



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>8.19.15</u>	<input checked="" type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>9.2.15</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. Project Address: 1313 REGENT STREET
Project Title (if any): _____

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOHN BIENO Company: TJK DESIGN BUILD
 Street Address: 1012 WEST MAIN STREET STE 201 City/State: MADISON, WI Zip: 53703
 Telephone: () 267 1090 Fax: () 267 1092 Email: JJBIEÑO@TJKDESIGNBUILD.COM

Project Contact Person: SAME AS ABOVE Company: _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () _____ Fax: () _____ Email: _____

Project Owner (if not applicant): ROD RIPLEY FCS PLAN B LLC
 Street Address: 5025 CORLESTONE LANE City/State: WAUNAKEE WI Zip: 53597
 Telephone: () _____ Fax: () _____ Email: RIPPER42@CHARTER.NET

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant John Bieno Relationship to Property ARCHITECT

Authorized Signature  Date 8.17.15

5. Submission Requirements

Application: Each submittal must include **14 collated paper copies** (11" x 17" max.) and an **electronic copy** of all application materials. The electronic copy must include individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM submitted with the paper copies, or in an e-mail sent to: UDCApplcations@cityofmadison.com. The transmittal shall include the name of the project, address, and applicant. Applicants unable to provide the materials electronically should contact the Secretary of the Urban Design Commission at 267-8740 for assistance. For an application to be considered complete and scheduled for a UDC meeting, both the paper copies and electronic copy need to be submitted prior to the application deadline. Late materials will not be accepted. An application is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be easily read when reduced.

Fees: Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer, Madison, Wisconsin.

Project Plans: The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Brief Narrative Description of the Project, Site Plan, and 2-dimensional images of proposed buildings or structures. Additional information may provide for a greater level of feedback from the Commission.
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Any and all relevant plans and information on which feedback from the UDC is requested.

2. Initial Approval

- Locator Map
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List
- Building Elevations for all building sides
- PD text and letter of intent (if applicable)

3. Final Approval

- Locator Map
- Site Plan showing location of existing and proposed buildings
- Grading Plan
- Landscape Plan
- Plant List, including scientific name, size at planting, quantity and root condition for each species.
- Building Elevations for all building sides, colored with shadow lines, including exterior building materials and colors.
- Proposed Signage
- Lighting Plan, including fixture cut sheets and photometrics plan
- Utility/HVAC equipment location and screening details
- PD text and letter of intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

Signage: The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Initial Approval

- Locator Map
- Signage as it relates to the Sign Control Ordinance provisions for Variances or Comprehensive Design Review of Signage
- Site Plan (show location of all existing and proposed buildings, and all existing and proposed signage, specifying which existing signs, if any, are to be removed)
- Scale drawing of each proposed sign, including awning graphics
- Photographs of site

2. Final Approval

- Locator Map
- Signage as it relates to the Sign Control Ordinance provisions for Variances or Comprehensive Design Review of Signage
- Site Plan (show location of all existing and proposed buildings, and all existing and proposed signage, specifying which existing signs, if any, are to be removed)
- Scale drawing of each proposed sign, including awning graphics
- Description and/or samples of materials and colors for each proposed sign
- Photographs of site
- Context of signs in surrounding parcels, in addition to the site being discussed

***NOTE:** If supplemental perspective renderings are provided, an emphasis should be placed on providing pedestrian/automobile scale viewsheds, in addition to the other required graphics.

***NOTE:** If applying for final approval without having received initial approval, all materials required for initial approval will be required.

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF, or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City's Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

PROJECT DESCRIPTION

Introduction:

The site is located mid block on the south side of the 1300 block of Regent Street. The site is approximately 35,570 square feet in size. It currently has an existing structure that has seen many purposes over its 70+ year lifespan. Most recently as a car repair center. The property extends all the way through the block to Bowen Court. Regent Street is an active area in the city for all modes of transportation. Bowen Court is a one way street that primarily serves as a link to the converted housing along this street. To the east and west of the property there is a mix of commercial properties and more converted housing.

Deconstruction:

This proposed development envisions the deconstruction of a 1650 square foot addition on the west side of the existing building. There will also be selective demolition on the existing structure including opening existing windows which have long been closed. A chain link fence encompassing the position of the lot along Bowen Court will also be removed.

Description:

The site under consideration is along a busy thorough fare near the UW Campus. An existing structure along Regent Street will be repurposed into a multi-tenant building. The major tenant will be a brew pub. The remainder of the site, adjacent to Bowen Court, will be converted into a 26 unit apartment complex with underground parking. The brew pub will benefit from an access way on the western edge of the development. The access way will also contain 15 off street parking stalls. Pedestrian and bicycle access and parking is readily available.

The existing structure will be cleaned, repaired and benefit from selective demolition. The demolition will primarily be in two parts. First, an existing addition to the original building, along the western side, will be removed to make way for the access road. The second part of the demolition will be opening existing window and door opportunities long closed. Existing skylights will be removed in order to install new, more energy efficient options along with interior demolition to accommodate the needs of the tenant. There will be an area established for on-site brewing and food preparation. There is also an area set aside for the occasional use for an event. Some of the events may be, but not limited to: football Saturdays, neighborhood gatherings, club and/or group meetings and small family events. An outdoor patio has been created to offer patrons another dining option during good weather and established hours.

The apartment complex will replace an area that was previously utilized for vehicle storage. Some of the existing trees will be removed to accommodate the construction. Existing fences, paving and potential poor soils will also be removed. The apartment will be 26 units. Unit mix will be a combination of efficiency, 1 bedroom, 2 bedrooms, efficiency loft, 1 bedroom loft and 2 bedroom loft. There will be 22 underground parking stalls for vehicles. 27 bike parking stalls are split between indoors and outdoors. Some of the units will have direct access entries to Bowen Court. The building will be clad in a mix of masonry, painted cement board siding and commercial grade prefinished metal. The first floor is elevated from grade to mimic other buildings in this area.

A 2 lot CSM is requested for the development. This is a response to the (3) existing billboards located on the roof of the existing building. According to zoning code, a residential use cannot be on a property with a billboard.

Hours of Operation:

Brew Pub Sunday – Thursday 11:00 AM – 2:00 AM
 Friday - Saturday 11:00 AM – 2:30 AM

Outdoor Dining 7 days a week (weather permitting) 11:00 AM – 10:00 PM

Banquet Facility (by reservation) same as Brew Pub

Occupancy Load:

Brew Pub 2,863 SF = 200 Persons
Commercial Kitchen 1,044 SF = 5 Persons
Banquet Facility 2,432 SF = 450 Persons (owner set amount)

Brewery 1,393 SF = 3 Persons
Outdoor Dining 1,269 SF = 58 Persons (owner set amount)

Parking:

Brew Pub	Vehicle	14 Provided	40 required for Brew Pub 68 required for Banquet
	Bicycle	5% of Capacity	36 required

Lot Coverage/Useable Open Space:

Brew Pub Building	Lot Area	22,454 SF
	Building	10,091 SF
	Green Space	2,133 SF

Schedule:

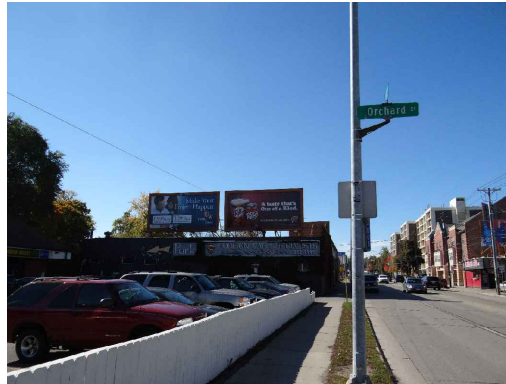
Plan Submitted	July 22, 2015
Plan Commission	September 21, 2015
Common Council	October 6, 2015
Plan Approval	October 20, 2015
Final Zoning Approval	November 3, 2015
Start Construction	November 17, 2015
Bar Operational	March 1, 2016
Final Completion	October 1, 2016

EXISTING SITE PHOTOS

1313 REGENT STREET
MADISON, WISCONSIN



LOOKING SOUTHEAST



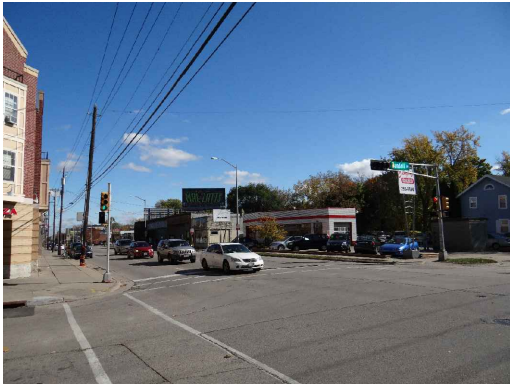
LOOKING WEST



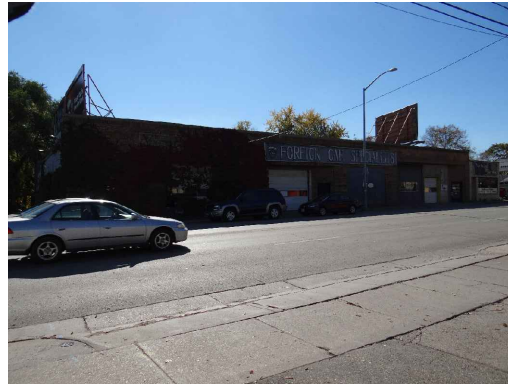
LOOKING NORTH

EXISTING SITE PHOTOS

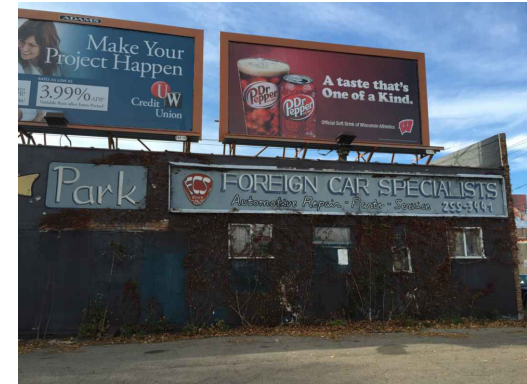
1313 REGENT STREET
MADISON, WISCONSIN



LOOKING SOUTHEAST



LOOKING SOUTH



LOOKING WEST

EXISTING SITE PHOTOS

BOWEN COURT
MADISON, WISCONSIN



LOOKING WEST



LOOKING NORTH



LOOKING EAST

EXISTING SITE PHOTOS

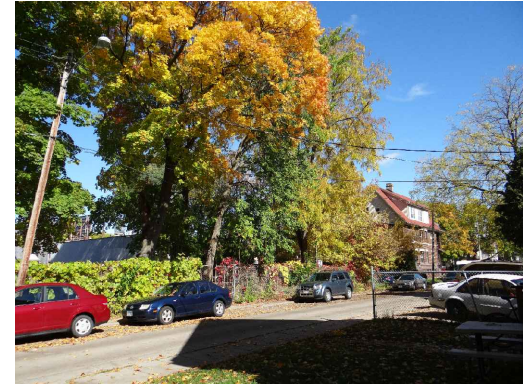
BOWEN COURT
MADISON, WISCONSIN



LOOKING SOUTH



LOOKING WEST

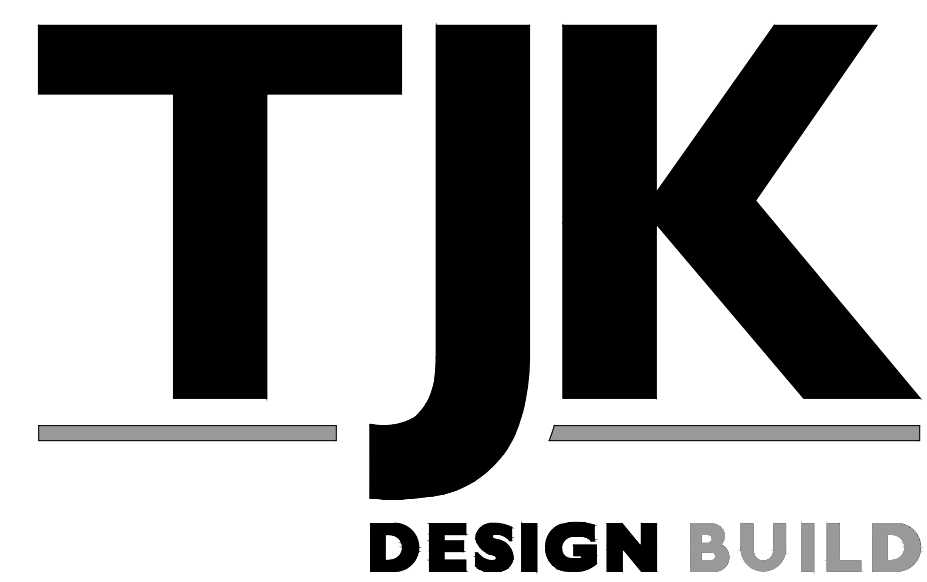


LOOKING NORTHEAST

PROPOSED FACILITY FOR: _____

REGENT STREET DEVELOPMENT

1313 REGENT STREET
MADISON, WISCONSIN



TJK Design Build

612 West Main Street

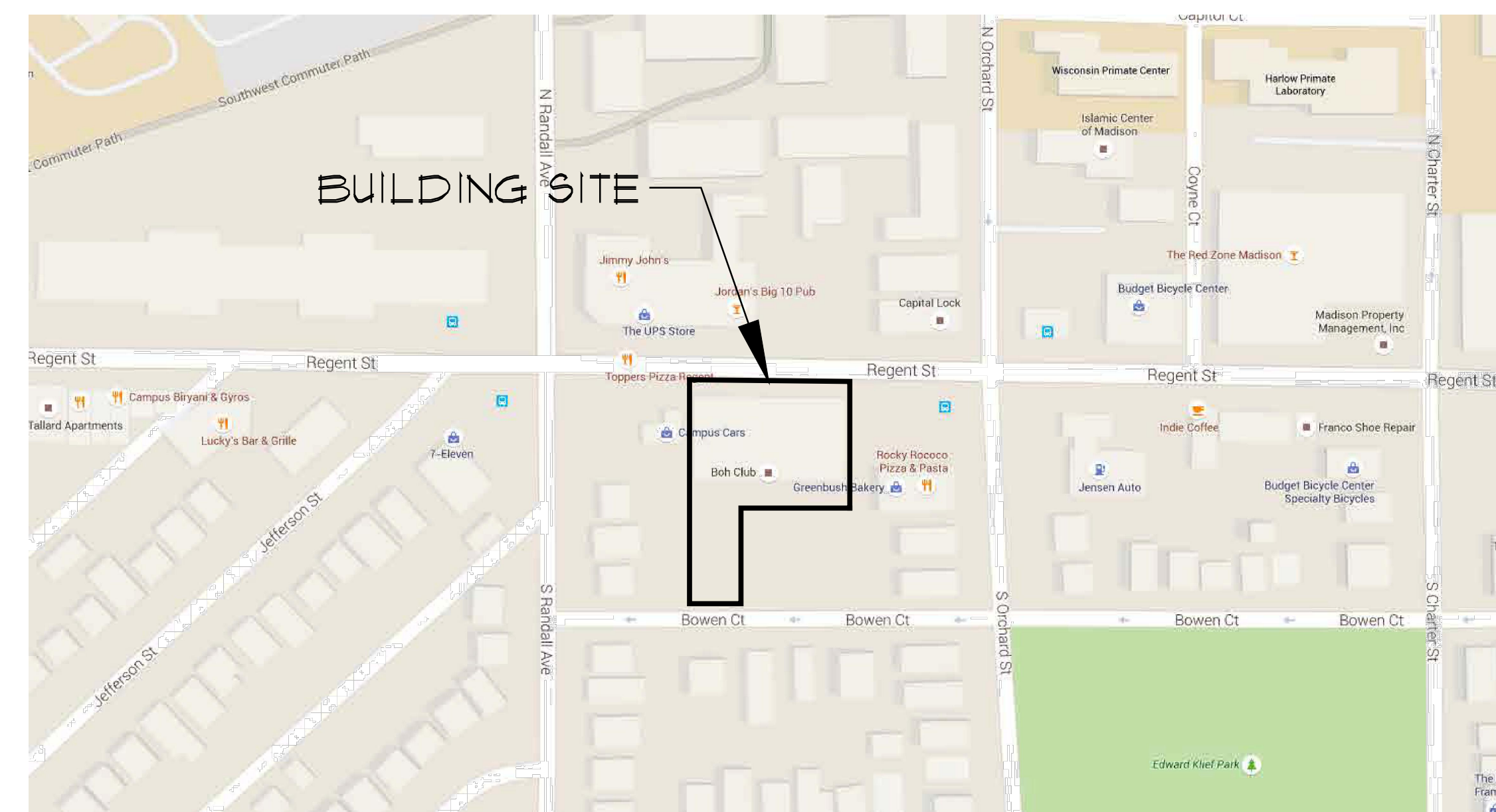
Madison, WI 53703

608-257-1090

FAX 608-257-1092

INDEX OF DRAWINGS:

- C-1.1 GRADING AND EROSION CONTROL PLAN
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- A-3.1 BUILDING SECTIONS
- A-3.2 BUILDING SECTIONS
- A-5.1 INTERIOR ELEVATIONS
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- A-5.3 INTERIOR ELEVATIONS
- A-6.1 PARTITION TYPES
- A-7.1 FLOOR FINISH PLAN
- A-7.2 REFLECTED CEILING FINISH PLAN



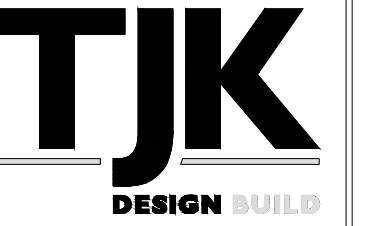
SITE LOCATION MAP

PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT
1313 REGENT STREET, MADISON, WI

LEGEND

- 854.2 EXISTING SPOT GRADE
- 853.2 PROPOSED SPOT GRADE

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



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 MADISON, WI 53703
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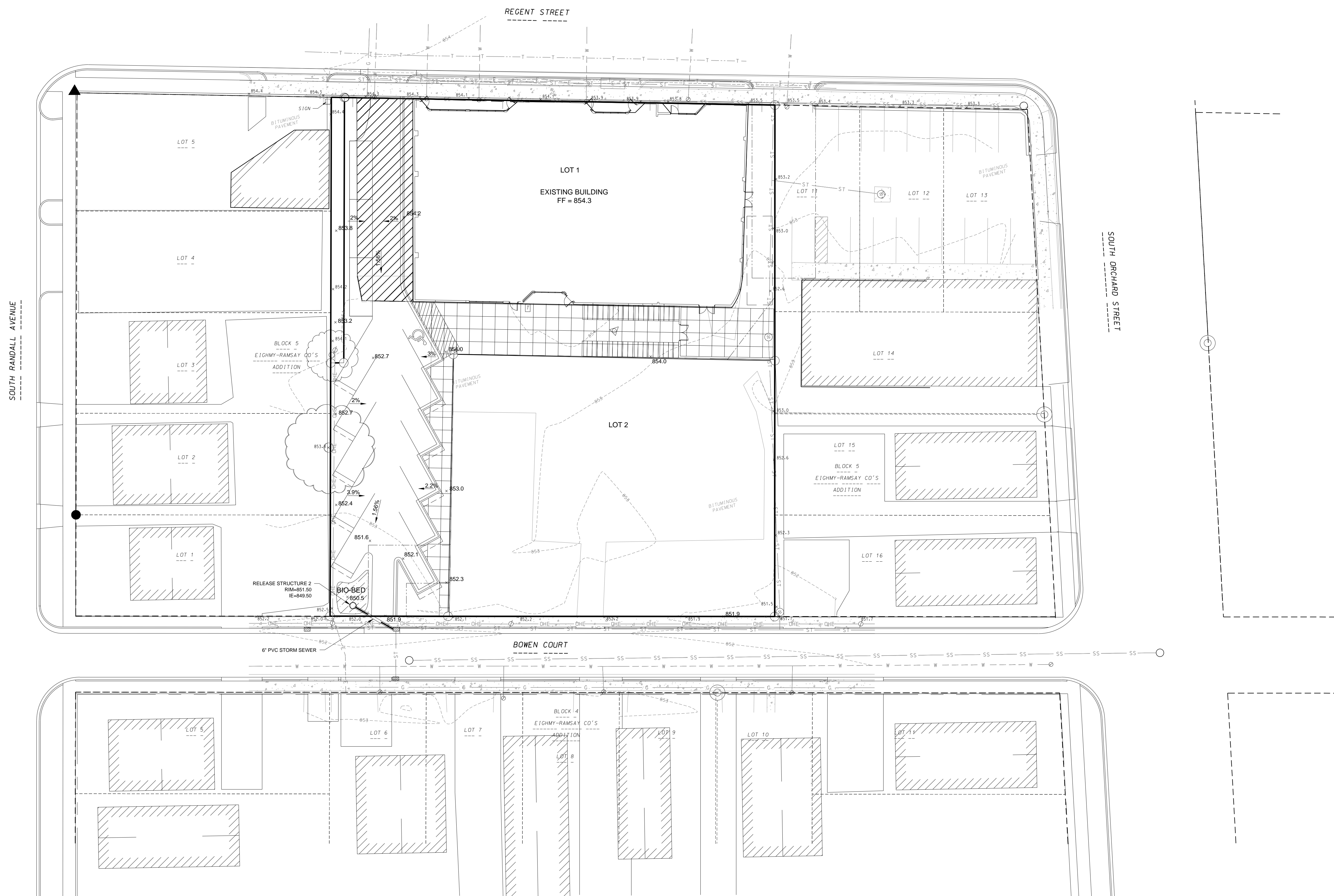
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PROPOSED FACILITY FOR:
REGENT STREET
 1313 REGENT STREET
 MADISON, WI

C-1.1

6.24.15

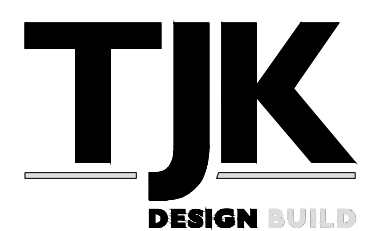


1 GRADING PLAN
 C-1.1 SCALE: 1" = 20' - 0"

SITE UTILITY NOTES

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE SDR 35 PVC.
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR PERSPECTIVE COMPANIES: MG&E, CHARTER, TDS, ETC
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT.

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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



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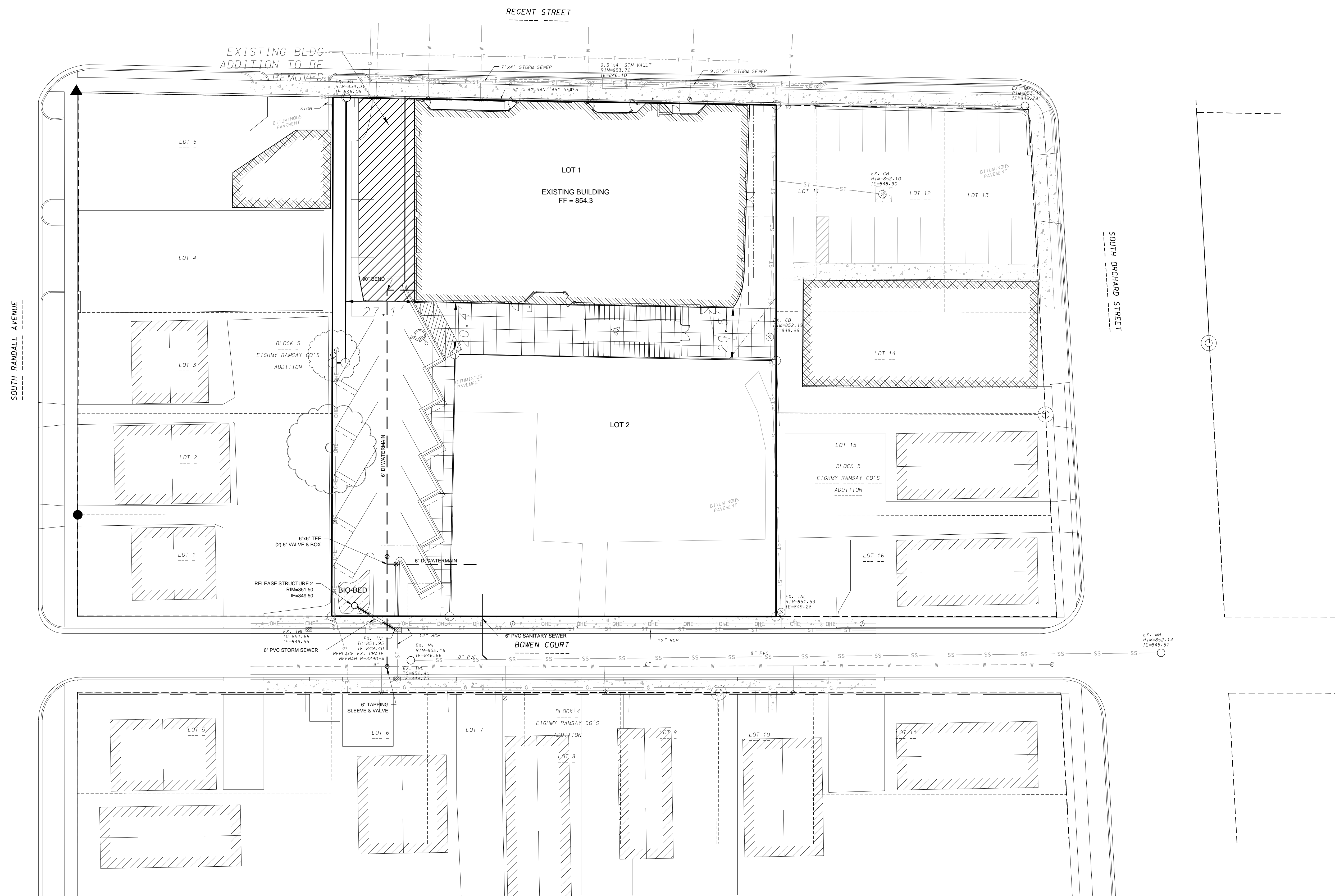
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**PROPOSED FACILITY FOR:
 REGENT STREET**
 1313 REGENT STREET
 MADISON, WI












