

JOEL AND MARGO PLANT HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726



116 King St, Suite 202 (608) 204-7464
Madison, WI 53703 AroEberle.com

DEMOLITION PLAN GENERAL NOTES:

- FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
- REPAIR ALL WALLS AND FINISHES DISTURBED DURING DEMOLITION THAT ARE TO REMAIN.
- ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND STORED FOR REINSTALLATION IN NEW CEILING SYSTEM.
- PROVIDE SHORING OF EXISTING STRUCTURAL WALL AND ROOF MEMBERS PRIOR TO THE COMMENCEMENT OF ASSOCIATED DEMOLITION OPERATIONS.
- PROVIDE SLAB CUTTING/DEMOLITION AS NEEDED TO ROUTE EXISTING PLUMBING TO NEW PLUMBING FIXTURES. PATCH CONCRETE FLOORS AFTER WORK IS COMPLETE.
- ALL EXISTING WALLS TO REMAIN ARE SHOWN SHADED.

GENERAL NOTES

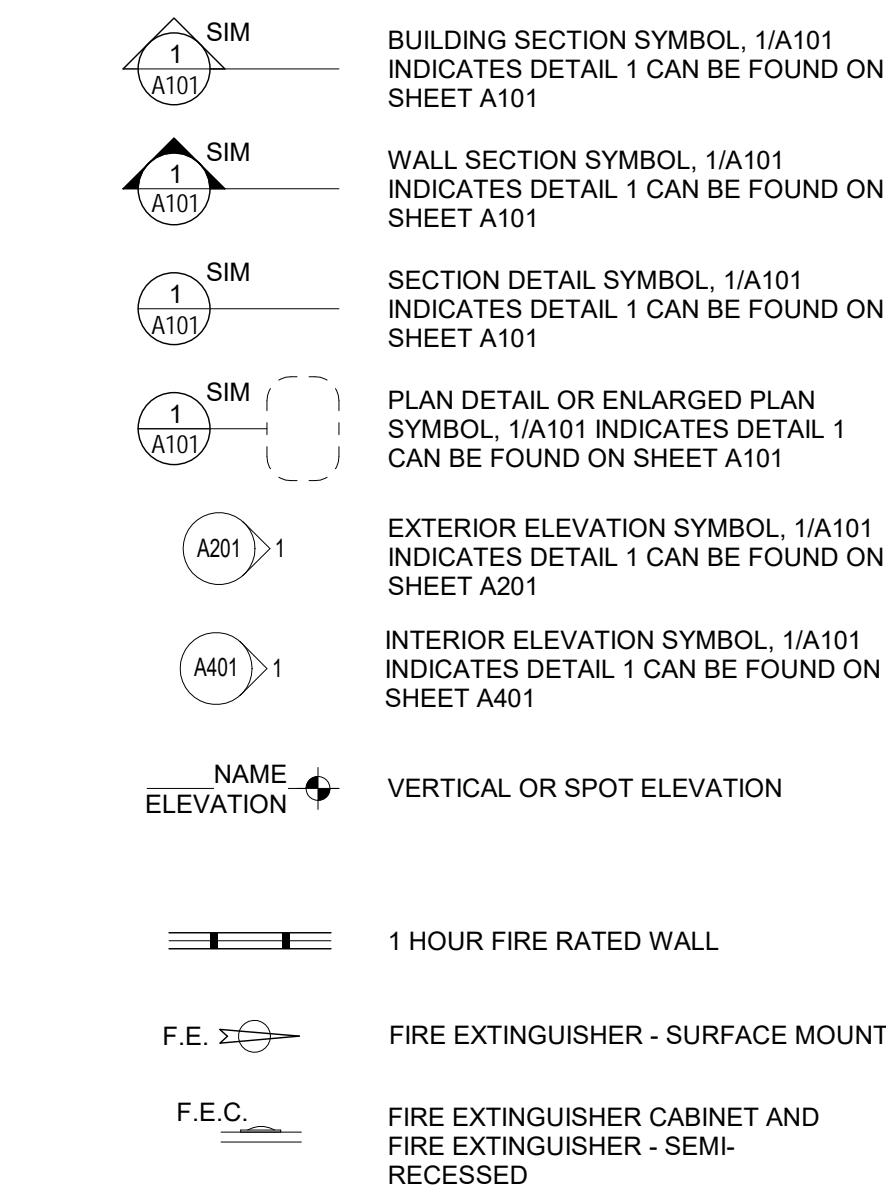
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, FEDERAL AND STATE REGULATIONS, AND ALL OF THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTION FEES, AND TAXES AS REQUIRED FOR THEIR PORTION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE WORK AND BECOME FAMILIAR WITH THE LOCAL CONDITIONS AND CODES RELATING TO THE WORK BEFORE SUBMITTING A PROPOSAL. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS, IN WRITING, AND ALLOW SUFFICIENT TIME FROM THE RECEIPT OF NOTIFICATION BY THE ARCHITECT TO FURNISH A CLARIFICATION BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DEFICIENCIES RELATED TO LOCAL CODES AND REGULATIONS OR UTILITIES AND ALLOW SUFFICIENT TIME FROM THE RECEIPT OF NOTIFICATION BY THE ARCHITECT FOR RESPONSES TO REQUESTS FOR CLARIFICATION.
- THE CONTRACTOR WILL ALLOW 7 CALENDAR DAYS FROM THE DATE OF RECEIPT BY THE ARCHITECT FOR RESPONSES TO REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR WORK REQUIRING SHOP FABRICATION FOR THE ARCHITECT TO REVIEW. THE CONTRACTOR SHALL ALLOW 10 CALENDAR DAYS FROM THE DATE OF RECEIPT BY THE ARCHITECT FOR REVIEW OF THE SHOP DRAWINGS. CONTRACTOR SHALL APPLY, INSTALL, CONNECT, ERECT, USE, CLEAN AND CONDITION MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT AS RECOMMENDED BY THE MANUFACTURER, UNLESS SPECIFIED TO THE CONTRARY. THE MANUFACTURER'S LATEST RECOMMENDATIONS AT THE TIME OF BIDDING SHALL BE USED.

ENERGY EFFICIENCY NOTES

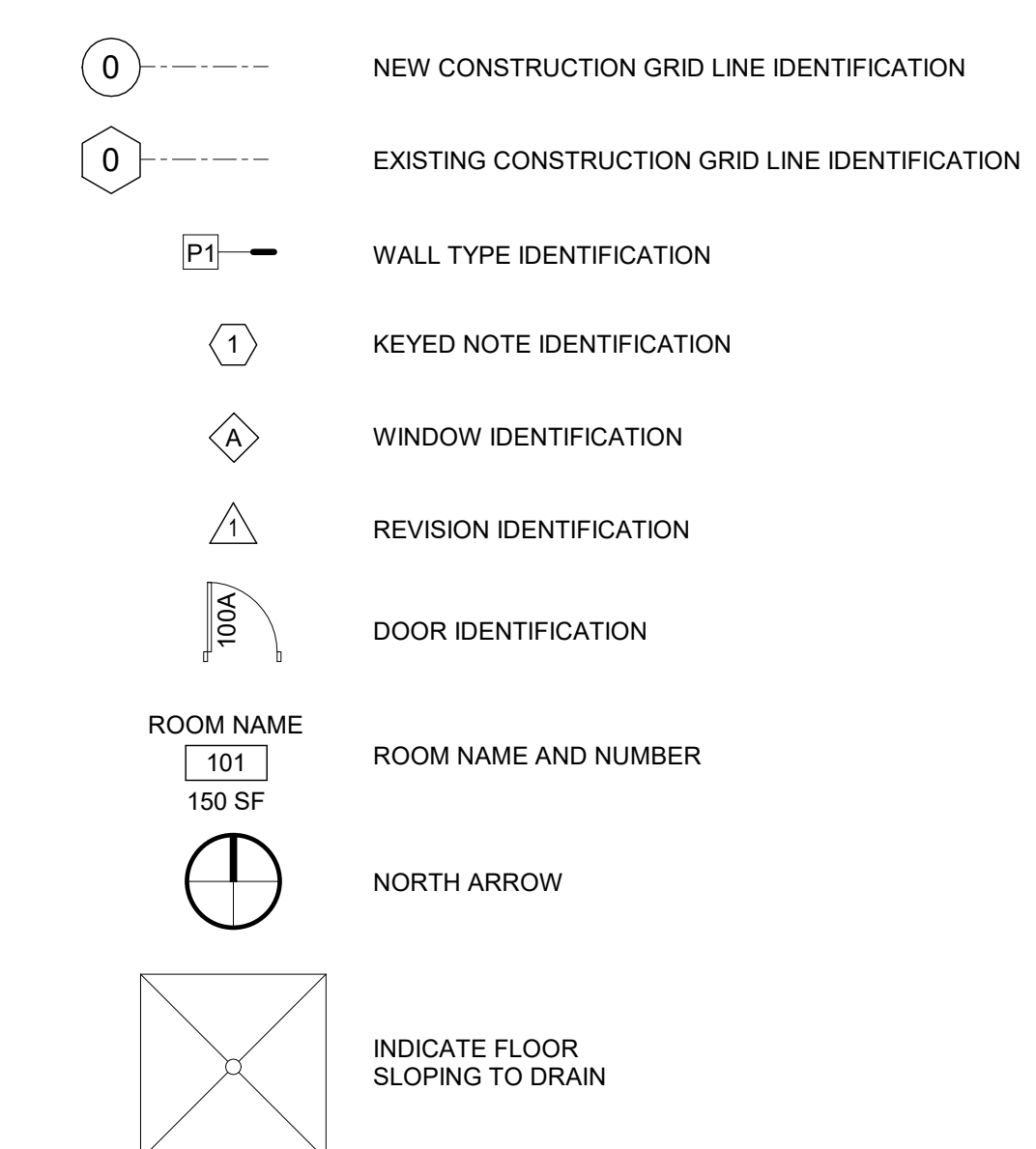
- NOT ALL OF THE NOTES BELOW MAY BE APPLICABLE
- PROJECT HAS BEEN DESIGNED TO MEET THE CRITERIA OF THE 2009 IECC
- ABOVE-GRADE THERMAL BARRIER: PROVIDE A MINIMUM R23 CAVITY INSULATION; BASIS OF DESIGN BIBS (BLOW-IN BLANKET SYSTEM) INSULATION
- ABOVE-GRADE AIR BARRIER: CONTINUOUS DUPONT TYVEK HOUSE WRAP AND FLASHING ACCESSORIES OR EQUAL
- CEILING ENVELOPE: PROVIDE IC-RATED RECESSED LIGHTING FIXTURES WHEREVER LIGHT FIXTURES ARE RECESSED INTO AN INSULATED CEILING
- PROVIDE AUTOMATIC OR GRAVITY DAMPERS AT ALL OUTDOOR AIR INTAKES AND EXHAUSTS
- FENESTRATION BASIS OF DESIGN: PELLA FIBERGLASS WINDOW UNITS; FOAM FILLED FRAMES; 1/16" LOW-E IGUS; U-FACTOR: .27; NFRC CERT # PEL-N-150-00692; OR EQUAL
- INSULATE ALL BASEMENT WALLS PER WALL SECTIONS ON A311
- PROTECT ANY EXPOSED INSULATION MATERIAL
- INSTALL LABELED INSULATION PRODUCTS AND SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS

LEGEND - PLAN SYMBOLS

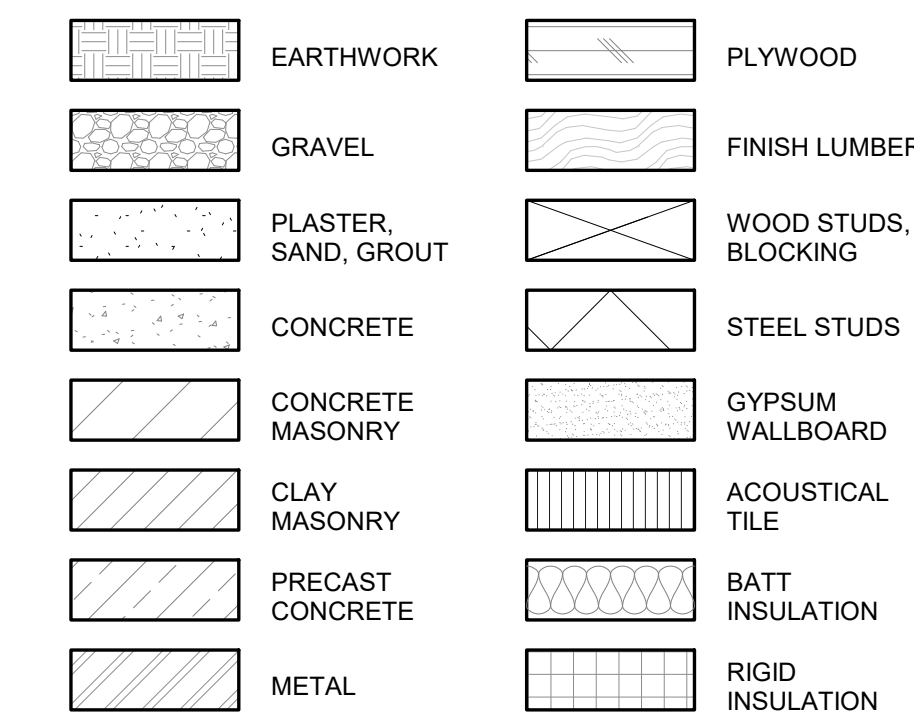
CALLOUTS



IDENTIFICATION



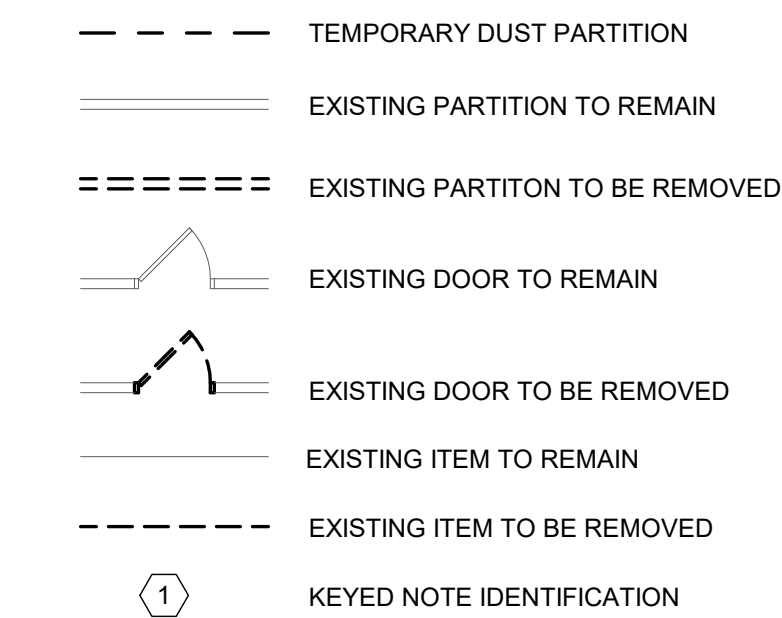
HATCH SYMBOLS



ABBREVIATIONS:

ADA - AMERICAN WITH DISABILITIES ACT
 AFF - ABOVE FINISHED FLOOR
 AV - AUDIO VISUAL
 CFCI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED
 CFM - CUBIC FOOT PER MINUTE
 CL - CENTERLINE
 CLNG - CEILING
 CLR - CEILING
 DIM - DIMENSION
 DN - DOWN
 EA - EACH
 EQ - EQUAL
 FD - FLOOR DRAIN
 FEC - FIRE EXTINGUISHER CABINET
 FRT - FIRE RESISTANT TREATED
 GWB - GYPSUM WALL BOARD
 MAX - MAXIMUM
 MIN - MINIMUM
 MISC - MISCELLANEOUS
 MTD - MOUNTED
 NIC - NOT IN CONTRACT
 NTS - NOT TO SCALE
 OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
 OFOI - OWNER FURNISHED OWNER INSTALLED
 OPP - OPPOSITE
 SIM - SIMILAR
 SS - STAINLESS STEEL
 STD - STANDARD
 THK - THICK
 TYP - TYPICAL
 UNO - UNLESS OTHERWISE NOTED
 UNO - UNLESS NOTED OTHERWISE
 W/ - WITH

DEMOLITION PLAN SYMBOL LEGEND



No.	Description	Date

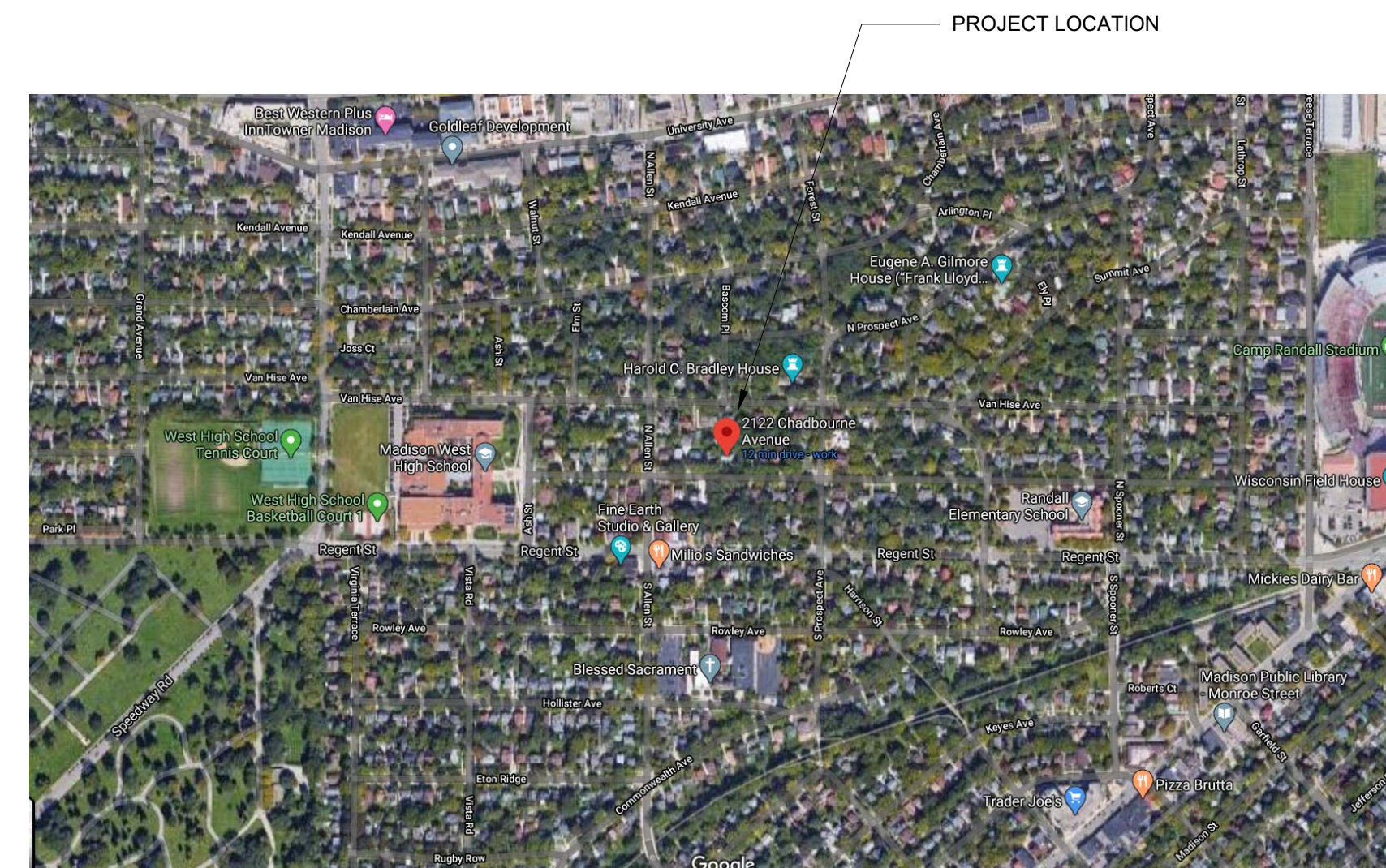
Design Team

ARCHITECT:

ARO EBERLE ARCHITECTS INC.
 116 KING STREET, SUITE 202
 MADISON, WI 53703
 CONTACT: DOUG PAHL, AIA
 PH: (608) 204-7464
 EMAIL: PAHL@AROEERLE.COM

