/documents/2018LCMeetingScheduleDates.pdf](http://www.cityofmadison.com/dpced/planning/documents/2018LCMeetingScheduleDates.pdf)

# FERCH ARCHITECTURE

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2704 Gregory Street, Madison, WI 53711 (608) 238-6900

September 3, 2018

Project: 01815

Madison Landmarks Commission  
126 S. Hamilton St.  
Madison, WI 53701

RE: Letter of Intent – 121 Langdon Street

Dear Madison Landmarks Commission Members:

The owner of the registered landmarks building (John Suhr Residence) at 121 Langdon was issued a notice for needed repair work on the building. Attached is that repair notice and drawings addressing the repairs.

The attached drawings are not quite finished, but I am requesting review at this time to receive input on the design and detail work on the front, south side and porches. The south side porch could be repaired to meet the design of the approved plans in 2008 (last 3 sheets of the drawings), but the owner is willing to make additional design improvements to that porch to be in more conforming to the original building design.

Thank you for your time in reviewing this proposal.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "DAVID FERCH". The signature is stylized with a large, looped initial "D" and a long horizontal stroke extending to the right.

David Ferch

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From: Building Inspection Division  
126 S. Hamilton St.  
P.O. Box 2984  
Madison, Wisconsin 53701-2984

**City of Madison**  
**OFFICIAL NOTICE**

Notice: An inspection discloses that certain sections of the City Ordinances are being violated.

**Property Located At:**  
121 LANGDON STREET

**OWNER:**  
121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
----------	-----------------------	----------------------

**121 LANGDON STREET**

**REISSUE**

**FIELD OBSERVATION**

**Exterior of house**

**NOTE:**

THIS IS A **REISSUE** OF THE PREVIOUSLY ISSUED NOTICE CB2016-040-01121 DUE TO ITEMS HAVING NOT BEEN PROPERLY IDENTIFIED AND INCLUDED ON THE ORIGINAL NOTICE THAT WAS ISSUED. YOU MAY DISREGARD THE ORIGINAL NOTICE AND NOTE THAT THE DUE DATE FOR THIS CASE HAS BEEN EXTENDED TO JULY 16, 2017.

ALL HISTORIC DISTRICT AND LANDMARK REGULATIONS APPLY.

ALL DIRECTIONS ARE VIEWED LOOKING AT THE FRONT OF THE HOUSE FROM LANGDON ST.

- 1. 41.09(2)
- 41.16
- 41.21(2)

Obtain a Certificate of Appropriateness from the Landmarks Commission *before proceeding with any exterior repairs or alterations to this property*. Because this property is a designated Landmark, any exterior work must be reviewed and approved by the Landmarks Commission, or staff designee, and a Certificate of Appropriateness granted before a Building Permit may be issued and/or before any exterior work may begin. Contact Amy Scanlon, Preservation Planner, to discuss this project and to discuss the approval process. Please also note that failure to comply with any provision of the Landmarks Commission Ordinance, including failure to comply with any conditions of your approval, are subject to a minimum forfeiture of

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 513 N LAKE ST  
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\$250 a day and a maximum forfeiture of \$500 a day for each separate violation. [See Madison General Ordinances Sec 41.14(3).]

Compliance with any of the exterior-related items listed in this Official Notice shall be contingent upon these repairs being completed in such a manner that meets all of the criteria and expectations set forth by the Landmarks Commission, by Preservation Planner, Amy Scanlon, and by Madison Building Inspection.

You may contact the Preservation Planner by phone at (608)266-6552 or by email at: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

- 2. 29.05(1)
- 29.08(1)
- 27.05(2)i

Obtain the required building permit and inspections and repair or rebuild the front porch and roof assembly to a safe and substantial condition. This includes, but is not limited to:

- Repair or replace the damaged and out of plumb masonry piers supporting the front porch roof columns, tuck point the columns as needed, and replace any missing material. Ensure all piers are returned to plumb condition and can support all loads applied to them
- Repair or replace the porch columns - the columns are deteriorating and out of plumb - ensure all columns are returned to plumb condition and can support all loads applied to them
- Repair or replace any deteriorated beams and framing in the front porch roof assembly and return them to a level condition.
- Replace any rotted, missing, or damaged fascia, soffit, trim, or decorative members on the front porch assembly

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121 LANGDON STREET

**OWNER:**

121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
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- Eliminate all holes, gaps, and cracks, and repair the crushed areas where the support columns meet the beams
- Ensure that the roof system is weatherproof, rodent proof, and in proper repair

3. 29.05(1)  
29.08(1)  
27.05(2)(i)

Obtain the required building permit and inspections for the right side porch stairway that was installed without approvals or return the area to its original condition. An inspection found that a non-code complaint right side porch stairway was installed without a building permit or approvals. Some items observed that do not comply with the building code are as follows:

- Use of a 2x4 as top of handrail
- Handrail does not extend to the bottom landing
- Unknown construction of support post footings
- Stair stringers not properly attached to the top beam
- Existing box beam supporting roof system crushed/rotted
- Beam connections not resting on top of support posts
- Drywall screws used in post to footing connection
- Foundation window not safety glass at base of stairs

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121 LANGDON STREET  
CITY OF MADISON  
MADISON, WI 53703

**OWNER:**

121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
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4. 29.05(1)  
29.08(1)

Obtain the required building permit and inspections for the work done to repair the rear porch assembly and return the rear porch assembly to a safe and code compliant condition. An inspection found that incorrect rear porch repairs were made without a building permit or approvals. Some items observed that do not comply with the building code are as follows:

- Open stair risers
- Over span of deck support beams
- Unknown construction and use of "cookie" support post footings
- Missing beam/support post connections
- Loose, rotted, and/or missing balusters
- Rotted wood in the roof support columns
- Rotted/animal damaged wood roof fascias/soffits/trim

5. 27.05(2)(g)2

Tuck-point and repair the masonry throughout the building wherever the existing mortar and blocks or bricks are loose, damaged, cracked, or missing. Remove any spray foam that has been installed between bricks. Repairs shall be completed in a workmanlike manner using accepted masonry construction methods and materials. Ensure that the foundation is waterproof, rodent proof, and can support all loads applied to it. Areas to be repaired shall include, but are not limited to:

- The building block foundation walls
- The masonry brick walls, window, and door openings
- The rear chimney
- The right side chimney

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**Property Located At:**

121 LANGDON STREET  
MADISON, WISCONSIN 53703

**OWNER:**

121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
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6. 27.05(2)(e) Scrape and repaint the building wherever paint is peeling, chipping, cracking, or missing. All newly painted areas shall closely match the surrounding areas in color and appearance. Areas to be painted include, but are not limited to:

- The first floor front stair risers
- Exterior of the common front entry doors
- Front porch ceiling
- All new wood installation or repairs
- Wherever the existing finish is missing or damaged

7. 27.05(2)(i) Repair the broken sections of wood lattice decorative skirting, and remove and properly relocate the non-conforming metal duct through the front skirt.

8. 27.05(2)(g)2 Replace the missing, rotted, or deteriorated wood fascias, trim, gable end trim, siding, and metal sheeting throughout the building. Ensure that all repairs are weatherproof and rodent proof and painted to match the surrounding areas. Areas needing repair include, but are not limited to:

- The second floor front balconet
- The storm window assemblies in the first floor front bay window system below the balconet
- The framing in the two story bay window system on the right side of the house
- The framing in the third floor mansard roof and rear roof systems

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MADISON, WI 53703

**OWNER:**

121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
9.	27.05(2)(h)	Remove the plastic cover in the half-moon foundation window on the front of the house, and replace the missing window glass and rotted wood trim and framing, and repair any holes. Ensure that the window system is weatherproof and rodent proof.
10.	27.04(2)(g)	Properly secure and install the loose orange communication wires and open/loose gray communication junction box on the front porch next to the gas meters.
11.	27.05(2)(d)	Repair or rebuild the masonry retaining wall under the right side porch; the wall is leaning and out of plumb.
12.	27.05(2)a	Properly re-grade the ground around the perimeter of the foundation so that the rigid insulation is no longer exposed. If the insulation cannot be property covered via grading, ensure the rigid insulation is properly covered with an approved material and not exposed to ultraviolet light sources.
13.	27.05(2)(a)	Remove the plastic down spout extension assemblies and replace them with a downspout system that conforms with the Landmark requirements for this property.
14.	27.05(2)(h)	Remove the cracked plastic from the foundation window opening toward the front and replace the rotted wood in the middle foundation window assembly next to it on the left side of the house.