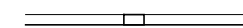

C-1.2

6.24.15



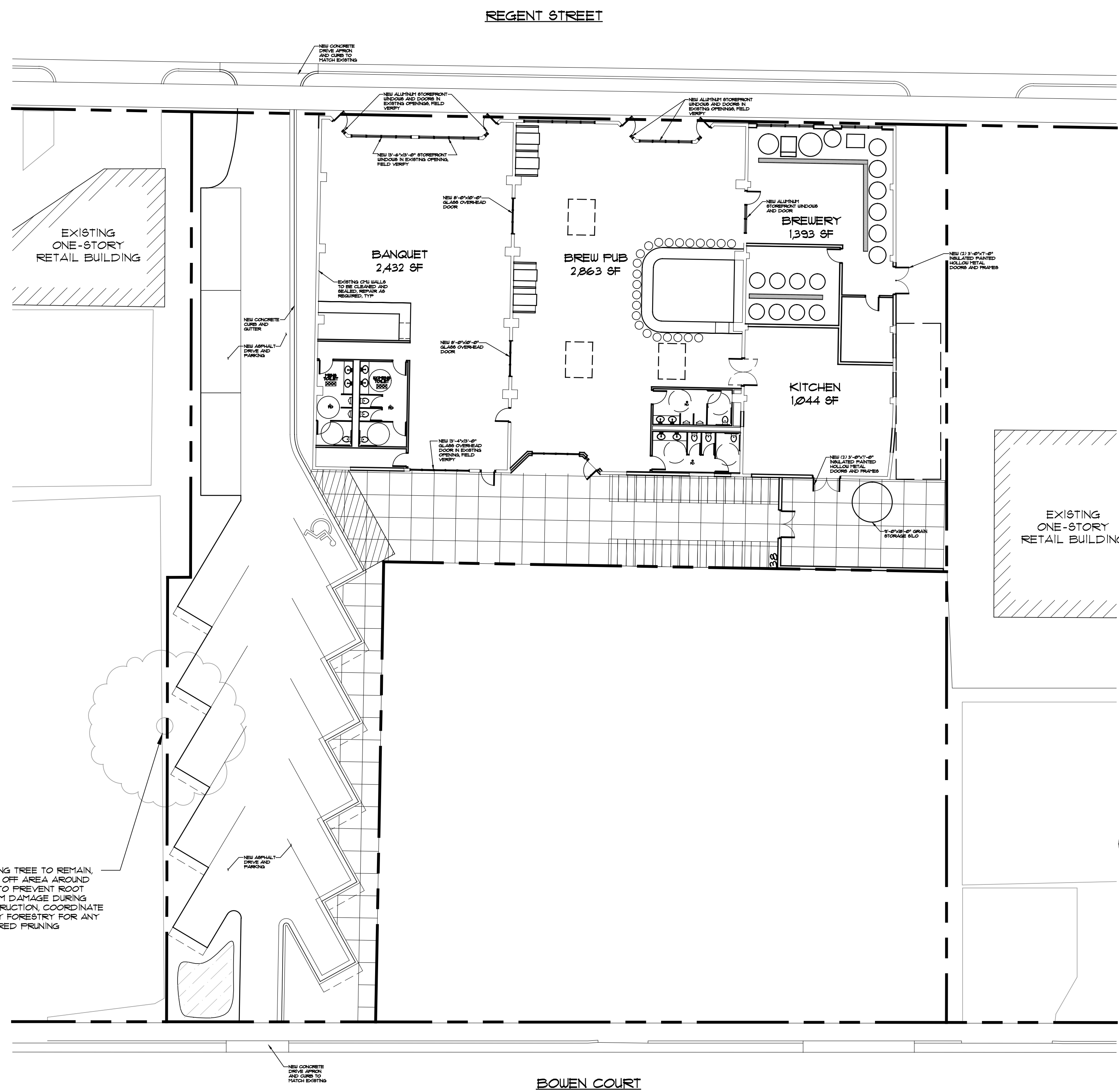
1 SITE UTILITY PLAN
 C-1.2 SCALE: 1" = 20' - 0"

LEGEND:

-  PROPERTY CORNER
-  PROPERTY LINE
-  SANITARY SEWER
-  STORM SEWER
-  WATER MAIN
-  FIRE HYDRANT
-  UTILITY POLE
-  CITY STREET LIGHT
-  MANHOLE
-  2B0' FIRE HOSE LAY
-  WATER VALVE
-  CURB INLET
-  EXISTING BUILDING

GENERAL NOTES:

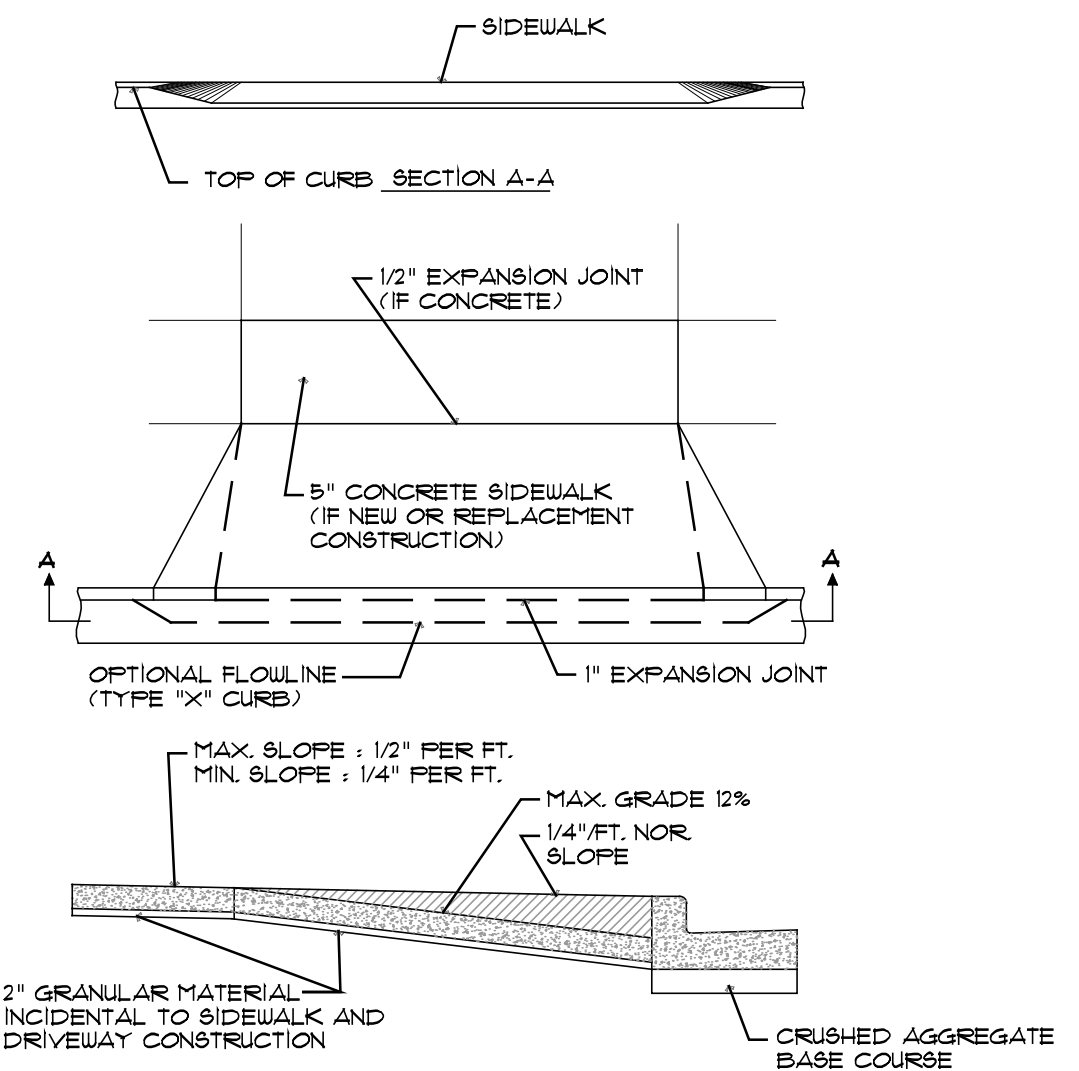
1. LOT SIZE = XXXX SQ. FT., GROUND FLOOR FOOTPRINT = XXXX SQ. FT., XXXX OF LOT SIZE.
2. CONNECT ALL ROOF DRAINS TO CITY STORM SEWER SYSTEM.
3. REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
4. GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STORM LATERAL.
5. ALL CURB, GUTTER, AND SIDEWALK WHICH ABUTS THE PROPERTY WHICH IS DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
7. ALL DAMAGE TO PAVEMENT ON REGENT STREET AND BOUEN COURT ADJACENT TO SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
8. GENERAL CONTRACTOR TO OBTAIN A STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
9. GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUGGING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
10. GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.
11. NO RESIDENTIAL PARKING PERMITS SHALL BE ISSUED FOR BOUEN COURT APARTMENTS.
12. ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
13. TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
14. EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.



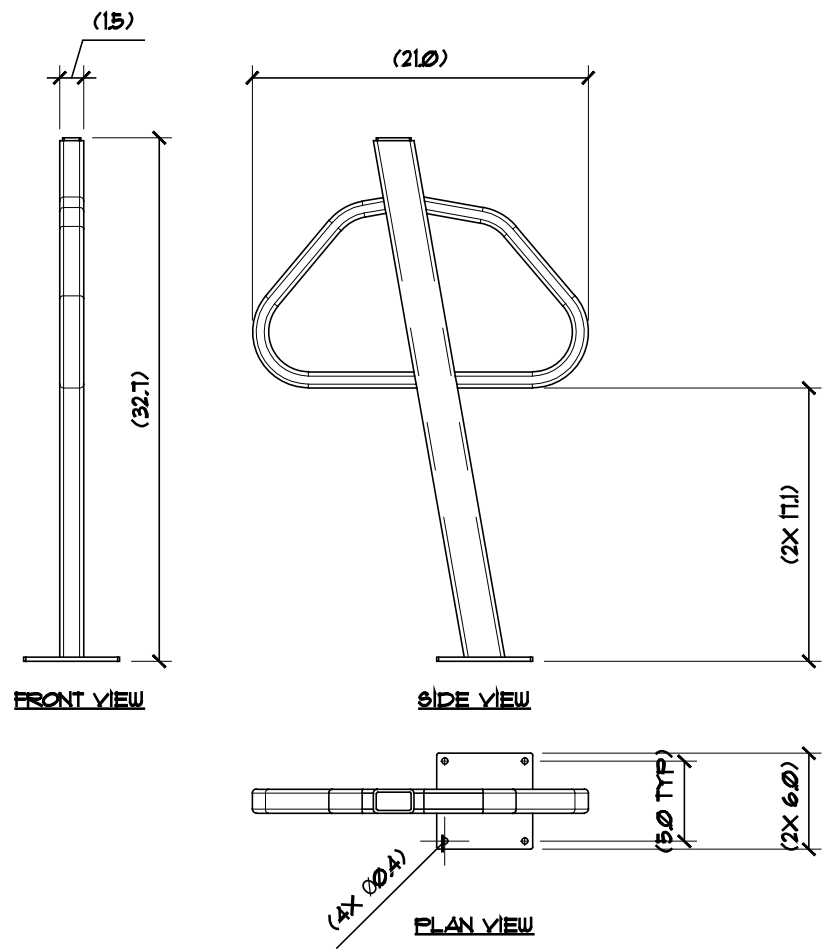
EXISTING TREE TO REMAIN, FENCE OFF AREA AROUND TREE TO PREVENT ROOT SYSTEM DAMAGE DURING CONSTRUCTION, COORDINATE W/ CITY FORESTRY FOR ANY REQUIRED PRUNING

1 PROPOSED SITE PLAN
C-1.3 SCALE: 1/16" = 1' - 0"

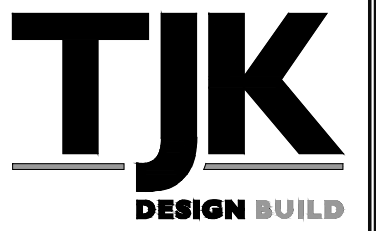
SITE INFORMATION BLOCK - LOT 1 (BREW PUB)	
SITE ACREAGE (TOTAL)	22,454 SQ. FT. = 0.51 ACRES
PROPOSED PARKING AND PAVEMENT	10,665 SQ. FT.
GREEN SPACE	2,186 SQ. FT.
TOTAL OPEN SPACE	3,314 SQ. FT. = 14.7%
NUMBER OF BUILDING STORIES (ABOVE GRADE)	1
BUILDING HEIGHT	10'-2" ABOVE FINISH FLOOR
TYPE OF CONSTRUCTION	5B, FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	9,986 SQ. FT.
USE OF PROPERTY	B
NUMBER OF PARKING STALLS	15
NUMBER OF LANDSCAPE POINTS REQUIRED	SEE LANDSCAPE PLAN



2 DRIVEWAY APPROACH
C-1.3 SCALE: 1/8" = 1' - 0"



3 BIKE RACK DETAIL
C-1.3 SCALE: NTS



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PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT
1313 REGENT STREET
MADISON, WI

C-1.3
8.19.15

LANDSCAPE WORKSHEET

Tabulation of Points and Credits
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/Element	Minimum Size at Installation	Points	Credits: Existing Landscaping		New Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	2	70	4	140
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			48	144
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/perennials	#1 gallon container size, Min. 8"x18"	2			43	86
Ornamental decorative fencing or wall	n/a	4 per 10 linear ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200.				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				70		370

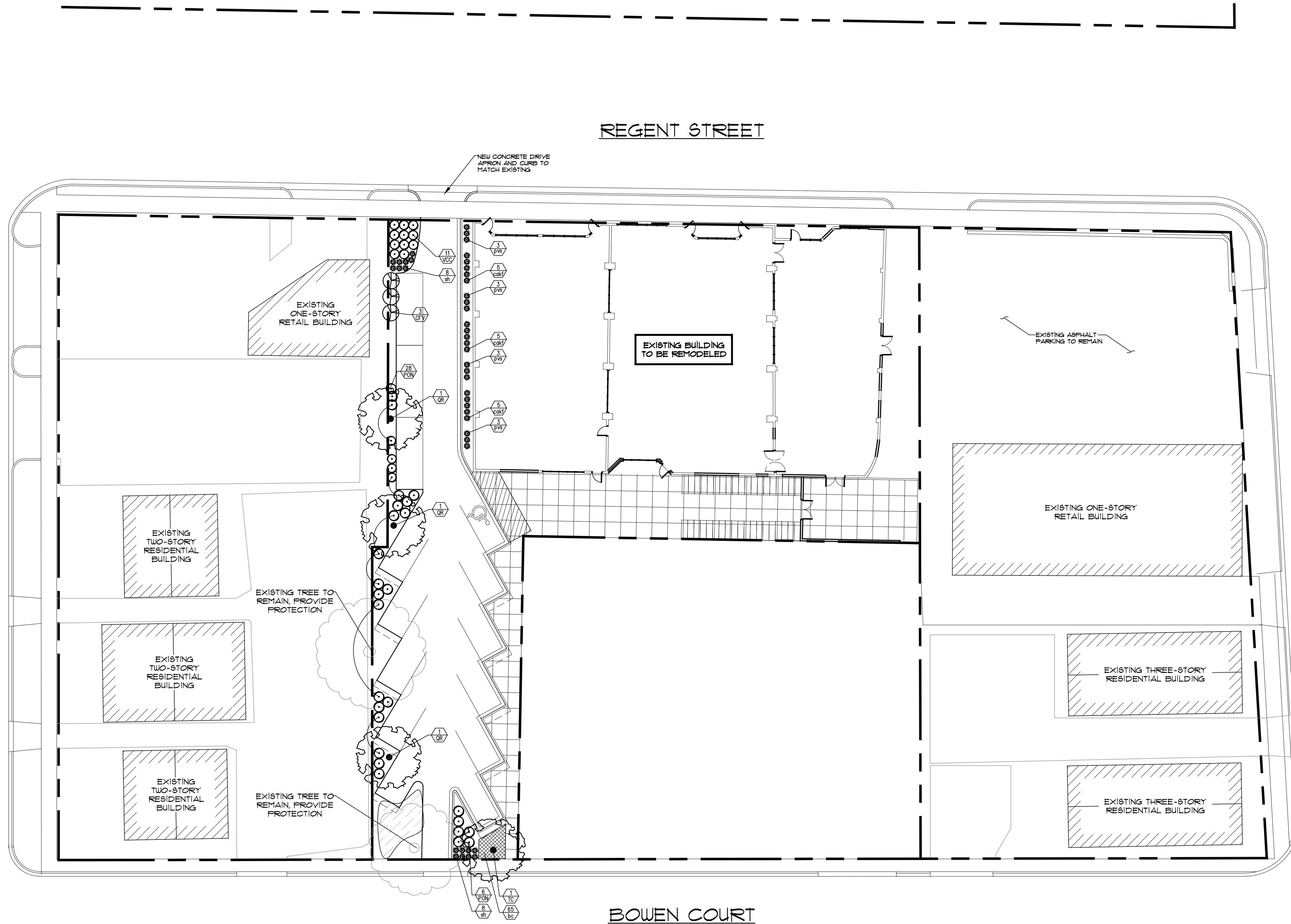
Total Number of Points Provided: **440**

* As determined by ANSI, ANSI A- American standards for nursery stock. For each tree, minimum plant size shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013

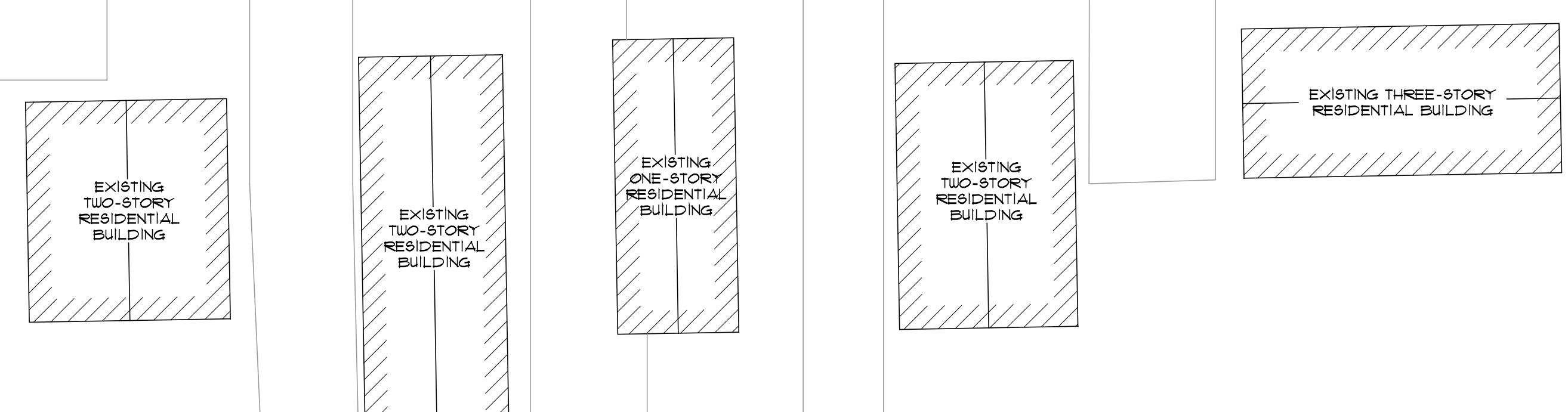
SOUTH RANDALL AVENUE

SOUTH ORCHARD STREET

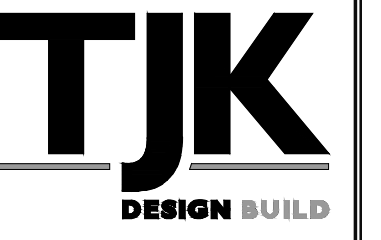
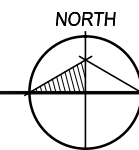


PLANTING SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
Major Deciduous Trees							
QR	Quercus robur 'Fastigiata' x bicolor	Regal Prince Oak	3	2 1/2" cal	B&B	As shown	Straight leader, matched
TC	Tilia cordata 'June Bride'	June Bride Littleleaf Linden	1	2 1/2" cal	B&B	As shown	Straight leader, matched
Deciduous Shrubs							
CFV	Calycanthus floridus 'Venus'	Venus Carolina Allspice	3	24" HT/3 Gal	Cont	As shown	Full plants, matched
PON	Physocarpus opulifolius 'Nanus'	Dwarf Ninebark	34	12" HT/3 Gal	Cont	As shown	Full plants, matched
VCC	Viburnum carlesii 'Compactum'	Dwarf Koreanspice Viburnum	11	18" HT/3 Gal	Cont	As shown	Full plants, matched
Perennials, Ornamental Grasses and Groundcovers							
bc	Bergenia cordifolia 'Winter Glow'	Winter Glow Bergenia	65	4"	Pots	12" o.c.	Full plants
caif	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	15	1 Gal	Cont	As shown	Full plants, matched
pvs	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	12	1 Gal	Cont	As shown	Full plants, matched
sh	Sporobolus heterolepis	Prairie Dropseed	16	1 Gal	Cont	As shown	Full plants, matched
Non-Plant Groundlayer Treatment							
BH	Shredded Bark Mulch: Shredded Natural Cypress at all planting beds						



LANDSCAPE PLAN
C-1.4 SCALE: 1" = 20'



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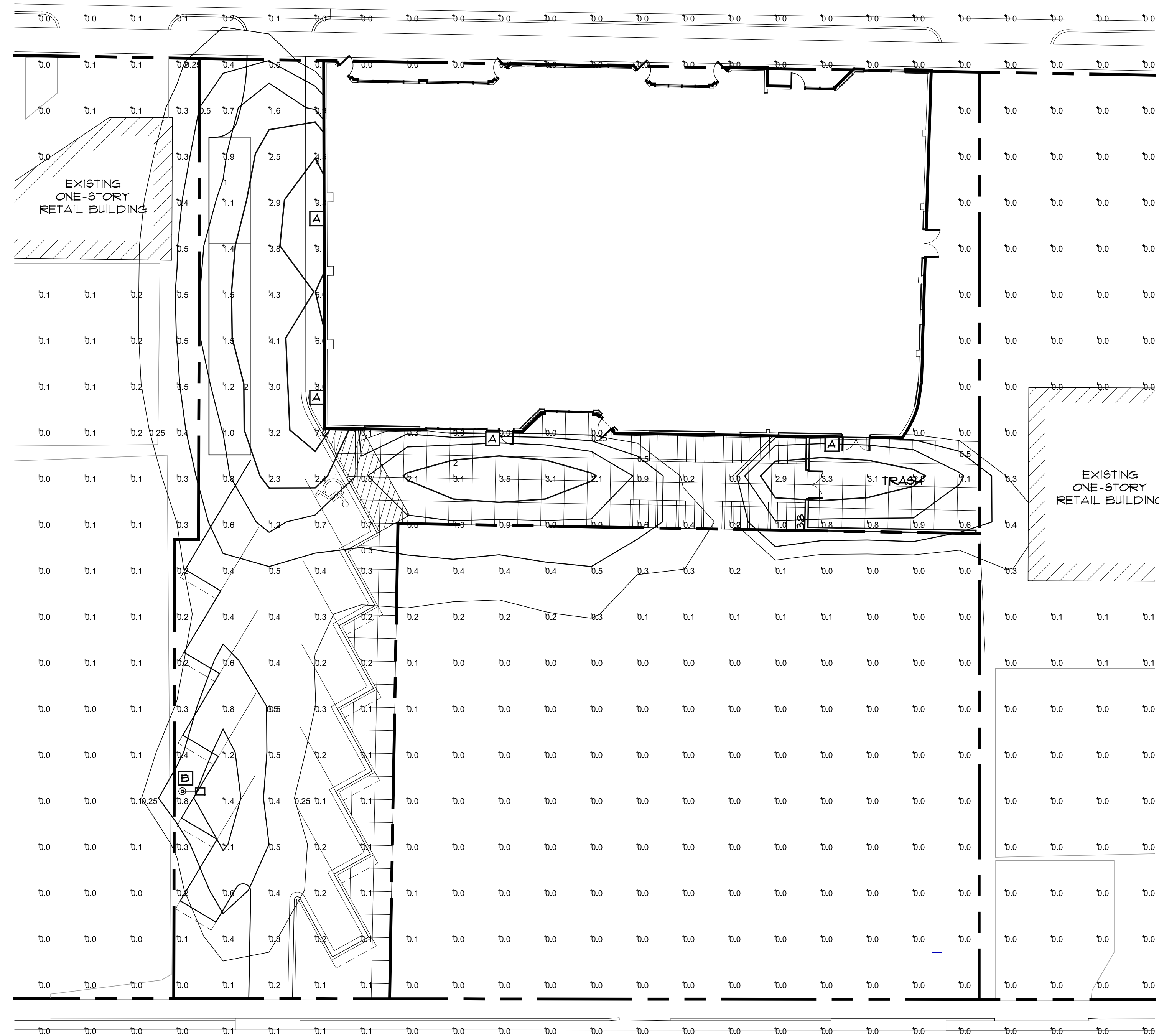
PROPOSED FACILITY FOR:
REGENT STREET
1313 REGENT STREET
MADISON, WI

C-1.4

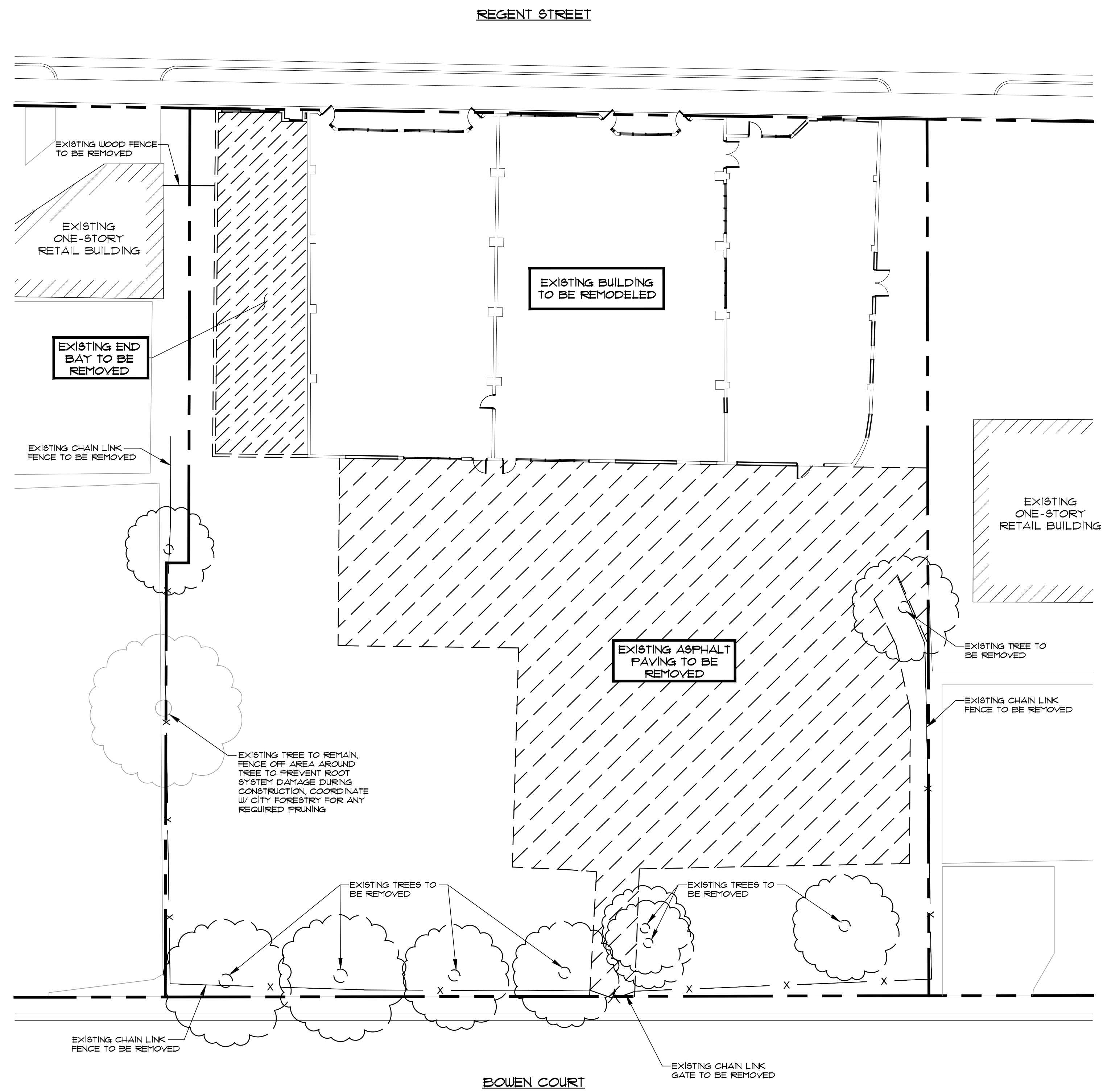
8.19.15

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 fc	9.3 fc	0.0 fc	N / A	N / A