Sheet List

GENERAL	STRUCTURAL	DEMOLITION	ARCHITECTURAL
T001 COVER SHEET	S100 FOOTING/FOUNDATION PLAN - HOUSE	D100 FIRST AND SECOND FLOOR DEMOLITION PLAN - HOUSE	A001 DOOR AND ROOM FINISH SCHEDULE
T002 EXISTING CONDITIONS PHOTOS	S101 SECOND FLOOR & ROOF FRAMING PLAN - HOUSE		A100 SITE PLAN AND EXISTING CONDITIONS SURVEY
	S102 SECOND FLOOR & ROOF FRAMING PLAN - GARAGE		A101 BASEMENT AND FIRST FLOOR PLAN - HOUSE
			A102 SECOND FLOOR AND ROOF PLAN - HOUSE
			A103 FIRST FLOOR, SECOND FLOOR AND ROOF PLAN - GARAGE
			A200 EXTERIOR ELEVATIONS - HOUSE
			A201 EXTERIOR ELEVATIONS - GARAGE
			A311 EXTERIOR SECTIONS AND WALL SECTIONS - HOUSE
			A312 EXTERIOR WALL SECTIONS - HOUSE
			A314 EXTERIOR SECTIONS AND WALL SECTIONS - GARAGE



1 PROJECT LOCATION
 1/4" = 1'-0"

JOEL AND MARGO
 PLANT
 HOME ADDITION
 AND RENOVATION
 2122 CHADBOURNE AVE
 MADISON, WI 53726
 COVER SHEET

CONDITIONAL USE PERMIT APPLICATION
 Project number PLN-19-01
 Date 04/20/2020

T001



VIEW FROM STREET



VIEW FROM STREET



SOUTH FACADE



EAST FACADE



WEST FACADE



NORTH FACADE

No.	Description	Date



GARAGE



GARAGE SE CORNER



GARAGE SW CORNER

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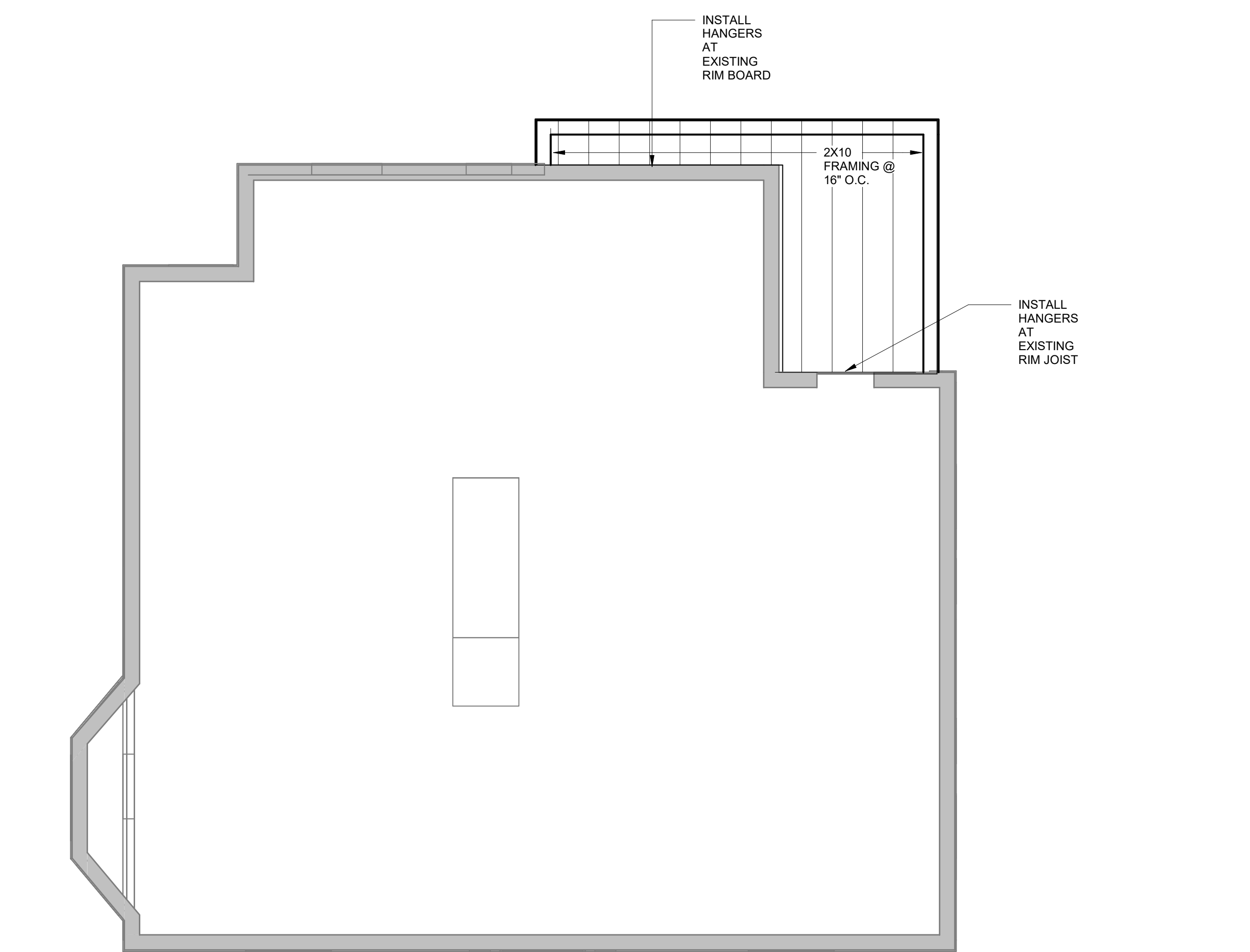
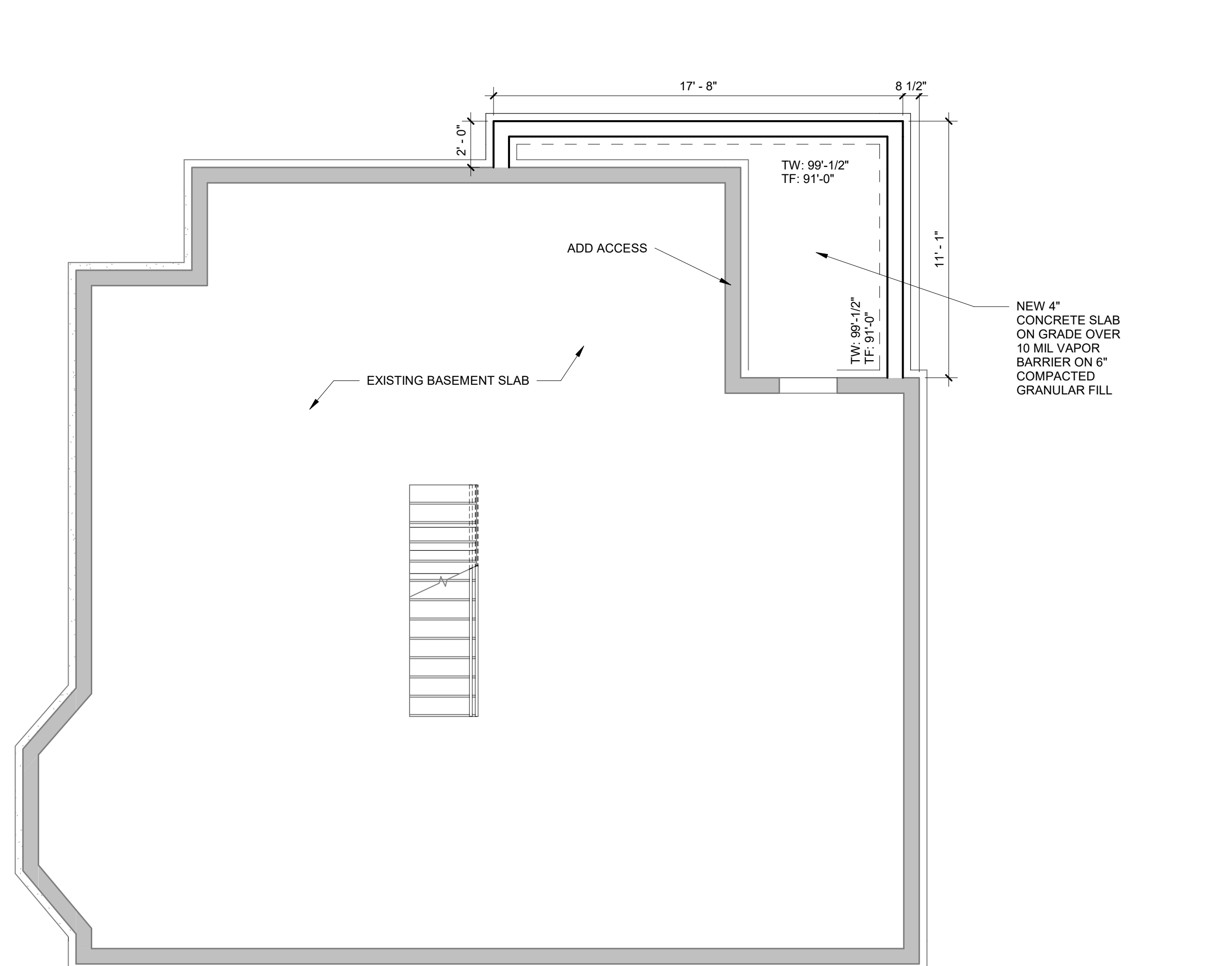
**EXISTING
CONDITIONS
PHOTOS**

CONDITIONAL USE PERMIT APPLICATION
Project number PLN-19-01
Date 04/20/2020

T002

KEYED NOTES

STRUCTURAL COMPONENT SCHEDULE						
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	END BEARING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIES	(2) #5 BARS TOP AND BOTTOM		CAST IN PLACE CONCRETE TO BE CONFIRMED BY STRUCTURAL ANALYSIS
B1	BEAM TYPE 1	W8X24	8"			
H1	HEADER TYPE 1	(2) 2X6	5 1/2"			
H2	HEADER TYPE 2	(2) 2X8	7 1/4"			
H3	HEADER TYPE 3	(2) 2X10	9 1/4"			
H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"			



No.	Description	Date

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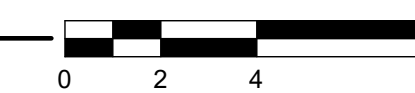
2122 CHADBOURNE AVE
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FOOTING/FOUNDATION
PLAN - HOUSE

CONDITIONAL USE PERMIT APPLICATION

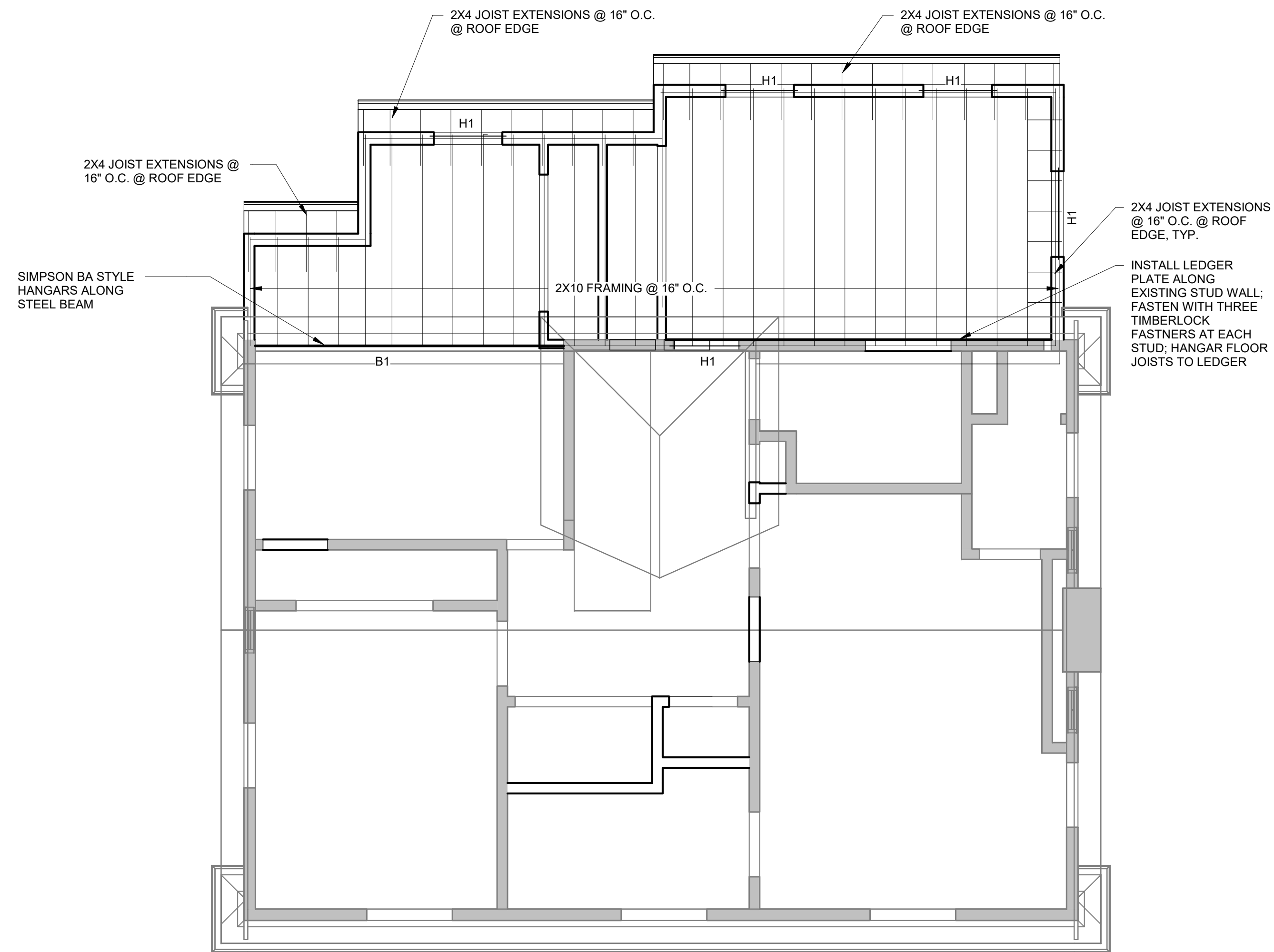
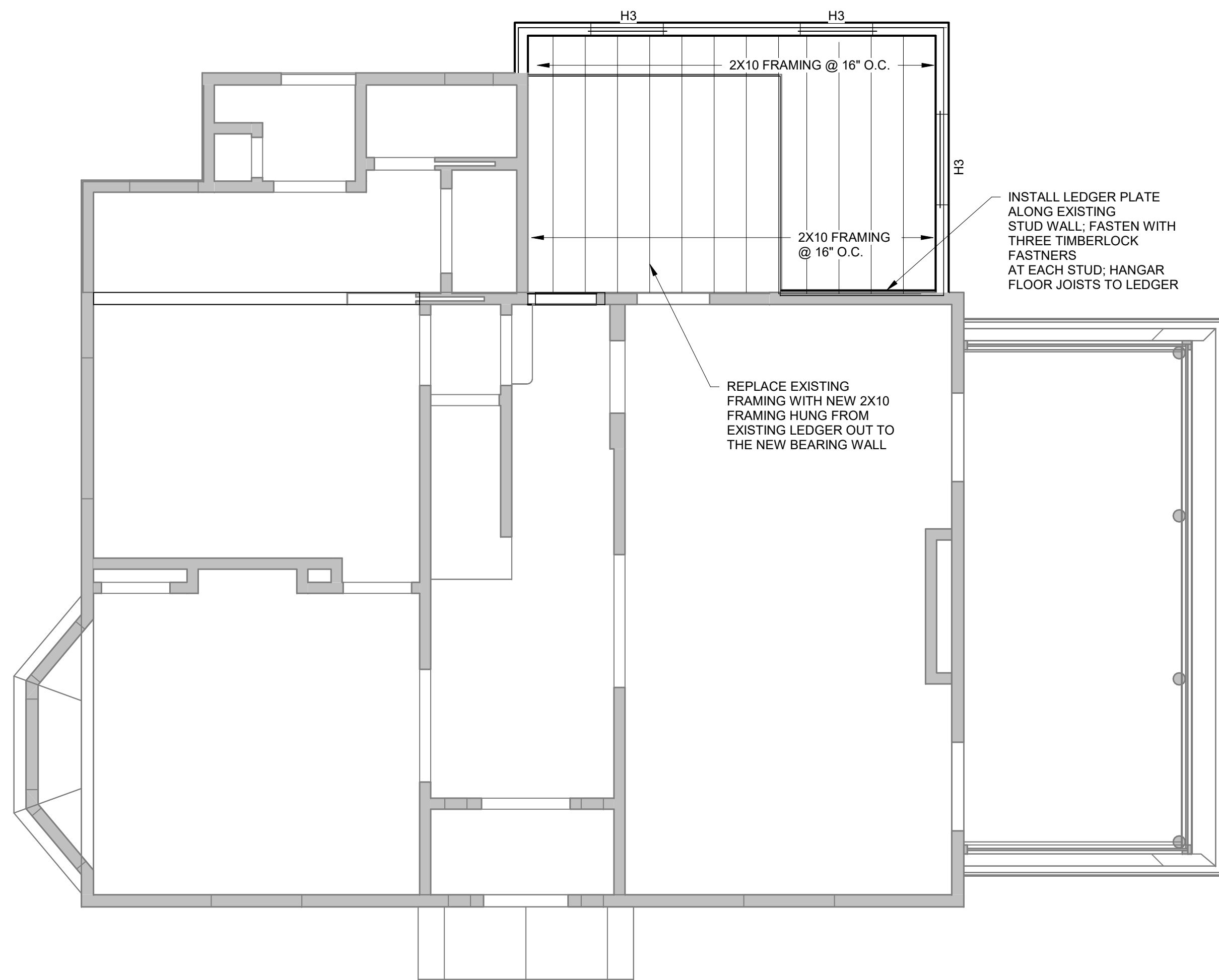
Project number PLN-19-01
Date 04/20/2020

S100



KEYED NOTES

STRUCTURAL COMPONENT SCHEDULE						
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	END BEARING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIABLE	(2) #5 BARS TOP AND BOTTOM		CAST IN PLACE CONCRETE
B1	BEAM TYPE 1	W8X24	8"			TO BE CONFIRMED BY STRUCTURAL ANALYSIS
H1	HEADER TYPE 1	(2) 2X6	5 1/2"			
H2	HEADER TYPE 2	(2) 2X8	7 1/4"			
H3	HEADER TYPE 3	(2) 2X10	9 1/4"			
H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"			



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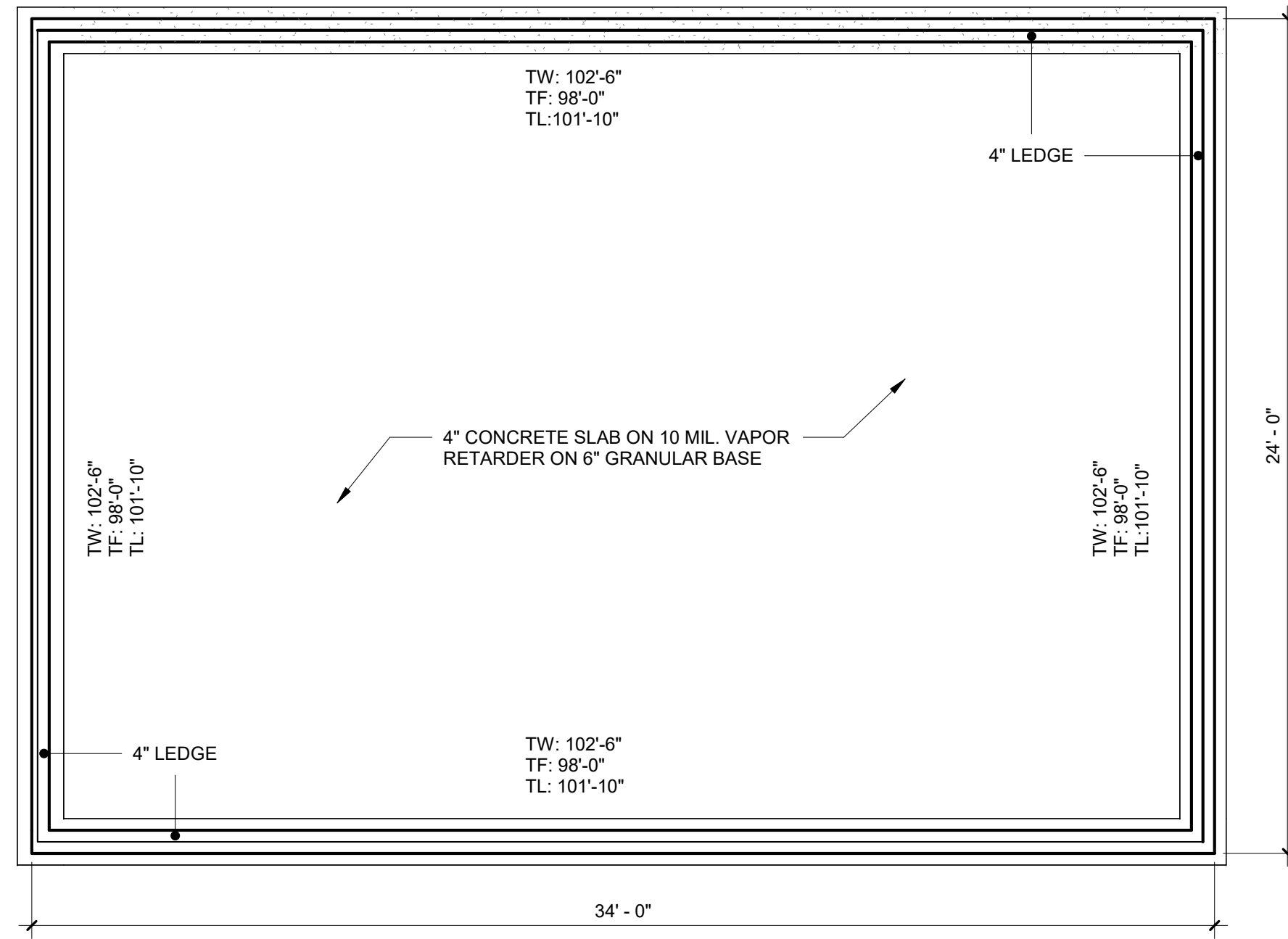
SECOND FLOOR & ROOF FRAMING PLAN - HOUSE