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121 LANGDON STREET  
5TH FLOOR  
MADISON, WI 53703

**OWNER:**

121 LANGDON STREET GROUP  
% SHAKESPEARE'S BOOKS  
513 N LAKE ST  
MADISON WI 53703

Item No.	Violating Section No.	CORRECTIONS REQUIRED
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This notice does not start any legal action. However, if the violations are not corrected by the due date listed below, the Building Inspection Division may issue citation(s), and/or refer the situation to the City Attorney's Office.

The Building Inspection Division is willing to answer questions pertaining to this official notice in order to assist you in correcting the violations. If you have questions or problems, it is important to contact me before the due date at the number listed below. You should also contact me on or before the due date if you wish to attend the follow-up inspection.

\*\*\*\*\*  
**THE MADISON GENERAL ORDINANCES REQUIRE THAT A FEE OF \$75.00 BE CHARGED FOR REINSPECTIONS THAT DO NOT RESULT IN FULL COMPLIANCE, INCLUDING REINSPECTIONS RESULTING IN AN EXTENDED DUE DATE. ATTEMPTED REINSPECTIONS (NO ENTRY) ARE BILLED AT \$35.00 EACH.**  
\*\*\*\*\*

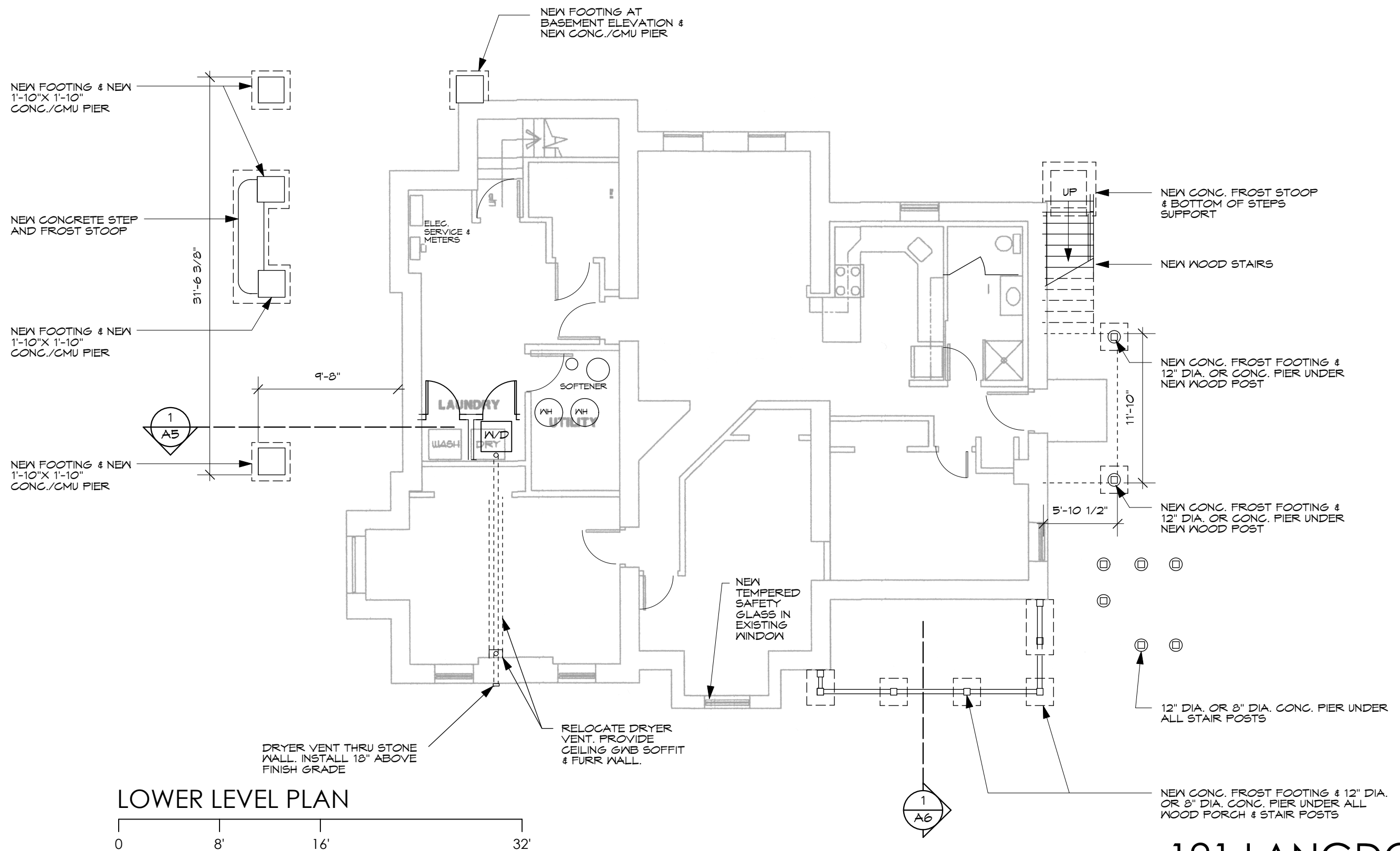
The inspector can be reached by phone at 608-266-4495 or by email at [rales@cityofmadison.com](mailto:rales@cityofmadison.com)

Inspected by: Robert Ales                      On: 11-21-2016                      Date Issued: 4-21-2017

The violations shall be corrected on or before: July 16, 2017

Code Enforcement Officer: \_\_\_\_\_

Any person violating any provision of the City Ordinances enforced by the Building Inspection Division is subject to the penalties provided by the appropriate Ordinance violated. ALL APPLICATIONS FOR APPEAL OF CHAPTERS 17, 18, 19, 27, 28, 29, 30 and 31 SHALL BE SUBMITTED TO THE BUILDING INSPECTION DIRECTOR IN WRITING WITHIN FIFTEEN (15) DAYS OF POSTMARK ON OFFICIAL NOTICE ENVELOPE. Appeal information may be obtained by calling 266-4551.



**LOWER LEVEL PLAN**

0 8' 16' 32'

# 121 LANGDON

9/3/18

FERCH ARCHITECTURE  
 2704 GREGORY STREET, MADISON, WI 53711  
 608-238-6900 david@fercharchitecture.com

**A1**

GENERAL NOTE: REPAIR BUILDING WOOD TRIM, BRICK & STONE AND PAINT PER CITY INSPECTION REPORT.

NEW 5" CONC. SIDEWALK

NEW CONCRETE STEP AND FROST STOOP

REPAIR PORCH SEE WALL SECTION 1/A6

1  
A5

PORCH

DN

PORCH

NEW TREATED WOOD STAIR W/ NEW 1 1/2" DIA. METAL HANDRAIL EA. SIDE

NEW PORCH DECK & GUARDRAIL AT EXISTING PORCH LOCATION.