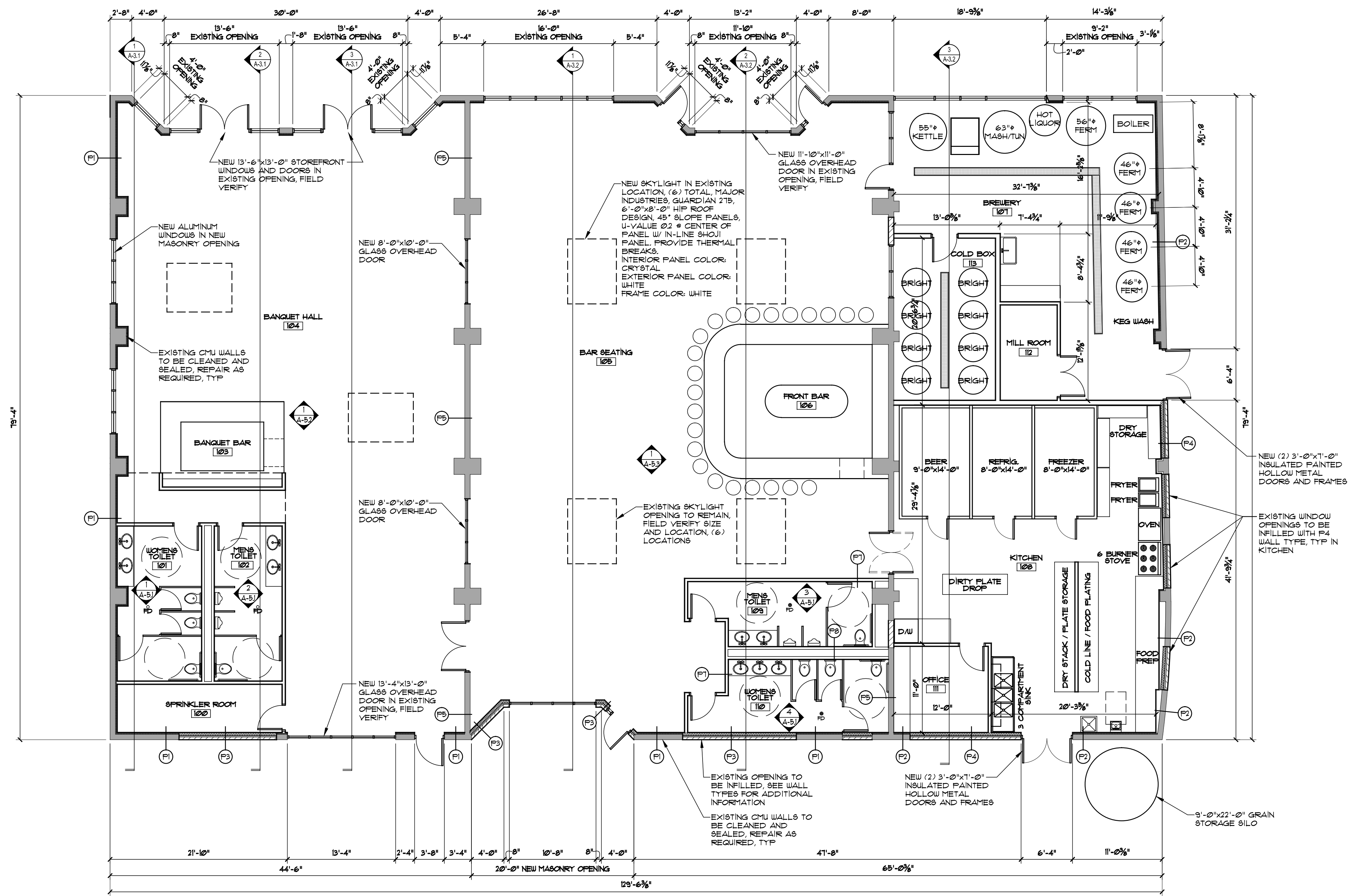
LUMINAIRE SCHEDULE						
Label	Qty	Catalog Number	Description	Lamp	Watts	
A	4	ENT-E02-LED-EI-BL3-1030-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBARS WITH ACCULLED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 9'-0" ABOVE GRADE	(42) 3000K CCT, 10 CRI LEDs	54.9	
B	1	LDRV-SL3-B01-E	RIDGEVIEW LED AREA/SITE LUMINAIRE (1) LIGHTBAR WITH ACCULLED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 12'-0" ABOVE GRADE		21	



PHOTOMETRIC PLAN
SCALE: 1/16" = 1' - 0"
NORTH

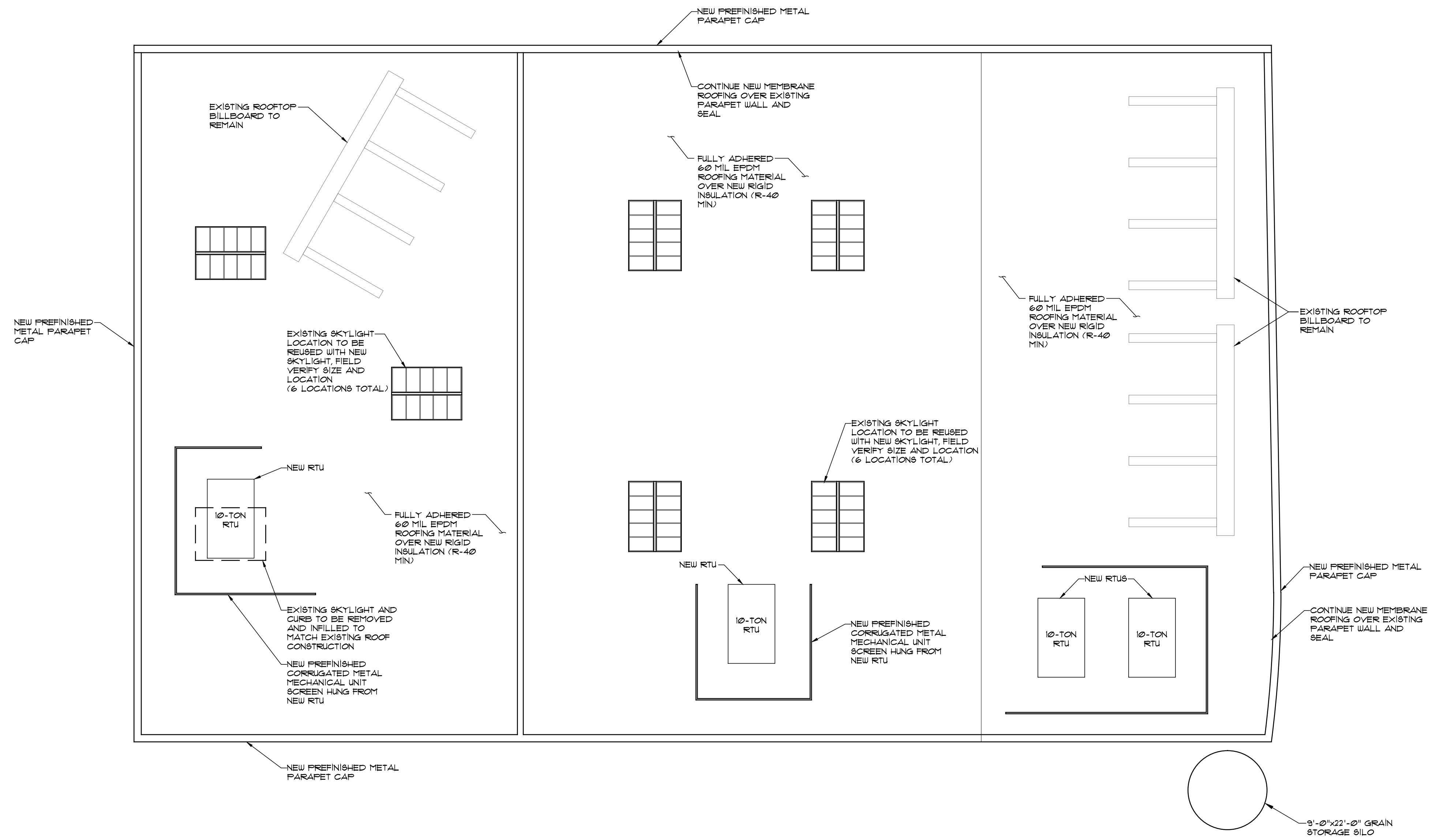


1 SITE DEMOLITION PLAN
C-1.6 SCALE: 1/16" = 1' - 0" NORTH



1 PROPOSED BREW PUB FLOOR PLAN
A-1.1 SCALE: 1/8" = 1' - 0" NORTH

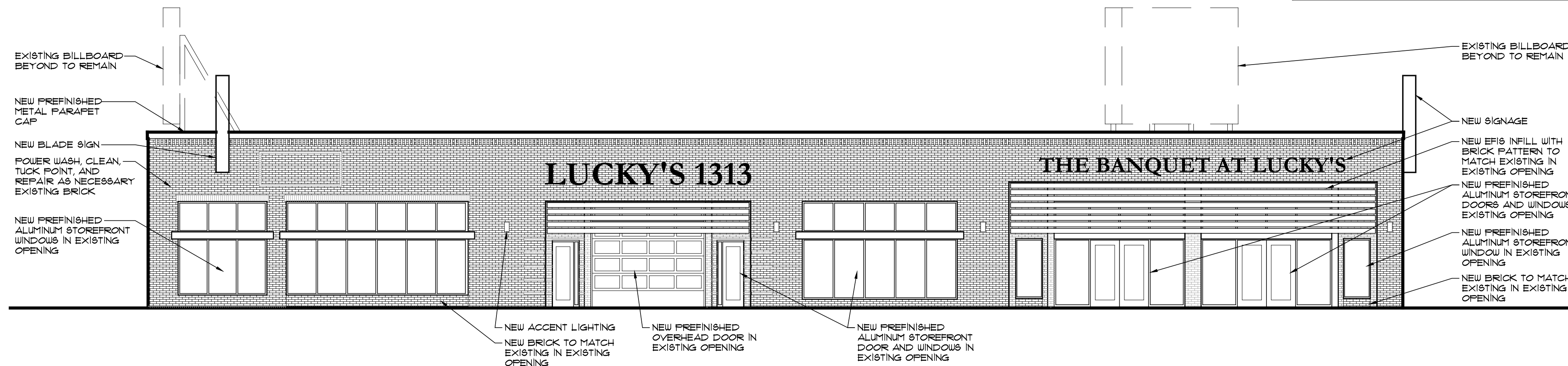
NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CMU BLOCK OR FACE OF STUD, UNLESS NOTED OTHERWISE.
2. SEE A-6.1 FOR ADDITIONAL WALL TYPE INFORMATION.



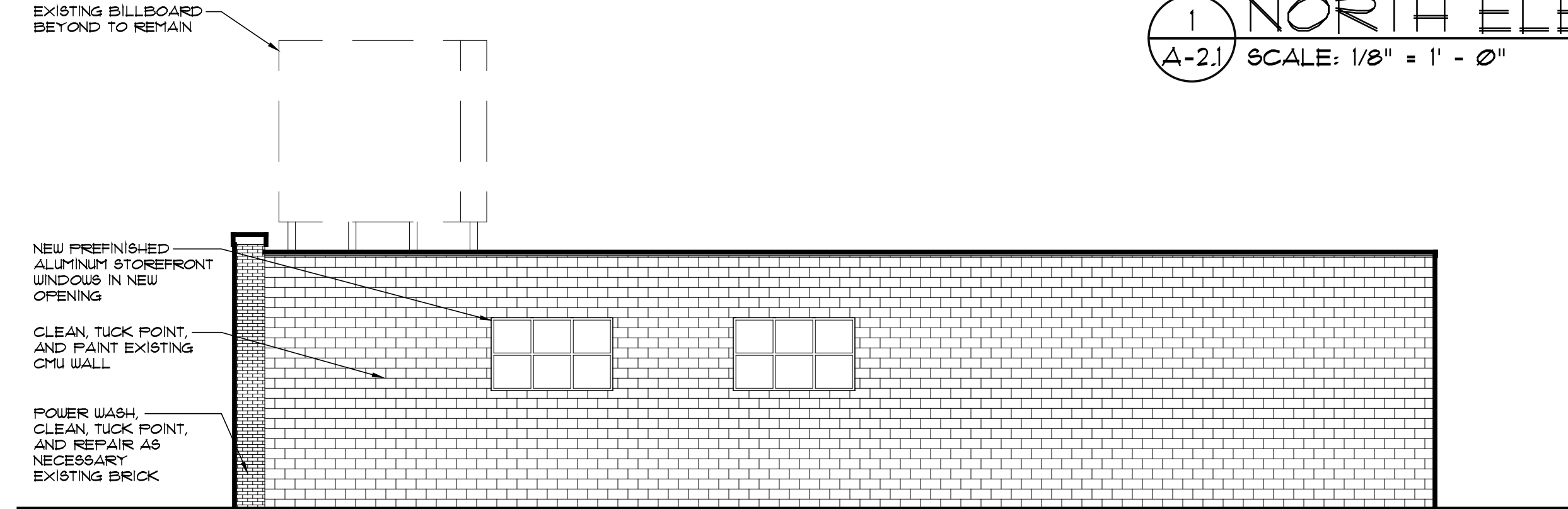
1
A-1.2 **PROPOSED ROOF PLAN**
SCALE: 1/8" = 1' - 0"
NOTES:
NORTH

EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS

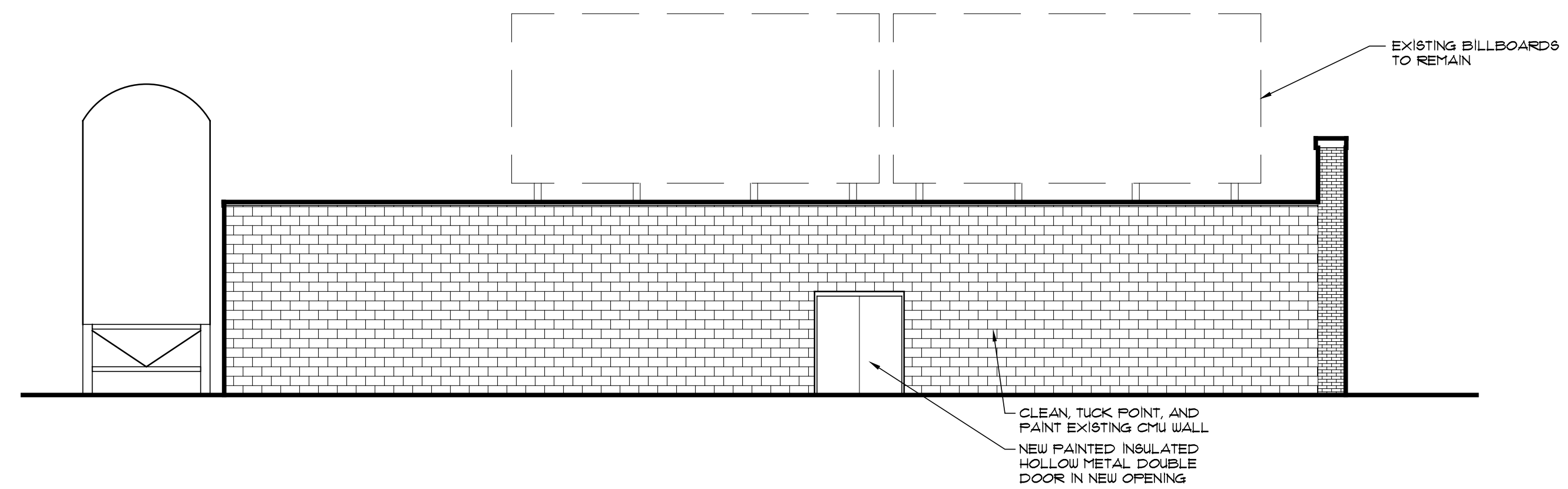
TAG	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION/REMARKS
MB-1	COUNTY MATERIALS	MB-348A	STEEL GRAY	8" RETURNS AND COLORED MORTAR TO MATCH
MB-2	COUNTY MATERIALS	--	--	UTILITY BRICK TO MATCH MB-1
MB-3	PRECAST	--	GRAY	12" WINDOW HEAD, 4" WINDOW SILL
LB-1	JAMES HARDIE	HARDIEPLANK LAP SIDING	SHERWIN WILLIAMS, RW 1063, "NEBULOUS WHITE"	SELECT CEDARMILL LAP SIDING WITH 4" EXPOSURE
CM-1	--	--	PAC-CLAD "COLONIAL RED"	1/8" RIB CORRUGATED PREFINISHED METAL PANEL
CM-2	--	--	PAC-CLAD "COLONIAL RED"	PREFINISHED METAL CAP FLASHING AT CM-1 FASCIA AND SCREED AT ENTRY CANOPY
CM-3	--	--	PAC-CLAD "CHARCOAL"	PREFINISHED METAL BASE FLASHING AND CAP FLASHING AT MASONRY
CM-4	--	--	PAC-CLAD "STONE WHITE"	PREFINISHED METAL CAP FLASHING AT HARDIEPLANK LAP SIDING
WF-1	--	--	WHITE	THERMALLY BROKEN VINYL WINDOWS AND PATIO DOORS WITH INSULATED LOW-E GLASS
WF-1	--	--	WHITE	THERMALLY BROKEN VINYL WINDOWS AND PATIO DOORS WITH INSULATED LOW-E GLASS



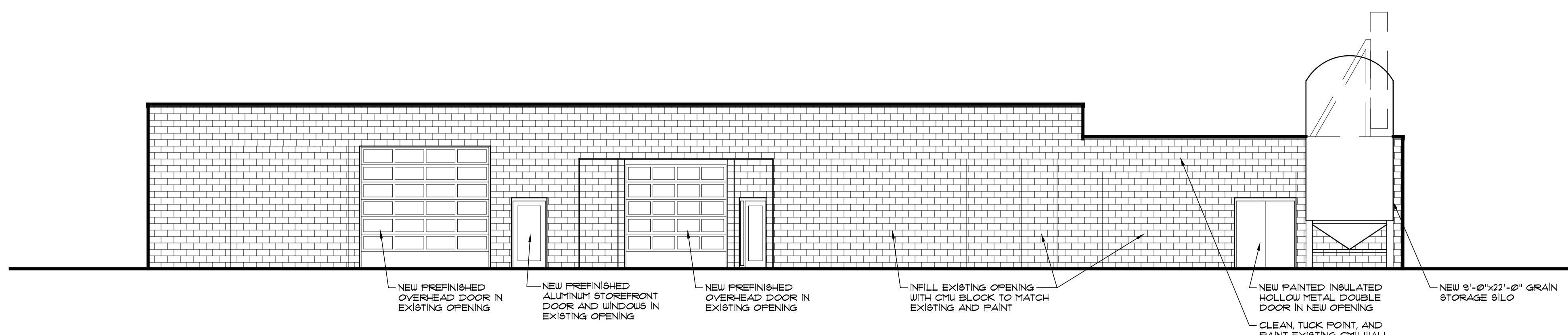
1 NORTH ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"



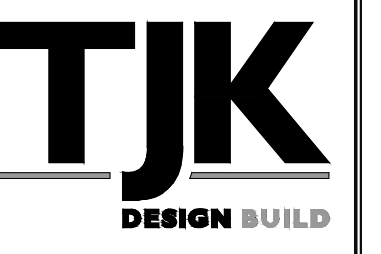
2 WEST ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"



3 EAST ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"



3 SOUTH ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"



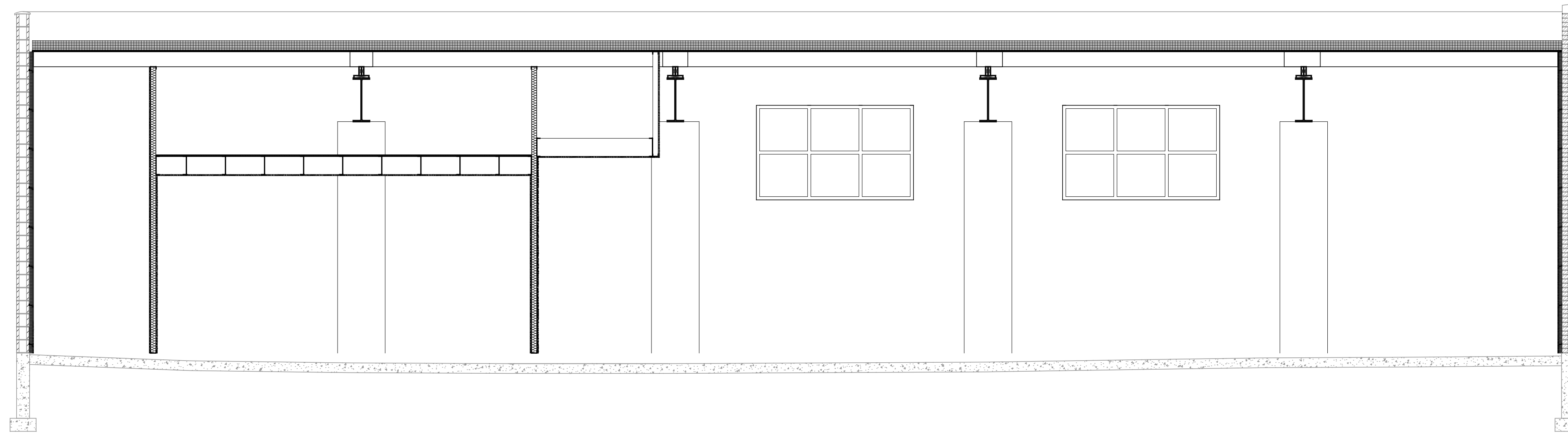
612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

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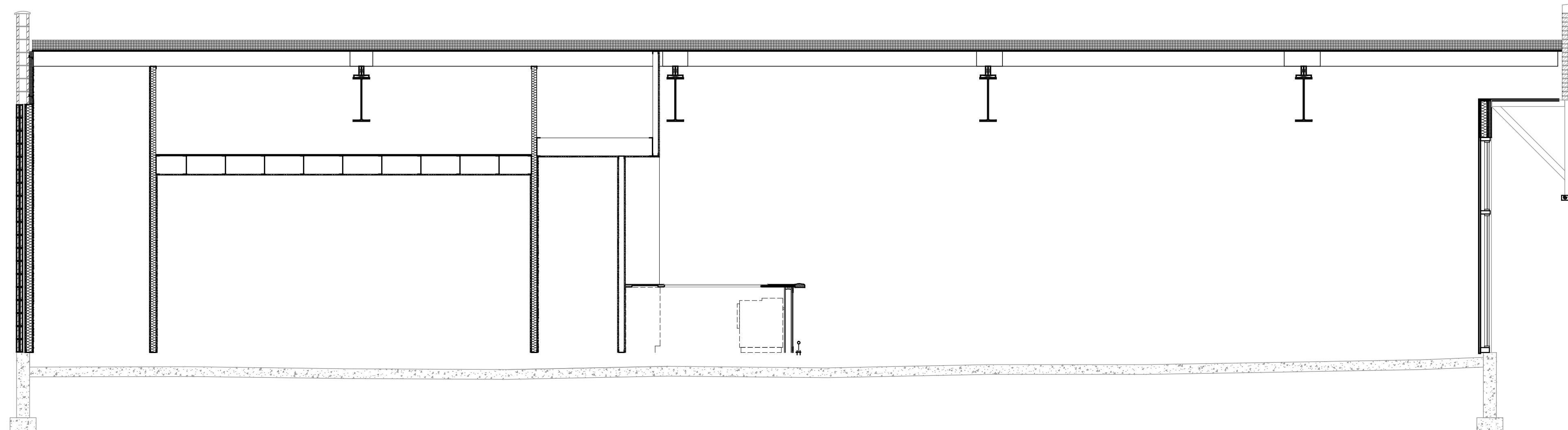
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PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT
1313 REGENT STREET
MADISON, WI

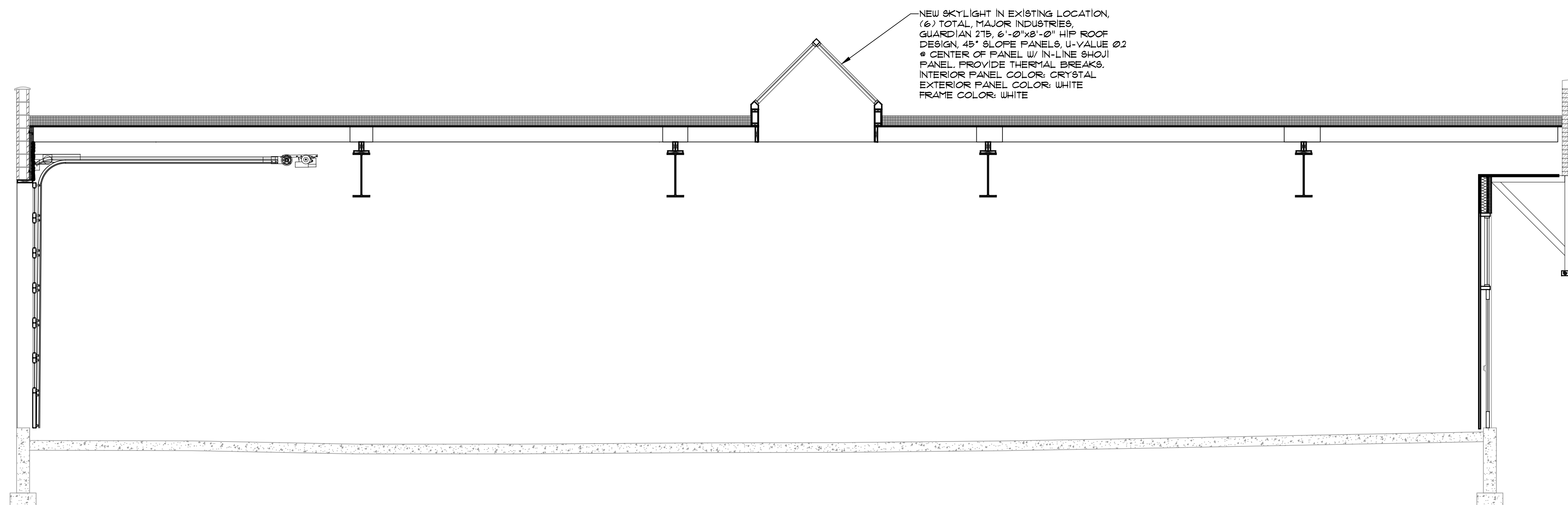
A-2.1
8.19.15



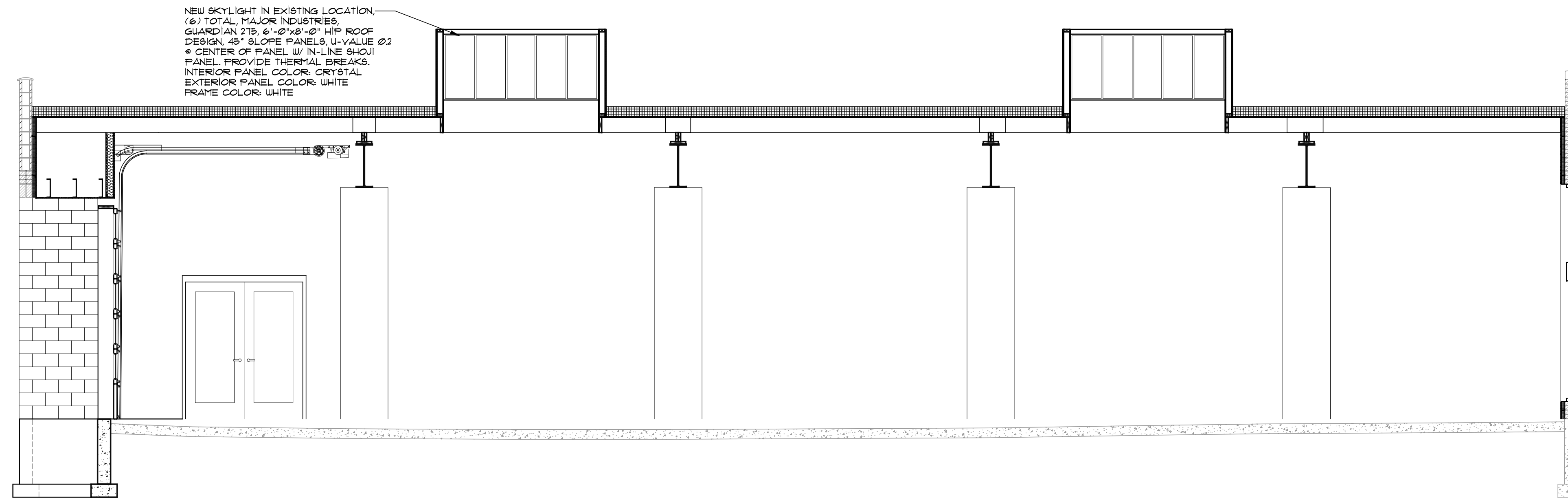
1 SECTION AT BANQUET HALL THROUGH WOMENS BATHROOM LOOKING WEST
A-3.1 SCALE: 1/4" = 1' - 0"



