







# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	\$1550 Receipt No. 102629
Date Received	8/5/09
Received By	JLK
Parcel No.	070923406015
Aldermanic District	4 Michael Verwey
GR Zoned	PUD SIP
Zoning District	PUD SIP
For Complete Submittal	
Application	Letter of Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Nbrhd. Assn Not.	Waiver
Date Sign Issued	8/5/09

1. Project Address: 2. S. Bedford St. Project Area in Acres: 1  
Project Title (if any): The Depot

### 2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> <b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input checked="" type="checkbox"/> <b>Other Requests (Specify):</b> <u>Approved AH to SIP</u>

### 3. Applicant, Agent & Property Owner Information:

Applicant's Name: Jim Meier Company: Depot Development, LLC  
 Street Address: 5501 Femrite Dr. City/State: Madison, WI Zip: 53718  
 Telephone: (608) 255-1511 Fax: (608) Email: jim@meiertruckservice.com

Project Contact Person: Randy Bruce Company: Knothe + Bruce Architects  
 Street Address: 7601 University Ave, Ste 201 City/State: Middleton, WI Zip: 53562  
 Telephone: (608) 836-3690 Fax: (608) 836-6934 Email: rbruce@knothebruce.com

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_  
3 apt bldgs w/ underground parking, drive-thru + commercial space  
 Development Schedule: Commencement Summer 2009 Completion Summer 2010



**Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$550.00. See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:  
 → The site is located within the limits of Bassett Neighborhood Master Plan, which recommends:  
Mixed use with high residential development for this property.

**Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:  
 → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
Mike Verveer - Alder #4, Bob Holloway, Pete Oslind, Capital Neigh - Bassett  
 NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.  
 Planning Staff: Tim Parks Date: \_\_\_\_\_ Zoning Staff: \_\_\_\_\_ Date: \_\_\_\_\_

**Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name Randy Bruce Date 8-5-09  
 Signature Randy Bruce D.S. \_\_\_\_\_ Relation to Property Owner Agent / Architect  
 Authorizing Signature of Property Owner Jim Meier Date 8/6/09

August 5, 2009

Mr. Brad Murphy  
Director of Planning  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, Wisconsin 53701

Re: Letter of Intent  
Minor Alteration to an Approved and Recorded SIP  
2 South Bedford Street  
Madison, Wisconsin

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff and Plan Commission consideration of approval. We are proposing a drive-thru area on the back side of Building #1.

The CVS drive-thru at this site will operate with the following hours:

8am - 10pm Monday thru Friday

8am - 6pm Saturday

10am - 6pm Sunday

The pharmacy is typically staffed with two pharmacists and two pharmacy technicians and drive thru transactions are handled face to face through the drive up window. CVS sells pharmaceuticals and prescription drugs from its drive thru. The typical rate of traffic in the drive thru lane is 4 vehicles per hour.

Based on input from the property manager, the community room in Building #1 on the fifth floor was eliminated and a one bedroom unit was added in its place, therefore changing the unit count from 82 units to 83 units.

Please see the attached plans. If you have any further questions or comments please do not hesitate to contact me. Thank you for your time in reviewing our proposal.