FUTURE LOCATION OF PLATFORM LIFT

NEW WOOD STAIR W/ METAL/CABLE GUARDRAIL

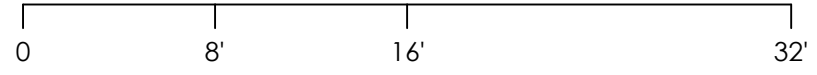
NEW PORCH DECK & FRAMING & NEW DECORATIVE WOOD SUPPORT COLUMNS TO MATCH EXISTING

PORCH

DN

1  
A6

### FIRST FLOOR PLAN



# 121 LANGDON

9/3/18

FERCH ARCHITECTURE  
2704 GREGORY STREET, MADISON, WI 53711  
608-238-6900 david@fercharchitecture.com

## A2

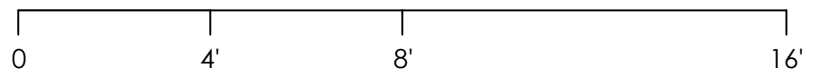


EXISTING 2ND FLOOR FRONT ELEVATION SQUARE STOCK RAILING



ORIGINAL PORCH RAILING

SIDE PORCH ELEVATION



121 LANGDON

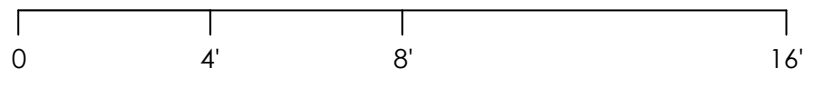
9/3/18

FERCH ARCHITECTURE  
 2704 GREGORY STREET, MADISON, WI 53711  
 608-238-6900 david@fercharchitecture.com

A3



REAR ELEVATION

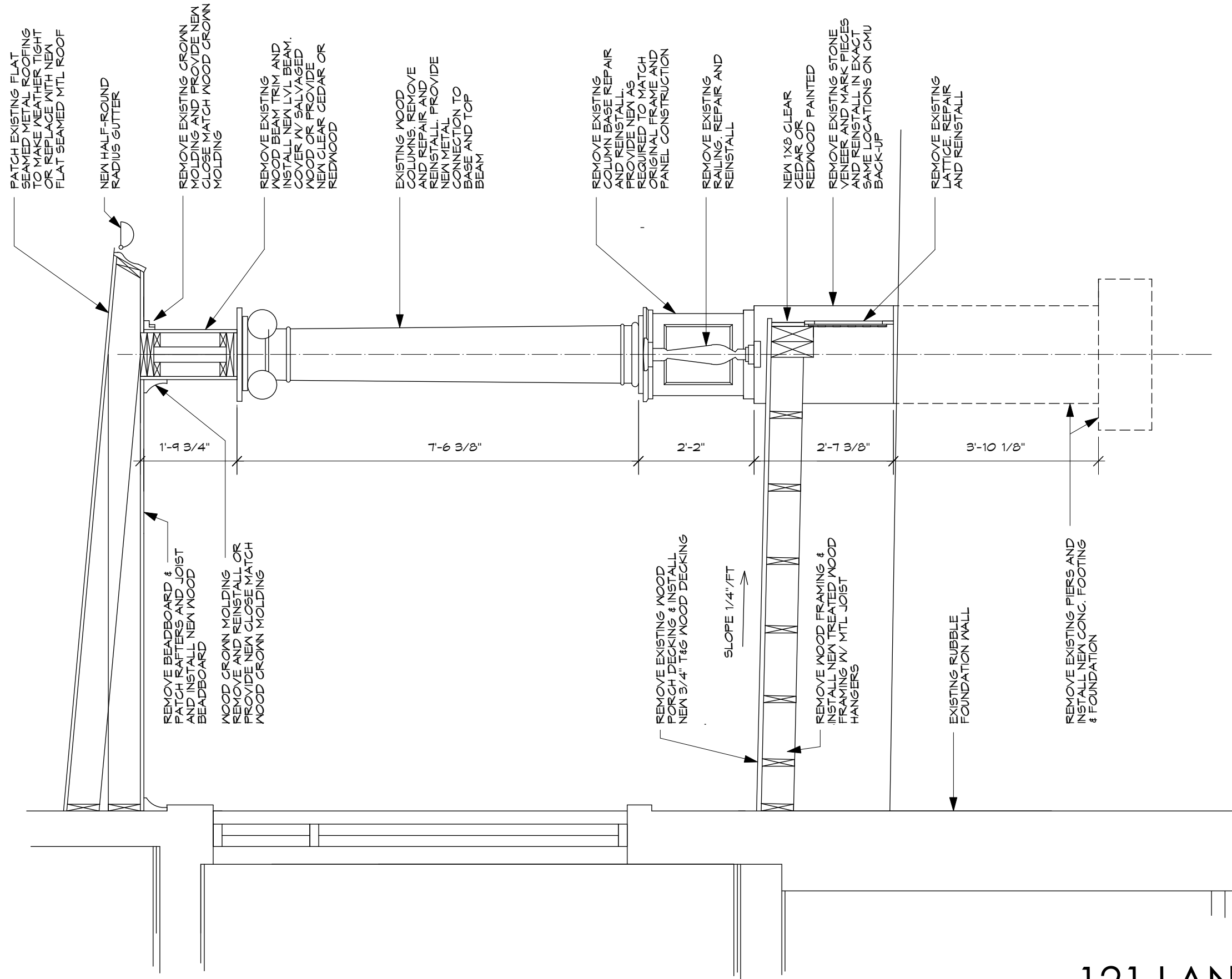


# 121 LANGDON

9/3/18

FERCH ARCHITECTURE  
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A4



# FRONT PORCH

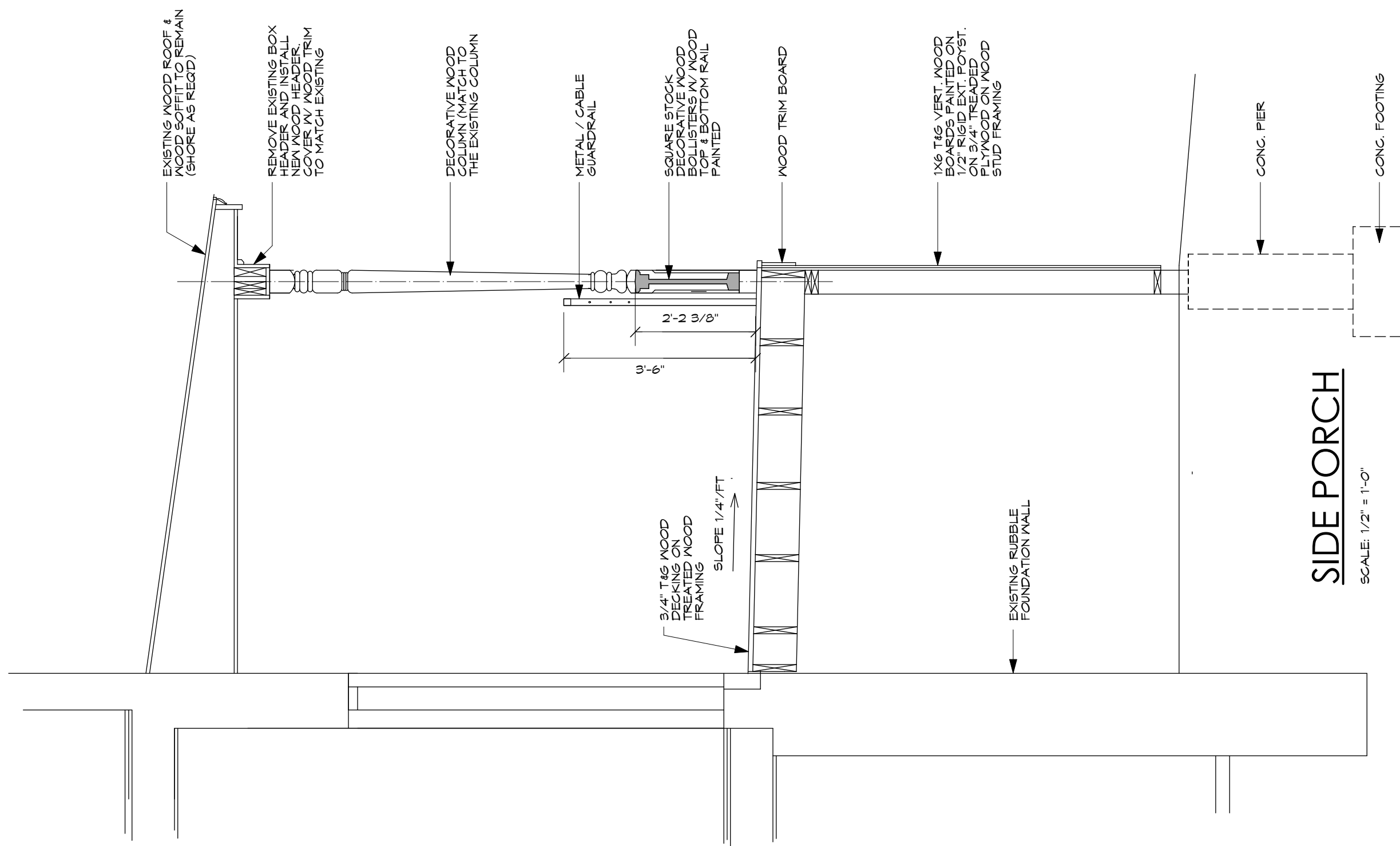
SCALE: 1/2" = 1'-0"