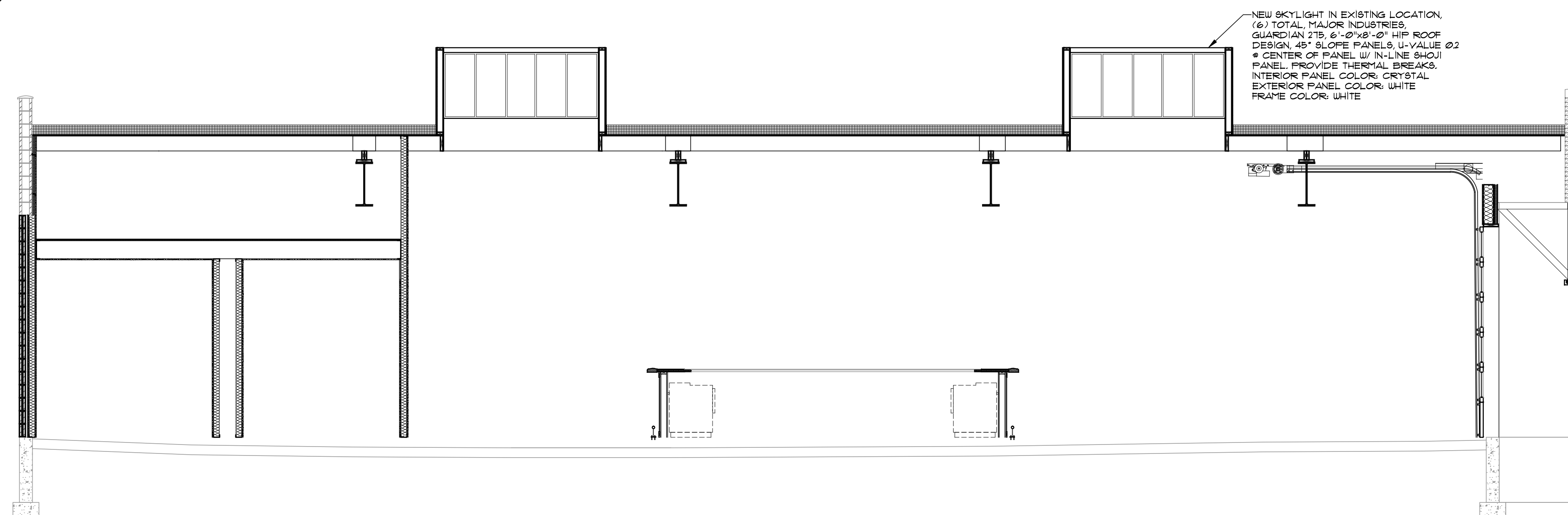
2 SECTION AT BANQUET HALL THROUGH MENS BATHROOM LOOKING WEST
A-3.1 SCALE: 1/4" = 1' - 0"



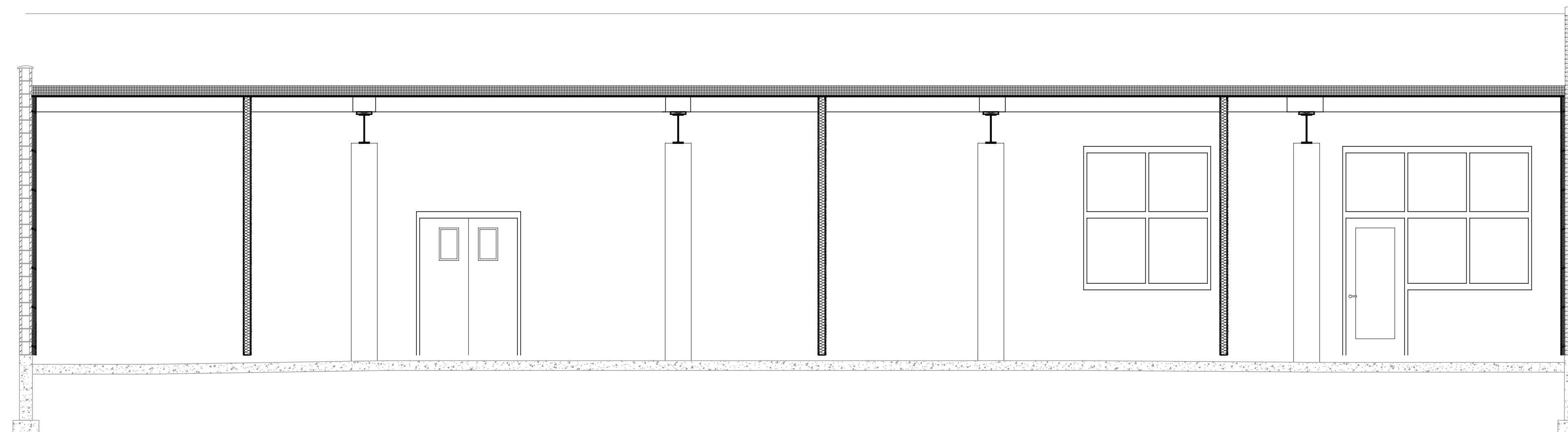
3 SECTION AT BANQUET HALL LOOKING WEST
A-3.1 SCALE: 1/4" = 1' - 0"



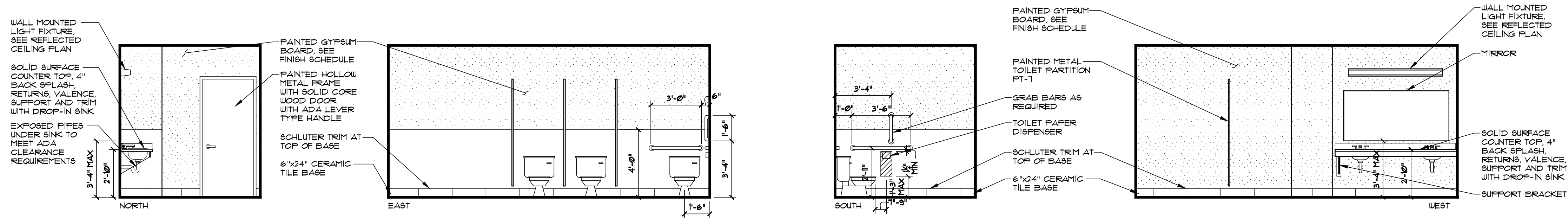
1 SECTION AT BAR SEATING LOOKING WEST
 A-3.2 SCALE: 1/4" = 1' - 0"



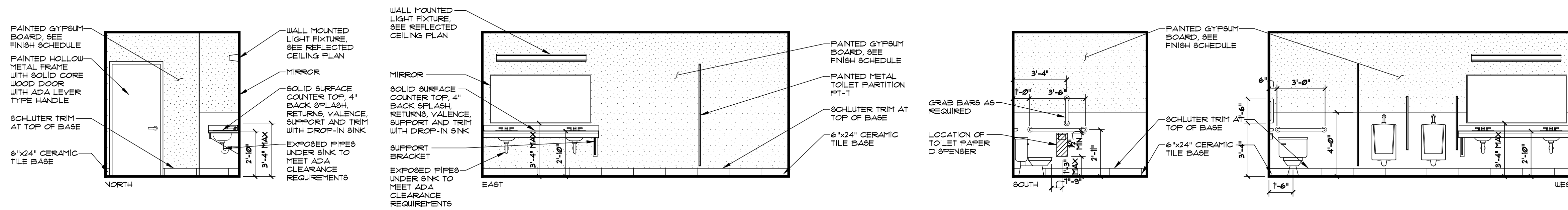
2 SECTION THROUGH FRONT BAR AND TOILETS LOOKING WEST
 A-3.2 SCALE: 1/4" = 1' - 0"



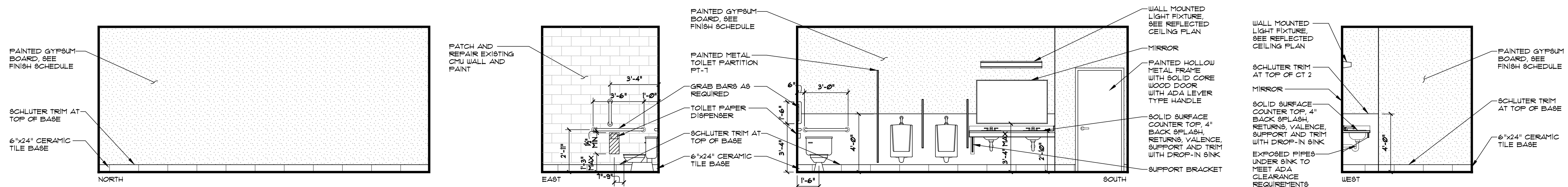
3 SECTION THROUGH KITCHEN AND BREWERY LOOKING WEST
 A-3.2 SCALE: 1/4" = 1' - 0"



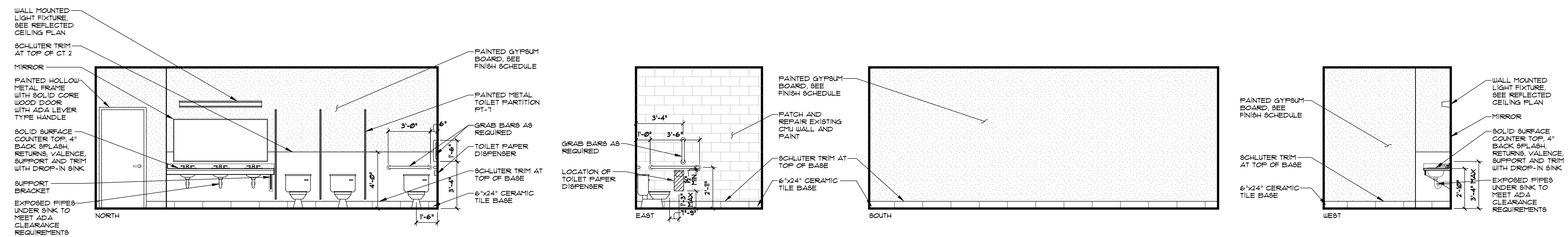
1 INTERIOR ELEVATIONS ROOM 101 - WOMENS TOILET
A-5.1 SCALE: 1/4" = 1' - 0"



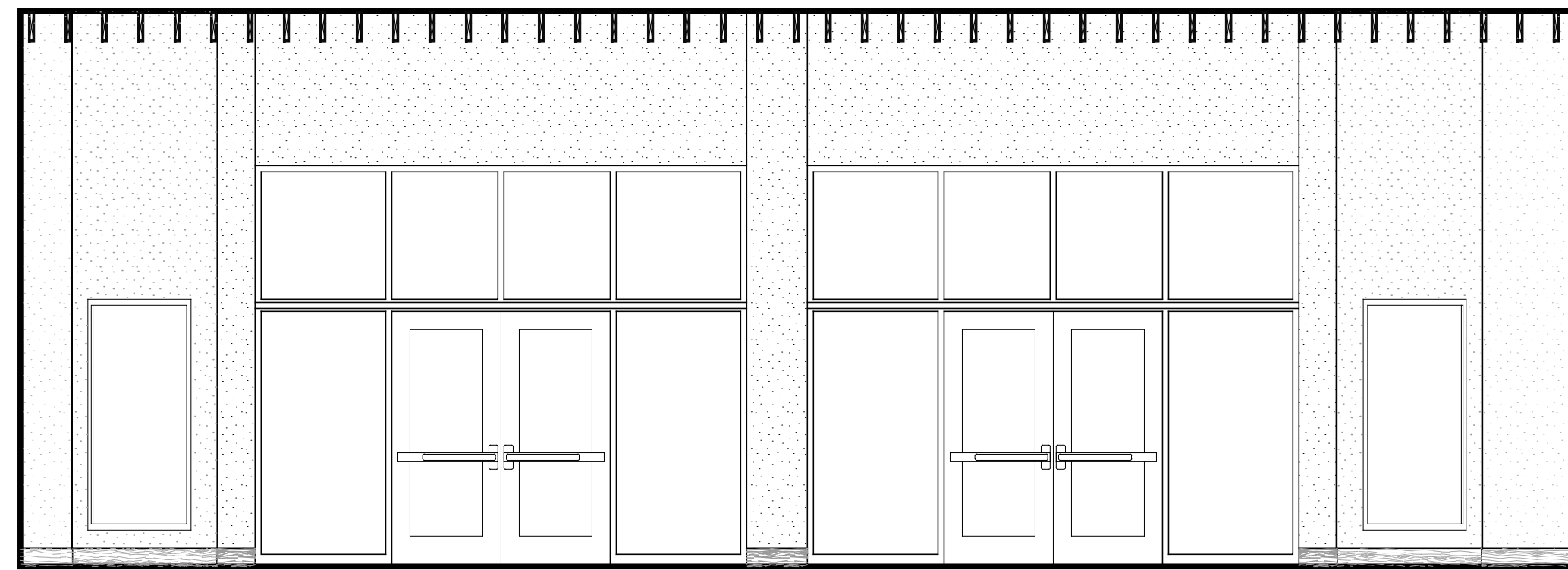
2 INTERIOR ELEVATIONS ROOM 102 - MENS TOILET
A-5.1 SCALE: 1/4" = 1' - 0"



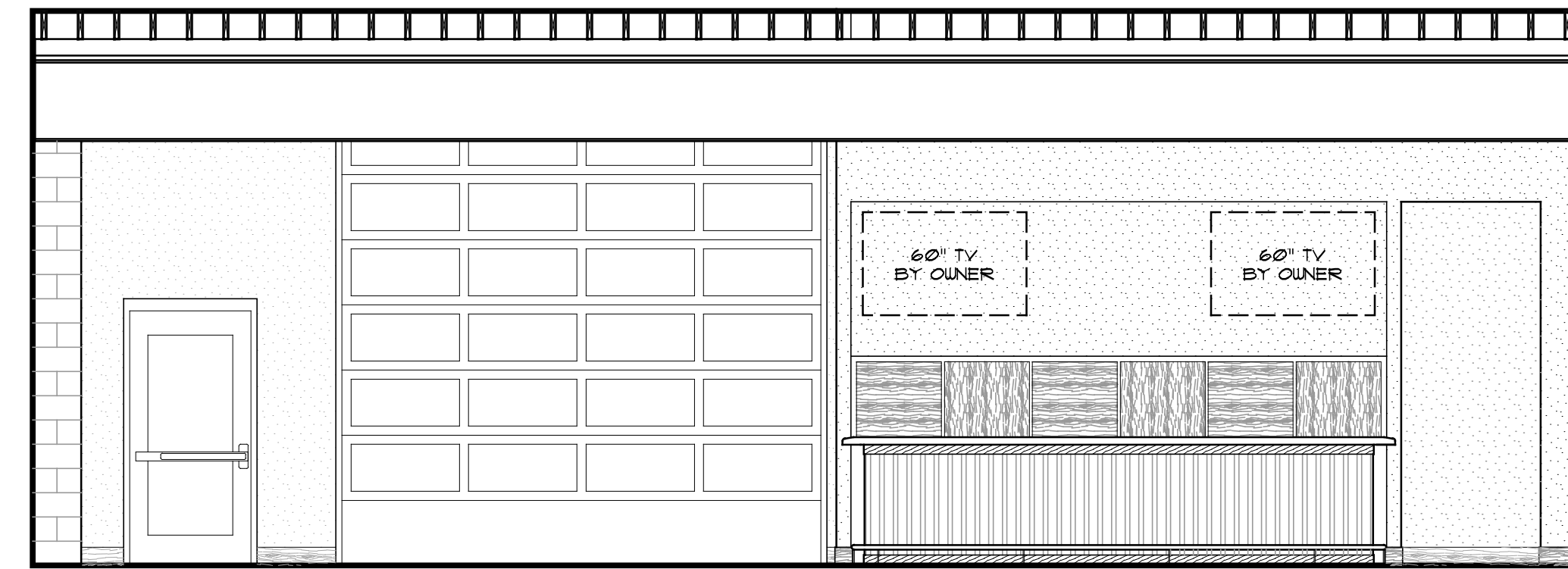
3 INTERIOR ELEVATIONS ROOM 109 - MENS TOILET
A-5.1 SCALE: 1/4" = 1' - 0"



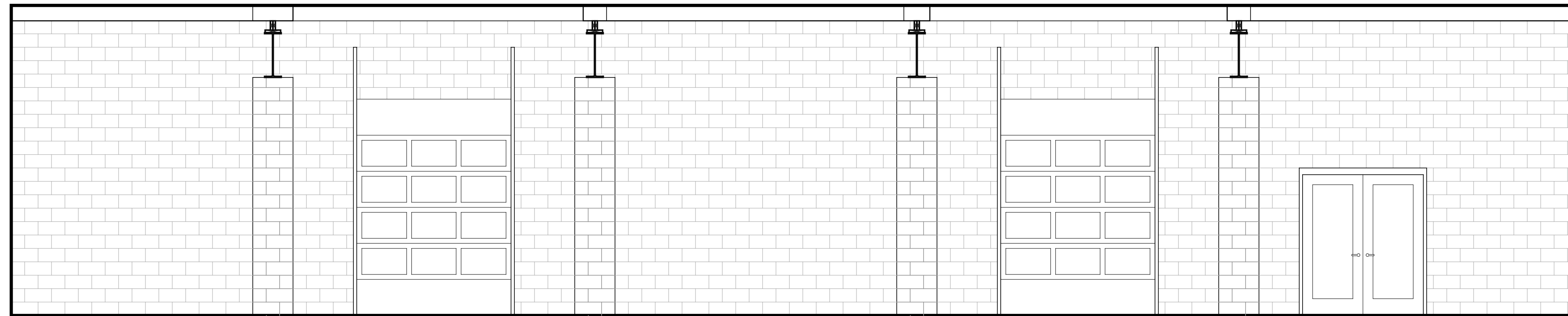
4 INTERIOR ELEVATIONS ROOM 110 - WOMENS TOILET
A-5.1 SCALE: 1/4" = 1' - 0"



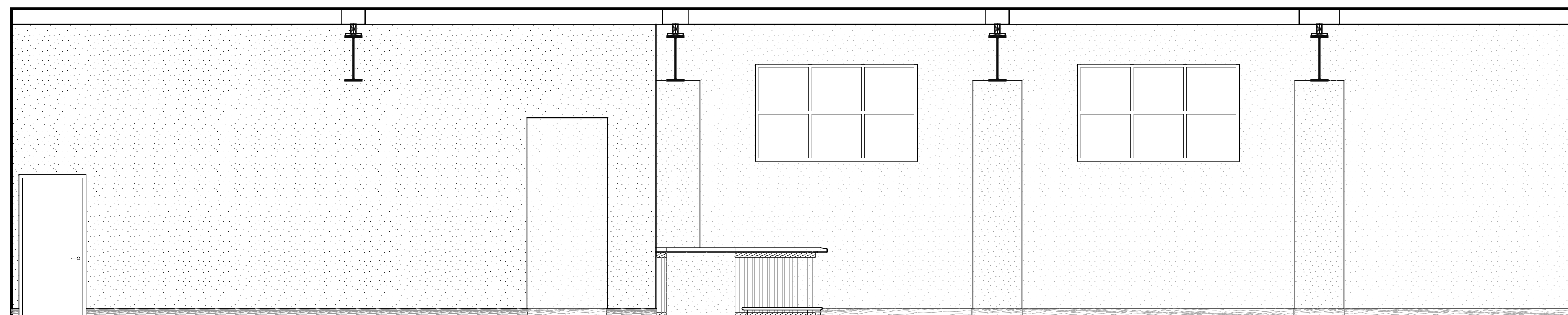
NORTH



SOUTH



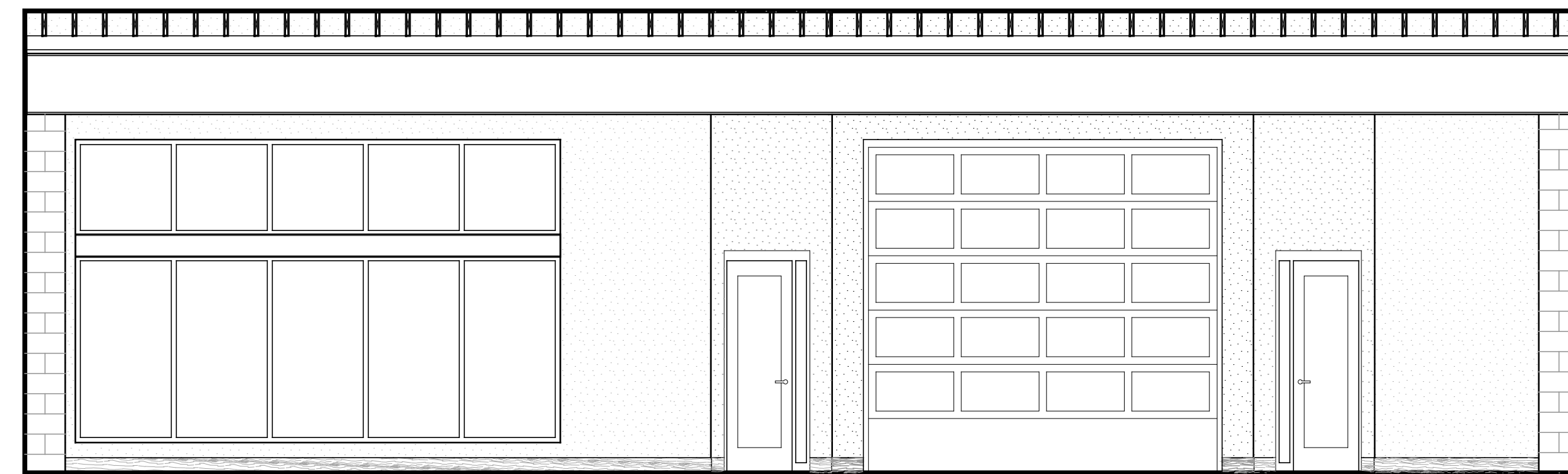
EAST



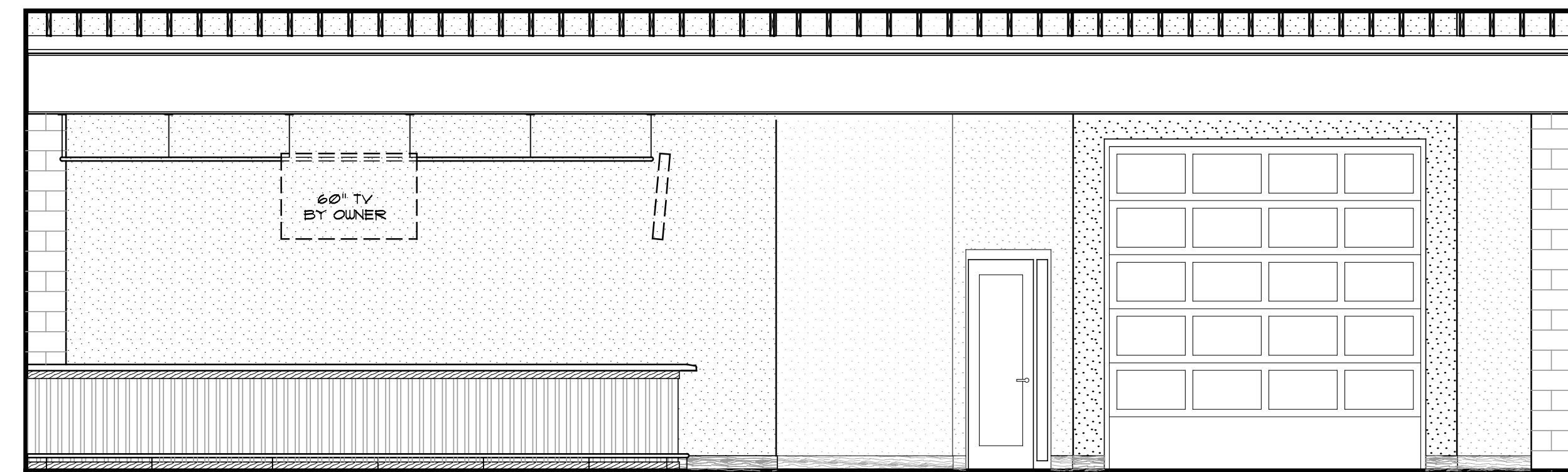
WEST

1 INTERIOR ELEVATIONS ROOM 104 - BANQUET HALL

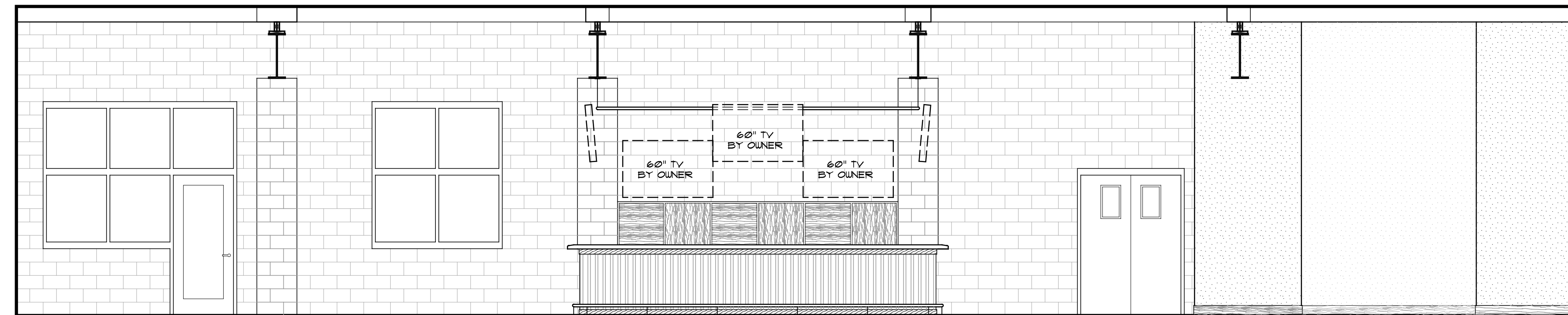
A-5.2 SCALE: 1/4" = 1' - 0"