CONDITIONAL USE PERMIT APPLICATION
Project number: PLN-19-01
Date: 04/20/2020

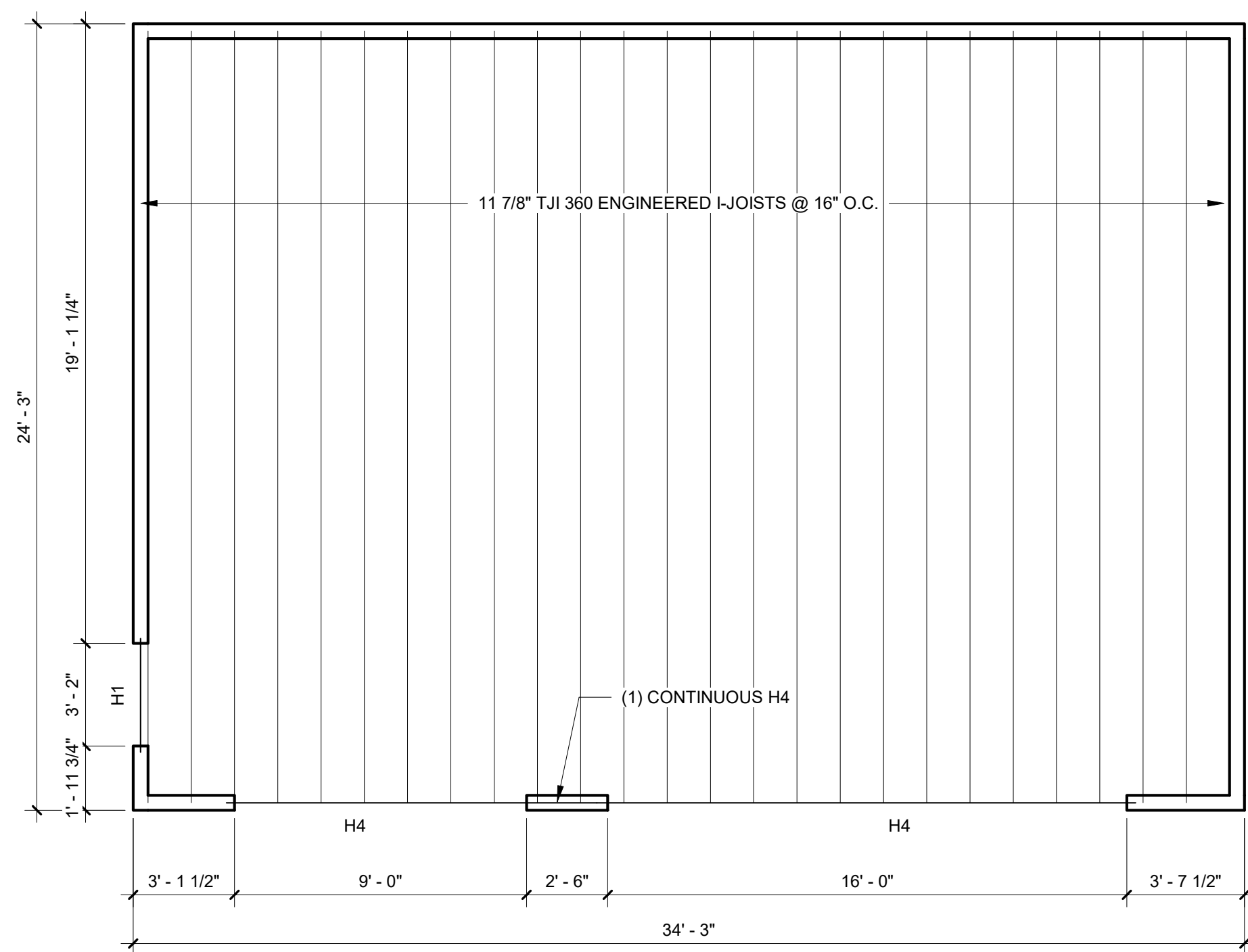
S101

KEYED NOTES

STRUCTURAL COMPONENT SCHEDULE						
CODE	TYPE	DIMENSIONS	DEPTH	REINFORCING	END BEARING	DESCRIPTION
FW1	FOUNDATION WALL 1	8" THICK	VARIABLE	(2) #5 BARS TOP AND BOTTOM		CAST IN PLACE CONCRETE
B1	BEAM TYPE 1	W8X24	8"			TO BE CONFIRMED BY STRUCTURAL ANALYSIS
H1	HEADER TYPE 1	(2) 2X6	5 1/2"			
H2	HEADER TYPE 2	(2) 2X8	7 1/4"			
H3	HEADER TYPE 3	(2) 2X10	9 1/4"			
H4	HEADER TYPE 4	(2) 1 3/4" X 11 7/8" LVL	11 7/8"			



3 FOUNDATION PLAN - GARAGE
1/4" = 1'-0" 0 2 4 8



2 ROOF FRAMING PLAN - GARAGE
1/4" = 1'-0" 0 2 4 8

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**SECOND FLOOR &
ROOF FRAMING
PLAN - GARAGE**

CONDITIONAL USE PERMIT APPLICATION
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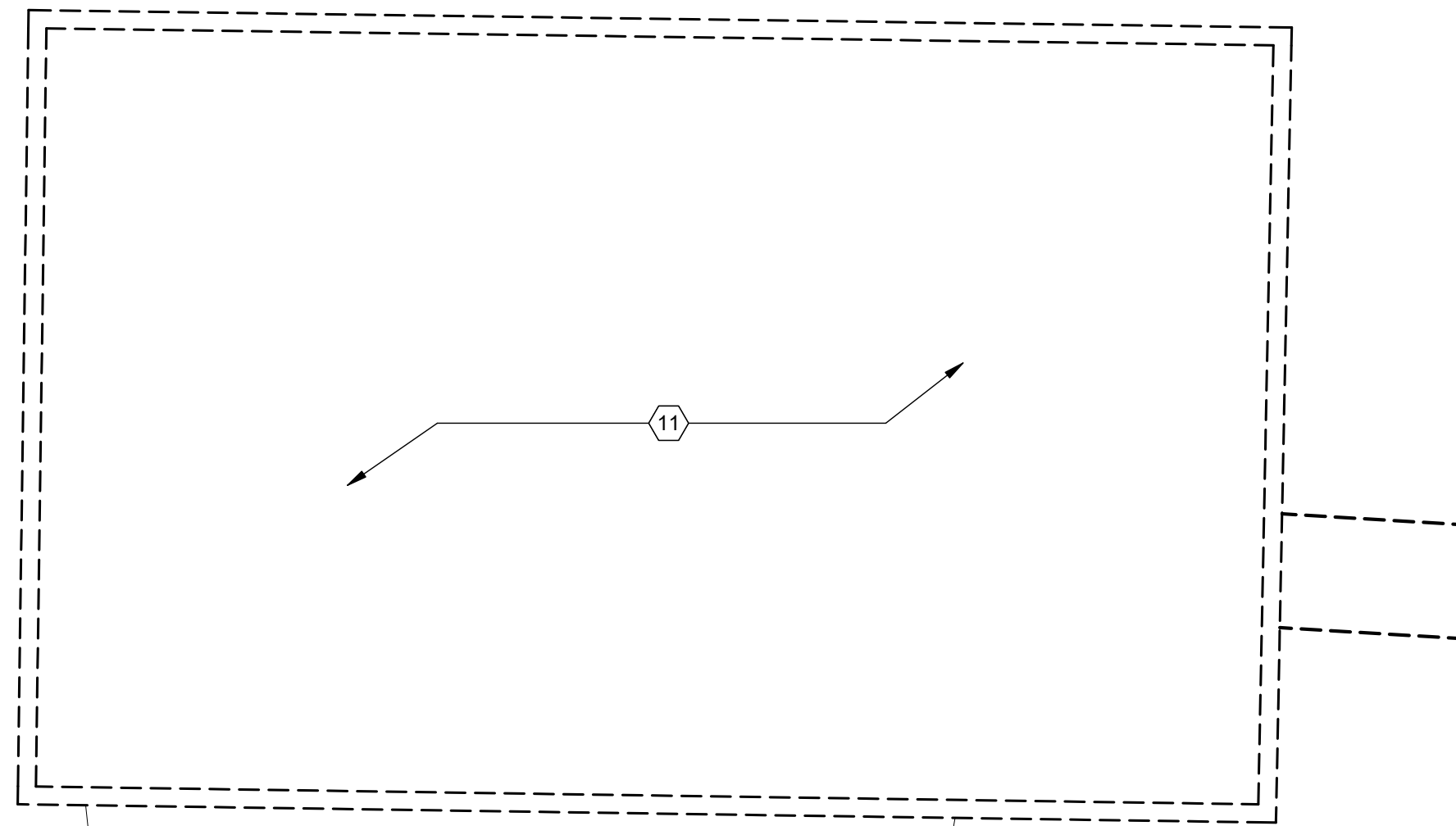
S102

KEYED NOTES	
1	REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE; RETAIN FOR REUSE
2	REMOVE PORTION OF WALL TO LIMIT REQUIRED FOR NEW DOOR - CAUTION - LOAD BEARING WALL - TEMPORARILY SUPPORT AS REQUIRED - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
3	REMOVE PORTION OF WALL TO LIMIT SHOWN - CAUTION - LOAD BEARING WALL - TEMPORARILY SUPPORT AS REQUIRED - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
4	REMOVE WINDOW, FRAME, AND ASSOCIATE HARDWARE
5	REMOVE PORTION OF WALL TO LIMIT SHOWN - PATCH FLOORING AS NECESSARY, BLENDING NEW WOOD FLOORING WITH EXISTING
6	REMOVE FLAT ROOF SHOWN HATCHED - PROVIDE TEMPORARY PROTECTION FROM THE ELEMENTS
7	REMOVE RAILING IN ITS ENTIRETY
8	REMOVE EXISTING SIDING AND PREP FOR INTERIOR GWB
9	REMOVE AND RELOCATE EXISTING AIR CONDITIONING UNIT
10	REMOVE GUTTER AND ASSOCIATED DOWNSPOUTS THIS ROOF EDGE
11	DEMO EXISTING GARAGE IN ITS ENTIRETY. REMOVE EXISTING SLAB AND FOOTINGS. BE CAREFUL TO PROTECT ADJACENT TREES IN THE VICINITY OF THE DEMOLITION; INCLUDE CONSULTATION FROM A PROFESSIONAL ARBORIST PRIOR TO COMMENCING WITH WORK

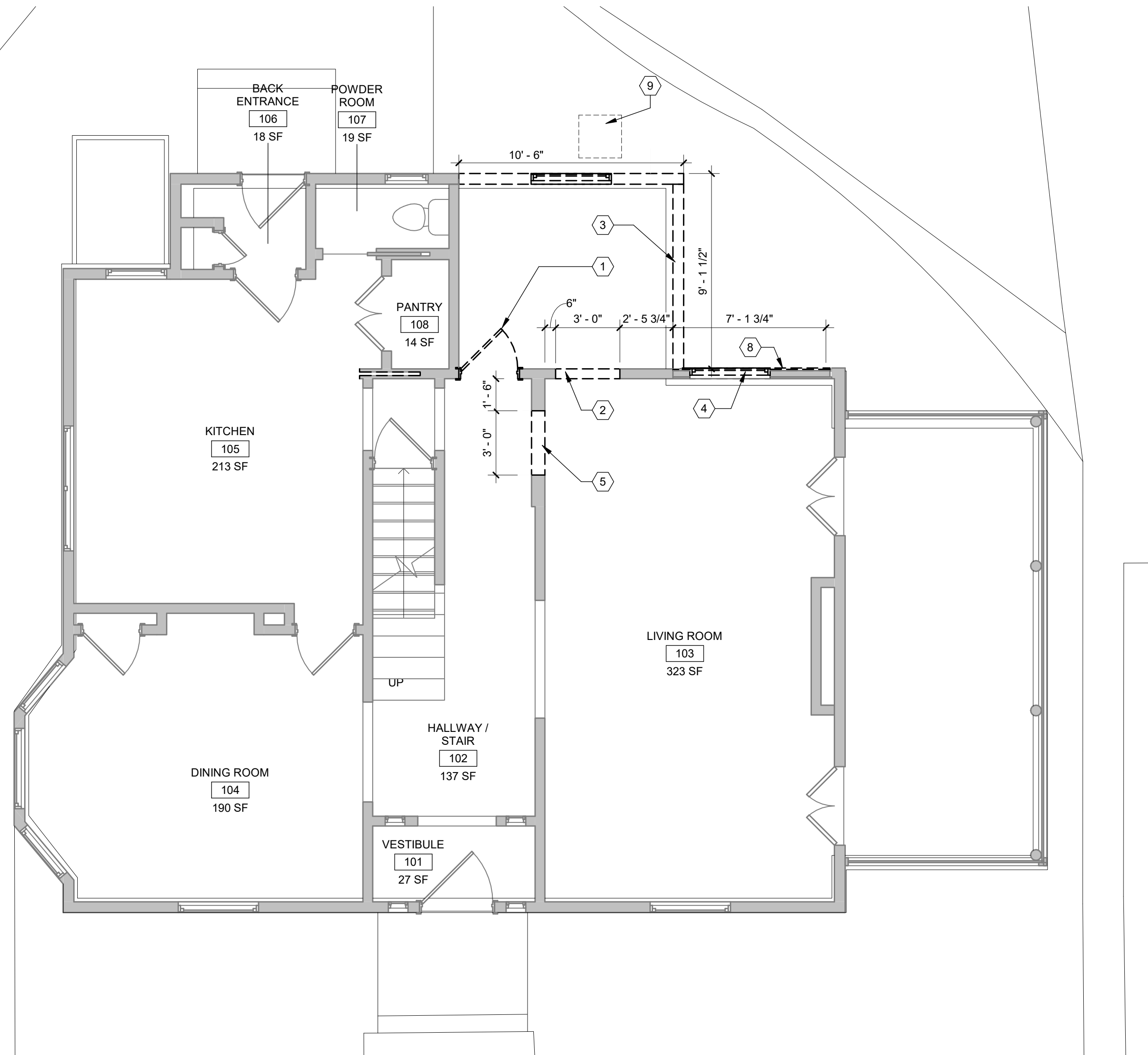
DEMOLITION PLAN GENERAL NOTES:	
1.	FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
2.	REPAIR ALL WALLS AND FINISHES DISTURBED DURING DEMOLITION THAT ARE TO REMAIN.
3.	ALL EXISTING LIGHT FIXTURES ARE TO BE REMOVED AND STORED FOR REINSTALLATION IN NEW CEILING SYSTEM.
4.	PROVIDE SHORING OF EXISTING STRUCTURAL WALL AND ROOF MEMBERS PRIOR TO THE COMMENCEMENT OF ASSOCIATED DEMOLITION OPERATIONS.
5.	PROVIDE SLAB CUTTING/DEMOLITION AS NEEDED TO ROUTE EXISTING PLUMBING TO NEW PLUMBING FIXTURES. PATCH CONCRETE FLOORS AFTER WORK IS COMPLETE.
6.	ALL EXISTING WALLS TO REMAIN ARE SHOWN SHADED.

DEMOLITION PLAN SYMBOL LEGEND

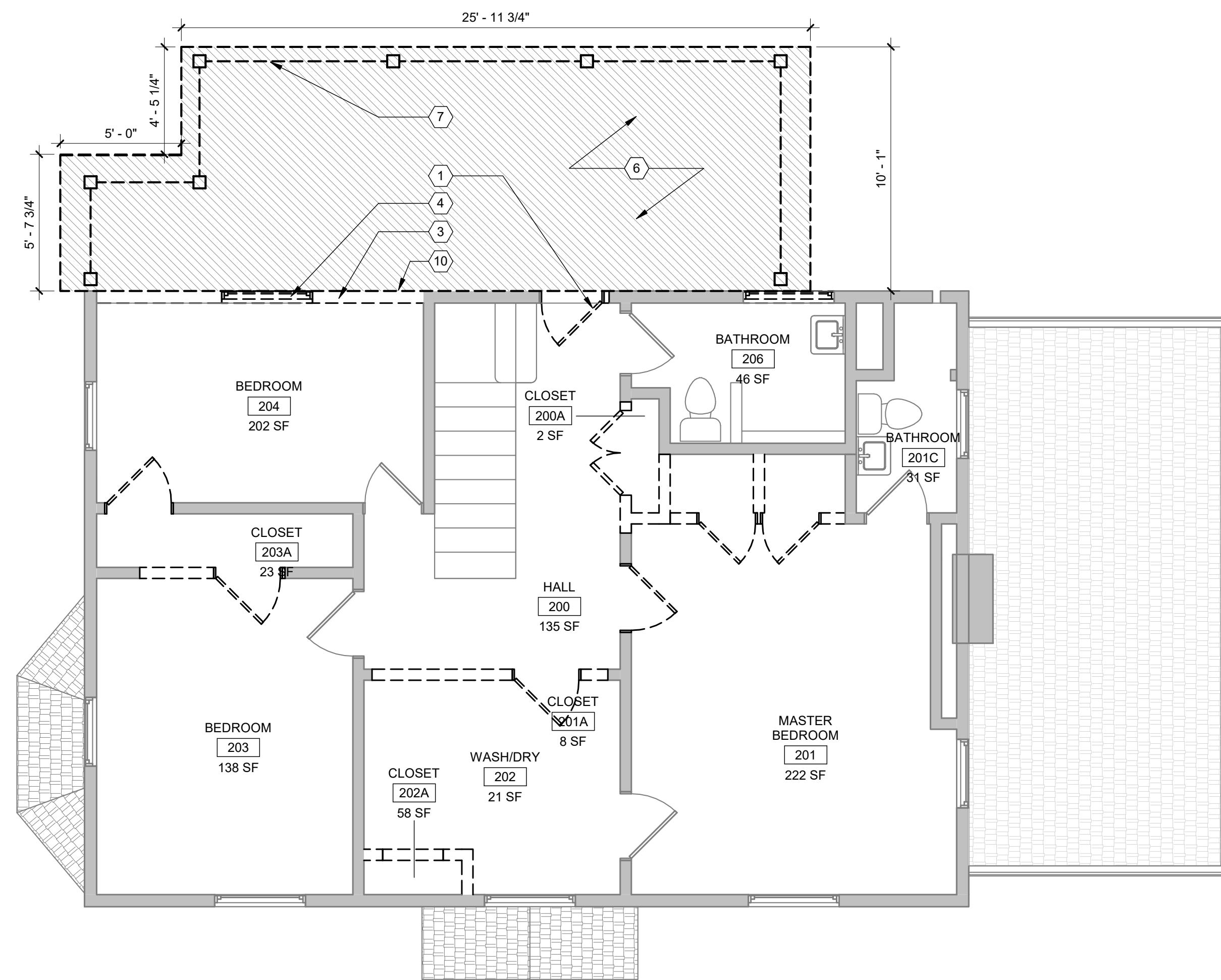
- TEMPORARY DUST PARTITION
- EXISTING PARTITION TO REMAIN
- === EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING ITEM TO REMAIN
- EXISTING ITEM TO BE REMOVED
- ① KEYED NOTE IDENTIFICATION