Very Truly Yours,

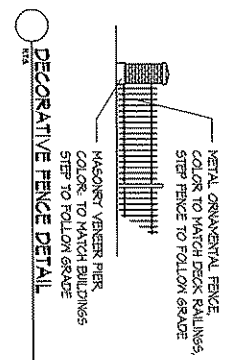
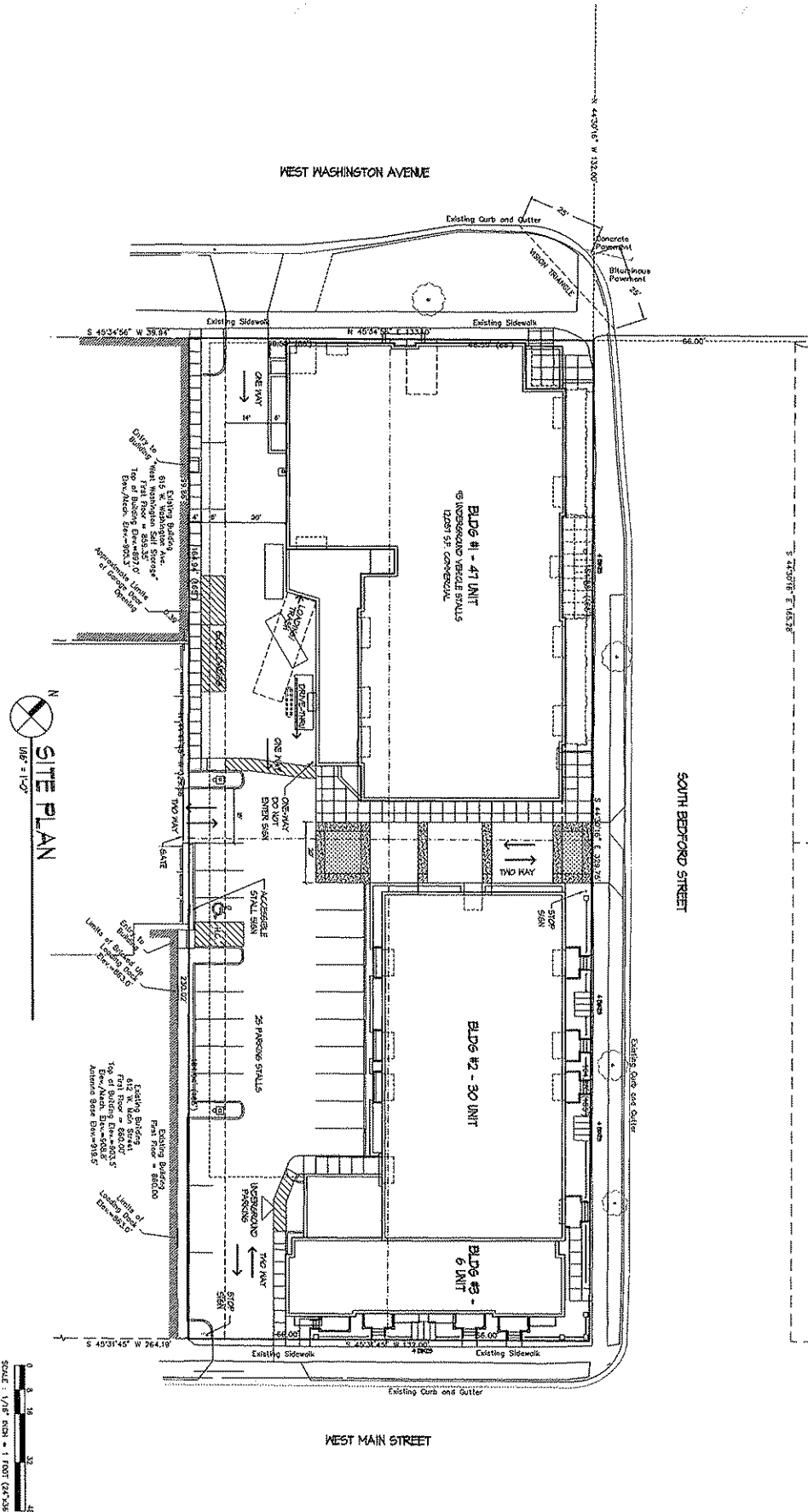
J. Randy Bruce, AIA  
Managing Member

7601 University Ave, Ste 201  
Middleton, Wisconsin 53562  
p (608) 836-3690  
f (608) 836-6934  
www.knothebruce.com 14

Zoning Text  
PUD-SIP  
2 South Bedford Street  
August 5, 2009

**Legal Description:** The lands subject to this Planned Unit Development District shall include Lots 8, 9, 10 & 11, Block 25, Original Plat of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a mixed-use development with 83 dwelling units and approximately 12,000 square feet of commercial space.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
1. Multifamily residential uses as shown on the approved plans.
  2. Commercial uses as allowed in the C-2 zoning district.
  3. Office uses as allowed in the O-1 zoning district.
  4. Accessory uses including but not limited to:
    - a. Accessory uses directly associated with those permitted uses, including parking for residents and guests, outdoor eating areas or drive-up windows as shown on the approved plans.
    - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-5 zoning district.
- J. **Signage:** Signage for the commercial uses shall be limited to the maximum permitted in the C2 zoning district and to the maximum permitted in the R-5 district for the residential uses and as approved by the Urban Design Commission and Zoning Administrator.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