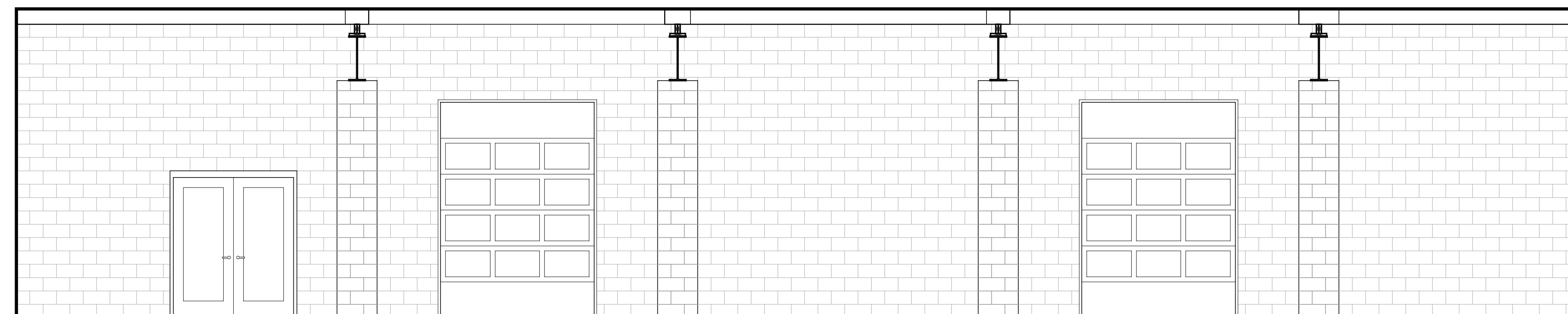
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SOUTH

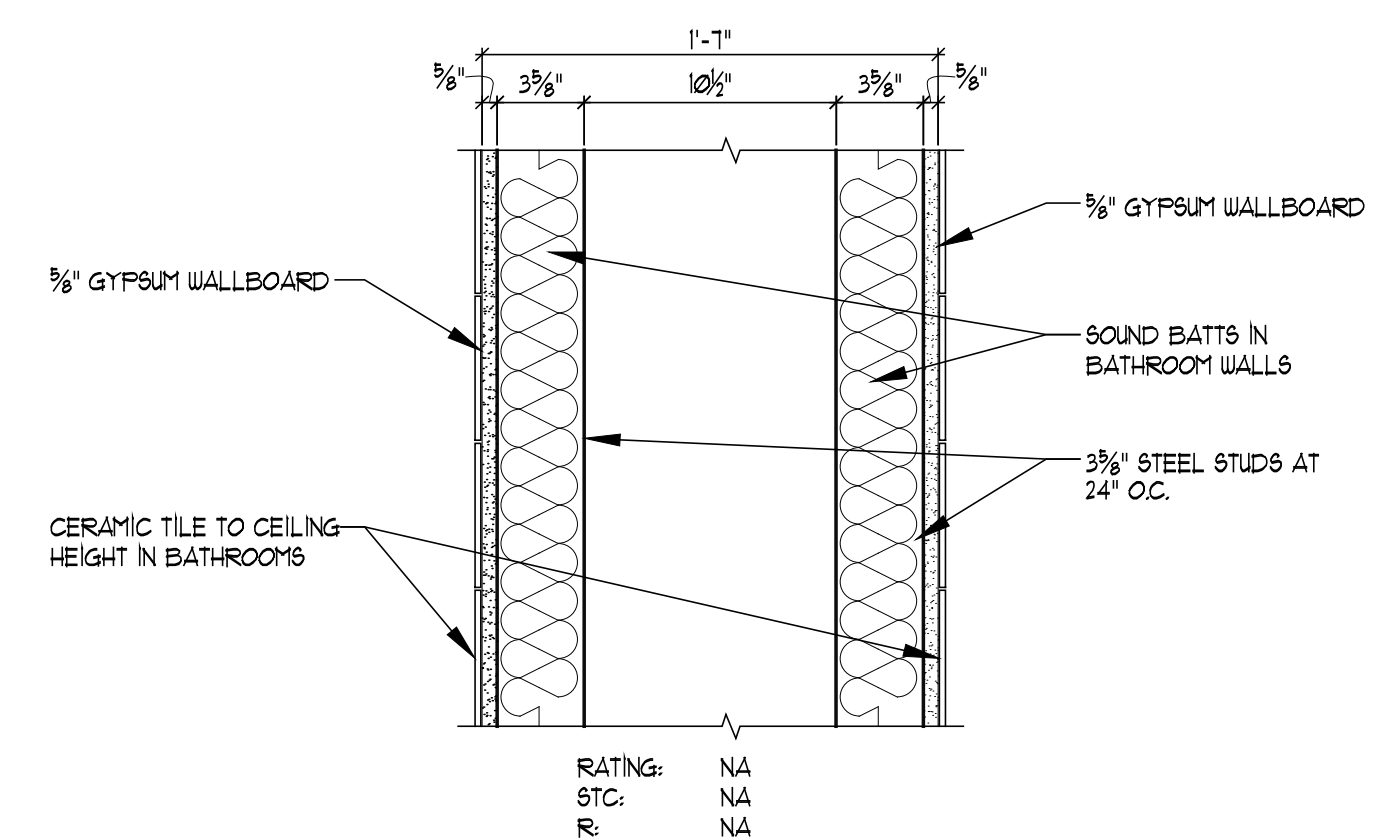


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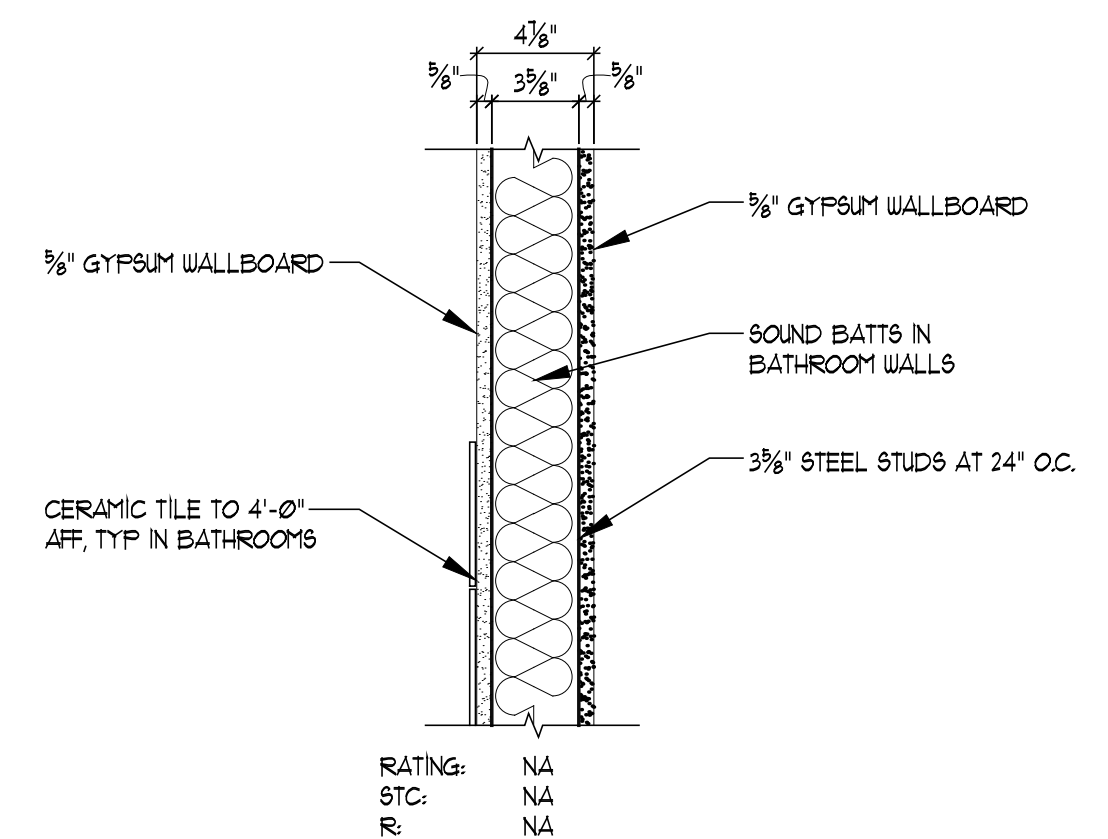


WEST

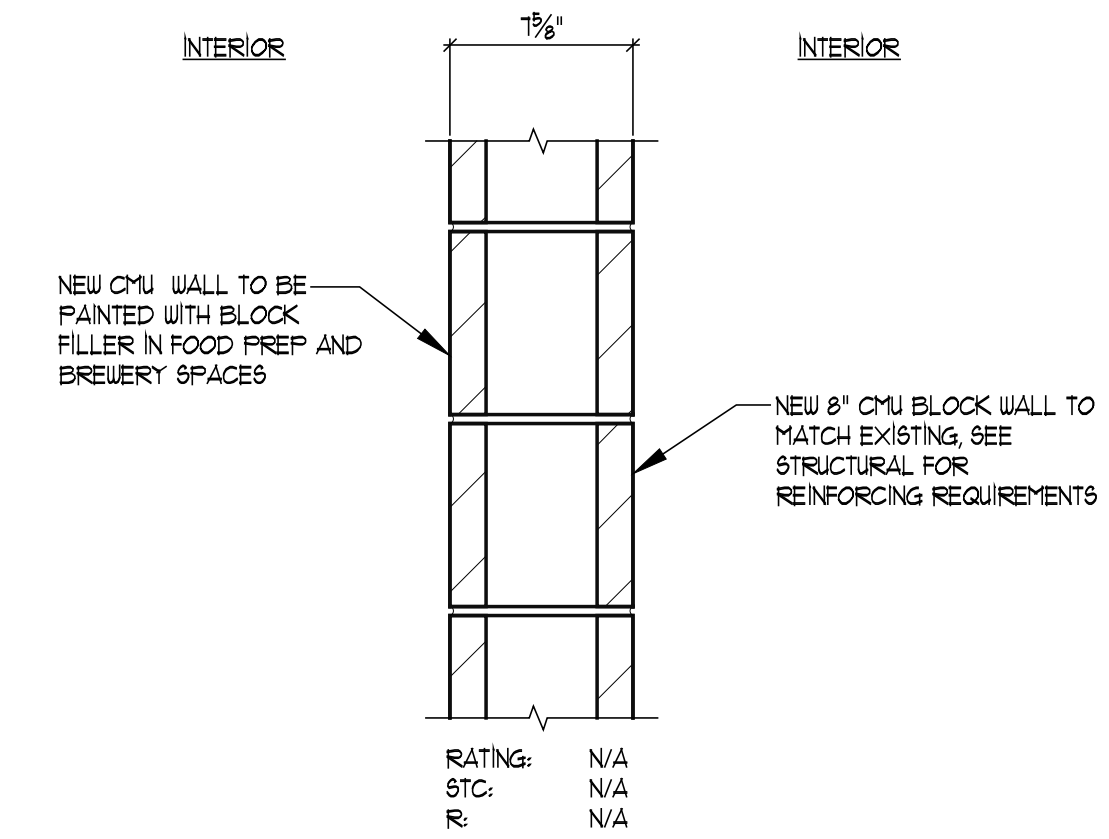
1 INTERIOR ELEVATIONS ROOM 105 - BAR SEATING
A-5.3 SCALE: 1/4" = 1' - 0"