3 FIRST FLOOR DEMOLITION PLAN - GARAGE
1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN - HOUSE
1/4" = 1'-0"



1 SECOND FLOOR DEMOLITION PLAN - HOUSE
1/4" = 1'-0"

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JOEL AND MARGO PLANT

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2122 CHADBOURNE AVE
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FIRST AND SECOND FLOOR DEMOLITION PLAN - HOUSE

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D100

ROOM FINISH SCHEDULE												
Level	ROOM NO.	ROOM NAME	Area	FLOOR	BASE	WALLS				CEILING		REMARKS
						NORTH	SOUTH	EAST	WEST	MTL	HEIGHT	
Not Placed	G201	MUD ROOM	Not Placed									
BASEMENT	001	EXISTING BASEMENT	1165 SF									
FIRST FLOOR	101	VESTIBULE	27 SF									
FIRST FLOOR	102	HALLWAY / STAIR	137 SF									
FIRST FLOOR	103	LIVING ROOM	323 SF									
FIRST FLOOR	104	DINING ROOM	190 SF									
FIRST FLOOR	105	KITCHEN	213 SF									
FIRST FLOOR	106	BACK ENTRANCE	18 SF									
FIRST FLOOR	107	POWDER ROOM	19 SF									
FIRST FLOOR	108	PANTRY	14 SF									
FIRST FLOOR	109	OFFICE	180 SF									
FIRST FLOOR	G100	GARAGE	744 SF									
SECOND FLOOR	200	HALL	135 SF									
SECOND FLOOR	200A	CLOSET	2 SF									
SECOND FLOOR	201	MASTER BEDROOM	222 SF									
SECOND FLOOR	201A	CLOSET	8 SF									
SECOND FLOOR	201C	BATHROOM	31 SF									
SECOND FLOOR	202	WASH/DRY	21 SF									
SECOND FLOOR	202A	CLOSET	58 SF									
SECOND FLOOR	203	BEDROOM	138 SF									
SECOND FLOOR	203A	CLOSET	23 SF									
SECOND FLOOR	204	BEDROOM	202 SF									
SECOND FLOOR	204A	CLOSET	19 SF									
SECOND FLOOR	205	BEDROOM	179 SF									
SECOND FLOOR	205A	CLOSET	19 SF									
SECOND FLOOR	206	BATHROOM	46 SF									

DOOR AND HARDWARE SCHEDULE																	
DOOR NUMBER	DOOR							FRAME						MISCELLANEOUS		REMARKS	
	LEAF SIZE			TYPE	MAT'L	GLAZING TYPE	FINISH	DETAILS									
	QTY.	WIDTH	HEIGHT					TYPE	MAT'L	HEAD	JAMB	OTHER	FINISH	LABEL	HDWR SET		
109		3'-0"	7'-0"														
200A		1'-6"	7'-0"														
201		2'-8"	7'-0"														
201A		3'-0"	7'-0"	BF													
202		6'-0"	7'-0"	BF													
202C		6'-0"	7'-0"	BF													
202D		6'-0"	7'-0"	BF													
203A		6'-0"	7'-0"	BF													
205		2'-8"	7'-0"														
G100		3'-0"	7'-0"														
G100A	(1)	9'-0"	7'-0"	SC													
G100B	(1)	16'-0"	7'-0"	SC													

Window Schedule					
Level	Family and Type	Phase Created	Height	Width	Comments
FIRST FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
FIRST FLOOR	Window-Fixed: 11 X 54	Existing	4'-6"	0'-11"	Front Entry Sidelight
FIRST FLOOR	Window-Fixed: 11 X 54	Existing	4'-6"	0'-11"	Front Entry Sidelight
FIRST FLOOR	Window-Fixed: 11 X 54	Existing	4'-6"	0'-11"	Front Entry Sidelight
FIRST FLOOR	Window-Fixed: 11 X 54	Existing	4'-6"	0'-11"	Front Entry Sidelight
FIRST FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
FIRST FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
FIRST FLOOR	Window-Double-Hung 2X3 MUNTINS: 34.5 x 54	Existing	4'-6"	2'-10 1/2"	
FIRST FLOOR	Window-Double-Hung 2X3 MUNTINS: 34.5 x 54	Existing	4'-6"	2'-10 1/2"	
FIRST FLOOR	Window-Double-Hung: 34 x 50	Existing	4'-2"	2'-10"	
FIRST FLOOR	Window-Double-Hung: 24" x 42"	Existing	3'-6"	2'-0"	
FIRST FLOOR	Window-Double-Hung-Double: 70" x 46"	Existing	3'-10"	5'-10"	
FIRST FLOOR	Window-Double-Hung 2X3 MUNTINS: 45 x 54	New Construction	4'-6"	3'-9"	
FIRST FLOOR	Window-Double-Hung 2X3 MUNTINS: 36 x 54	New Construction	4'-6"	3'-0"	
FIRST FLOOR	Window-Double-Hung 2X3 MUNTINS: 36 x 54	New Construction	4'-6"	3'-0"	
SECOND FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
SECOND FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
SECOND FLOOR	Window-Double-Hung 2X4 MUNTINS: 45 x 54	Existing	4'-6"	3'-9"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 34 x 55	Existing	4'-6"	2'-10"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 34 x 55	Existing	4'-6"	2'-10"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 34 x 55	Existing	4'-6"	2'-10"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 34 x 55	Existing	4'-6"	2'-10"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 36 x 54	New Construction	4'-6"	3'-0"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 45 x 54	New Construction	4'-6"	3'-9"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 36 x 54	New Construction	4'-6"	3'-0"	
SECOND FLOOR	Window-Double-Hung 2X3 MUNTINS: 36 x 54	New Construction	4'-6"	3'-0"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
SECOND FLOOR	Window-Fixed: 36" X 30"	New Construction	2'-6"	3'-1"	
THIRD FLOOR	Window-Double-Hung: 24" x 36"	New Construction	3'-0"	2'-0"	
THIRD FLOOR	Window-Double-Hung: 24" x 36"	New Construction	3'-0"	2'-0"	

Grand total: 34

DOOR AND HARDWARE SCHEDULE ABBREVIATIONS	DOOR AND HARDWARE SCHEDULE GENERAL NOTES
DOOR/FRAME MATERIALS AL = ALUMINUM BF = BIFOLD EX = EXISTING HM = HOLLOW METAL SC = SECTIONAL SS = STAINLESS STEEL ST = STEEL WD = WOOD	1. ALL DOORS TO MATCH EXISTING DOOR STYLE, FINISH, HARDWARE 2. 3.

No.	Description	Date

JOEL AND MARGO
PLANT

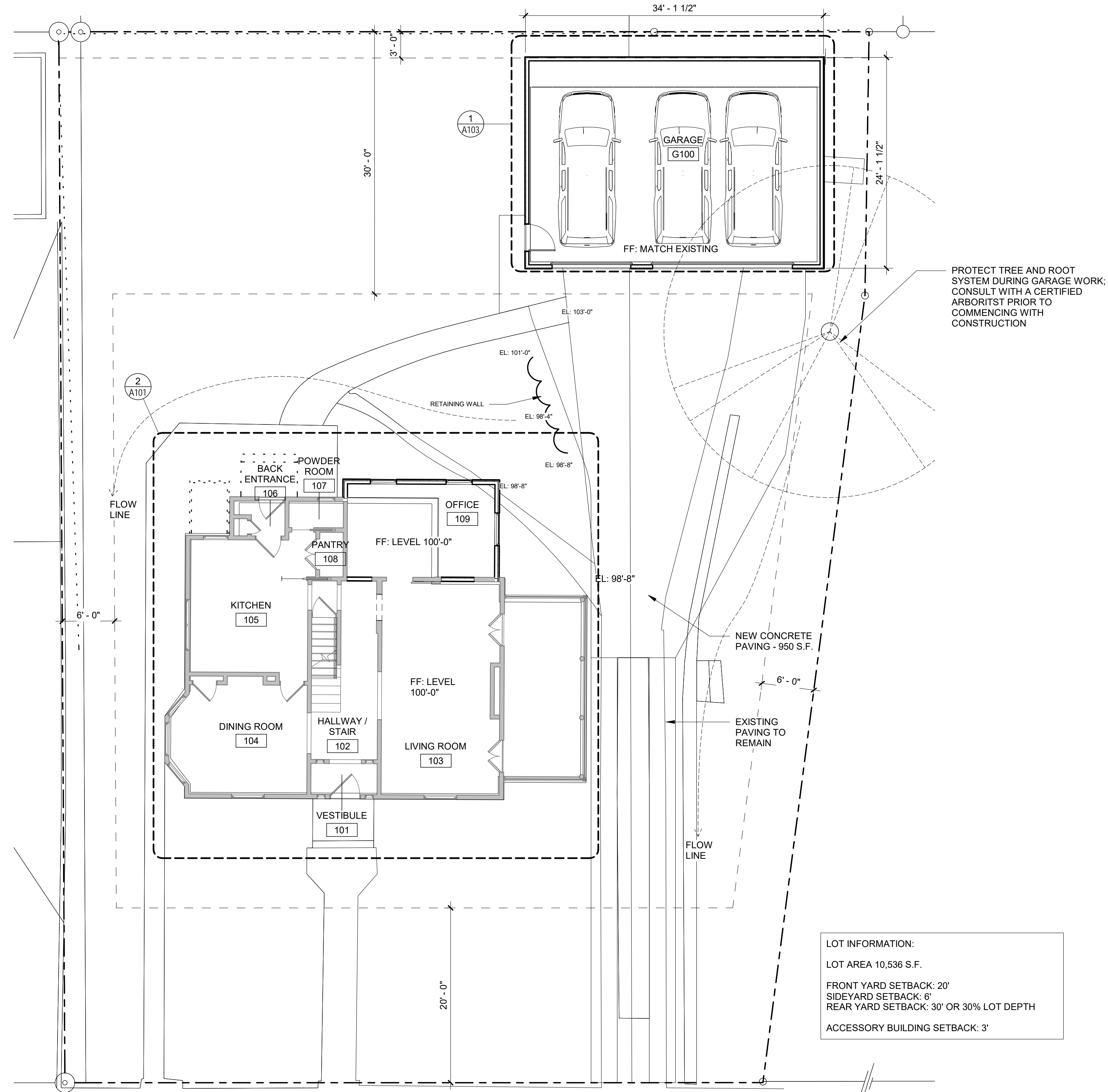
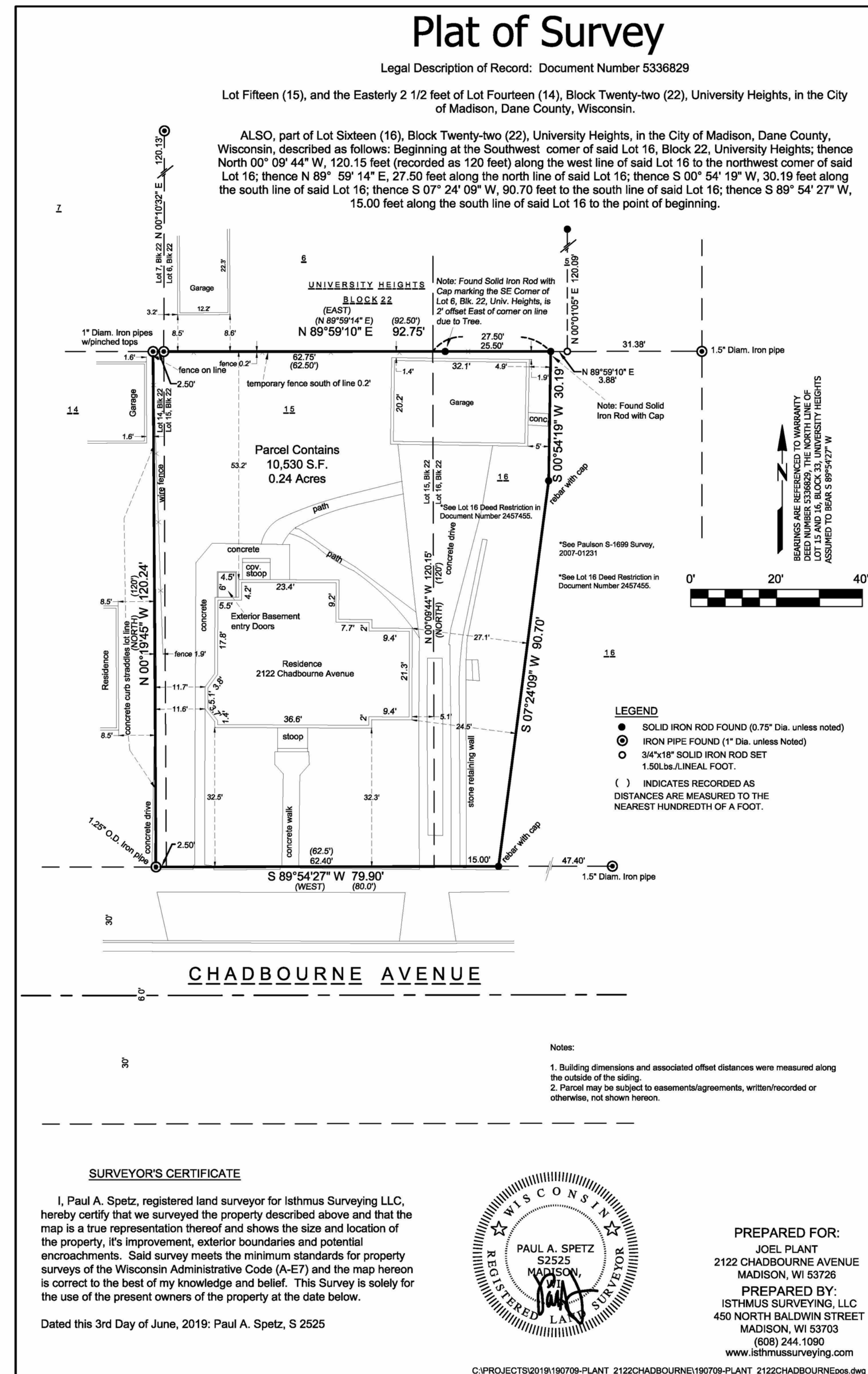
HOME ADDITION
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DOOR AND ROOM
FINISH SCHEDULE

CONDITIONAL USE PERMIT APPLICATION
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A001



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MADISON, WI 53726

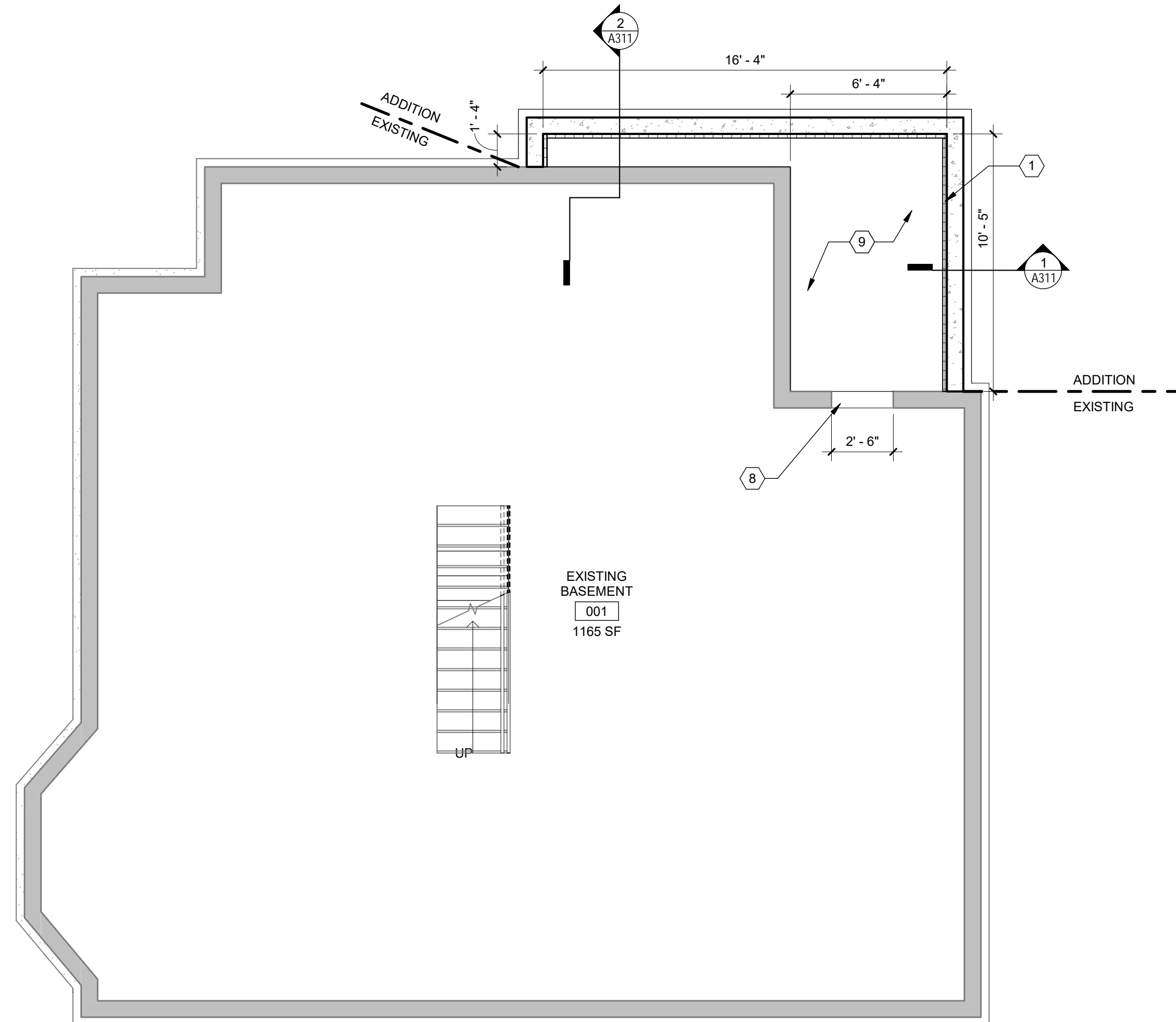
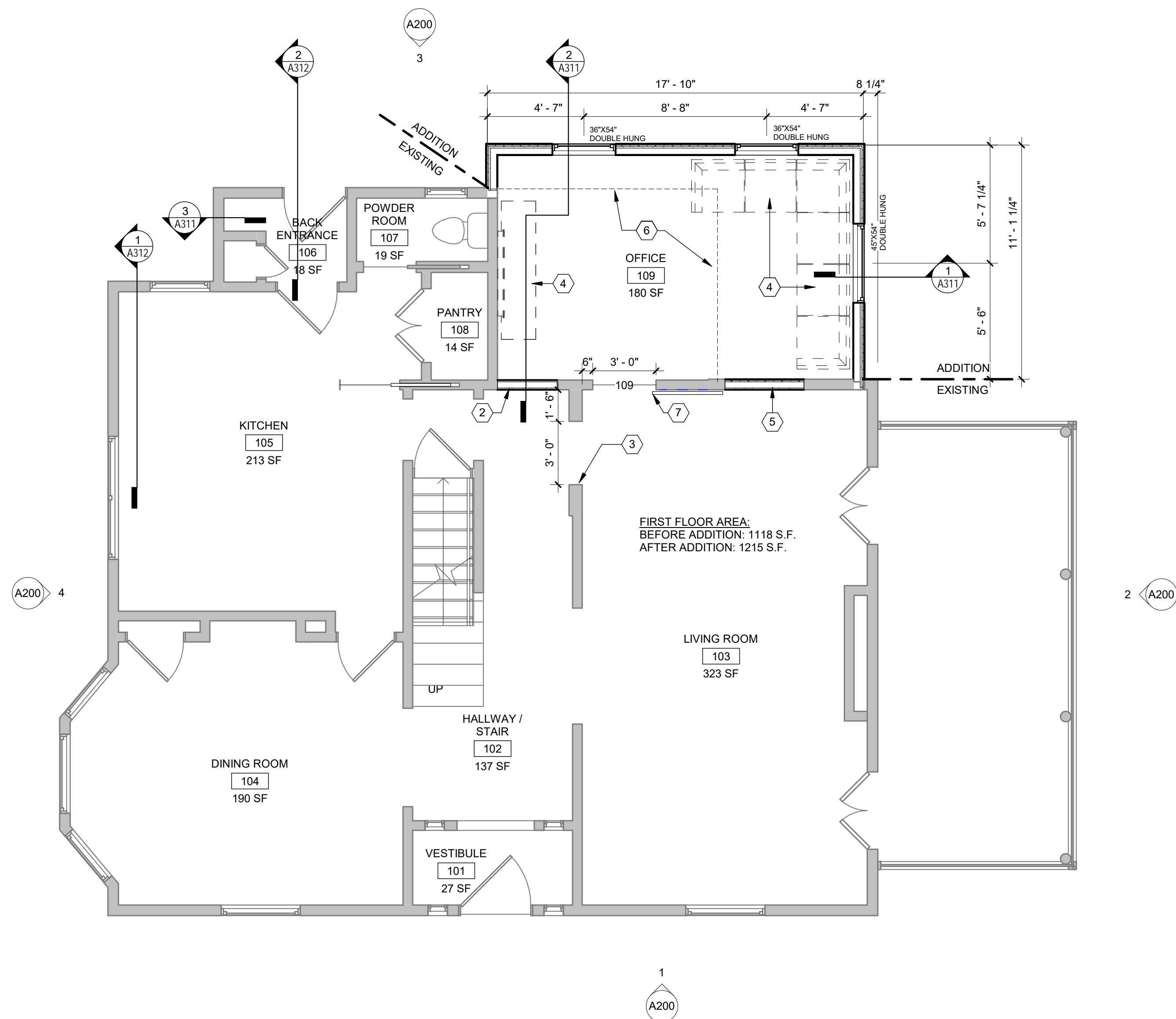
SITE PLAN AND EXISTING CONDITIONS SURVEY

CONDITIONAL USE PERMIT APPLICATION
 Project number: PLN-19-01
 Date: 04/20/2020

A100

KEYED NOTES	
1	2" RIGID INSULATION
2	INFILL DOOR OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
3	NEW DOOR OPENING IN EXISTING WALL - TRIM OPENING TO MATCH ADJACENT EXISTING WALL OPENING
4	FURNITURE - BY OWNER
5	INFILL WINDOW OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
6	NEW WOOD FLOORING TO MATCH EXISTING - BLEND WITH EXISTING
7	REUSE EXISTING OFFICE DOOR; RIP EDGES TO REMOVE HINGE MORTISES; APPLY 1-1/2" NEW MATERIAL TO EDGES AND REFINISH
8	CUT NEW OPENING 30"W X 72" TALL
9	NEW 4" CAST-IN-PLACE SLAB ON GRADE OVER 10 MIL VAPOR BARRIER ON 6" COMPACTED GRANULAR FILL

- FLOOR PLAN GENERAL NOTES:**
1. SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
 3. SEE SHEET A001 FOR PARTITION TYPES.
 4. SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
 5. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
 6. REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
 7. CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/USER.
 8. EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF PLYWOOD.