## 121 LANGDON

9/3/18

FERCH ARCHITECTURE  
 2704 GREGORY STREET, MADISON, WI 53711  
 608-238-6900 david@fercharchitecture.com

# A5



**SIDE PORCH**

SCALE: 1/2" = 1'-0"

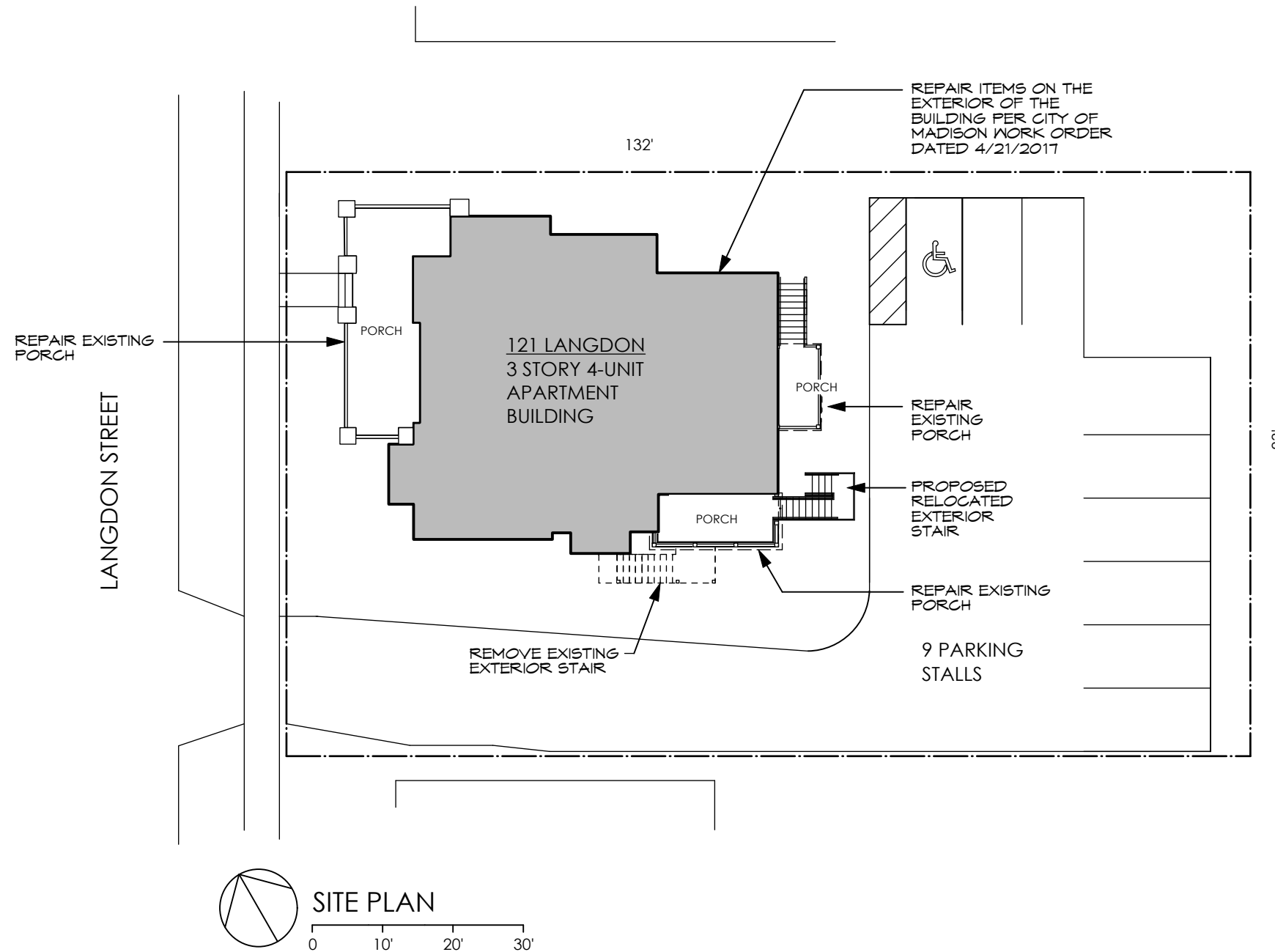
121 LANGDON

9/3/18

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A6

# EXTERIOR REPAIR



## SHEET INDEX

- C1 SITE PLAN, COVER
  
- P1 EXTERIOR PHOTOS
- P2 FRONT PORCH PHOTO
- P3 SIDE PORCH PHOTO
- P4 REAR PHOTO
- P5 HISTORIC PHOTO
- P6 HISTORIC PHOTO
  
- D1 LOWER LEVEL DEMOLITION PLAN
- D2 FIRST FLOOR DEMOLITION PLAN
  
- A1 LOWER LEVEL PLAN
- A2 FIRST FLOOR PLAN
- A3 SIDE PORCH ELEVATION
- A4 REAR PORCH ELEVATION
- A5 FRONT PORCH SECTION
- A6 SIDE PORCH SECTION
  
- S1 FIRST FLOOR FRAMING PLAN
- S2 SECOND FLOOR FRAMING PLAN

SIDE PORCH SITE PLAN APPROVAL  
9/19/2008 (3 PAGES)

## 121 LANGDON

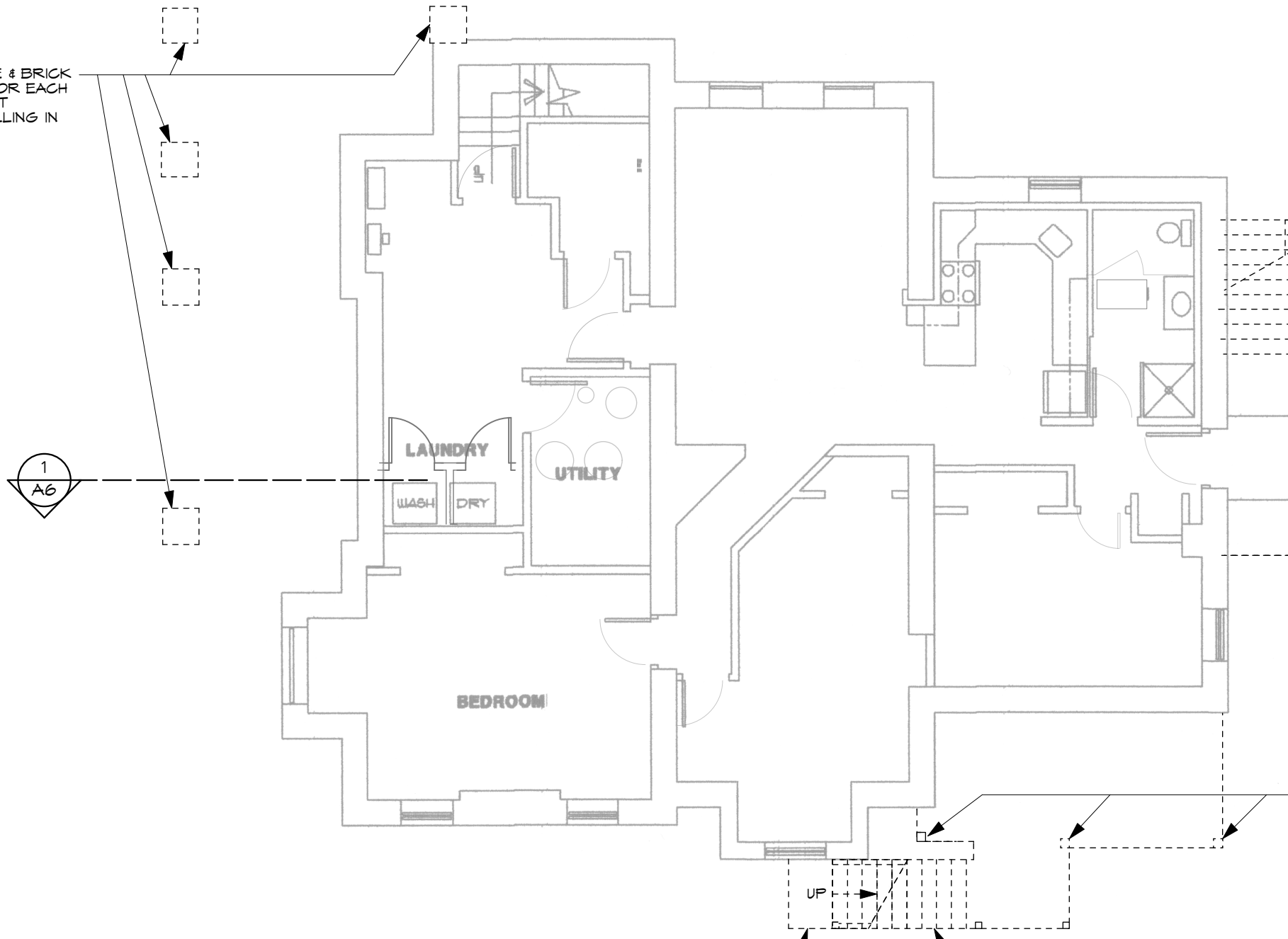
9/3/18

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# C1



REMOVE EXISTING STONE & BRICK PIER. SALVAGE STONE FOR EACH PIER MARKING THE EXACT LOCATION FOR REINSTALLING IN THE SAME LOCATION