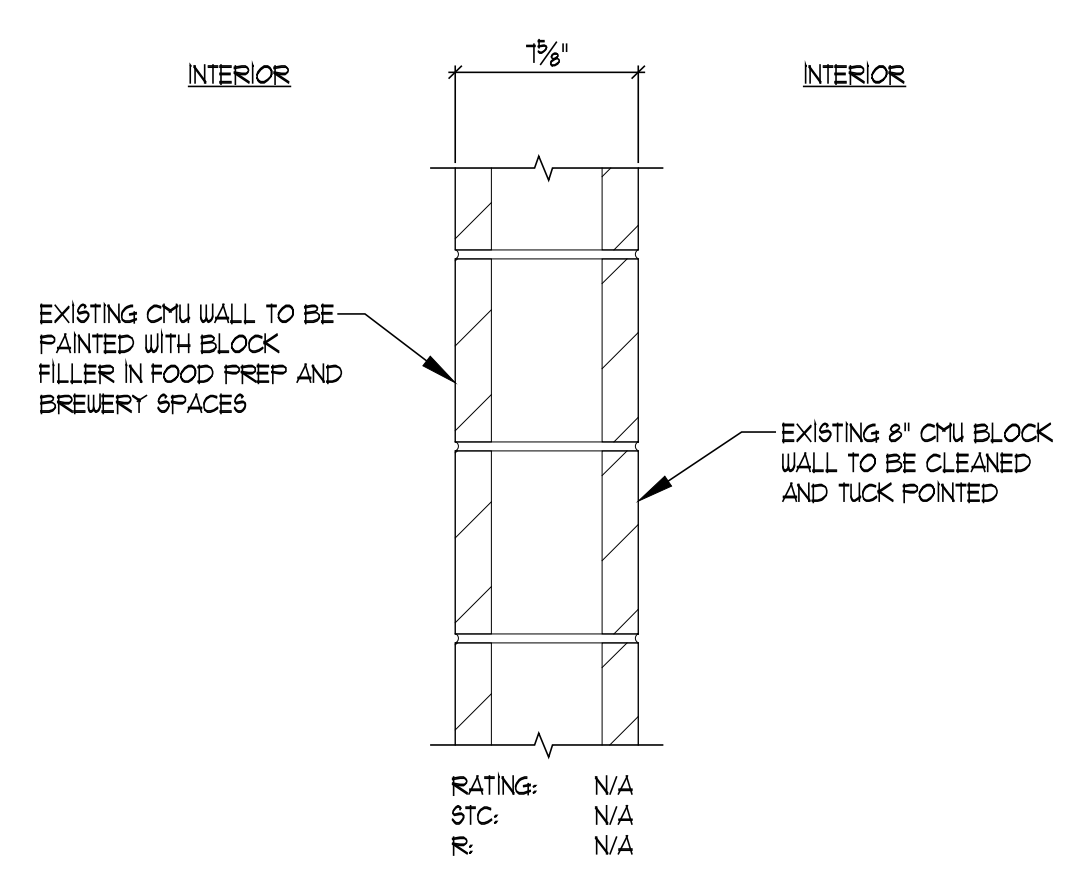
8 PARTITION TYPE 'P8' DETAIL
SCALE: NT5



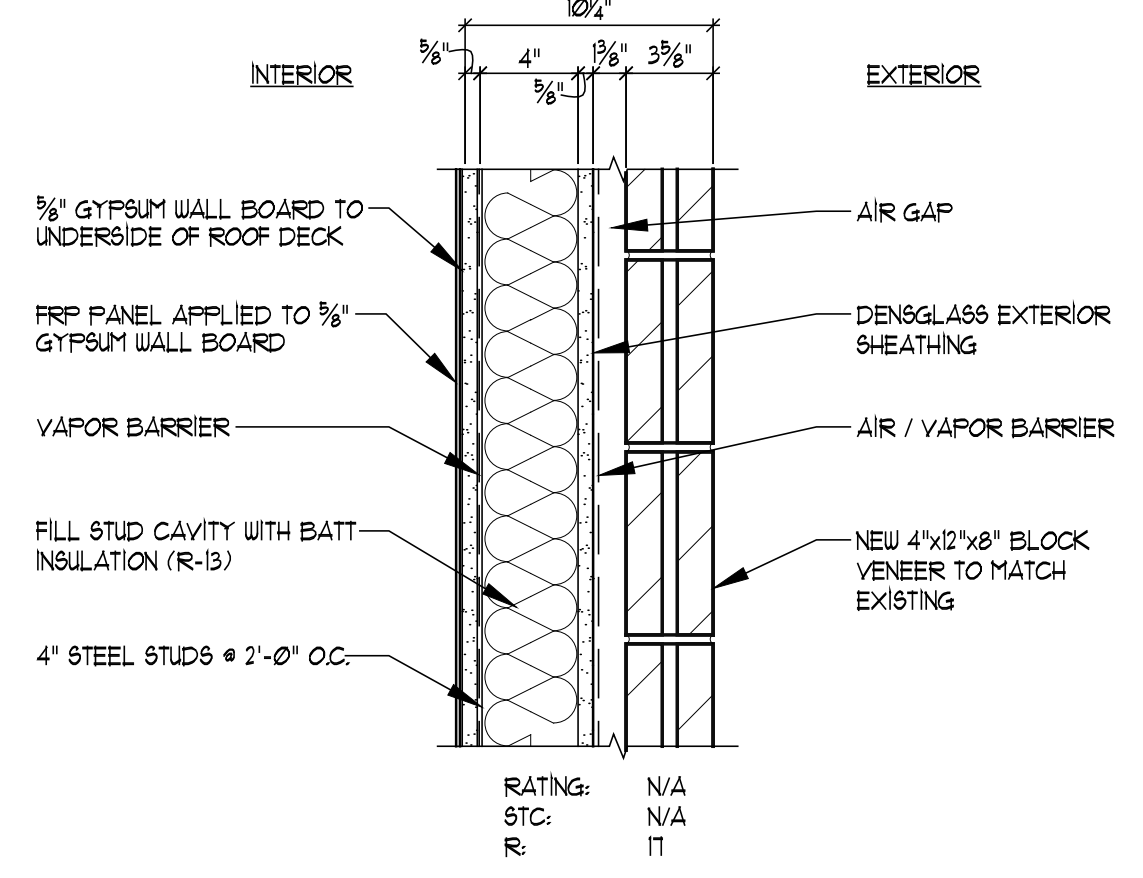
7 PARTITION TYPE 'P7' DETAIL
SCALE: NT5



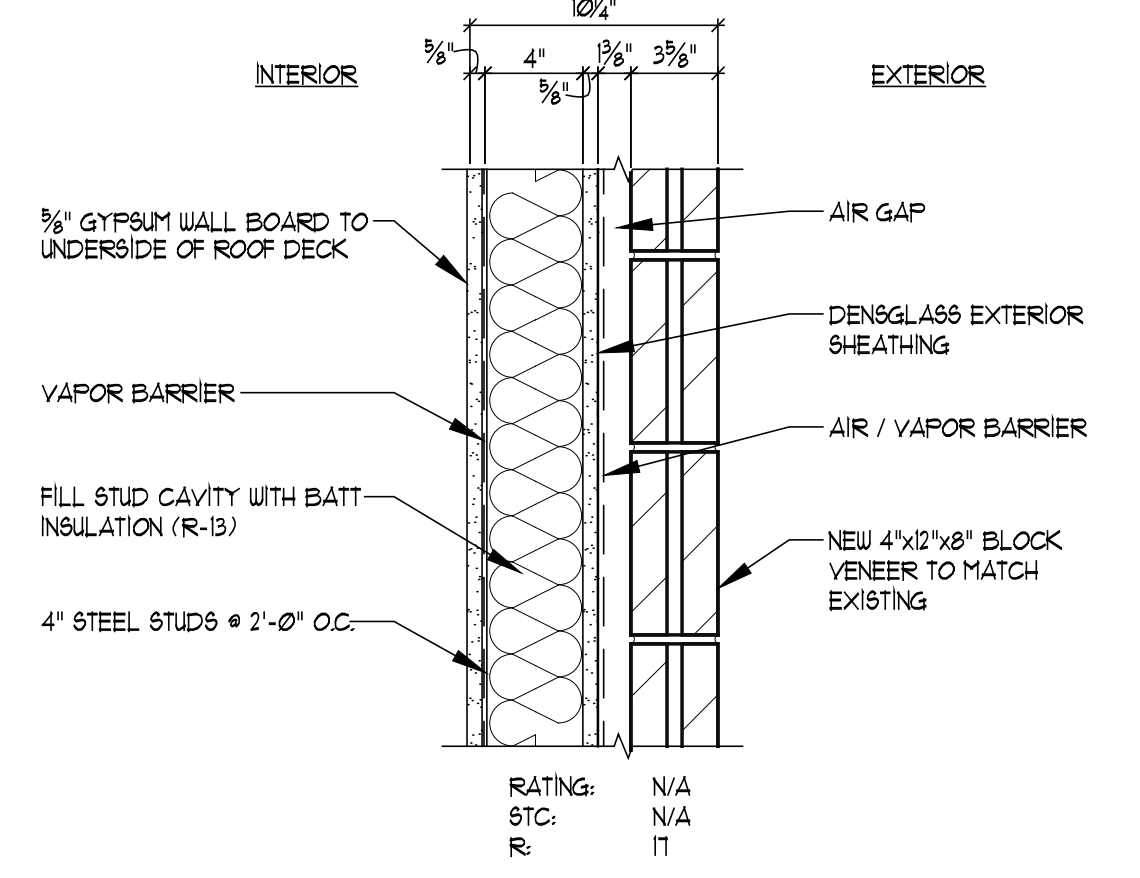
6 PARTITION TYPE 'P6' DETAIL
SCALE: NT5



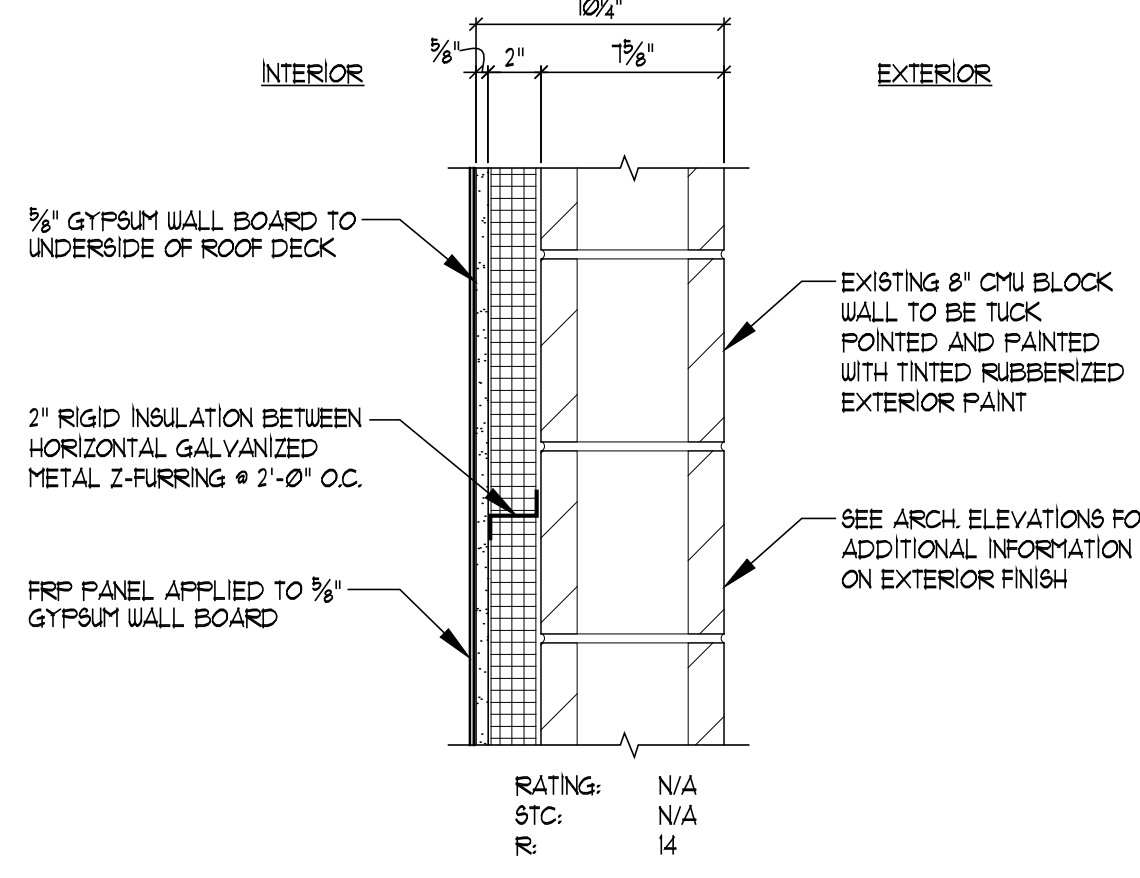
5 PARTITION TYPE 'P5' DETAIL
SCALE: NT5



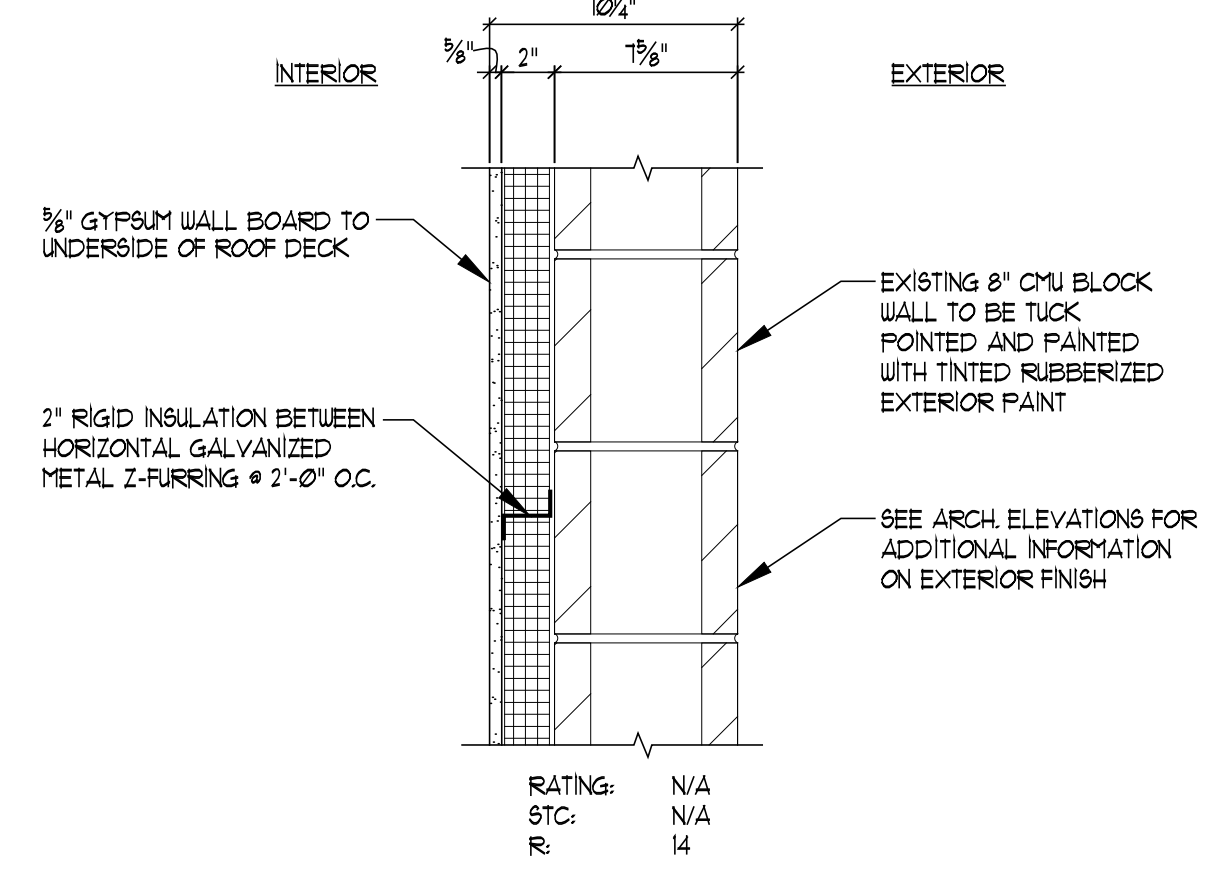
4 PARTITION TYPE 'P4' DETAIL
SCALE: NT5



3 PARTITION TYPE 'P3' DETAIL
SCALE: NT5



2 PARTITION TYPE 'P2' DETAIL
SCALE: NT5



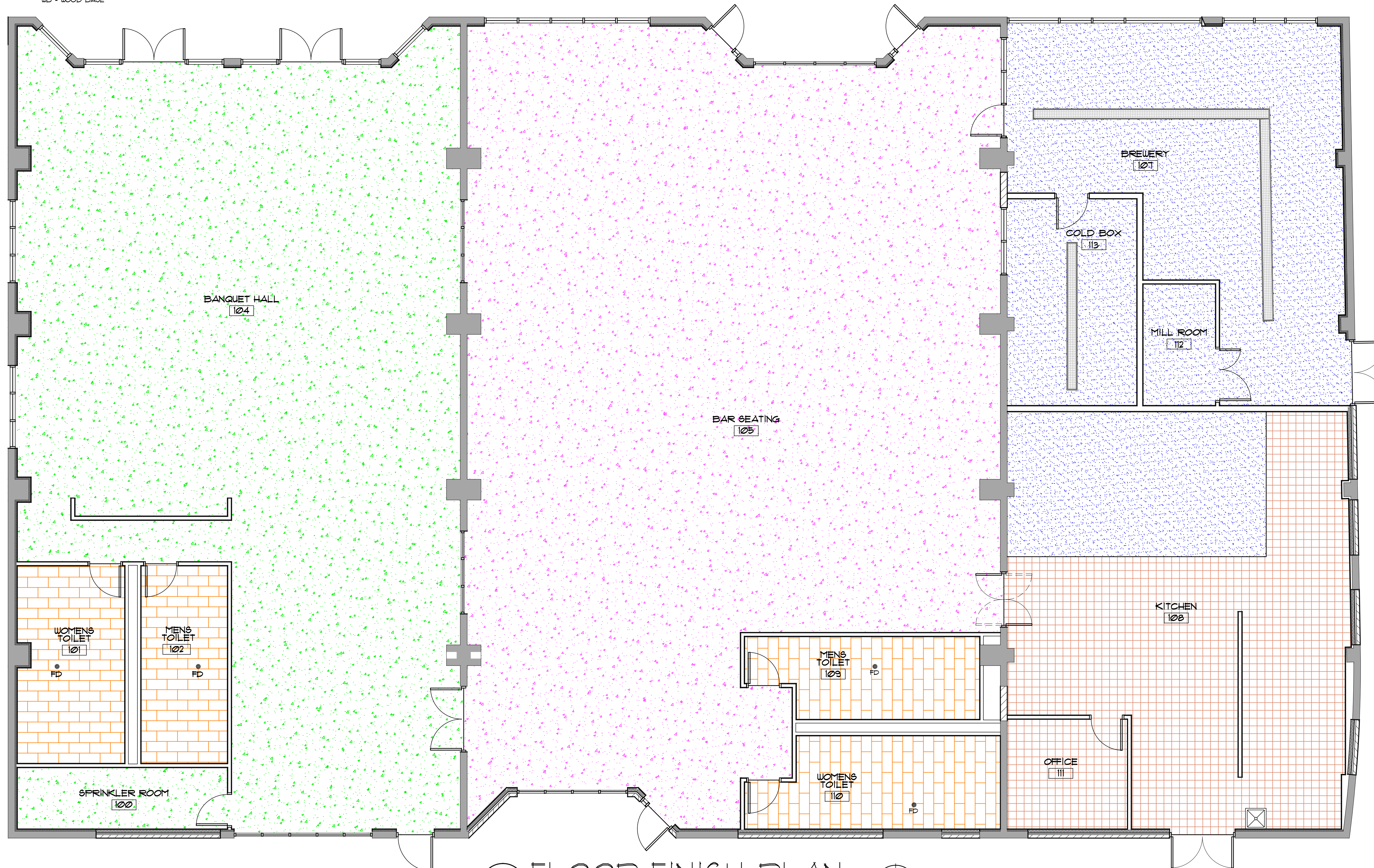
1 PARTITION TYPE 'P1' DETAIL
SCALE: NT5

ROOM FINISH SCHEDULE									
MARK	ROOM NAME	FLOOR	BASE	WALL FINISH				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
100	SPRINKLER ROOM	CT	4" WB	PT-2	PT-2	PT-2	PT-2	PT-1	
101	WOMEN'S TOILET	CT	4" WB	PT-3	PT-2	PT-2	PT-2	PT-1	
102	MENS TOILET	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
103	BANQUET BAR	VCT-1	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
104	BANQUET HALL	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
105	BAR SEATING	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
106	FRONT BAR	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
107	BREWERY	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
108	KITCHEN	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
109	MENS TOILET	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
110	WOMEN'S TOILET	CT	6" CT	PT-4	PT-4	PT-4	PT-4	PT-1	
111	OFFICE	VCT-1	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
112	MILL ROOM	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
113	COLD BOX	VCT-3	4" WB	PT-3	PT-3	PT-3	PT-3	PT-1	
114	--								

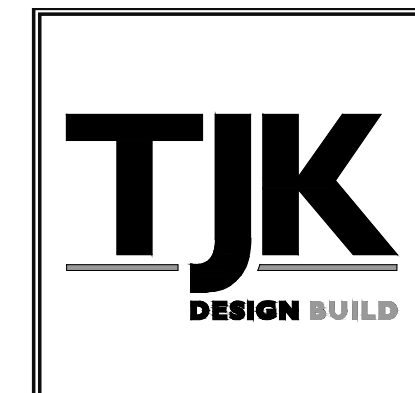
GENERAL ROOM FINISH NOTES:
 CT - CERAMIC TILE
 CPT - DIRECT GLUE CARPET
 PT - PAINT COLOR
 VCT - VINYL COMPOSITION TILE
 WB - WOOD BASE

FLOOR FINISH MATERIAL LIST			
FLOOR	NEW SEALED CONCRETE (SC)	MANUFACTURER: -- STYLE: -- COLOR: --	
	NEW GROUND AND SEALED CONCRETE (SGC)	MANUFACTURER: -- STYLE: -- COLOR: --	
	EXISTING CONCRETE GROUND AND SEALED (EGSC)	MANUFACTURER: -- STYLE: -- COLOR: --	
	CERAMIC TILE (CT-1)	MANUFACTURER: RIVERGLASS PORCELAIN STYLE: TRENDS 12"x24" COLOR: "BULLRUSH"	
	CERAMIC TILE (CT-2)	MANUFACTURER: DALTILE STYLE: QUARRY TILE 6"x6" COLOR: "--"	

WALL AND BAR FINISH MATERIAL LIST		
CEILING/WALL FINISH	PT-1	MANUFACTURER: SHERWIN WILLIAMS COLOR: "HEARTHROB" #566866
	PT-2	MANUFACTURER: SHERWIN WILLIAMS COLOR: "TRICORN BLACK" #5625B
	PT-3	MANUFACTURER: SHERWIN WILLIAMS COLOR: "LAZY GRAY" #56254
	PT-4	MANUFACTURER: SHERWIN WILLIAMS COLOR: "SERIOUS GRAY" #56256
	PT-5	MANUFACTURER: SHERWIN WILLIAMS COLOR: "CLYTRUS WHITE" #56253
	PT-6	MANUFACTURER: SHERWIN WILLIAMS COLOR: CEILING WHITE
WALL BASE	WB	TYPE: 4" SQUARE EDGE PAINT GRADE COLOR: PT-3
	VCT	TYPE: 6" VINYL BASE COLOR: CHARCOAL
WOOD VENEER (OAK)	WV-1	MANUFACTURER: MINIWAX COLOR: "RIVER STONE"
	WV-2	MANUFACTURER: MINIWAX COLOR: "CHARCOAL GREY"
SOLID SURFACE	SS-1	MANUFACTURER: SILESTONE COLOR: "EROS STELLAR"
	SS-2	MANUFACTURER: SILESTONE COLOR: "WHITE DIAMOND"



1 FLOOR FINISH PLAN
 A-7.1 SCALE: 3/16" = 1' - 0"
 NORTH



612 WEST MAIN STREET
 MADISON, WI 53703
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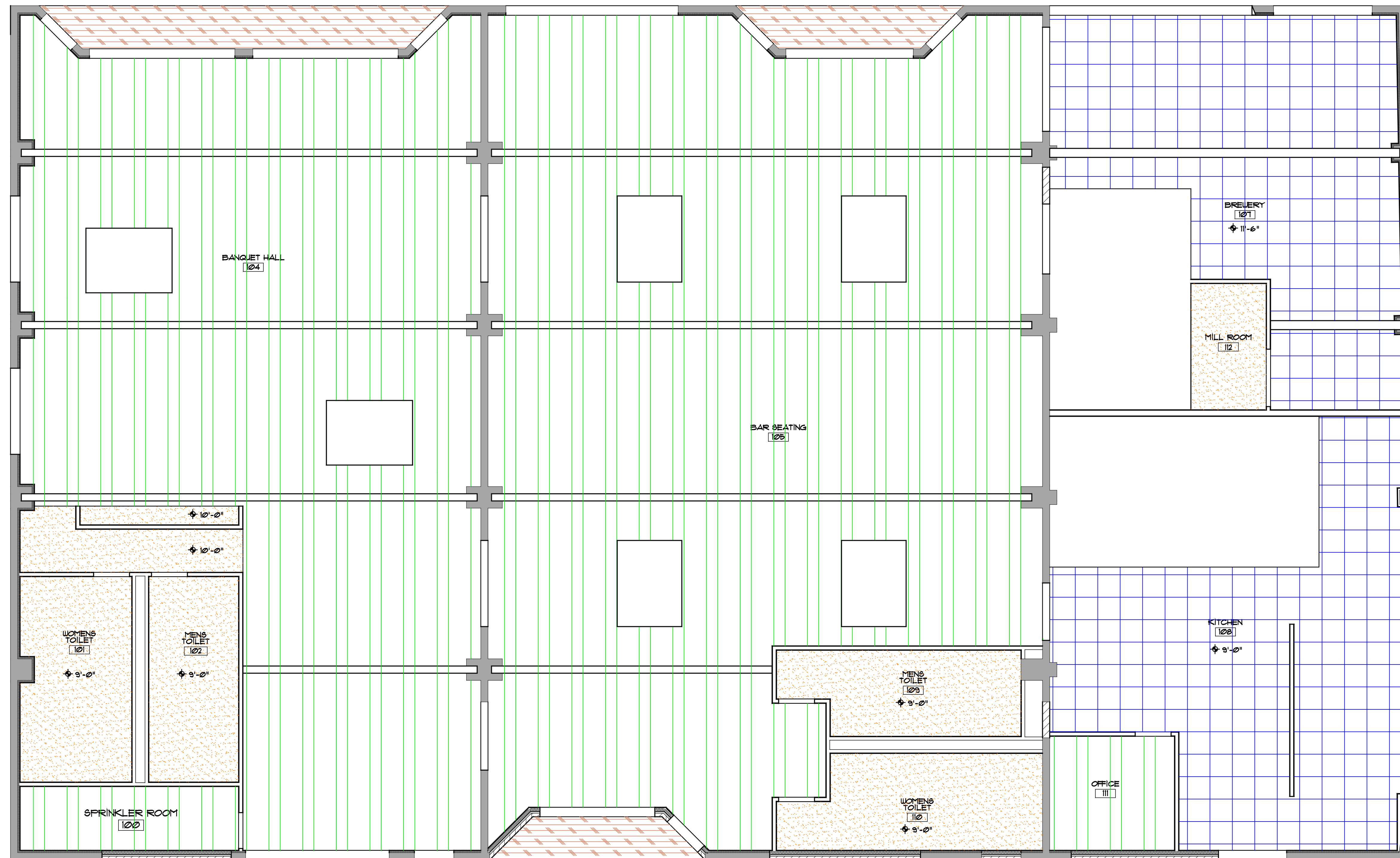
PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT
 1313 REGENT STREET
 MADISON, WI

A-7.1
 8.19.15

CEILING FINISH MATERIAL LIST			
CEILING	PAINTED EXISTING STRUCTURE	MANUFACTURER: SHERWIN WILLIAMS STYLE: -- COLOR: PT-4	
	PAINTED GYPSUM BOARD CEILING	MANUFACTURER: SHERWIN WILLIAMS STYLE: -- COLOR: PT-6	
	SUSPENDED VINYL COATED GYPSUM BOARD	MANUFACTURER: -- STYLE: -- COLOR: --	
	TBD	MANUFACTURER: -- STYLE: -- COLOR: --	

LIGHT FIXTURE KEY	
	2'-0" x 4'-0" FLUORESCENT PARABOLIC LIGHT FIXTURE MOUNTING HEIGHT = CEILING HEIGHT
	COOPER LIGHTING, METALUX WALL BRACKET CATALOG # BA-220-120V-UJ MOUNTING HEIGHT = 7'-2"
	COOPER LIGHTING, HALO RECESSED 6" LED CATALOG # ML109821CAT120D-494F06 MOUNTING HEIGHT = CEILING HEIGHT
	COOPER LIGHTING, CORELITE STELLAR 12" SUSPENDED CATALOG # 84-UB-475-1C-120-AC120-87-8 MOUNTING HEIGHT = 12'-0"
	RUID, 2'-0" x 4'-0" FLUORESCENT HIGH BAY LIGHT FIXTURE
	COOPER LIGHTING, PORTFOLIO CEILING MOUNT 6" LED CATALOG # LCR6
	COOPER LIGHTING, HALO LED TRACK LIGHTING CATALOG # ML109821CAT120D-494F06

GENERAL NOTES:
CEILING CONTRACTOR SHALL PROVIDE WIRE HANGERS WITH A MIN. OF 12 GA., GALVANIZED, SOFT ANNEALED, MILD STEEL WIRE



REFLECTED CEILING FINISH PLAN
SCALE: 3/16" = 1' - 0"
NOTES:



Looking south from Regent Street

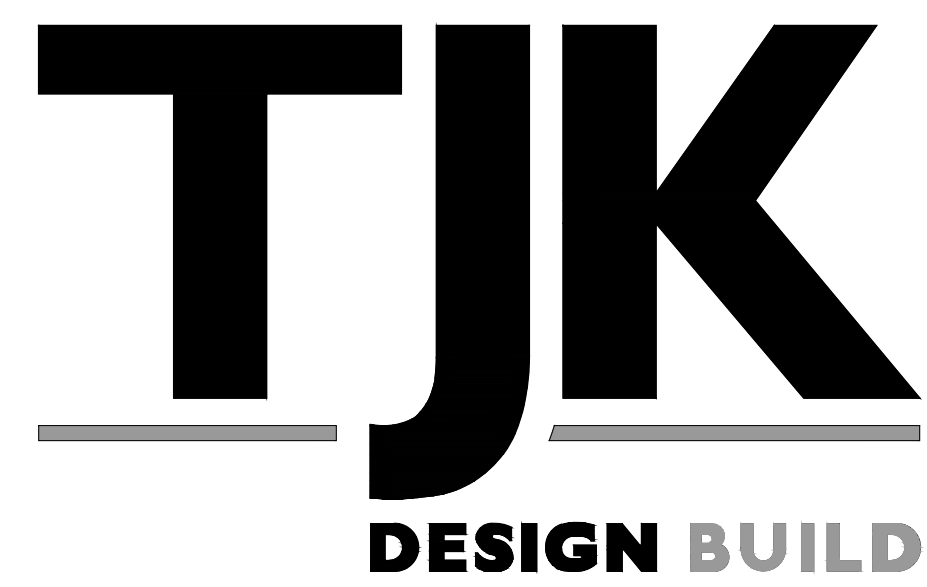


Looking south from Regent Street

PROPOSED FACILITY FOR:

REGENT STREET DEVELOPMENT

BOWEN COURT
MADISON, WISCONSIN



TJK Design Build

612 West Main Street

Madison, WI 53703

608-257-1090

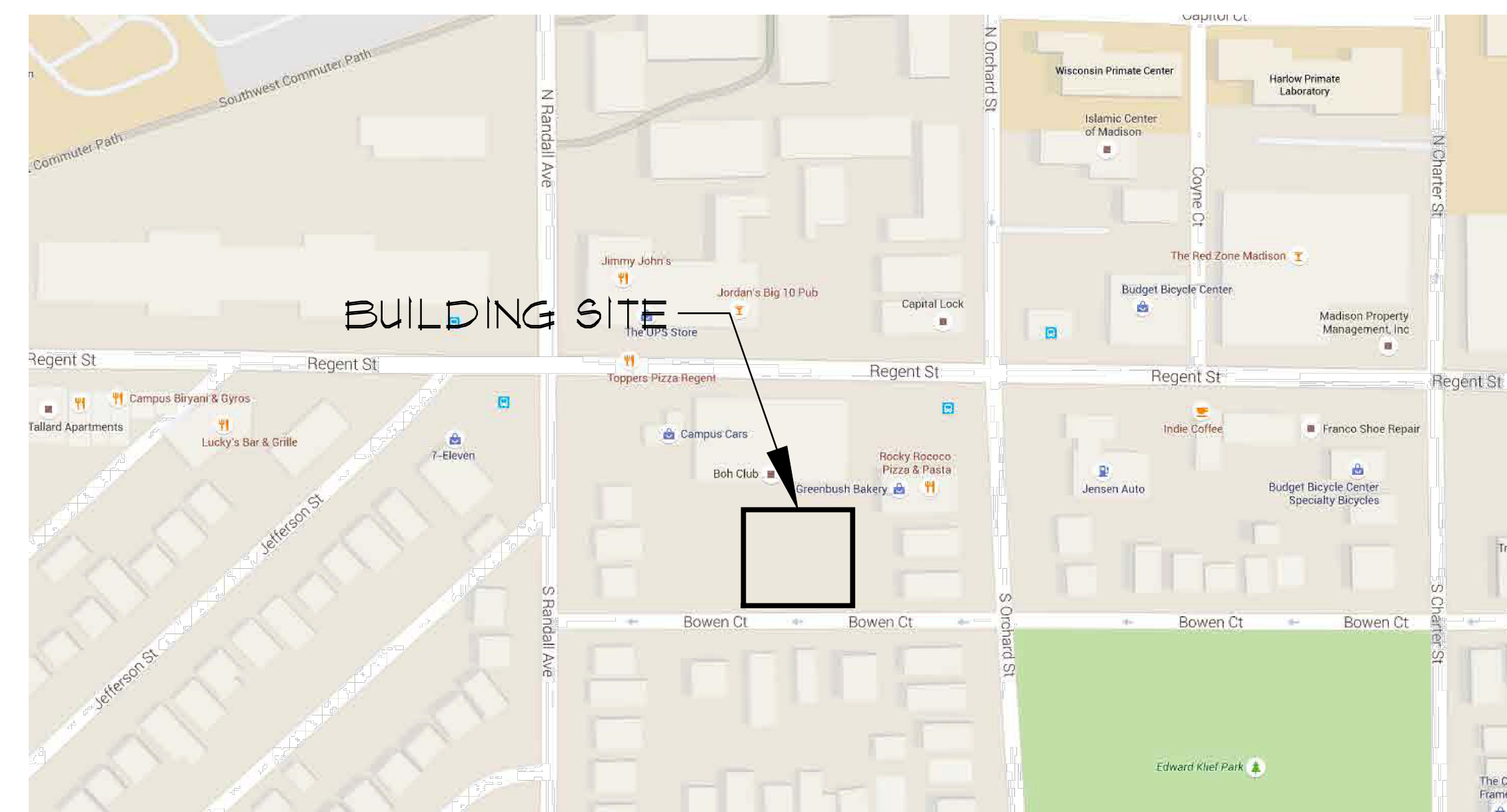
FAX 608-257-1092



LOOKING NORTHEAST ON BOWEN COURT

INDEX OF DRAWINGS:

- C-1.1 GRADING AND EROSION CONTROL PLAN
- C-1.2 UTILITY PLAN
- C-1.3 PROPOSED SITE PLAN
- C-1.4 LANDSCAPE PLAN
- C-1.5 PHOTOMETRIC PLAN
- A-1.1 PARKING LEVEL PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 SECOND FLOOR PLAN
- A-1.4 THIRD FLOOR PLAN
- A-1.5 LOFT LEVEL PLAN
- A-1.6 ROOF PLAN
- A-2.1 EXTERIOR ELEVATIONS
- A-2.2 EXTERIOR ELEVATIONS
- A-3.1 BUILDING SECTIONS



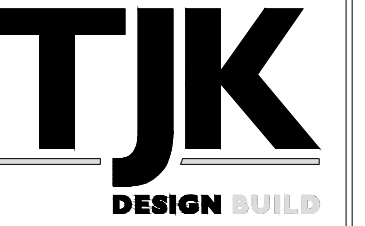
SITE LOCATION MAP

PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT
BOWEN COURT, MADISON, WI

LEGEND

- 854.2 EXISTING SPOT GRADE
- 853.2 PROPOSED SPOT GRADE

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



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 MADISON, WI 53703
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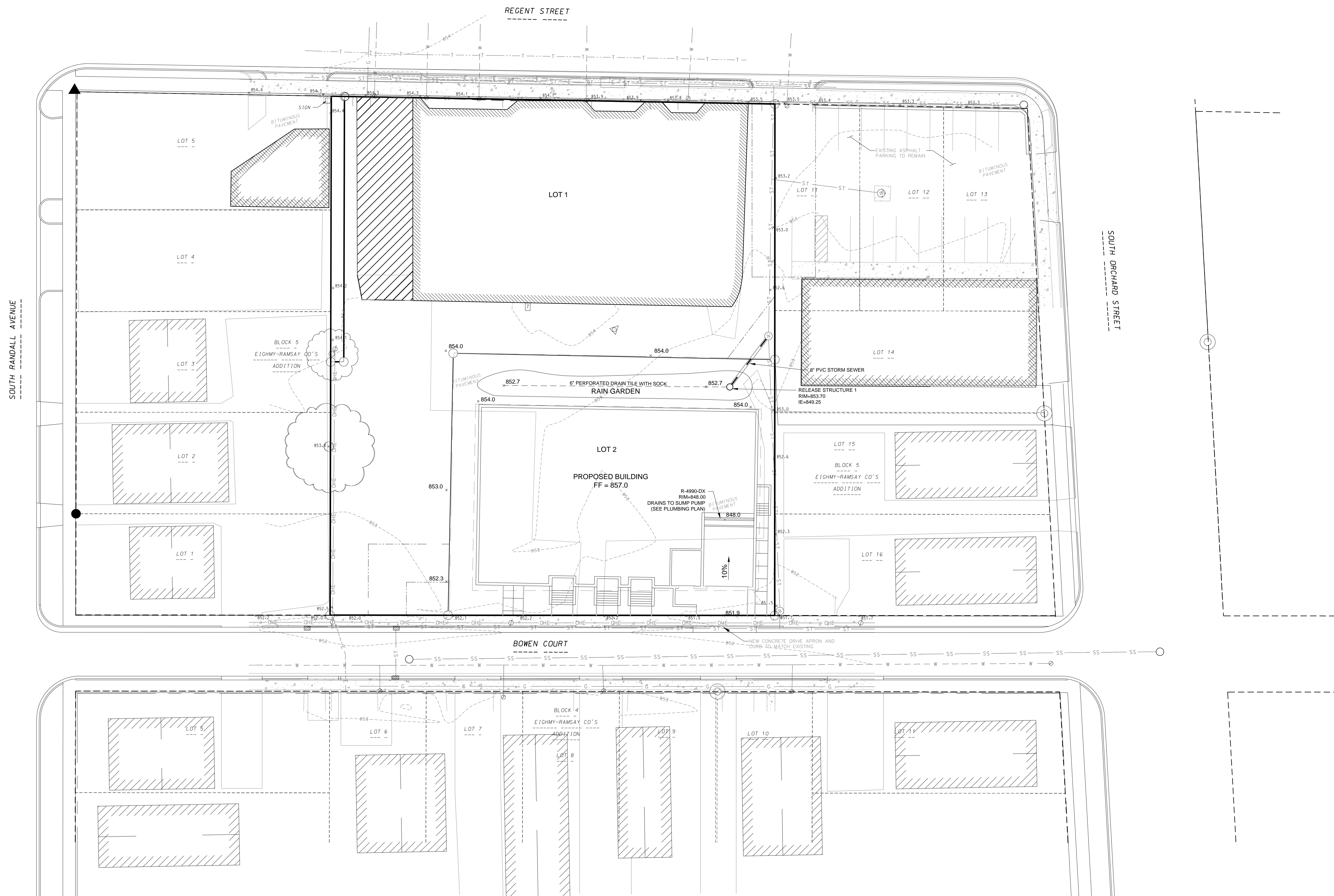
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PROPOSED FACILITY FOR:
REGENT STREET

1313 REGENT STREET
 MADISON, WI

C-1.1

6.24.15

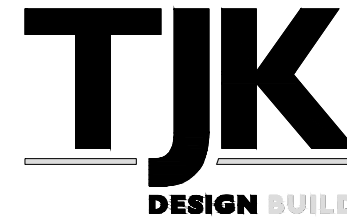


1 GRADING PLAN
 C-1.1 SCALE: 1" = 20' - 0"

SITE UTILITY NOTES

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE SDR 35 PVC.
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR PERSPECTIVE COMPANIES: MG&E, CHARTER, TDS, ETC
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT.