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

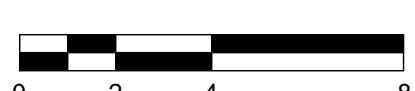
2122 CHADBOURNE AVE
MADISON, WI 53726

BASEMENT AND FIRST FLOOR PLAN - HOUSE

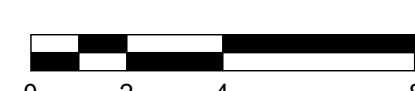
CONDITIONAL USE PERMIT APPLICATION
Project number: PLN-19-01
Date: 04/20/2020

A101

FIRST FLOOR PLAN - HOUSE
1/4" = 1'-0"

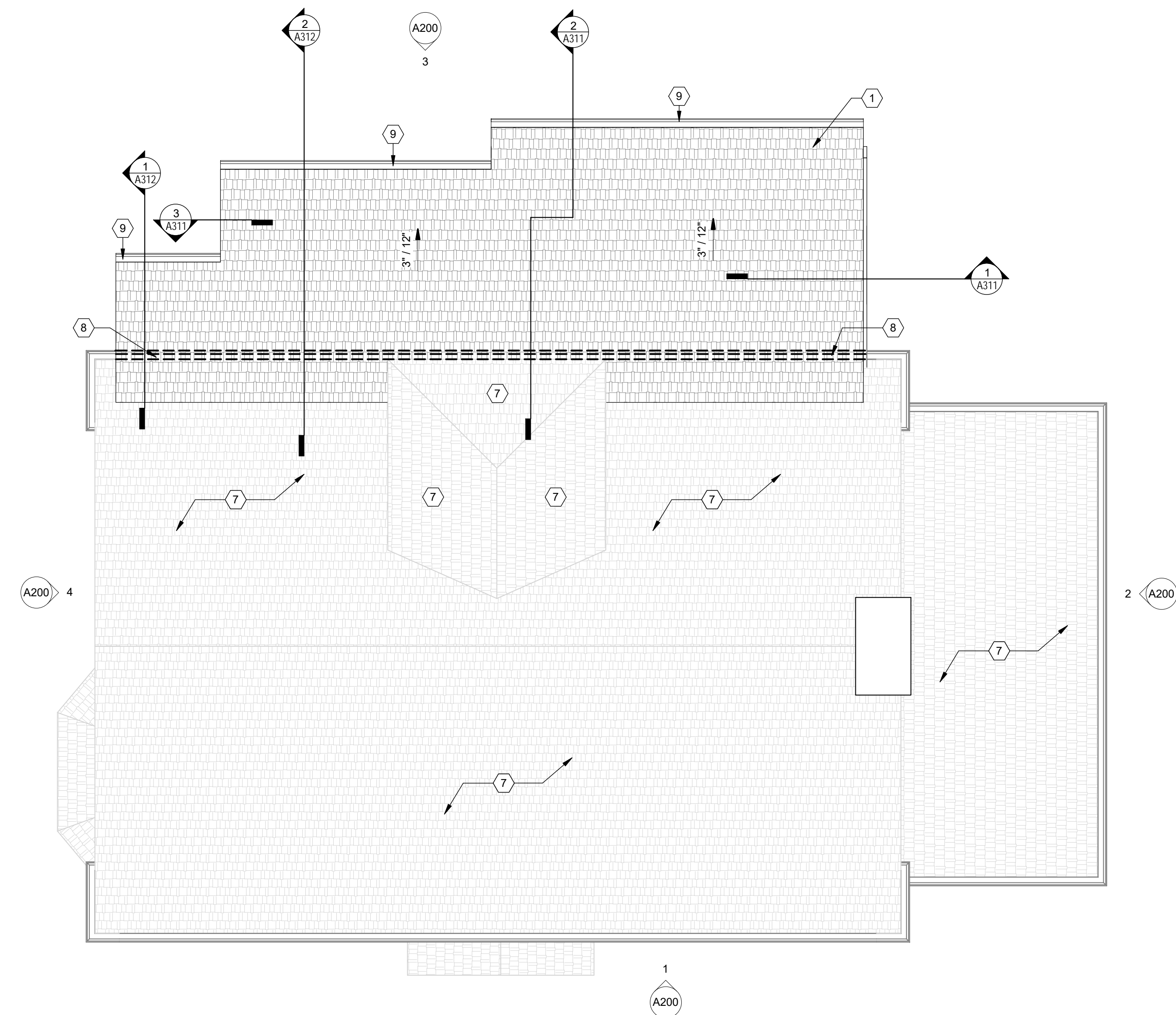


BASEMENT FLOOR PLAN - HOUSE
1/4" = 1'-0"

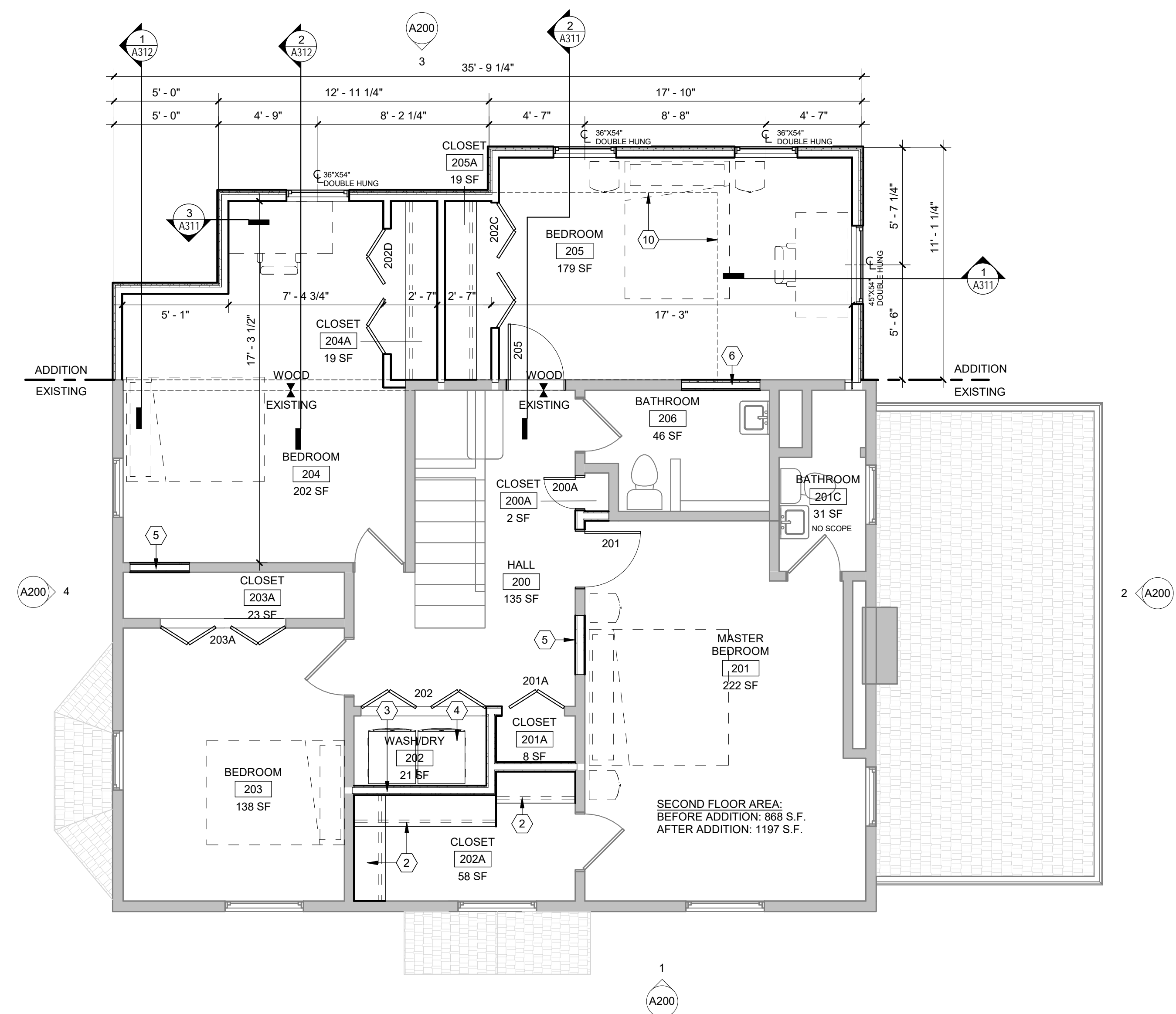
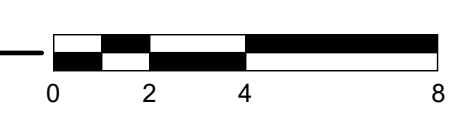


KEYED NOTES	
1	NEW CEDAR SHINGLE ROOF - MATCH STYLE AND SIZE OF EXISTING CEDAR SHINGLE ROOF - INSTALL PER MANUFACTURER'S RECOMMENDATIONS
2	WOOD CLOSET SHELF AND ROD
3	WASHING MACHINE AND DRYER HOOKUPS
4	WASHIDRY MACHINE - BY OWNER
5	INFILL DOOR OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
6	INFILL WINDOW OPENING TO MATCH ADJACENT EXISTING CONSTRUCTION AND WALL FINISH
7	EXISTING ROOF TO REMAIN
8	EXISTING GUTTERS TO BE REMOVED WHERE ADDITION INTERSECTS EXISTING ROOF
9	NEW GUTTERS THIS ROOF EDGE TO MATCH EXISTING LINE OF FORMER ROOF BELOW

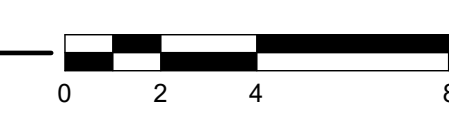
- FLOOR PLAN GENERAL NOTES:**
1. SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
 3. SEE SHEET A001 FOR PARTITION TYPES.
 4. SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
 5. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
 6. REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
 7. CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/ USER.
 8. EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF PLYWOOD.



NORTH
2 ROOF PLAN - HOUSE
1/4" = 1'-0"



NORTH
1 SECOND FLOOR PLAN - HOUSE
1/4" = 1'-0"



No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

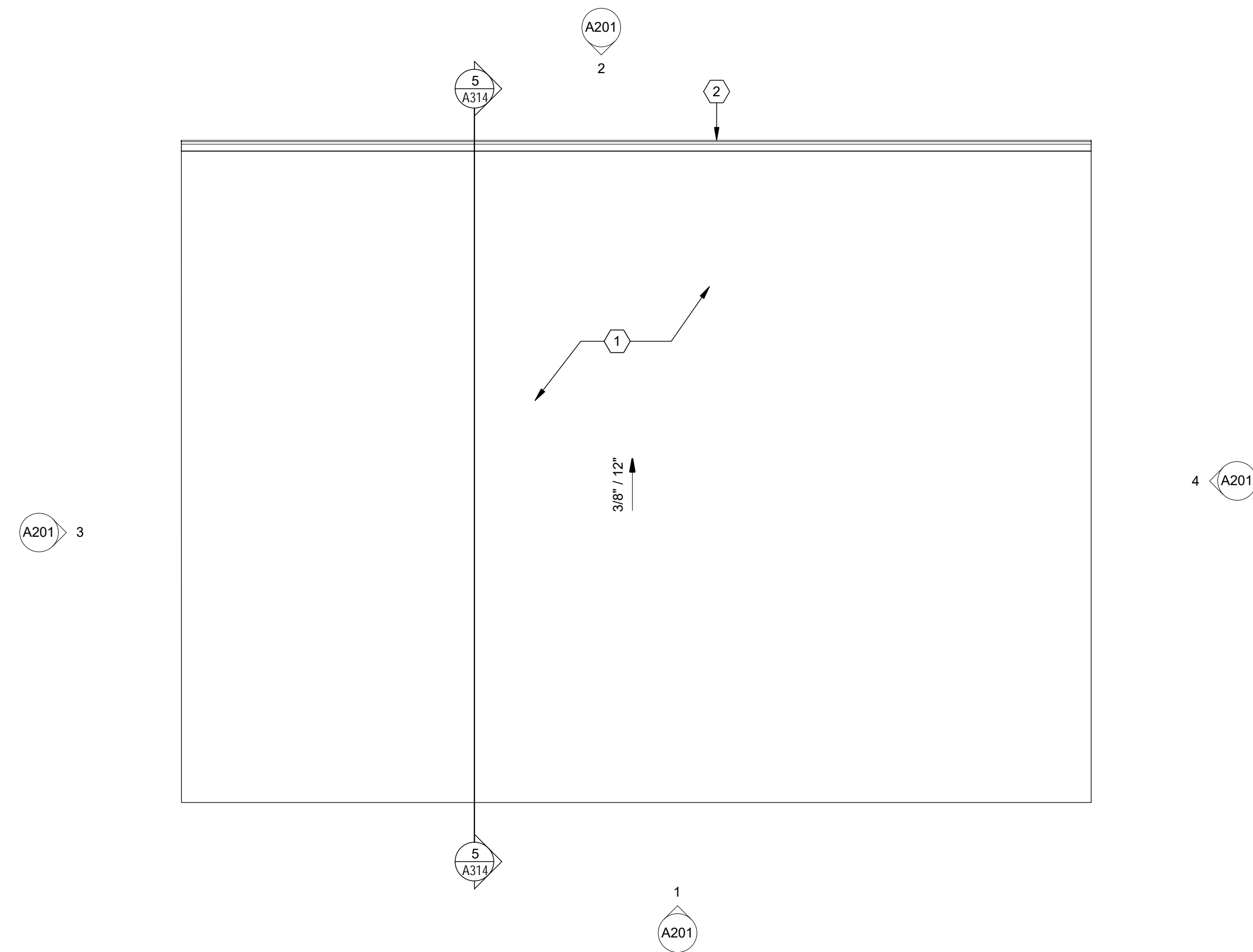
2122 CHADBOURNE AVE
MADISON, WI 53726

SECOND FLOOR AND ROOF PLAN - HOUSE

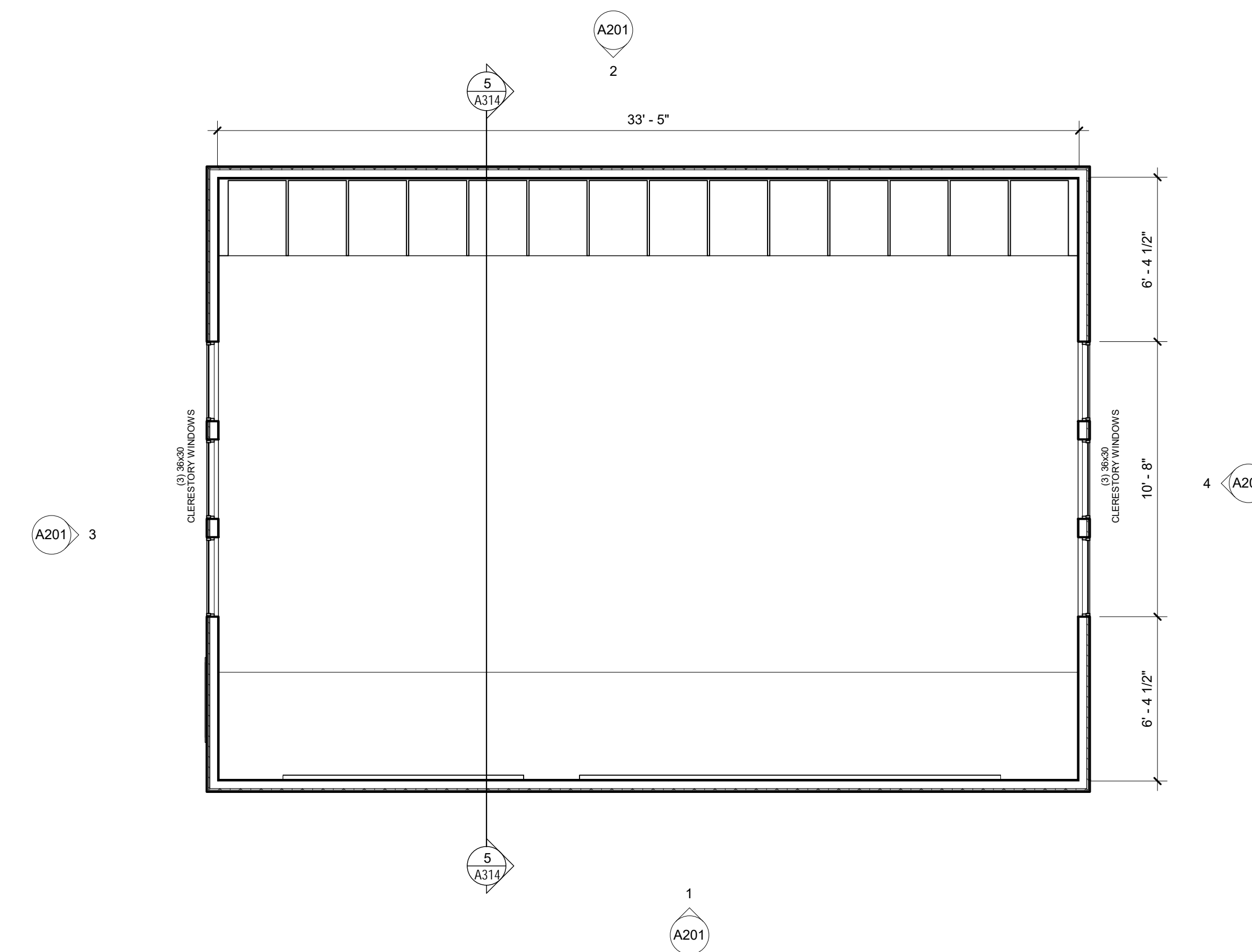
CONDITIONAL USE PERMIT APPLICATION
Project number: PLN-19-01
Date: 04/20/2020