REMOVE EXISTING WOOD STAIR & CONC. FOOTING

REMOVE EXISTING WOOD COLUMN & FOOTING

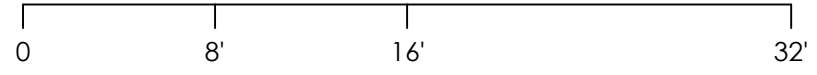
REMOVE EXISTING WOOD COLUMN & FOOTING

REMOVE EXISTING 6X6 WOOD COLUMN & FOOTING

REMOVE EXISTING WOOD STAIRS

REMOVE EXISTING SIDEWALK & COLUMN FOOTING

LOWER LEVEL DEMOLITION PLAN



121 LANGDON

9/3/18

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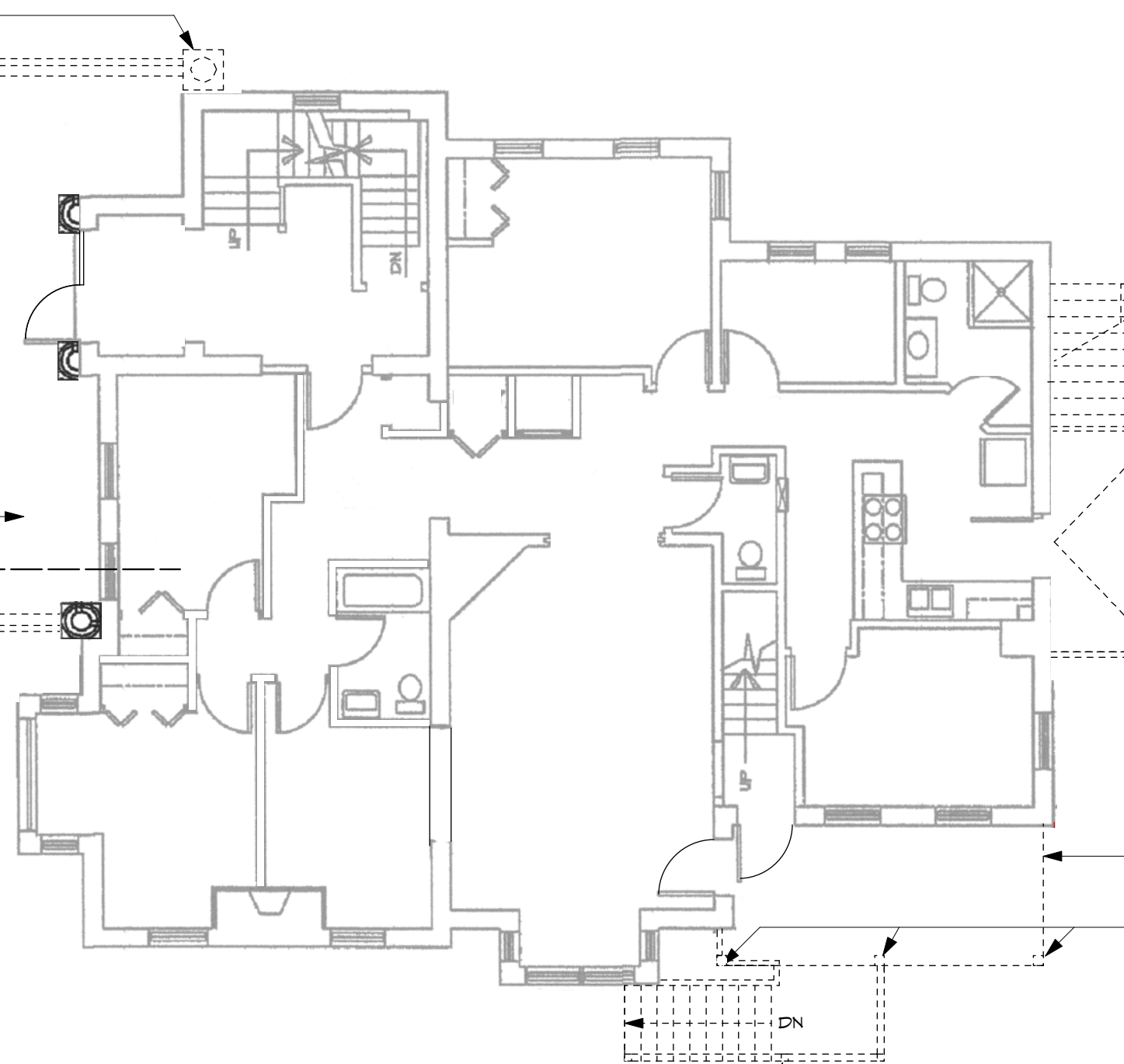
D1

REMOVE EXISTING WOOD COLUMNS & BASE SHOWN DASHED AND SALVAGE FOR REUSE

REMOVE CONC. SIDEWALK & STEP

SHORE ROOF AND REMOVE ROTTED FRONT BOX BEAM

REMOVE EXISTING WOOD PORCH FRAMING & DECKING



REMOVE EXISTING WOOD STAIR

REMOVE EXISTING WOOD COLUMN (EXISTING PORCH ROOF TO REMAIN)

REMOVE EXISTING WOOD 1ST FLOOR DECK EXISTING ROOF TO REMAIN

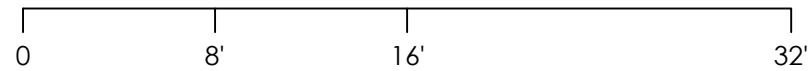
REMOVE EXISTING WOOD COLUMN (EXISTING PORCH ROOF TO REMAIN)

REMOVE EXISTING WOOD 1ST FLOOR DECK

REMOVE EXISTING WOOD COLUMN (EXISTING PORCH ROOF TO REMAIN, SHORE AS REQUIRED)

REMOVE EXISTING WOOD STAIRS

### FIRST FLOOR DEMOLITION PLAN



REV. 8/23/18

# 121 LANGDON

9/3/18

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## D2



# 121 LANGDON

9/3/18

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P1



FRONT PORCH PHOTO

REV. 8/23/18

121 LANGDON 9/3/18

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P2



SIDE PORCH PHOTO

121 LANGDON

REV. 8/23/18

9/3/18

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608-238-6900 david@fercharchitecture.com

P3



REAR PORCH PHOTO

121 LANGDON

8/23/18

FERCH ARCHITECTURE  
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P4



Photo: Wisconsin Historical Society, WHS-3280

## HISTORIC PHOTO: John Suhr Residence

# 121 LANGDON

9/3/18

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608-238-6900 david@fercharchitecture.com