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



**612 WEST MAIN STREET
 MADISON, WI 53703
 608-257-1090
 FAX 608-257-1092**

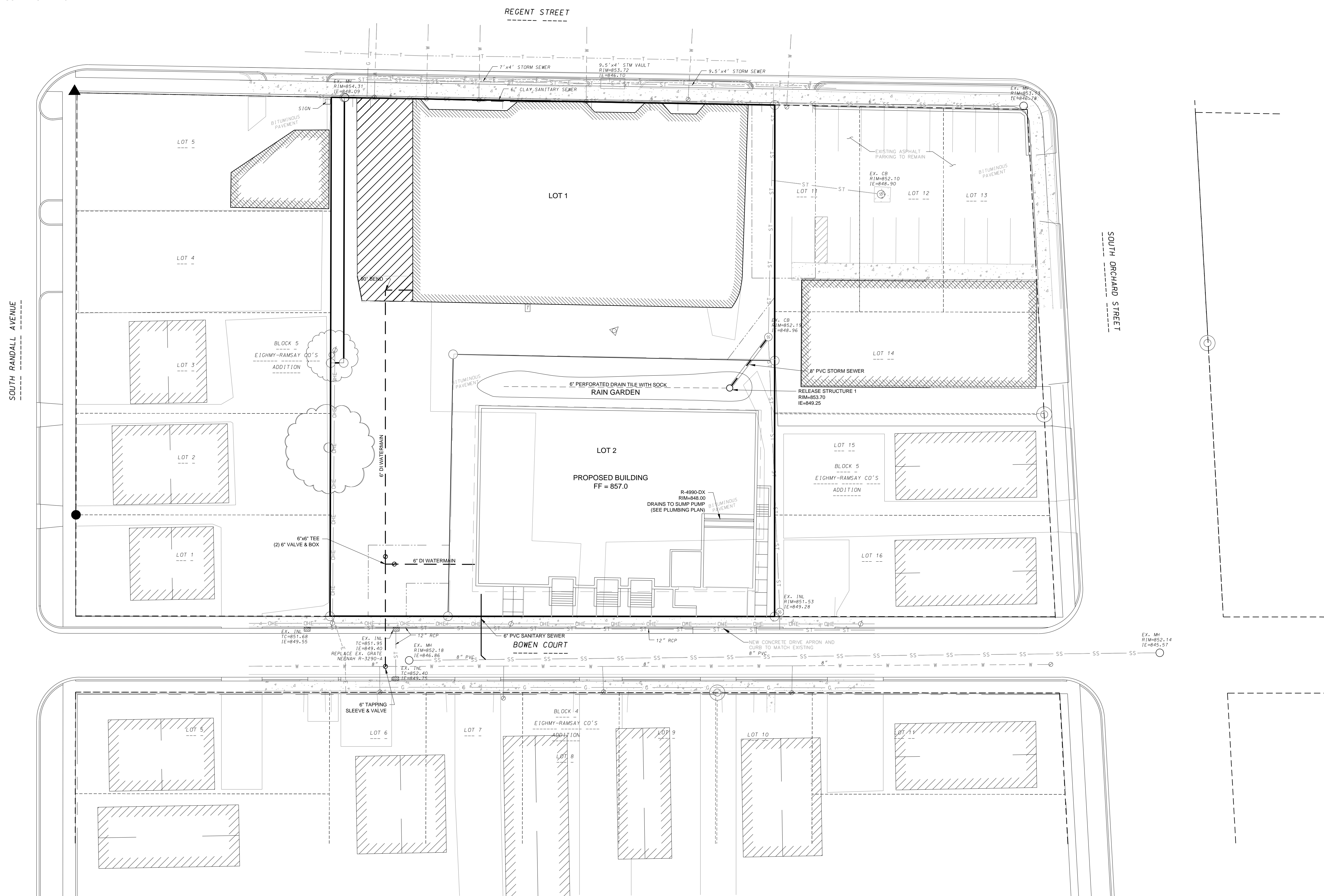
REV DATE

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**PROPOSED FACILITY FOR:
 REGENT STREET**
 1313 REGENT STREET
 MADISON, WI

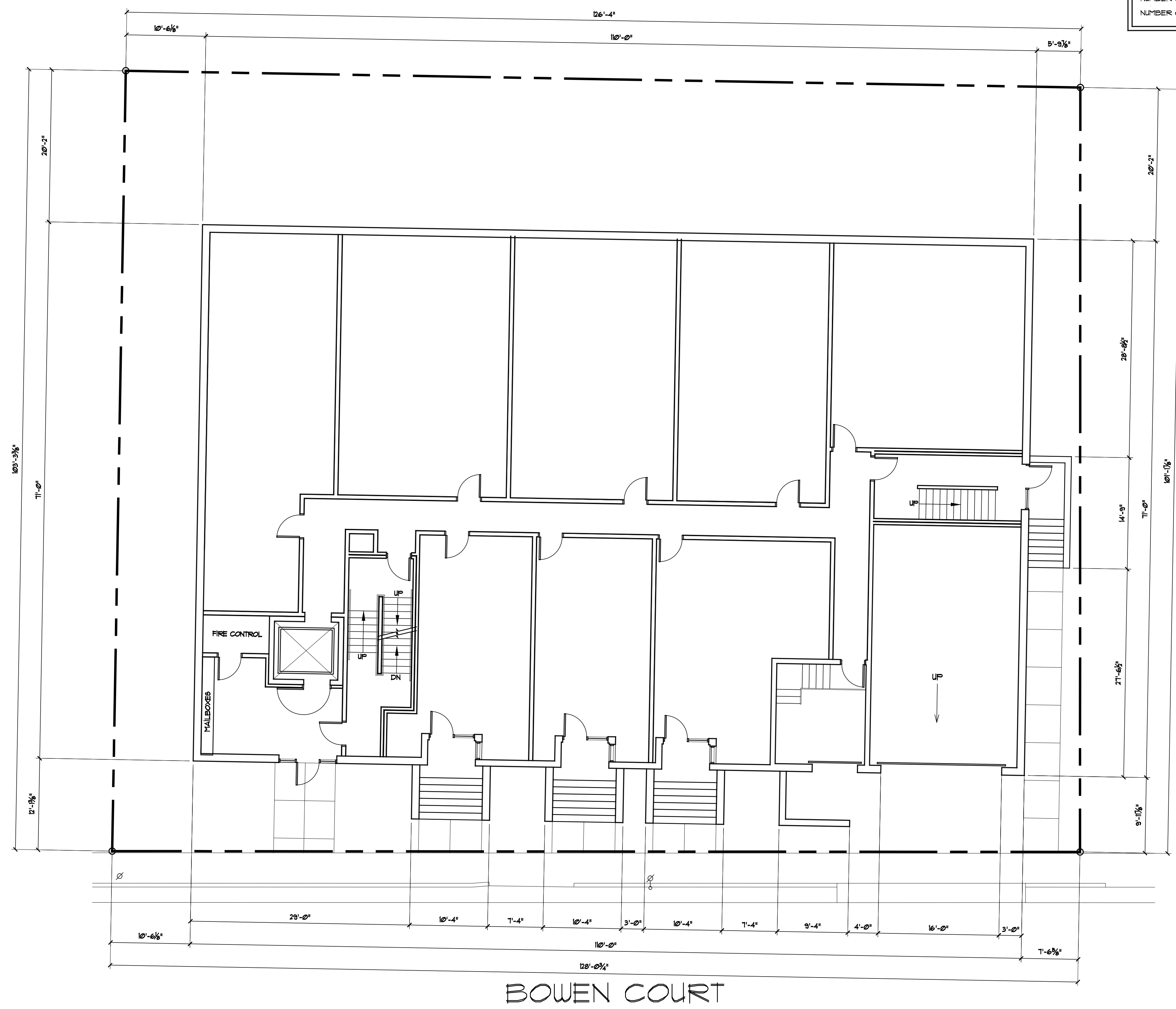
C-1.2

6.24.15



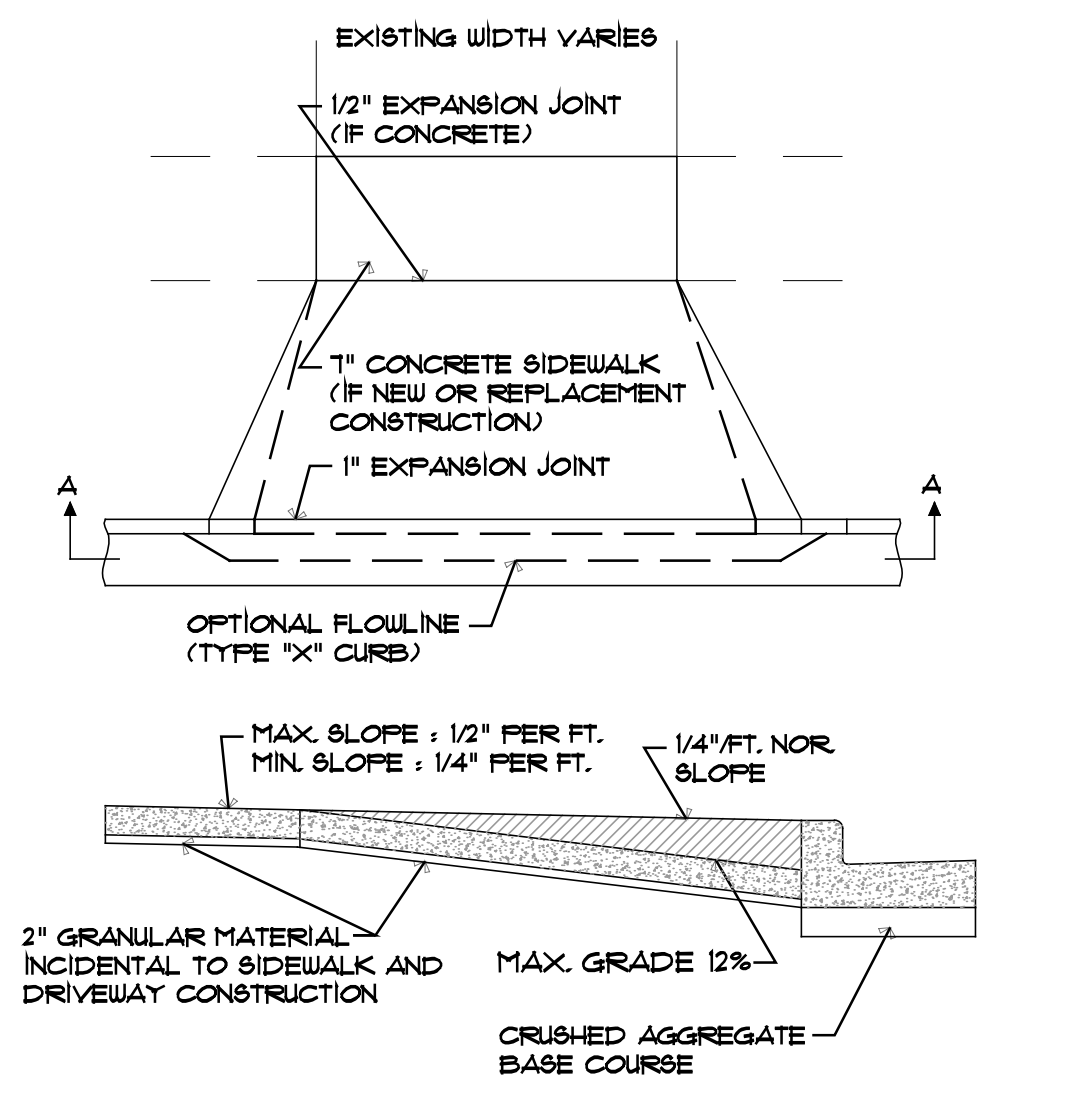
1 SITE UTILITY PLAN
 C-1.2 SCALE: 1" = 20' - 0"

SITE INFORMATION BLOCK - LOT 2 (APARTMENTS)	
SITE ACREAGE (TOTAL)	13,006 SQ FT • 0.30 ACRES
PROPOSED PAVEMENT	639 SQ FT
GREEN SPACE	4,418 SQ FT
UPPER LEVEL OPEN SPACE	6,74 SQ FT
TOTAL OPEN SPACE	5,092 SQ FT - 39.2%
NUMBER OF BUILDING STORIES (ABOVE GRADE)	3
BUILDING HEIGHT	48'-0" ABOVE GRADE
TYPE OF CONSTRUCTION	BB, FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	31,133 SQ FT
USE OF PROPERTY	R-2
NUMBER OF PARKING STALLS	21 (UNDERGROUND)
NUMBER OF LANDSCAPE POINTS REQUIRED	SEE LANDSCAPE PLAN



LEGEND:

- PROPERTY CORNER
- PROPERTY LINE
- SAN — SANITARY SEWER
- STY — STORM SEWER
- W — WATER MAIN
- ⊙ FIRE HYDRANT
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/ LIGHT
- MANHOLE
- ⊙ WATER VALVE
- ▬ CURB INLET
- ▭ STORM SEWER ACCESS COVER
- ⊙ SPOT ELEVATION
- ⊙ MONITORING WELL



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

1 PROPOSED SITE PLAN
C-1.3 SCALE: 1/8" = 1' - 0"

2 COMMERCIAL DRIVEWAY DETAIL
C-1.3 SCALE: N.T.S.

REV	DATE

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PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT

1313 REGENT STREET
MADISON, WI

LANDSCAPE WORKSHEET

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

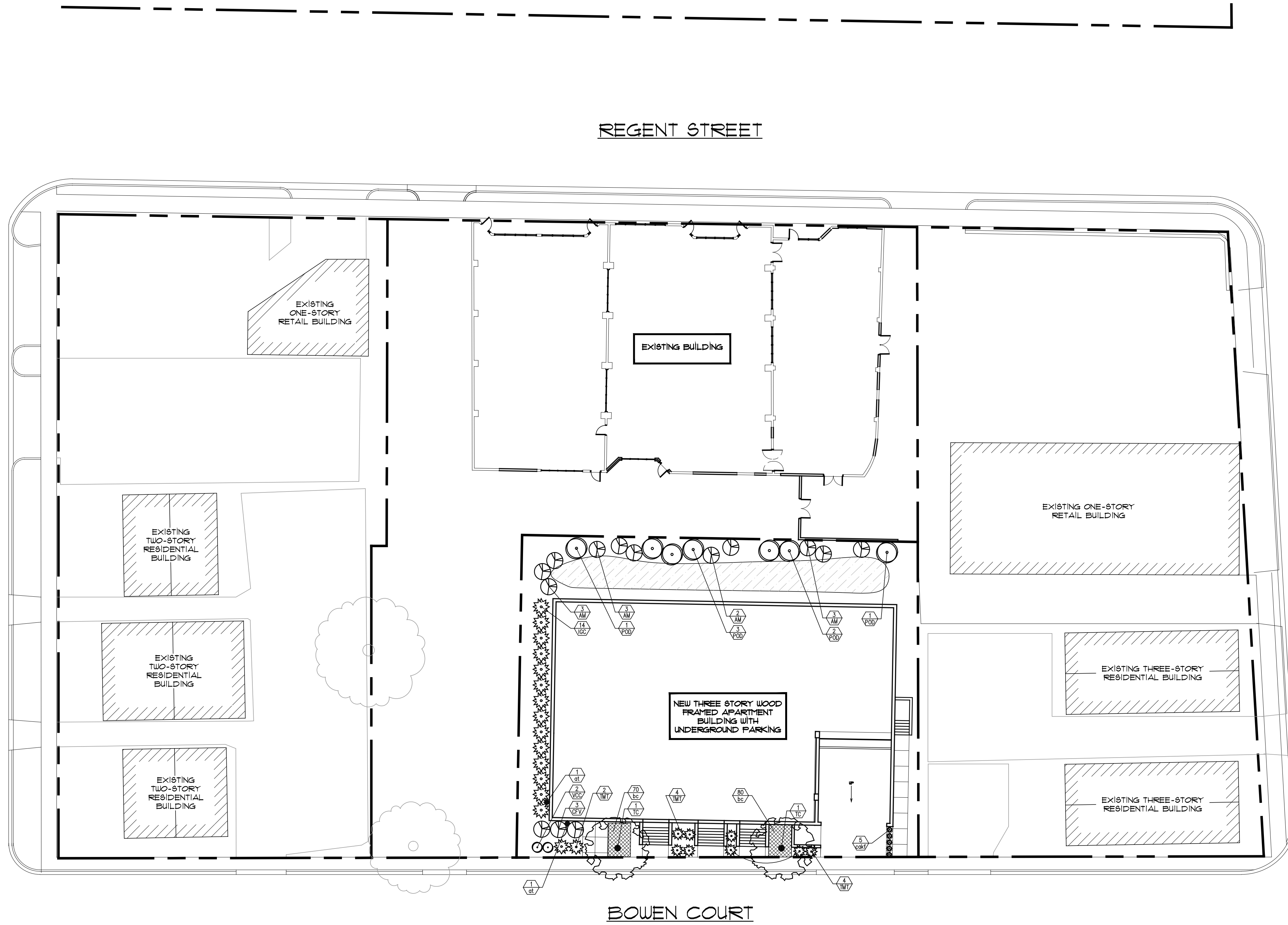
Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping Points Achieved	New/Proposed Landscaping Points	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35		2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			
Ornamental tree	1 1/2 inch caliper	15			
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3		23	69
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4		24	96
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2		7	14
Ornamental decorative fencing or wall	n/a	4 per 10 linear ft.			
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200			
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"			
Sub Totals			0		249

Total Number of Points Provided: 249

* As determined by ANSI, ANSI-A, American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013

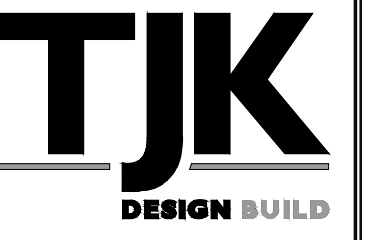
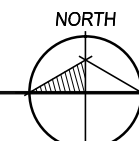
SOUTH RANDALL AVENUE



PLANTING SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
Major Deciduous Trees							
TC	Tilia cordata 'June Bride'	June Bride Littleleaf Linden	2	2 1/2" cal	B&B	As shown	Straight leader, matched
Deciduous Shrubs							
AM	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Chokeberry	11	24" HT/3 Gal	Cont	As shown	Full plants
CFV	Calycanthus floridus 'Venus'	Venus Carolina Allspice	3	24" HT/3 Gal	Cont	As shown	Full plants, matched
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	7	24" HT/3 Gal	Cont	As shown	Full plants
VCC	Viburnum carlesii 'Compactum'	Dwarf Koreanspice Viburnum	2	18" HT/3 Gal	Cont	As shown	Full plants, matched
Evergreen Shrubs							
IGC	Ilex glabra 'Compacta'	Compact Inkberry	14	24" HT/3 Gal	Cont	As shown	Full plants, matched
TMT	Taxus x media 'Tauntonii'	Tauntton's Yew	10	24" HT/3 Gal	Cont	As shown	Full plants, matched
Perennials, Ornamental Grasses, Vines and Groundcovers							
bc	Bergenia cordifolia 'Winter Glow'	Winter Glow Bergenia	150	4"	Pots	12" o.c.	Full plants
cafk	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	5	1 Gal	Cont	As shown	Full plants, matched
at	Aristolochia tomentosa	Dutchman's Pipe	2	1 Gal	Cont	As shown	Full plants, 5 runners minimum
Non-Plant Groundlayer Treatment							
BM	Shredded Bark Mulch: Shredded Natural Cypress at all planting beds						

LANDSCAPE PLAN
C-1.4 SCALE: 1" = 20'



612 WEST MAIN STREET
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REV DATE

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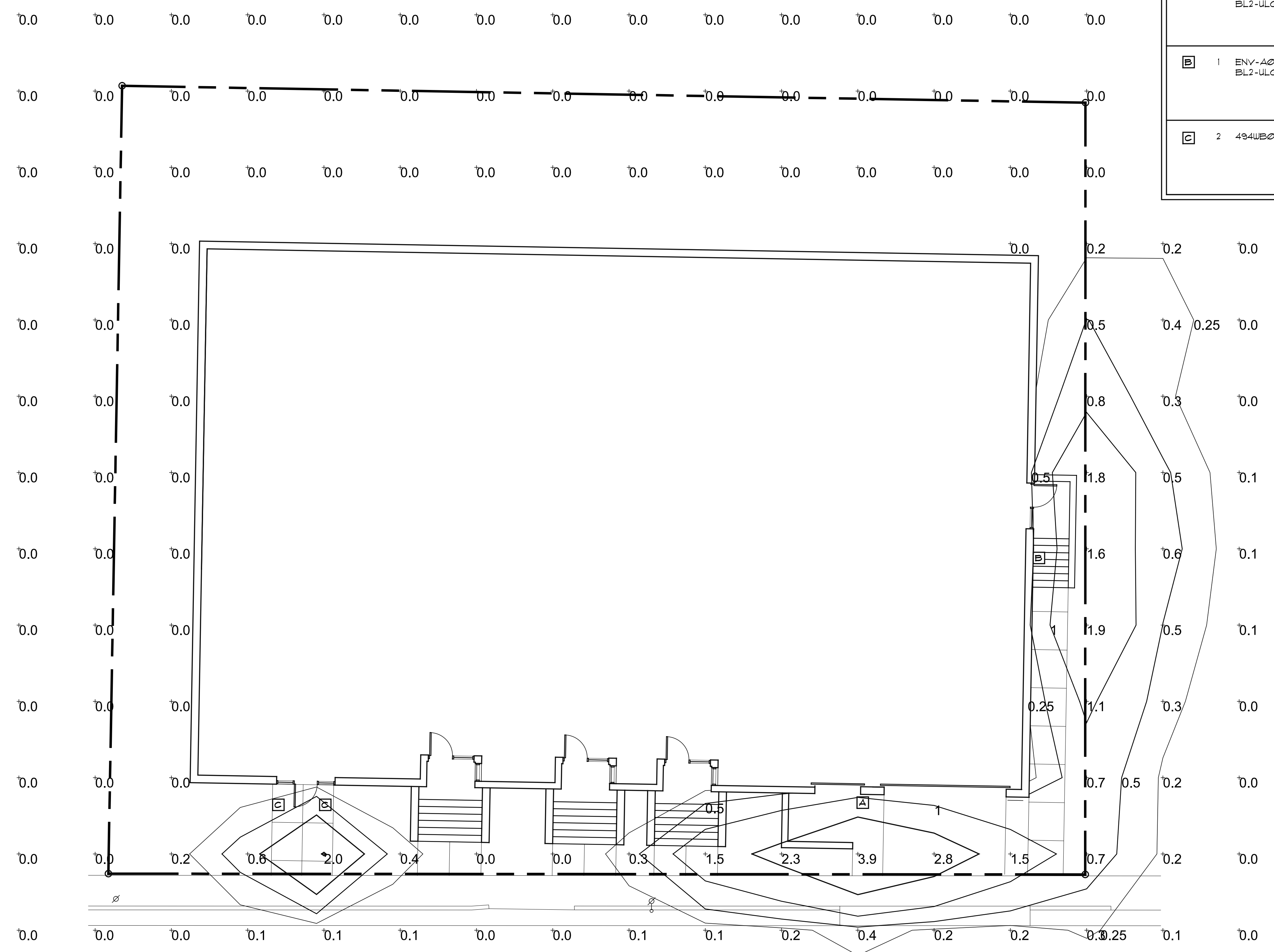
PROPOSED FACILITY FOR:
BOWEN COURT
1313 REGENT STREET
MADISON, WI

C-1.4

8.19.15

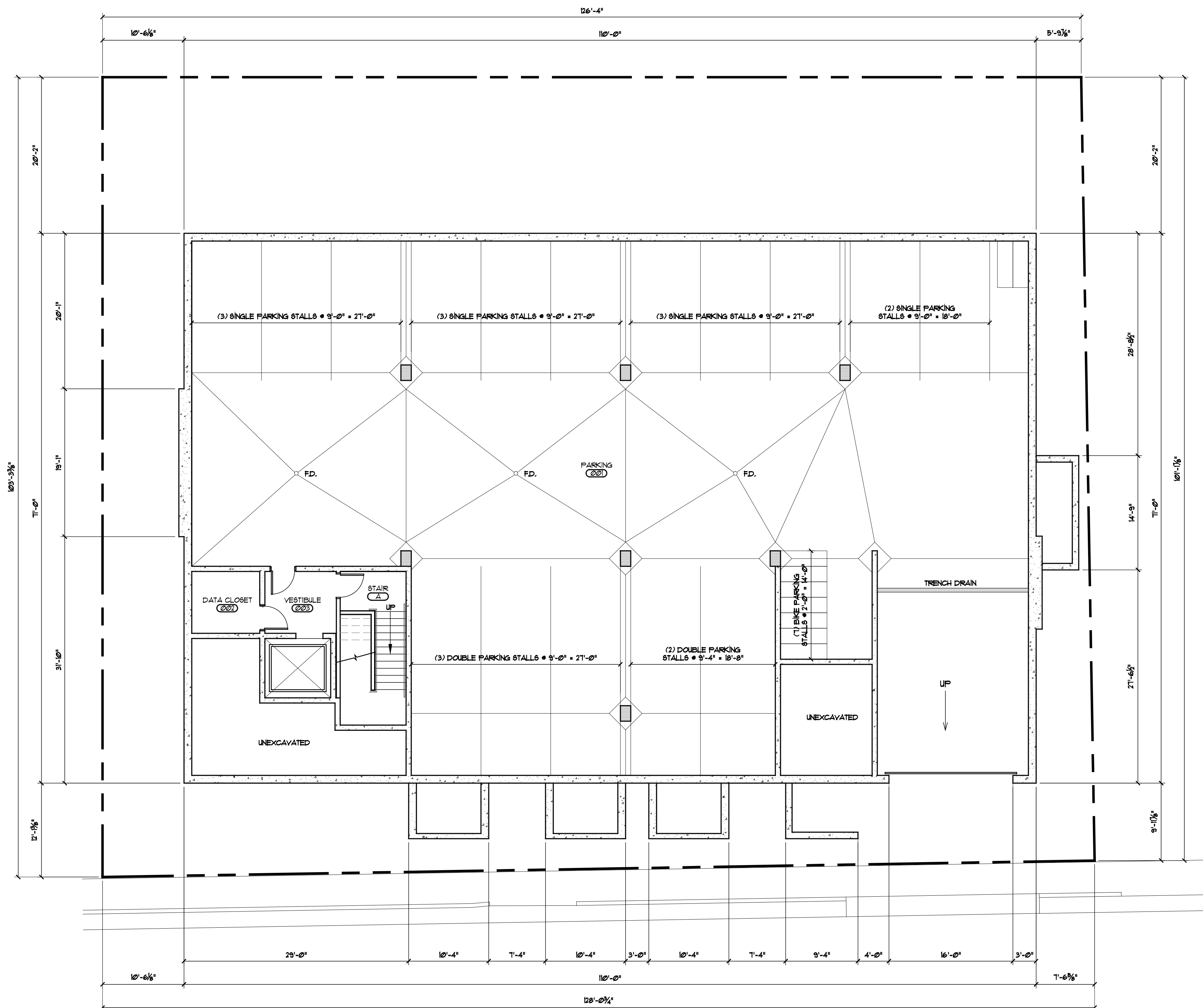
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.1 fc	3.9 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE				
Label	Qty	Catalog Number	Description	Watts
A	1	ENV-A01-LED-EI-BL2-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBARS WITH ACCUMULATED OPTICS - TYPE 2 WITH BACK LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE	35
B	1	ENV-A01-LED-EI-BL2-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBARS WITH ACCUMULATED OPTICS - TYPE 2 WITH BACK LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE	35
C	2	434WB06	FORMED STEEL AND CAST ALUMINUM HOUSING FORMED BRUSHED ALUMINUM UPPER REFLECTOR 0.9UN MATTE WHITE STEPPED ALUMINUM LOWER REFLECTOR WITH WHITE ENAMEL ALUMINUM TRIM RING MOUNTED 10'-0" ABOVE GRADE	15



BOWEN COURT

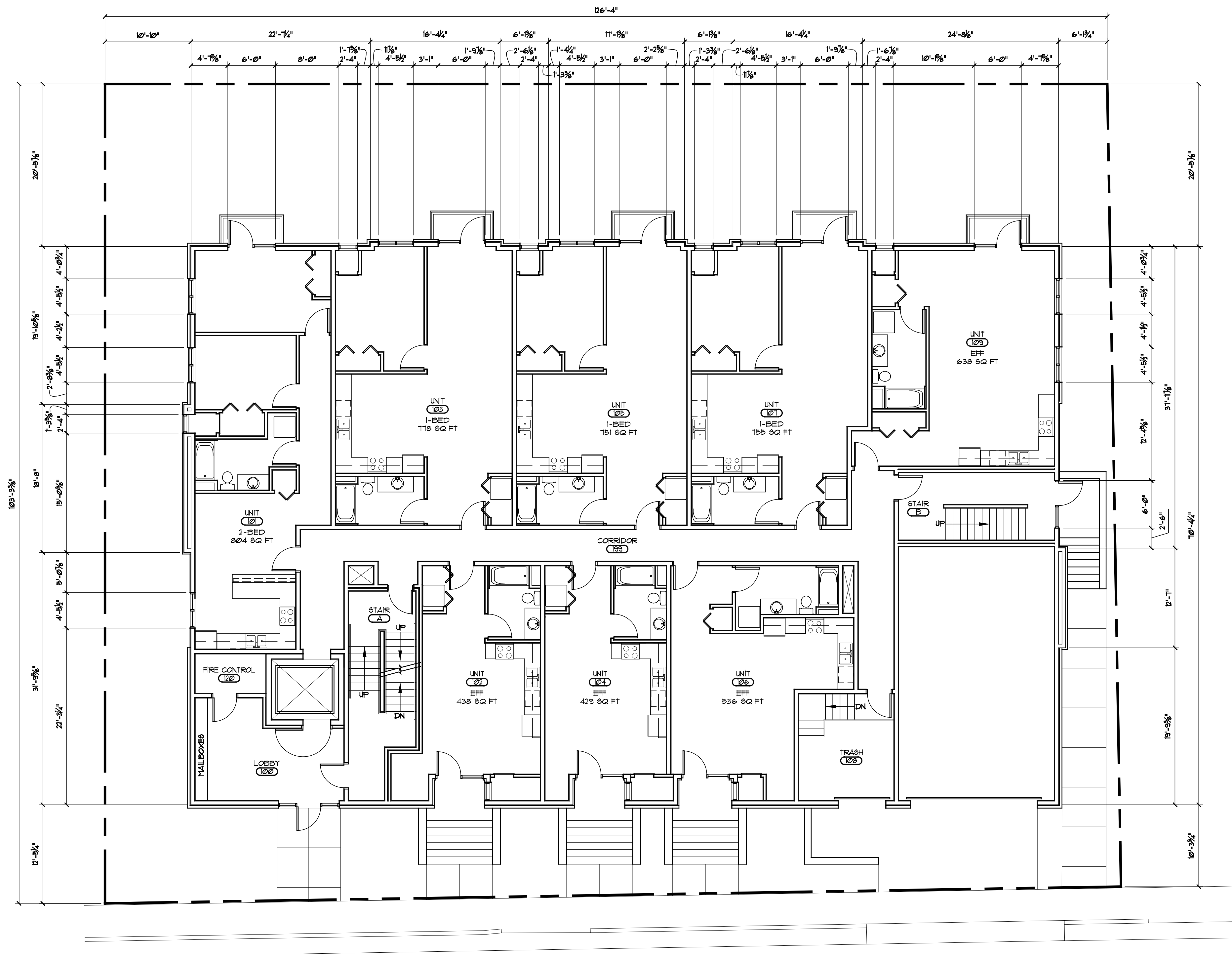
1 PROPOSED PHOTOMETRIC PLAN
C-1.5 SCALE: 1/8" = 1' - 0"