KEYED NOTES	
1	NEW EPDM ROOF
2	NEW GUTTER

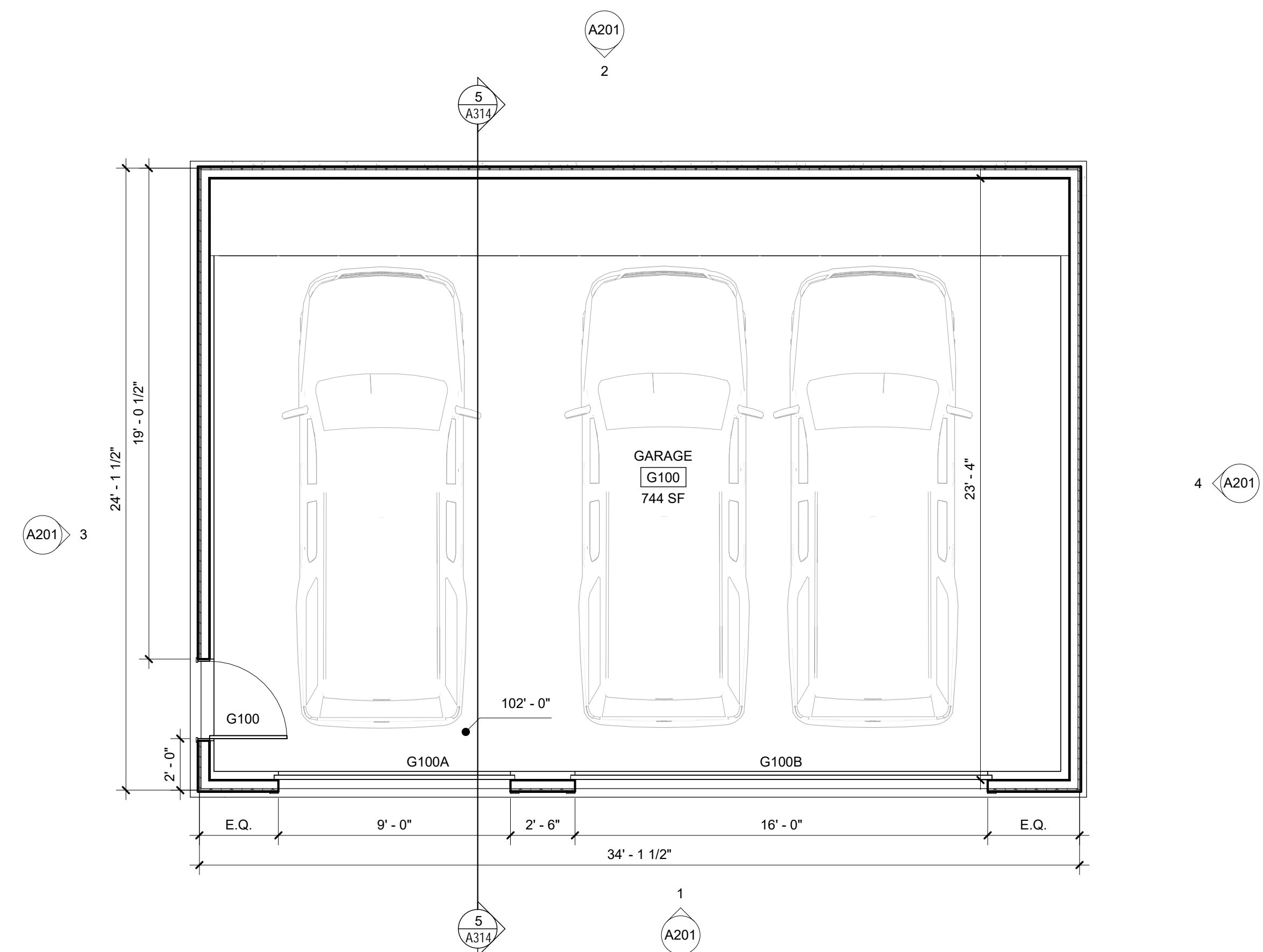
- FLOOR PLAN GENERAL NOTES:**
1. SITE DATUM OF XXX' = FLOOR EL. 100' - 0" ON ARCHITECTURAL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR FINAL DECISION.
 3. SEE SHEET A001 FOR PARTITION TYPES.
 4. SEE SHEET A001 FOR DOOR SCHEDULE AND WINDOW TYPES AND DETAILS.
 5. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISH WALL TO FINISHED WALL (NOMINAL).
 6. REFER TO DEMOLITION VIEWS FOR COORDINATION OF DEMOLITION SCOPE.
 7. CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. ANY DISRUPTION IN SERVICE REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING DUCTWORK, PIPING, CONDUIT, CIRCUITS OR ANY ASSOCIATED EQUIPMENT, MUST BE COORDINATED IN ADVANCE WITH THE OWNER/ USER.
 8. EXTERIOR DIMENSIONS ON FLOOR PLANS ARE BASED ON EXTERIOR FACE OF PLYWOOD.



3 ROOF PLAN - GARAGE
1/4" = 1'-0"



2 CLERESTORY PLAN - GARAGE
1/4" = 1'-0"



1 FIRST FLOOR PLAN - GARAGE
1/4" = 1'-0"

No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

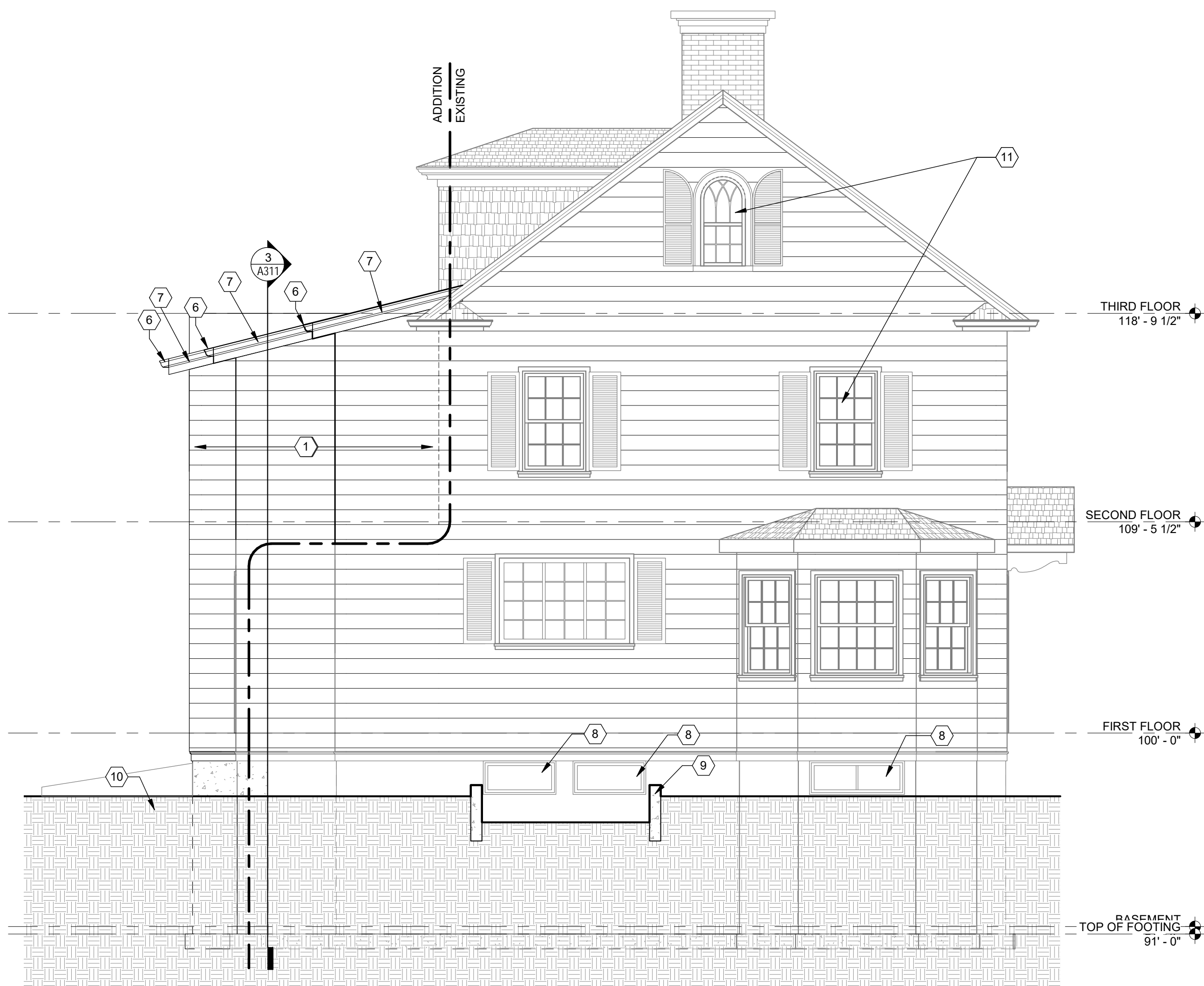
2122 CHADBOURNE AVE
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FIRST FLOOR, SECOND FLOOR AND ROOF PLAN - GARAGE

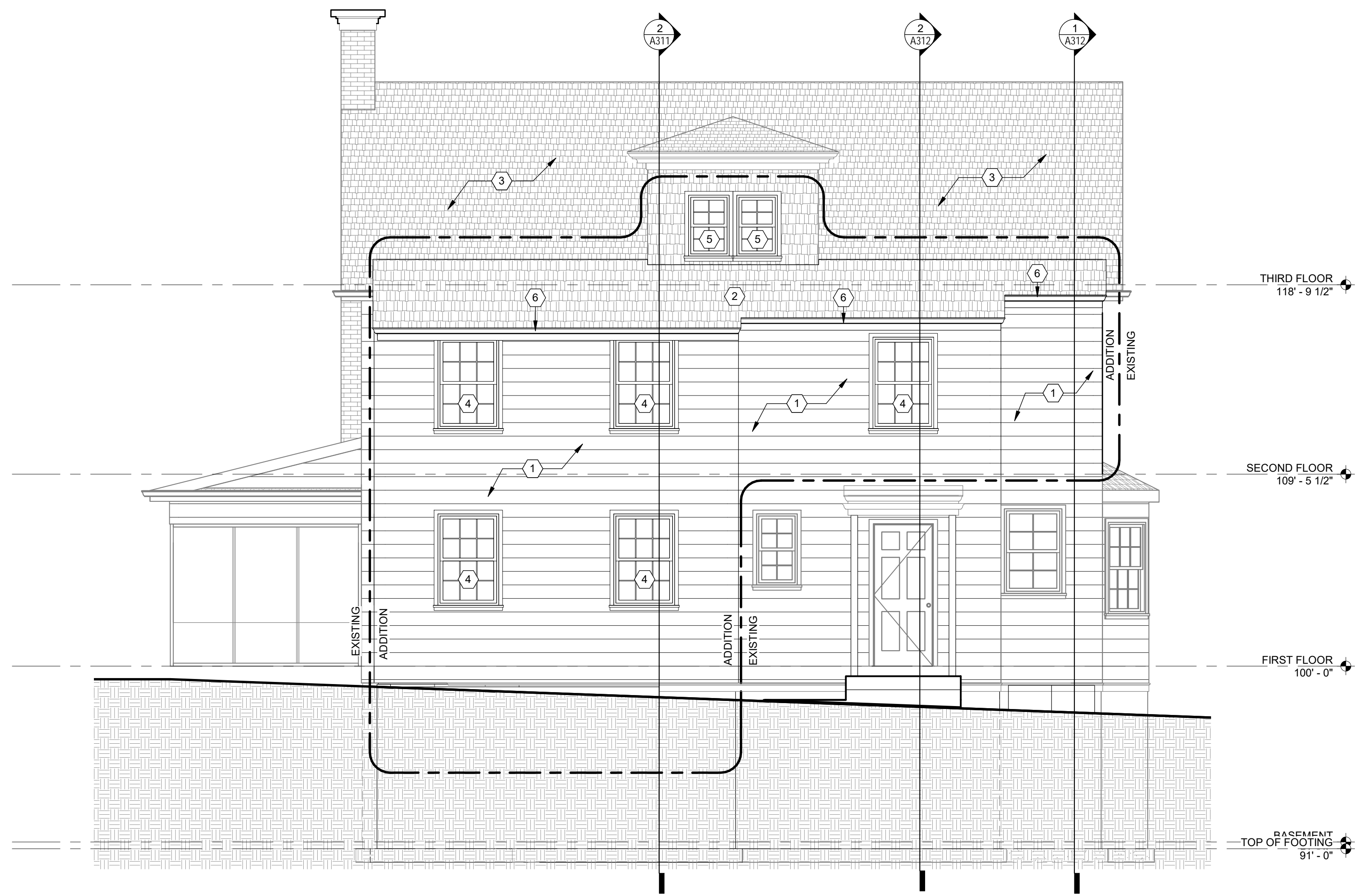
CONDITIONAL USE PERMIT APPLICATION	
Project number	PLN-19-01
Date	04/20/2020

KEYED NOTES

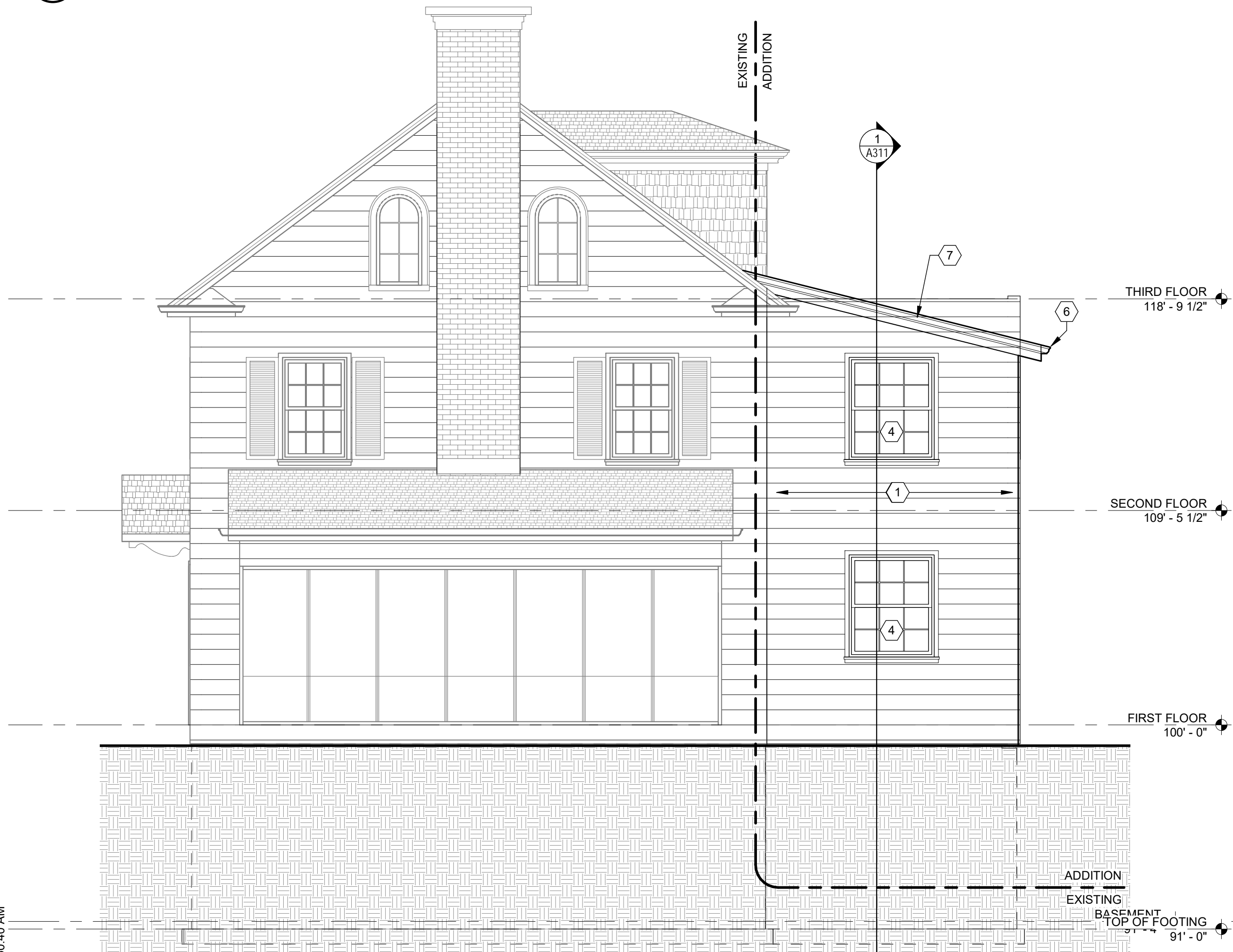
- 1 WOOD SIDING TO MATCH EXISTING IN DEPTH, PROFILE AND EXPOSURE
- 2 WOOD SHINGLE ROOF - MATCH SPECIES, STYLE AND SIZE OF EXISTING WOOD SHINGLE ROOF
- 3 EXISTING ROOF TO REMAIN
- 4 NEW WOOD HUNG WINDOW - SEE PLAN FOR SIZES
- 5 NEW WOOD HUNG WINDOW - 24"x36"
- 6 GUTTER TO MATCH EXISTING; INTEGRATE GUTTER WITH FASCIA TRIM
- 7 WOOD OGEE PROFILE TRIM; PROVIDE COMPATIBLE PROFILE TO ORIGINAL DETAILING
- 8 EXISTING BASEMENT WINDOW
- 9 EXISTING WINDOW WELL
- 10 EXISTING CELLAR ACCESS DOOR
- 11 ADD-ALTERNATE: REPLACE ALL EXISTING WINDOWS, TYP.