# P5



Photo: Wisconsin Historical Society, WHS-39049

## HISTORIC PHOTO: John Suhr Residence

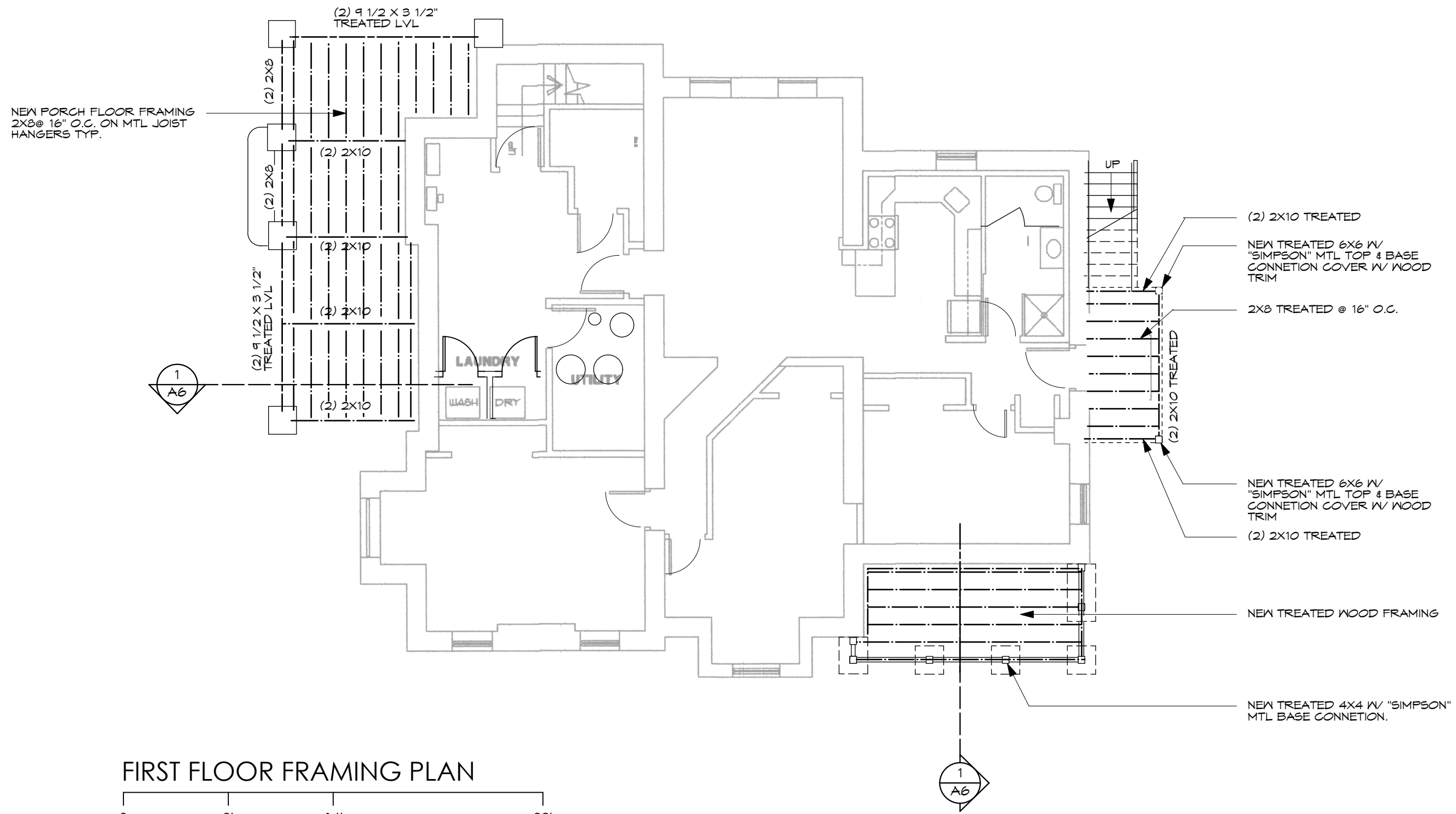
121 LANGDON

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P6





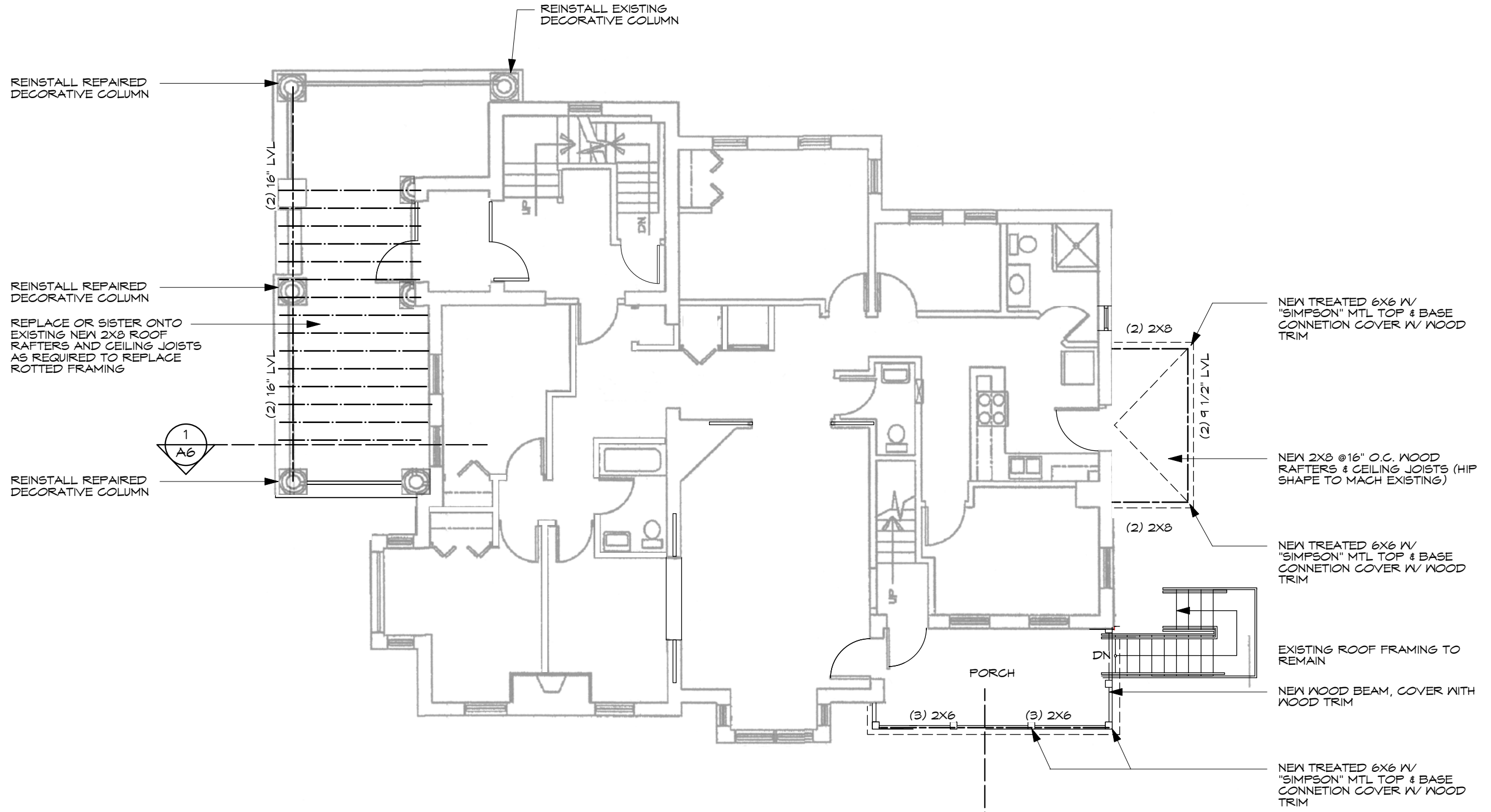
FIRST FLOOR FRAMING PLAN

0      8'      16'      32'

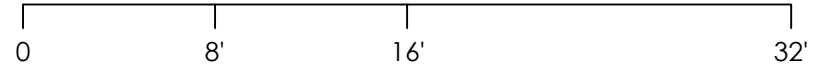
121 LANGDON 9/3/18

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S1



SECOND FLOOR FRAMING PLAN



121 LANGDON

9/3/18

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 608-238-6900 david@fercharchitecture.com

S2



City of Madison Site Plan Verification

Admin Pick up Review All Projects User Info Logout

PROJECT 1178: 121 Langdon St

Submitted by: Central Properties
Contact: Harold Langhammer: (608) 255-1767
Project type: Minor Alteration to CU
Description: remove existing carport and deck & replace with parking stalls and entry stairs
Status: completed on 9/19/2008

Project has been completed.