1 PROPOSED PARKING LEVEL
A-1.1 SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"

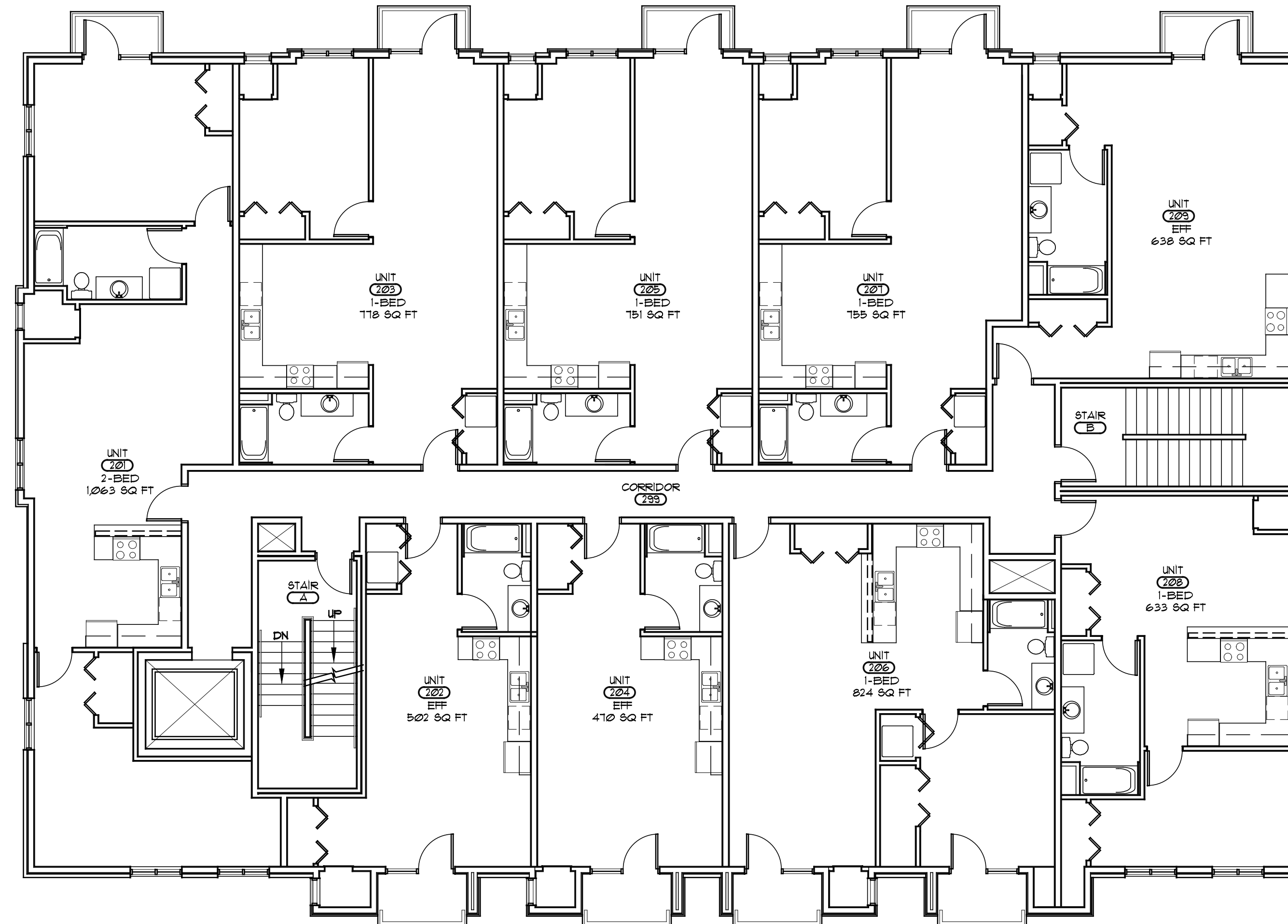
FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE.
2. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY, TRIM, CABINETS, SHELVING, PLUMBING FIXTURES, TOWEL BARS, SHOWER RODS, HANDRAILS, AND ALL OTHER ACCESSORIES AND FIXTURES.
4. DEMISING WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
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10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CAULK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.



1 PROPOSED FIRST FLOOR
A-1.2 SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"

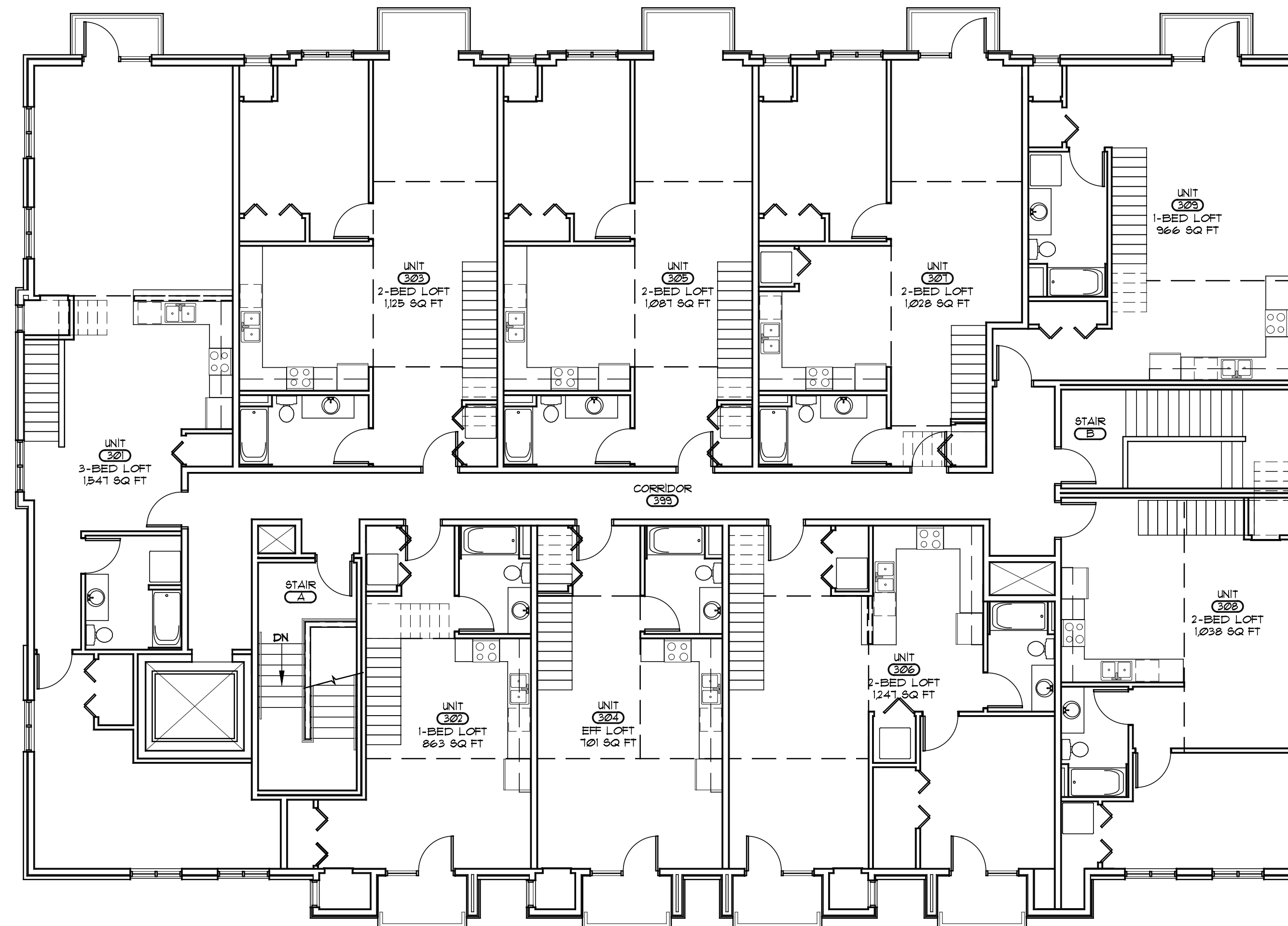
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1 PROPOSED SECOND FLOOR
A-1.3 SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"
NORTH

FLOOR PLAN GENERAL NOTES

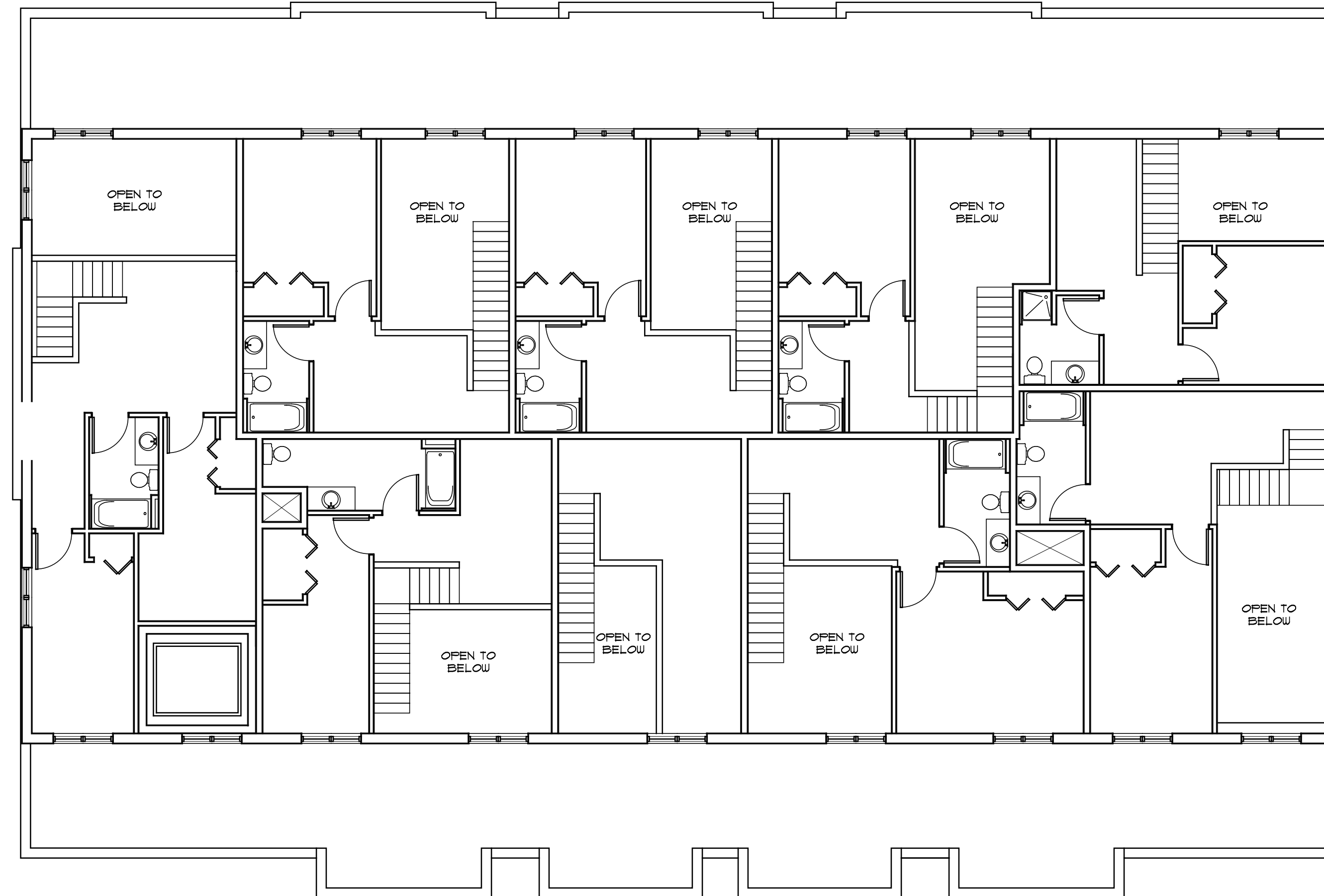
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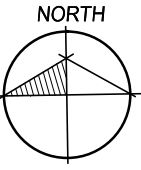


1 PROPOSED THIRD FLOOR
A-1.4 SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"

FLOOR PLAN GENERAL NOTES

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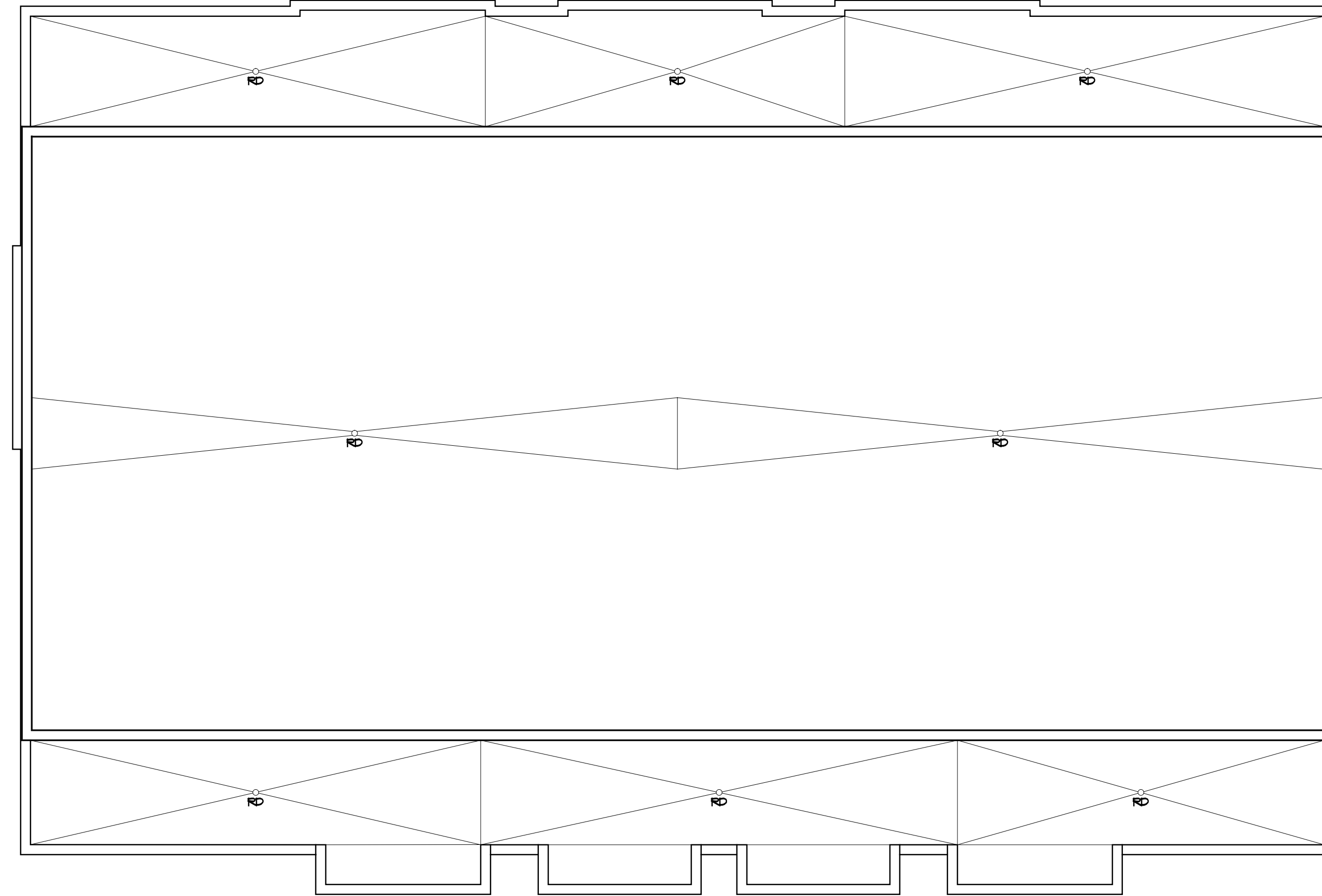


1
A-1.5 **PROPOSED LOFT LEVEL PLAN** 
SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"

- FLOOR PLAN GENERAL NOTES**
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REV	DATE

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1 PROPOSED ROOF PLAN
A-1.6 SCALE: 1/8" = 1' - 0"
0 4' 8' 16'-0"
NORTH

PROPOSED FACILITY FOR:
REGENT STREET DEVELOPMENT

1313 REGENT STREET
MADISON, WI

A-1.6

8.19.15

EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS

TAG	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION/REMARKS
MS-1	COUNTY MATERIALS	MS-348A	STEEL GRAY	8" RETURNS AND COLORED MORTAR TO MATCH
MS-2	COUNTY MATERIALS	--	--	UTILITY BRICK TO MATCH MS-1
MS-3	PRECAST	--	GRAY	12" WINDOW HEAD, 4" WINDOW SILL
LS-1	JAMES HARDIE	HARDIEPLANK LAP SIDING	SHERWIN WILLIAMS, MSU 7063, "NEBULOUS WHITE"	SELECT CEDARMILL LAP SIDING WITH 4" EXPOSURE
CM-1	--	--	PAC-CLAD "COLONIAL RED"	3/8" RIB CORRUGATED PREFINISHED METAL PANEL
CM-2	--	--	PAC-CLAD "COLONIAL RED"	PREFINISHED METAL CAP FLASHING AT CM-1 FASCIA AND SCREED AT ENTRY GANGWAY
CM-3	--	--	PAC-CLAD "CHARCOAL"	PREFINISHED METAL BASE FLASHING AND CAP FLASHING AT MASONRY
CM-4	--	--	PAC-CLAD "STONE WHITE"	PREFINISHED METAL CAP FLASHING AT HARDIEPLANK LAP SIDING
UF-1	--	--	WHITE	THERMALLY BROKEN VINYL WINDOWS AND PATIO DOORS WITH INSULATED LOW-E GLASS



1 PROPOSED EAST ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"



2 PROPOSED SOUTH ELEVATION
A-2.1 SCALE: 1/8" = 1' - 0"

EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS

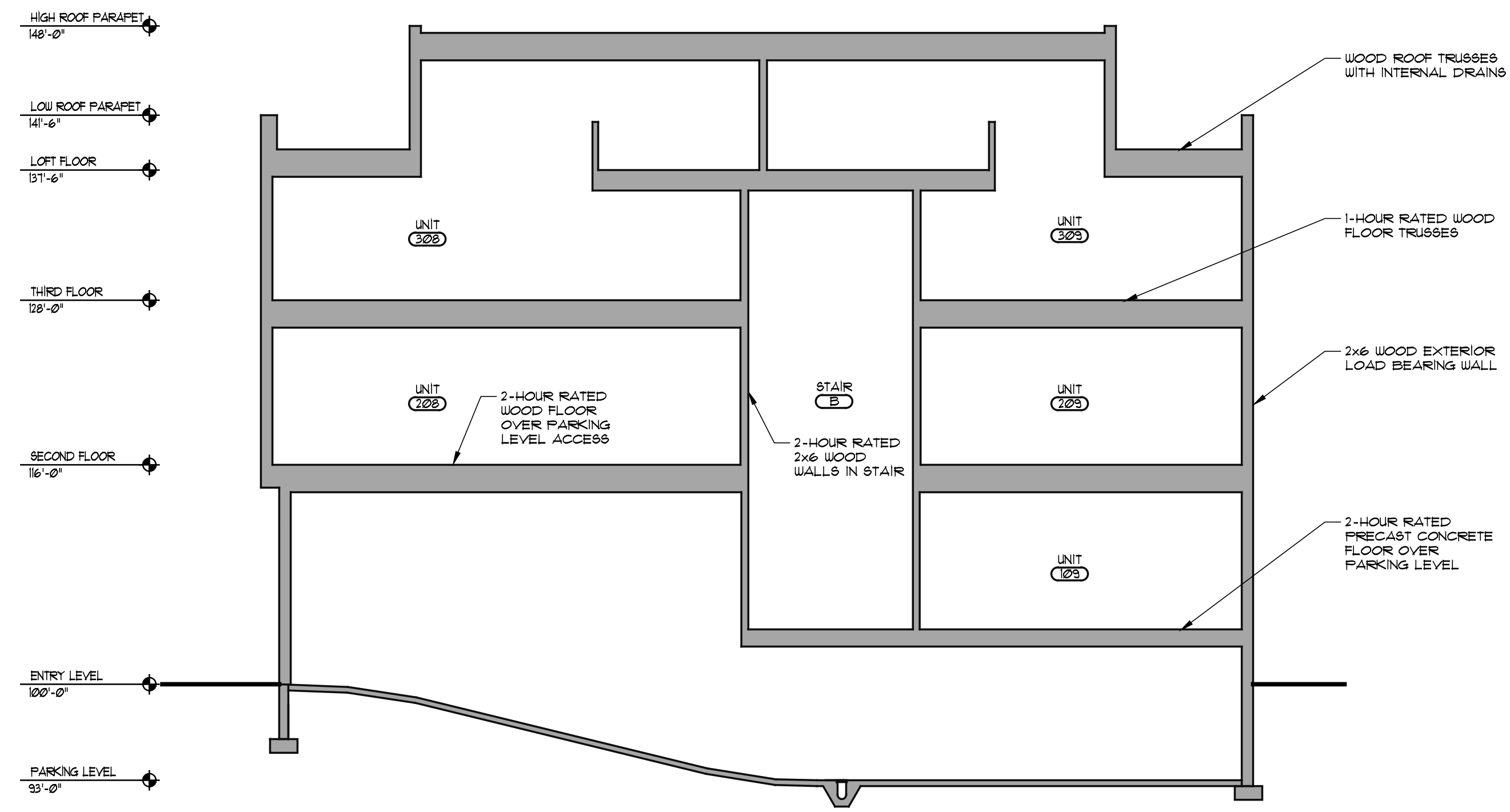
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CM-3	--	--	PAC-CLAD "CHARCOAL"	PREFINISHED METAL BASE FLASHING AND CAP FLASHING AT MASONRY
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UF-1	--	--	WHITE	THERMALLY BROKEN VINYL WINDOWS AND PATIO DOORS WITH INSULATED LOW-E GLASS



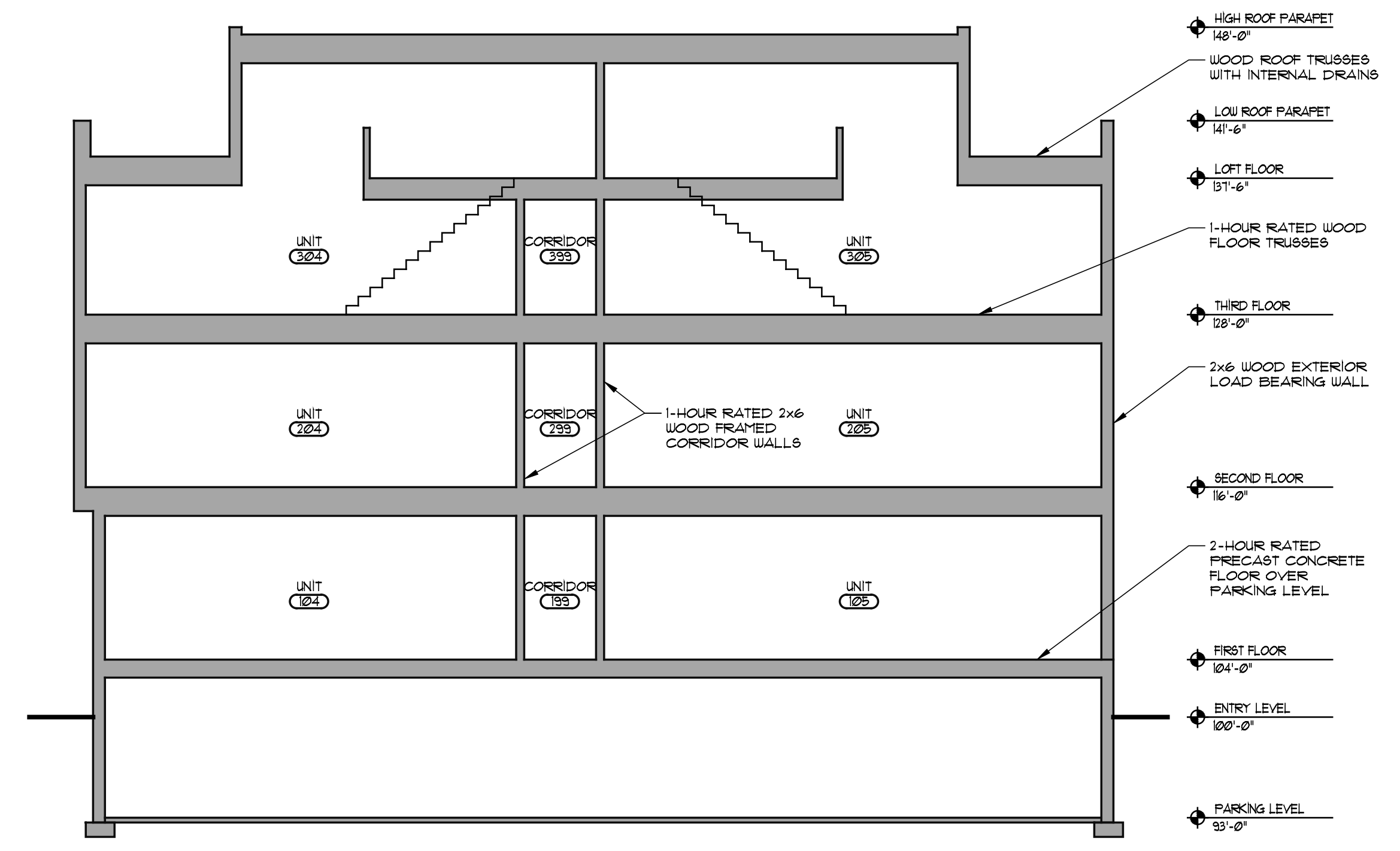
1 PROPOSED WEST ELEVATION
A-2.2 SCALE: 1/8" = 1' - 0"



2 PROPOSED NORTH ELEVATION
A-2.2 SCALE: 1/8" = 1' - 0"



1 SECTION AT PARKING ACCESS
A-3.1 SCALE: 1/8" = 1' - 0"



2 SECTION AT UNITS
A-3.1 SCALE: 1/8" = 1' - 0"



Looking northwest



Looking east from Bowen Court