SYMBOL	DESCRIPTION
1-10	BLDG #1 - 41 UNIT
1-11	BLDG #2 - 30 UNIT
1-12	BLDG #3 - 6 UNIT
1-13	EXISTING SIDEWALK
1-14	EXISTING CURB AND GUTTER
1-15	EXISTING SIDEWALK
1-16	EXISTING SIDEWALK
1-17	EXISTING SIDEWALK
1-18	EXISTING SIDEWALK
1-19	EXISTING SIDEWALK
1-20	EXISTING SIDEWALK
1-21	EXISTING SIDEWALK
1-22	EXISTING SIDEWALK
1-23	EXISTING SIDEWALK
1-24	EXISTING SIDEWALK
1-25	EXISTING SIDEWALK
1-26	EXISTING SIDEWALK
1-27	EXISTING SIDEWALK
1-28	EXISTING SIDEWALK
1-29	EXISTING SIDEWALK
1-30	EXISTING SIDEWALK
1-31	EXISTING SIDEWALK
1-32	EXISTING SIDEWALK
1-33	EXISTING SIDEWALK
1-34	EXISTING SIDEWALK
1-35	EXISTING SIDEWALK
1-36	EXISTING SIDEWALK
1-37	EXISTING SIDEWALK
1-38	EXISTING SIDEWALK
1-39	EXISTING SIDEWALK
1-40	EXISTING SIDEWALK
1-41	EXISTING SIDEWALK
1-42	EXISTING SIDEWALK
1-43	EXISTING SIDEWALK
1-44	EXISTING SIDEWALK
1-45	EXISTING SIDEWALK
1-46	EXISTING SIDEWALK
1-47	EXISTING SIDEWALK
1-48	EXISTING SIDEWALK
1-49	EXISTING SIDEWALK
1-50	EXISTING SIDEWALK
1-51	EXISTING SIDEWALK
1-52	EXISTING SIDEWALK
1-53	EXISTING SIDEWALK
1-54	EXISTING SIDEWALK
1-55	EXISTING SIDEWALK
1-56	EXISTING SIDEWALK
1-57	EXISTING SIDEWALK
1-58	EXISTING SIDEWALK
1-59	EXISTING SIDEWALK
1-60	EXISTING SIDEWALK
1-61	EXISTING SIDEWALK
1-62	EXISTING SIDEWALK
1-63	EXISTING SIDEWALK
1-64	EXISTING SIDEWALK
1-65	EXISTING SIDEWALK
1-66	EXISTING SIDEWALK
1-67	EXISTING SIDEWALK
1-68	EXISTING SIDEWALK
1-69	EXISTING SIDEWALK
1-70	EXISTING SIDEWALK
1-71	EXISTING SIDEWALK
1-72	EXISTING SIDEWALK
1-73	EXISTING SIDEWALK
1-74	EXISTING SIDEWALK
1-75	EXISTING SIDEWALK
1-76	EXISTING SIDEWALK
1-77	EXISTING SIDEWALK
1-78	EXISTING SIDEWALK
1-79	EXISTING SIDEWALK
1-80	EXISTING SIDEWALK
1-81	EXISTING SIDEWALK
1-82	EXISTING SIDEWALK
1-83	EXISTING SIDEWALK
1-84	EXISTING SIDEWALK
1-85	EXISTING SIDEWALK
1-86	EXISTING SIDEWALK
1-87	EXISTING SIDEWALK
1-88	EXISTING SIDEWALK
1-89	EXISTING SIDEWALK
1-90	EXISTING SIDEWALK
1-91	EXISTING SIDEWALK
1-92	EXISTING SIDEWALK
1-93	EXISTING SIDEWALK
1-94	EXISTING SIDEWALK
1-95	EXISTING SIDEWALK
1-96	EXISTING SIDEWALK
1-97	EXISTING SIDEWALK
1-98	EXISTING SIDEWALK
1-99	EXISTING SIDEWALK
1-100	EXISTING SIDEWALK

2.5 Bedford Street  
 The Depot  
 Project Title  
 0842  
 Drawing No.  
 C-11  
 Date: 11/11/11

KNOTHE & BRUCE ARCHITECTS  
 7601 University Avenue Suite 201  
 Redmond, Vancouver, WA 98052  
 509.928.8888 Fax 509.928.9171