4 WEST ELEVATION - HOUSE
1/4" = 1'-0"



3 NORTH ELEVATION - HOUSE
1/4" = 1'-0"



2 EAST ELEVATION - HOUSE
1/4" = 1'-0"



1 SOUTH ELEVATION - HOUSE
1/4" = 1'-0"

No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

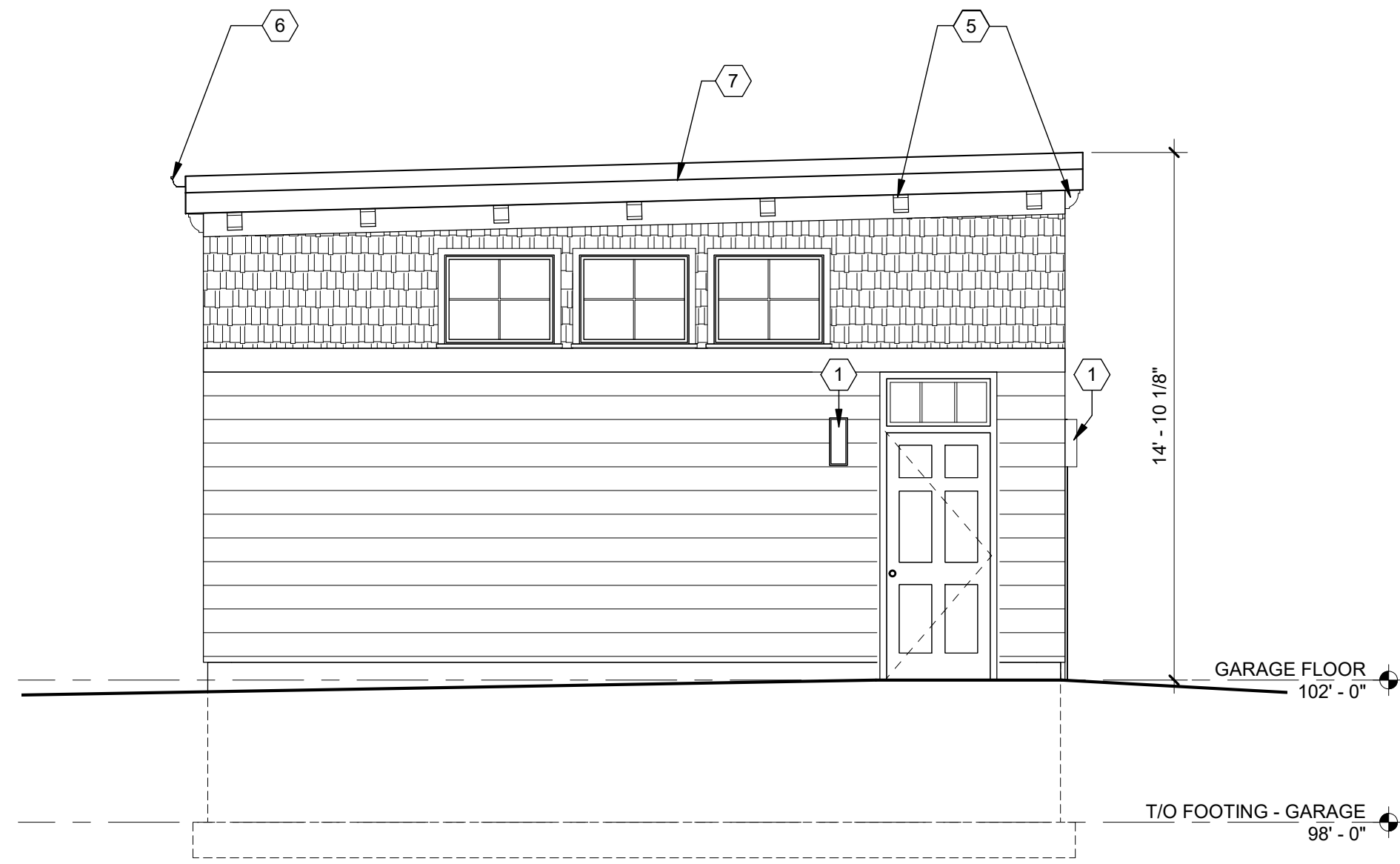
2122 CHADBOURNE AVE
MADISON, WI 53726

EXTERIOR ELEVATIONS - HOUSE

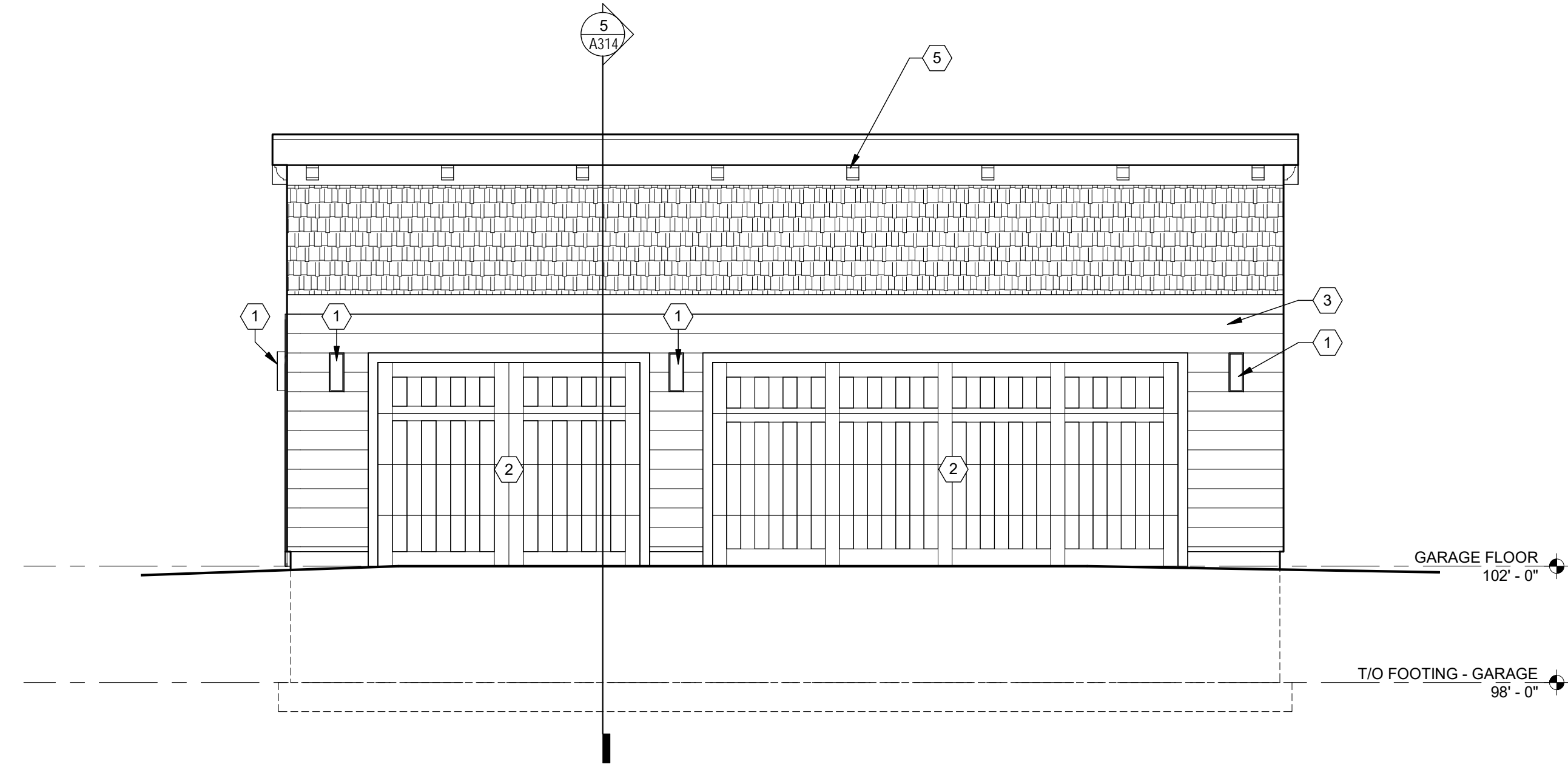
CONDITIONAL USE PERMIT APPLICATION
Project number PLN-19-01
Date 04/20/2020

A200

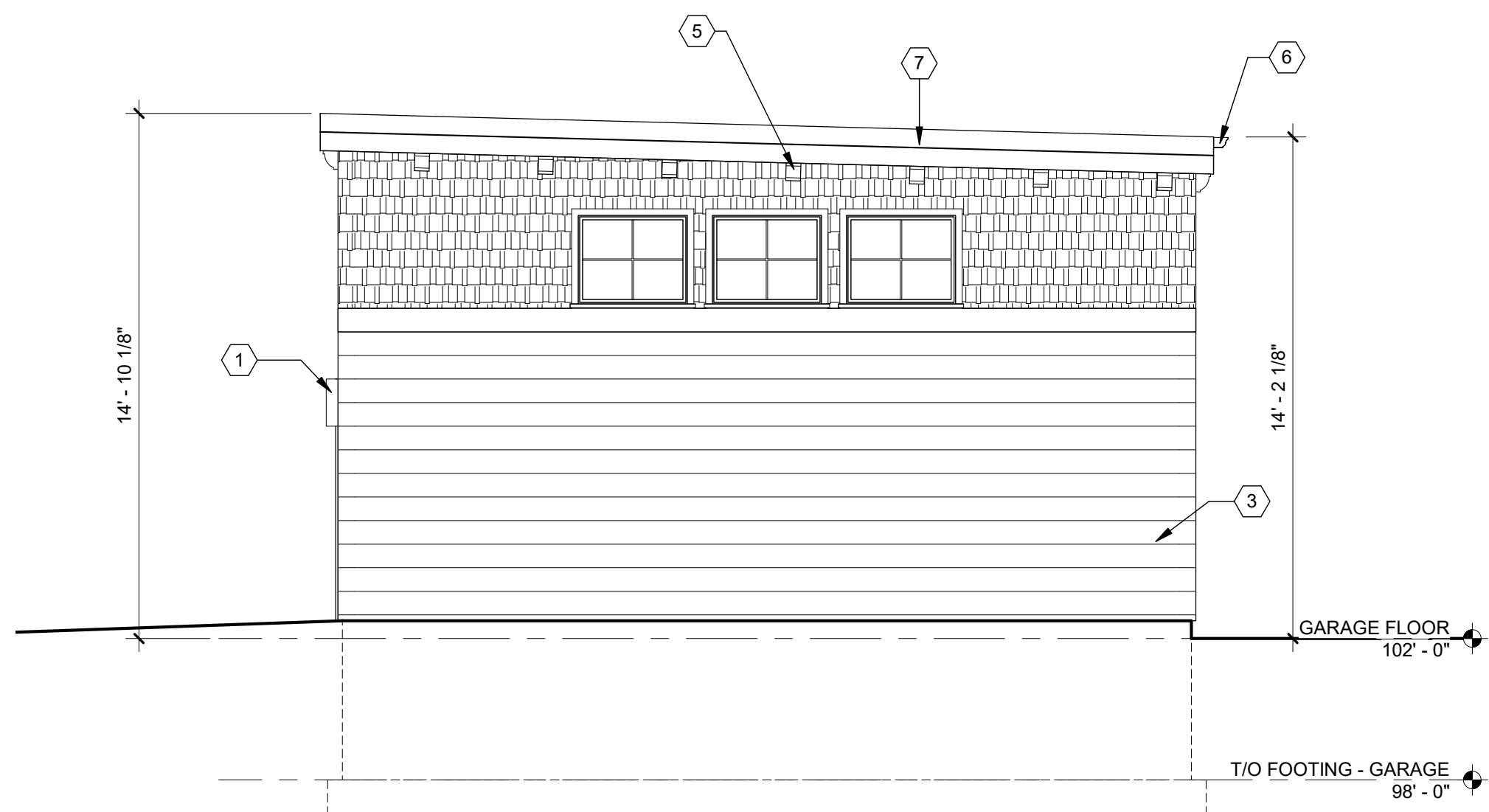
KEYED NOTES	
1	WALL SCONCE - SELECTION BY OWNER
2	DECORATIVE SECTIONAL GARAGE DOOR - SEE DOOR SCHEDULE
3	WOOD SIDING TO MATCH EXISTING IN DEPTH, PROFILE AND EXPOSURE
4	NEW EPDM ROOF
5	REUSE SALVAGED WOOD CORBELS FROM ORIGINAL GARAGE
6	GUTTER
7	SHEET METAL COPING



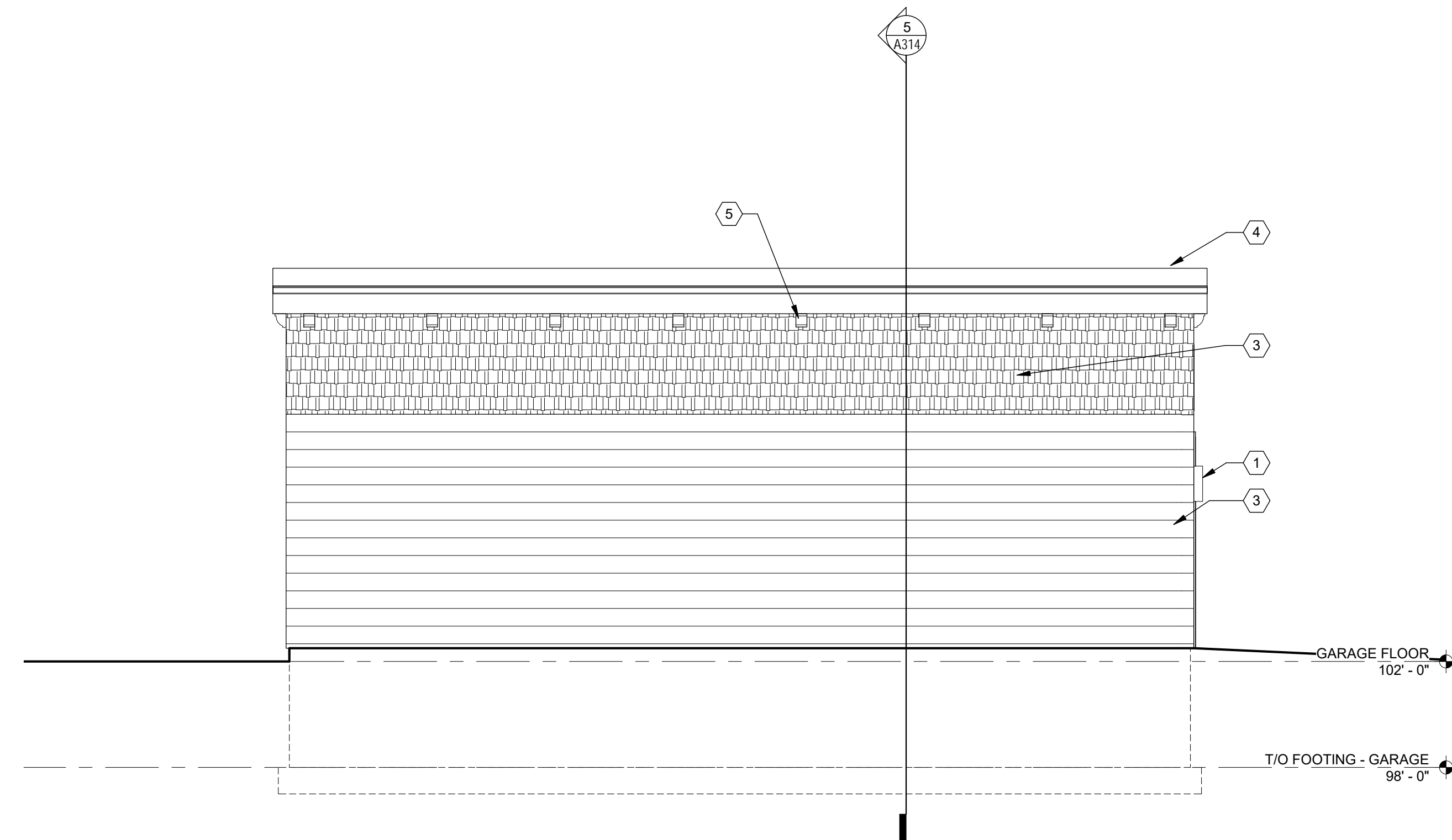
3 WEST ELEVATION - GARAGE
1/4" = 1'-0"



1 SOUTH ELEVATION - GARAGE
1/4" = 1'-0"



4 EAST ELEVATION - GARAGE
1/4" = 1'-0"



2 NORTH ELEVATION - GARAGE
1/4" = 1'-0"

No.	Description	Date

**JOEL AND MARGO
PLANT**

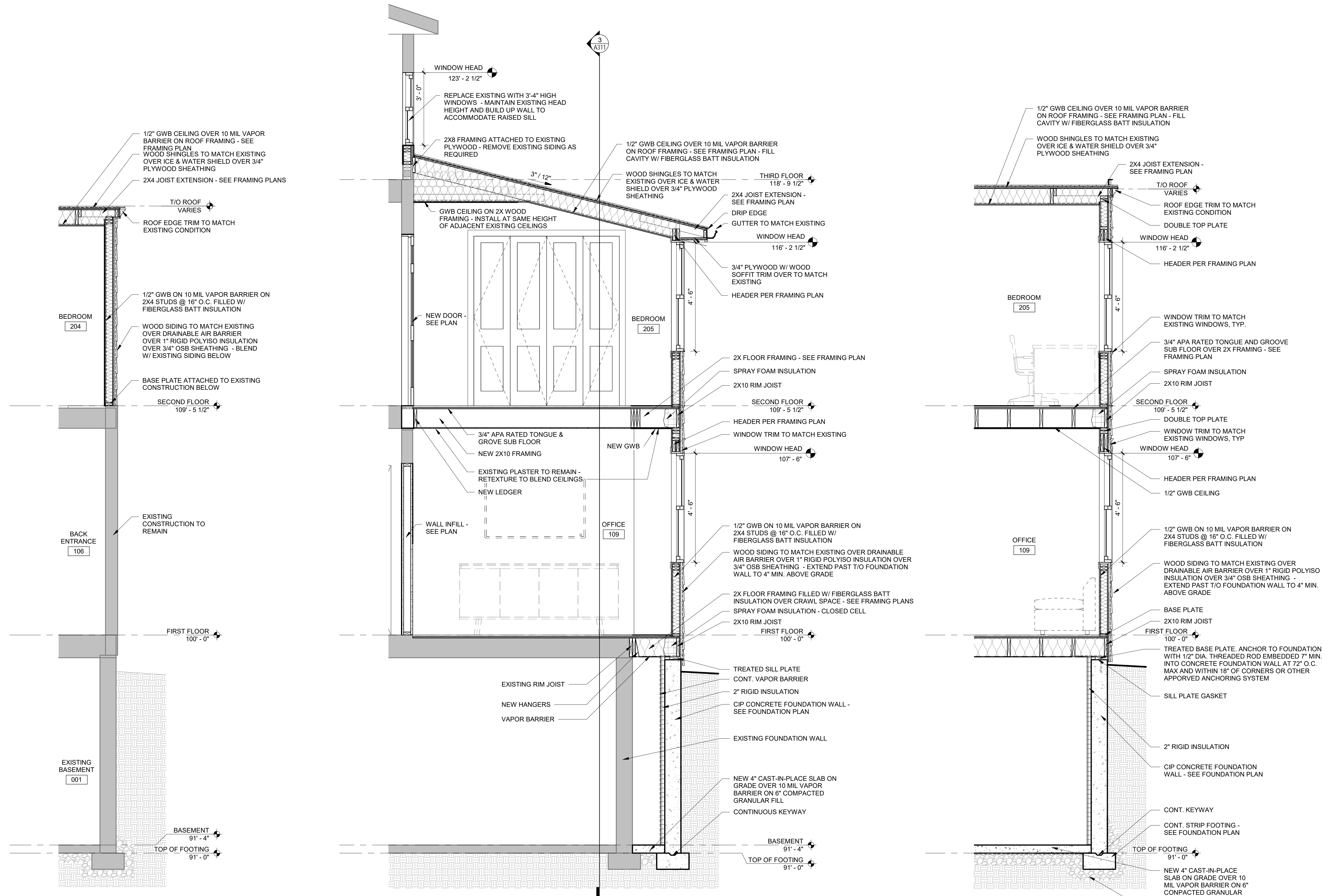
**HOME ADDITION
AND RENOVATION**

2122 CHADBOURNE AVE
MADISON, WI 53726

**EXTERIOR
ELEVATIONS -
GARAGE**

CONDITIONAL USE PERMIT APPLICATION	
Project number	PLN-19-01
Date	04/20/2020

A201



3 WALL SECTION
1/2" = 1'-0"

2 WALL SECTION
1/2" = 1'-0"

1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

JOEL AND MARGO PLANT

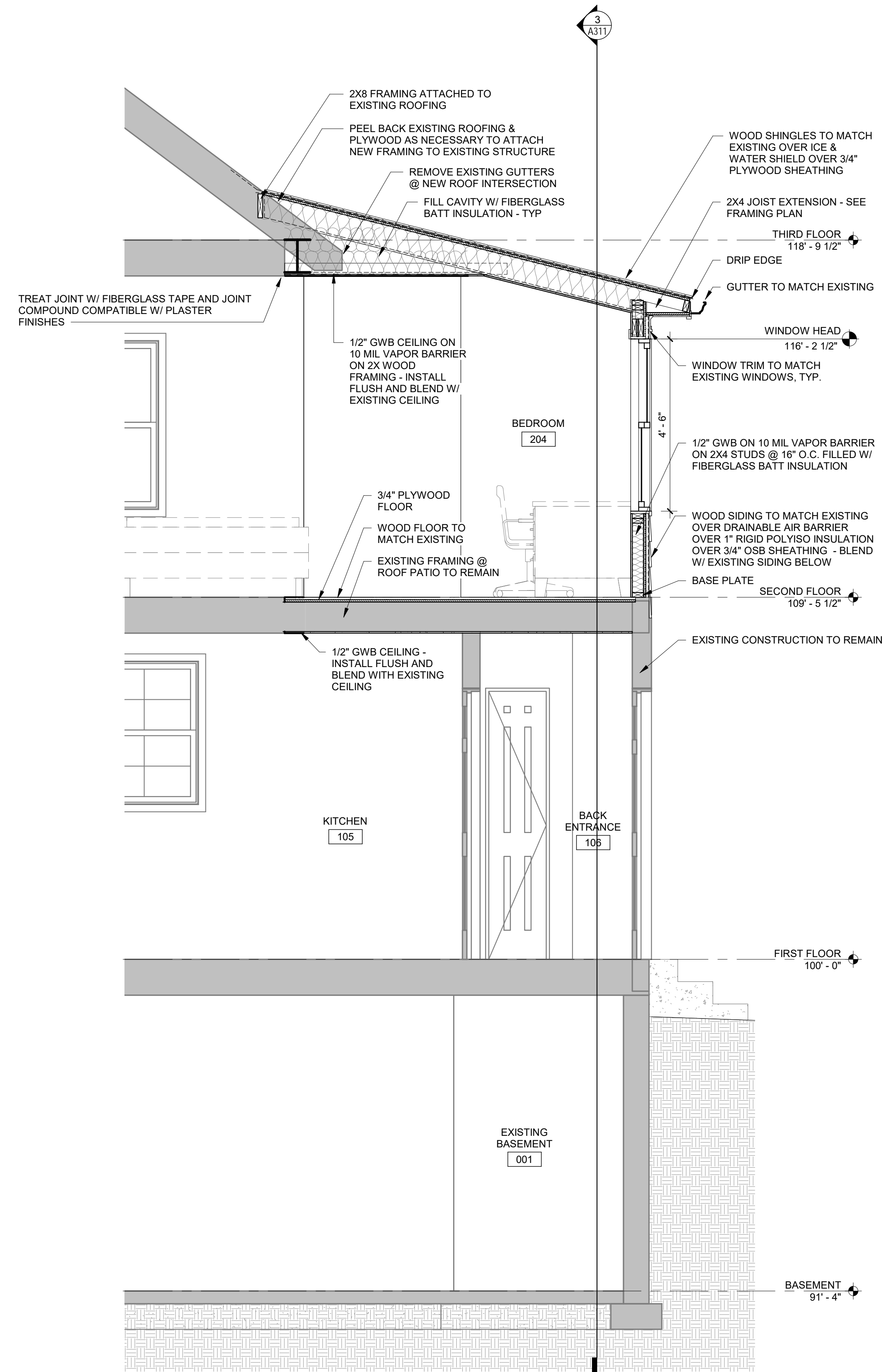
HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