Table with columns: Agency, Status, Requirements, Remarks, Checkout Date, Contact, Reviewed. Rows include Zoning, Traffic Engineering, Fire, Engineering, Planning, Landmarks Commission, and Engineering Mapping.

Revision table with columns: Revision, Submit date. Row: Original, 8/19/2008.

Engineering

Note: Supplementary Condition Completed (was Submit revised site plan that clearly identifies existing features vs. new or revised features. The plan submitted was originally submitted in 1997 and it is unclear with the notation of what all exactly is currently proposed as "new" and what was "new" in 1997.)

Note: Supplementary Condition Completed (was If after review of the revised site plan it is determined that 4,000 sf or more of area is being disturbed an Erosion Control & Storm Water Management Permit may be required.)

Top

Landmarks Commission

Note: Supplementary Condition Completed (was 1) Submit a revised site plan detail showing the exact location and dimensions of the parking spaces to be retained in conjunction with the location of the new stairs/deck-- it appears that this new structure will make one of the parking spaces non functional.2) Provide a revised landscaping plan that provides some screening for the parking spaces that will now be exposed to the street-- recommend removing pavement from the parking space mentioned in item one and landscaping that area.3) Kitty Rankin must approve the design of the new stairs/deck-- especially concerned about the underside and the spindly appearance of the 4" x 4" posts that will rise 6+ feet from the ground.4) Provide information on the appearance and condition of the walls of the house once the porch and carport are removed.)

Top

Zoning

Note: Supplementary Condition Completed (was Provide zoning with a copy of the revised site and landscaping plans per Landmarks Commission comments.)

Top

CENTRAL PROPERTIES

513 North Lake Street
Madison, WI 53703
Telephone: 608-255-1767

August 11, 2008

TO: Alderman Verveer
FROM: Harold Langhammer
RE: 121 Langdon Street

Hi Mike. Please sign the application for existing conditional use, and give a call to our office and we will pick it up.

The picture shows the existing garage, stairs and porch. The garage hasn't been used in years and we have it propped up with jacks because the steel beams holding the concrete deck are rusting through. We think it is a hazard as well as unsightly. We want to remove everything that is there and replace it with a simple entry stairs, as shown on the attached drawing.

Kitty Rankin has approved the demolition and building the stairs.

Call me with any questions. Thanks..

DATE OF PLANS	APR 12 1995
REVISIONS	JUNE 13 1995
	AUG 13 2002B

121 LANGDON STREET GROUP APARTMENTS  
121 LANGDON ST., MADISON, WI 53703

DRAWN BY: *John Vincent*

SHEET NUMBER  
**1**

**PARKING LOT PLAN SITE INFORMATION BLOCK**

SITE ADDRESS: 121 LANGDON ST  
SITE SQUARE FOOTAGE: 10,800  
NUMBER OF BUILDING STORES (ABOVE GROUND): 3  
BUILDING HEIGHT: 34'  
TOTAL SQUARE FOOTAGE OF BUILDING: 7000  
USE OF PROPERTY: APARTMENTS

NUMBER OF BICYCLE STALLS SHOWN: 4  
NUMBER OF PARKING STALLS: SHOWN

STALLS ACCESSIBLE	
TOTAL	9

NUMBER OF TREES SHOWN: 9

**LANDSCAPING SCHEDULE**

NO.	MEY SIZE	NEW - *
1	OAK 20"	
2	BASSWOOD 18"	
3	BASSWOOD 10"	
4	OAK 24"	
5	ARBER VITAE (5' HIGH) *	
6	ARBER VITAE (5' HIGH) *	
7	MAPLE 12"	
8	OAK 14"	
9	MAPLE 10"	
10	MAPLE 10"	
11	ALPINE BUSH	

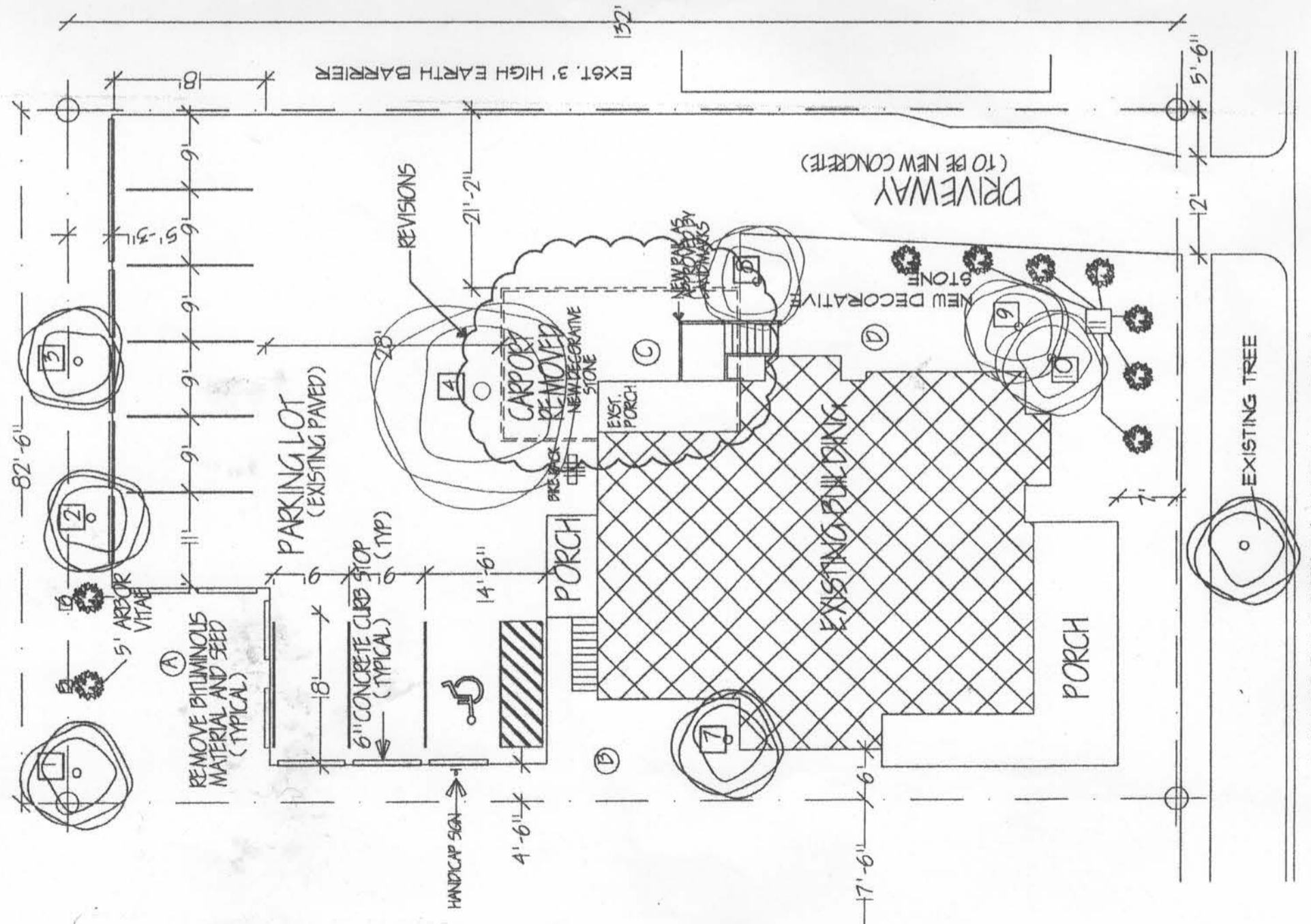
**LOT AREA REQUIRED**  
4 UNITS @ 600 SQ FT PER UNIT = 2400  
10 EXTRA BEDROOMS @ 150 SQ FT = 1500 sq ft  
TOTAL REQUIRED = 3900 sq ft

**LOT AREA PROVIDED**  
10800 SQ FT

**OPEN SPACE BY AREA**  
A = 670 SQ FT  
B = 345 SQ FT  
C = 452 SQ FT  
D = 501 SQ FT  
TOTAL = 1868 SQ FT

**OPEN SPACE REQUIRED**  
18 BEDROOMS @ 70 SQ FT = 1260 sq ft  
TOTAL PROVIDED = 1868 sq ft

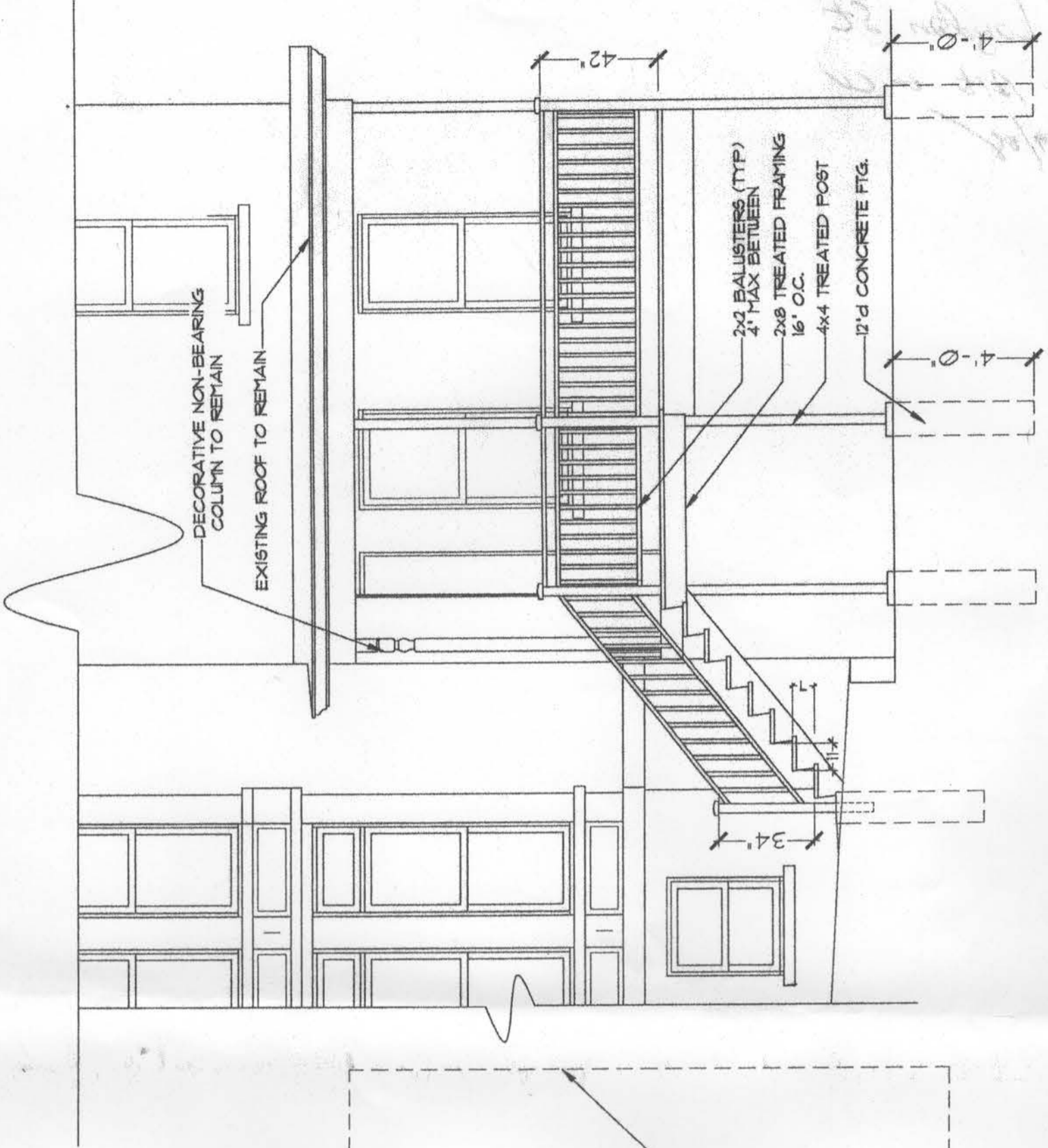
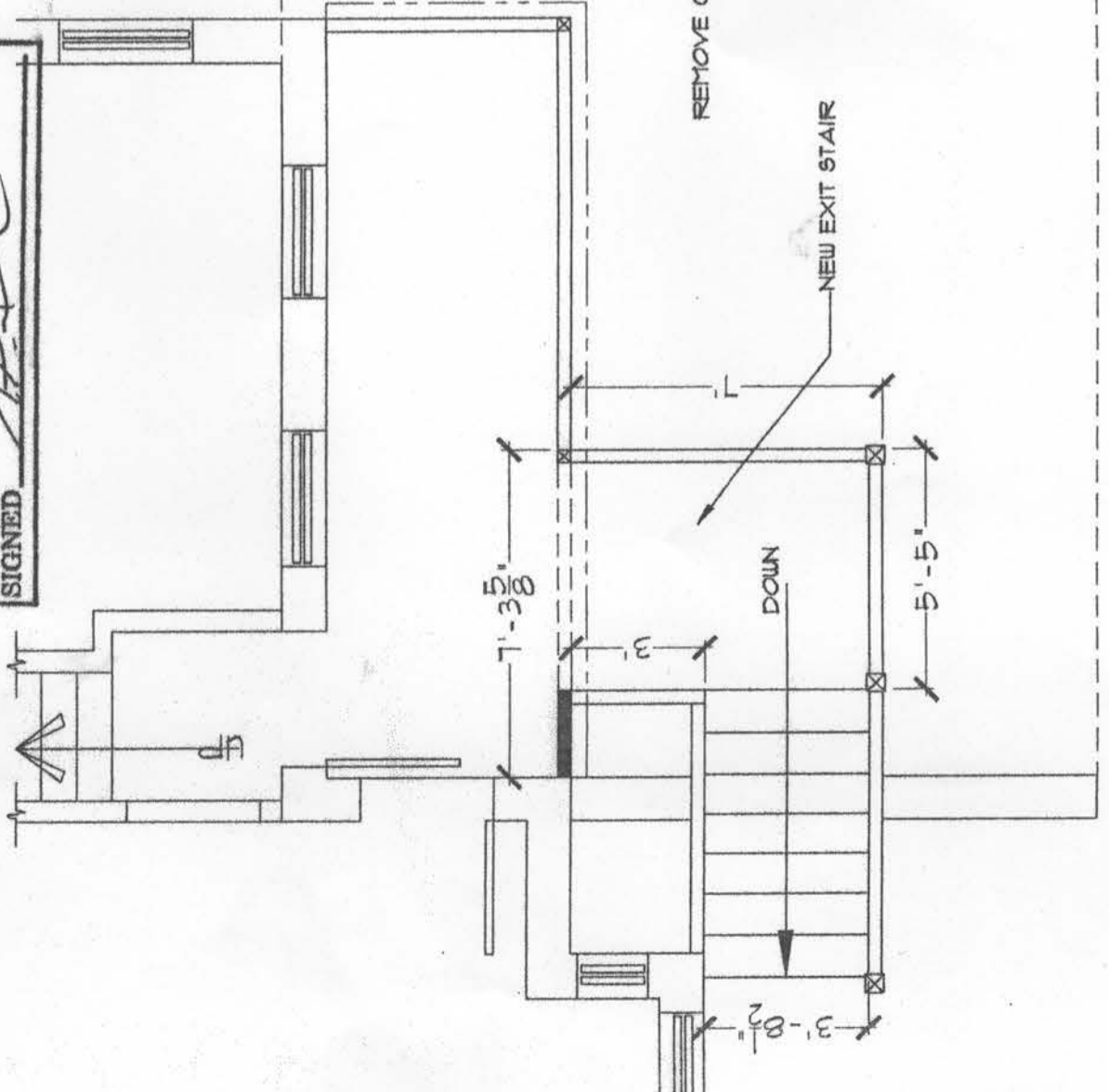
SCALE 1" = 20'-0"



ADJACENT BUILDING 9-13-08

121 LANGDON STREET (1/11/95) 221

PLAN/PARKING FACILITY APPROVAL  
 ADDRESS 21 Langdon St.  
 ID# 1178 DATE SUBMITTED 8/14/08  
 ORIGINAL  REVISION# \_\_\_\_\_  
 FINAL SIGN OFF DATE 9/17/08  
 SIGNED [Signature]



ELEVATION

STAIR PLAN