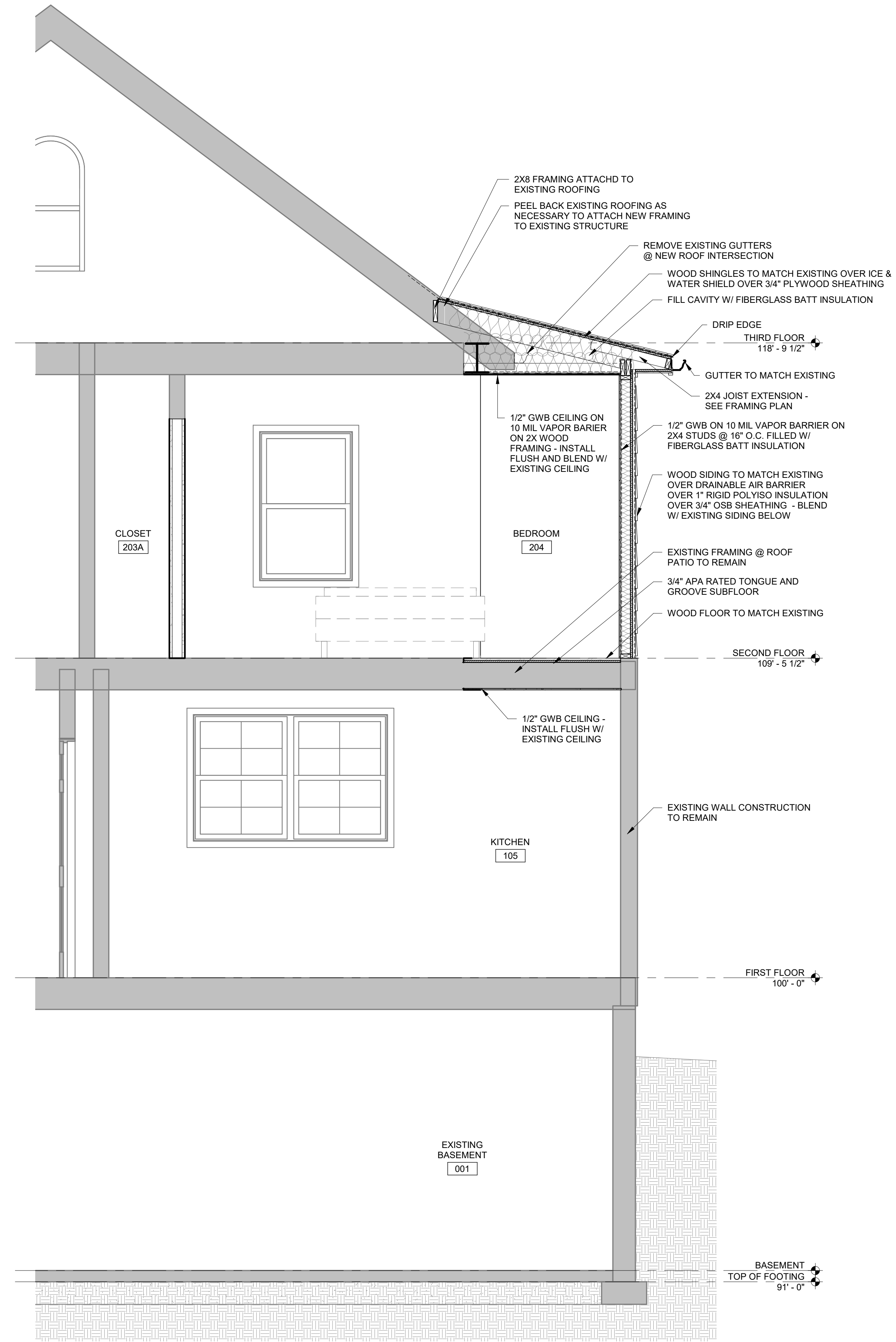
EXTERIOR SECTIONS AND WALL SECTIONS - HOUSE

CONDITIONAL USE PERMIT APPLICATION
Project number: PLN-19-01
Date: 04/20/2020

4/20/2020 11:50:44 AM



2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

**JOEL AND MARGO
PLANT**

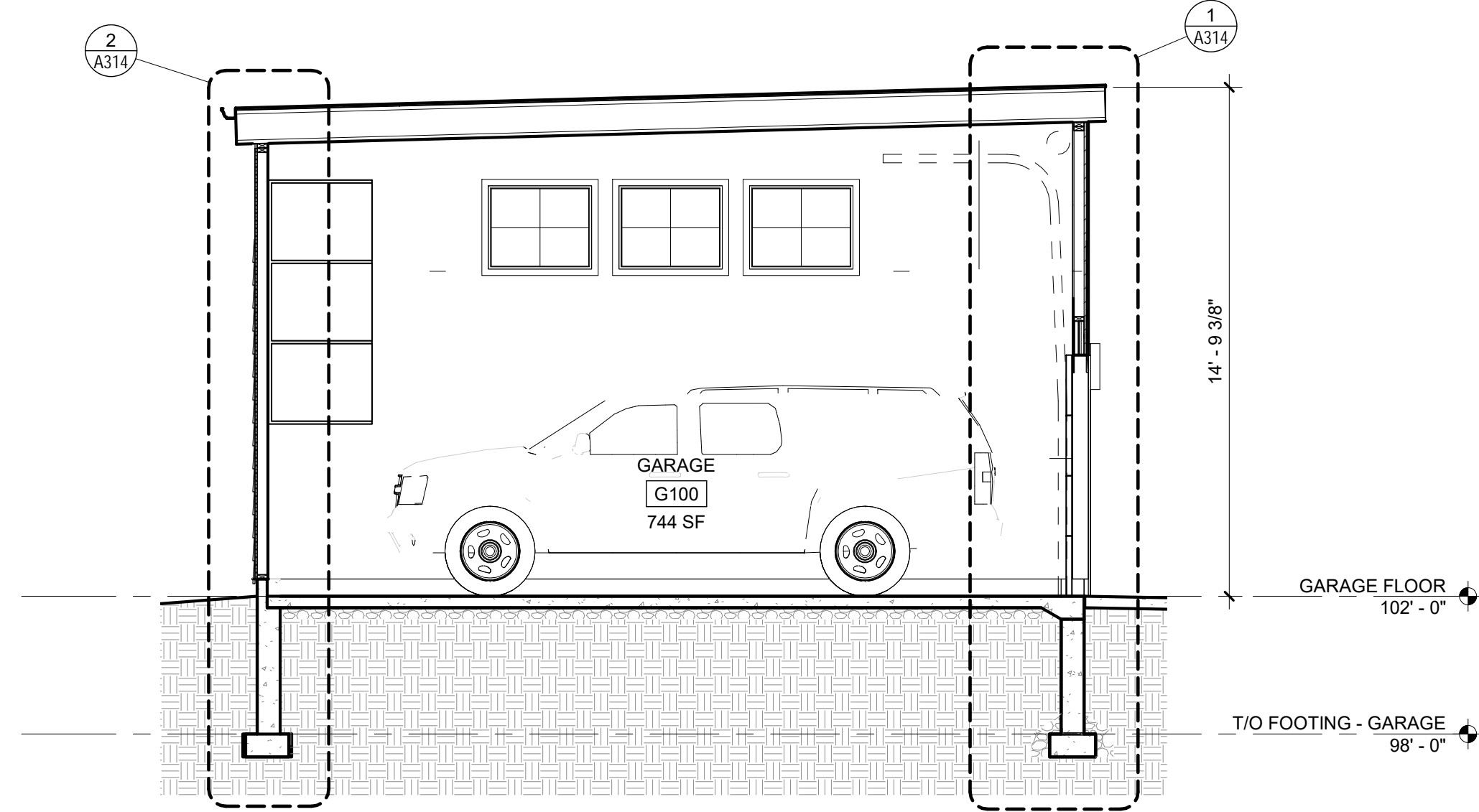
**HOME ADDITION
AND RENOVATION**

2122 CHADBOURNE AVE
MADISON, WI 53726

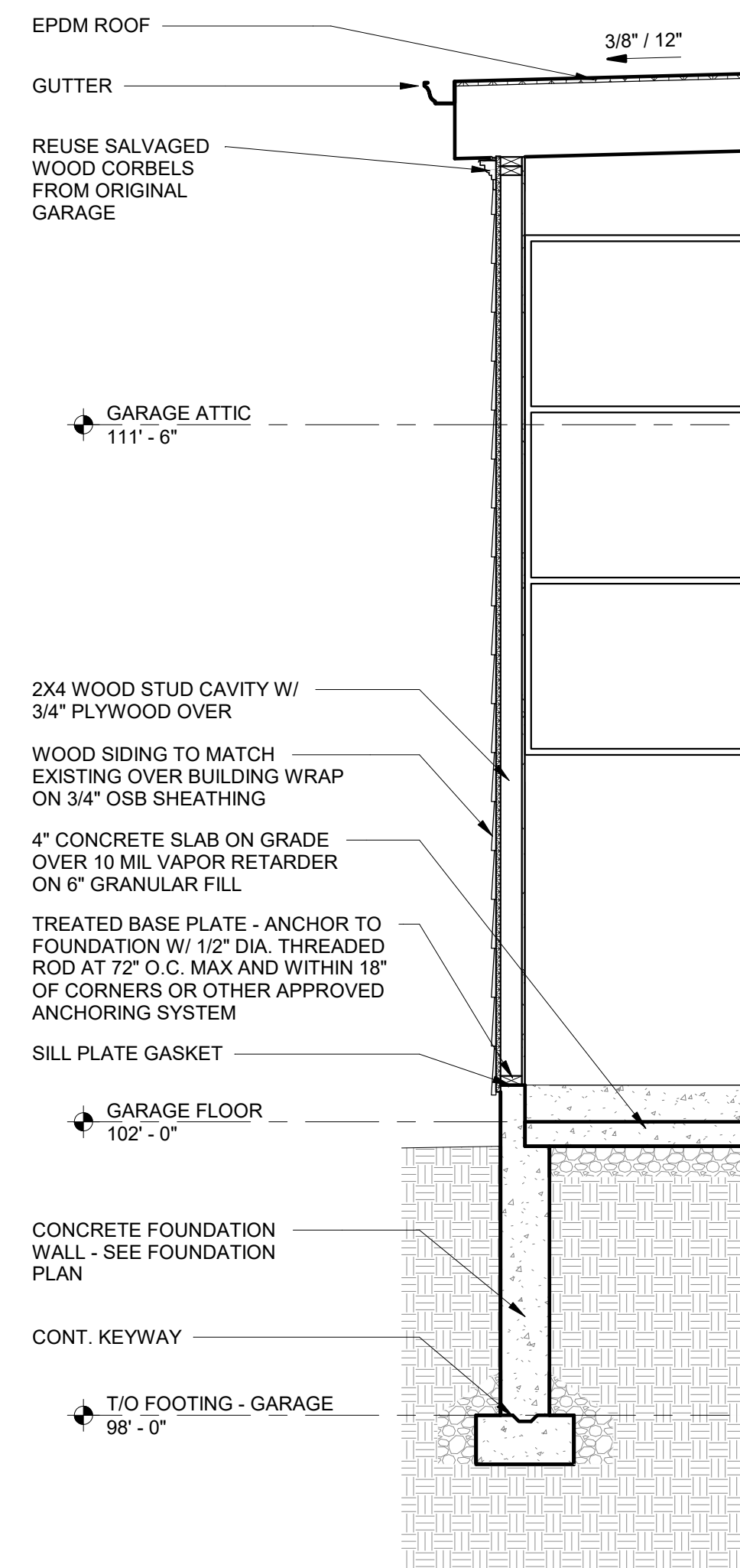
**EXTERIOR WALL
SECTIONS - HOUSE**

CONDITIONAL USE PERMIT APPLICATION	
Project number	PLN-19-01
Date	04/20/2020

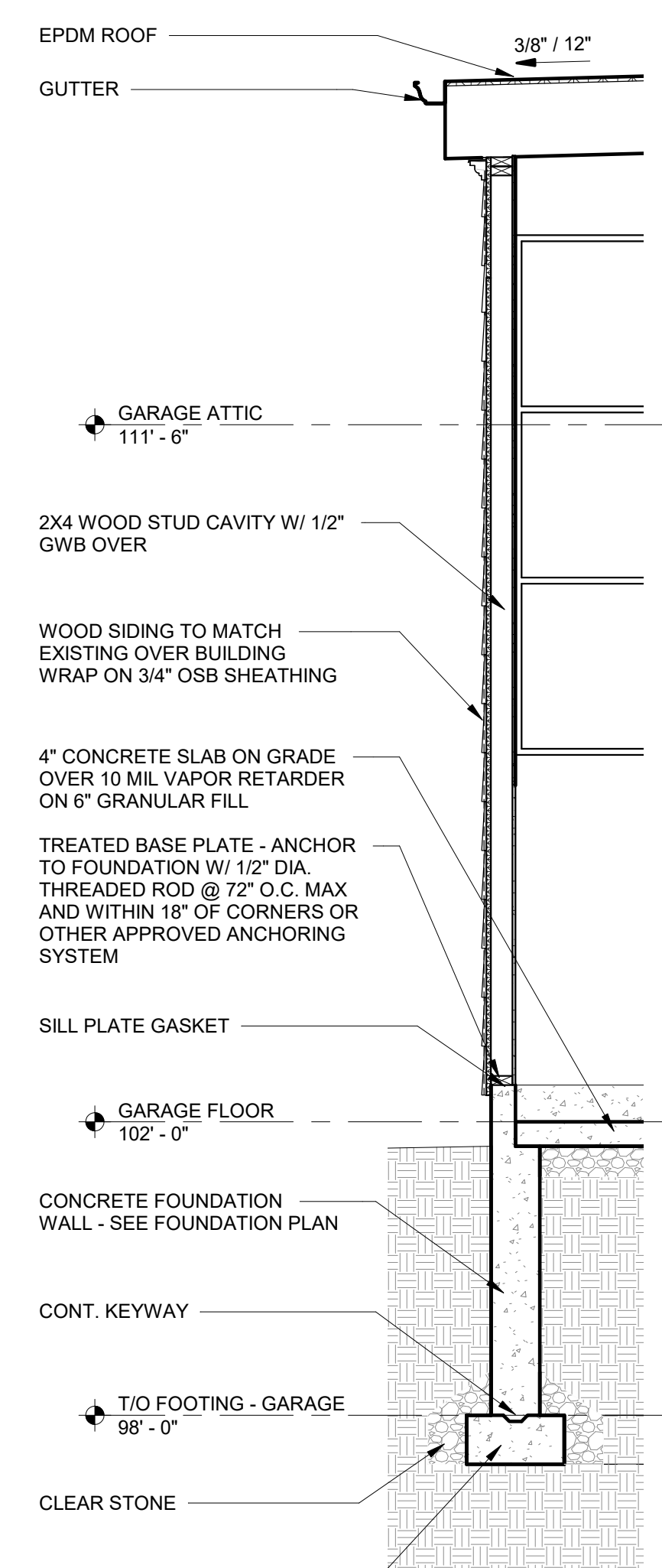
A312



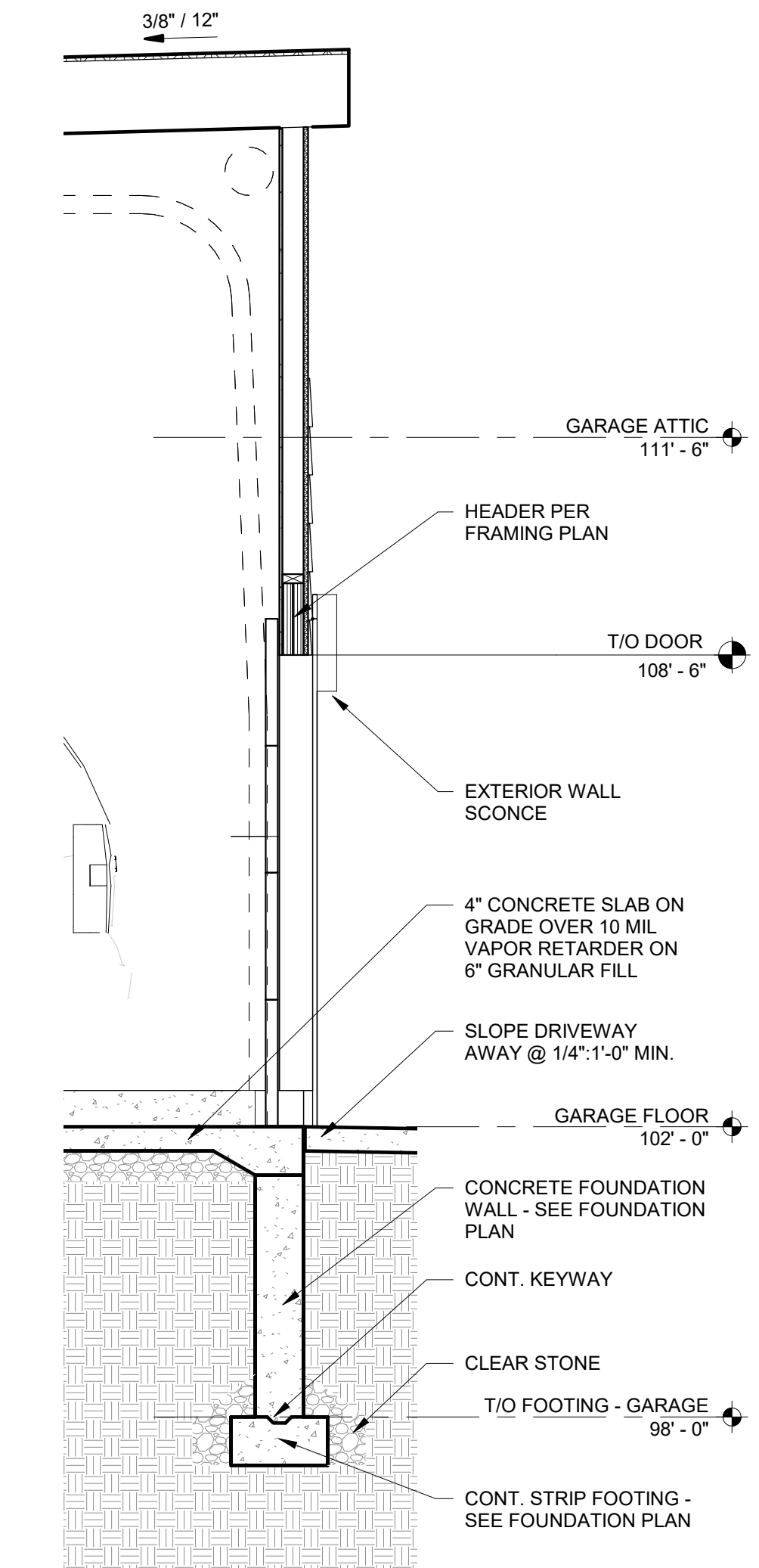
5 N/S BUILDING SECTION
1/4" = 1'-0"



3 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



1 WALL SECTION
1/2" = 1'-0"

No.	Description	Date

JOEL AND MARGO PLANT

HOME ADDITION AND RENOVATION

2122 CHADBOURNE AVE
MADISON, WI 53726

EXTERIOR SECTIONS AND WALL SECTIONS - GARAGE

CONDITIONAL USE PERMIT APPLICATION
Project number: PLN-19-01
Date: 04/20/2020

A314