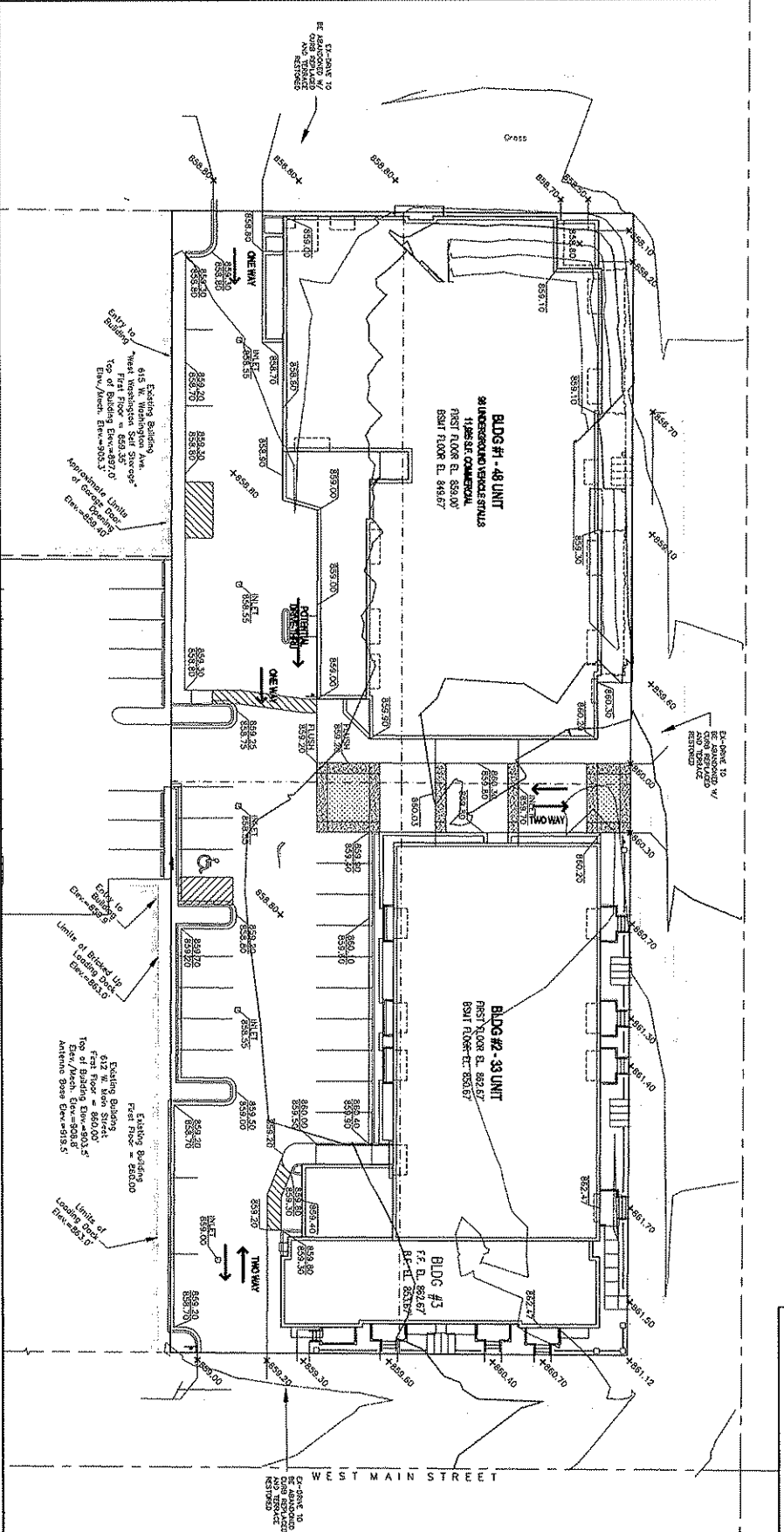
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S ZONING ORDINANCES AND THE CITY ENGINEER'S PERMITS.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.  
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S PERMITS.

**GENERAL NOTES:**

1. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED UNLESS OTHERWISE NOTED.
3. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
4. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED UNLESS OTHERWISE NOTED.
5. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
6. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
7. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
8. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
9. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
10. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
11. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.
12. THE GRADING SHALL BE TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ENGINEERING AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF MINNEAPOLIS.

**EROSION CONTROL SCHEDULE:**

900.50 = TOP OF CURB/JAW ELEV.  
 900.00 = PRESENT ELEV.  
 X 900.00 = PROPOSED SPOT ELEVATION  
 X 900.00 = EXISTING SPOT ELEVATION



**IS GROUP**  
 Our firm - start to finish™  
 ARCHITECTS • ENGINEERS • PLANNERS • LAND SURVEYORS • PHOTOGRAPHERS

Madison Office  
 7680 Research Park Drive, Suite H  
 Madison, WI 53711  
 Ph: 608-442-9500  
 Fax: 608-442-9061

Fort Worth, Minnesota  
 507-331-1500  
 1135 W. Wisconsin  
 Fort Worth, MN 56103  
 Ph: 507-331-1500  
 Fax: 507-331-1501  
 Web: www.is-gp.com

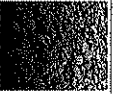
**2 SOUTH BEDFORD STREET  
 GRADING PLAN**

DATE: 04-07-09

REVISION	
NO.	DATE
01	07-20-09

SHEET C-2.1



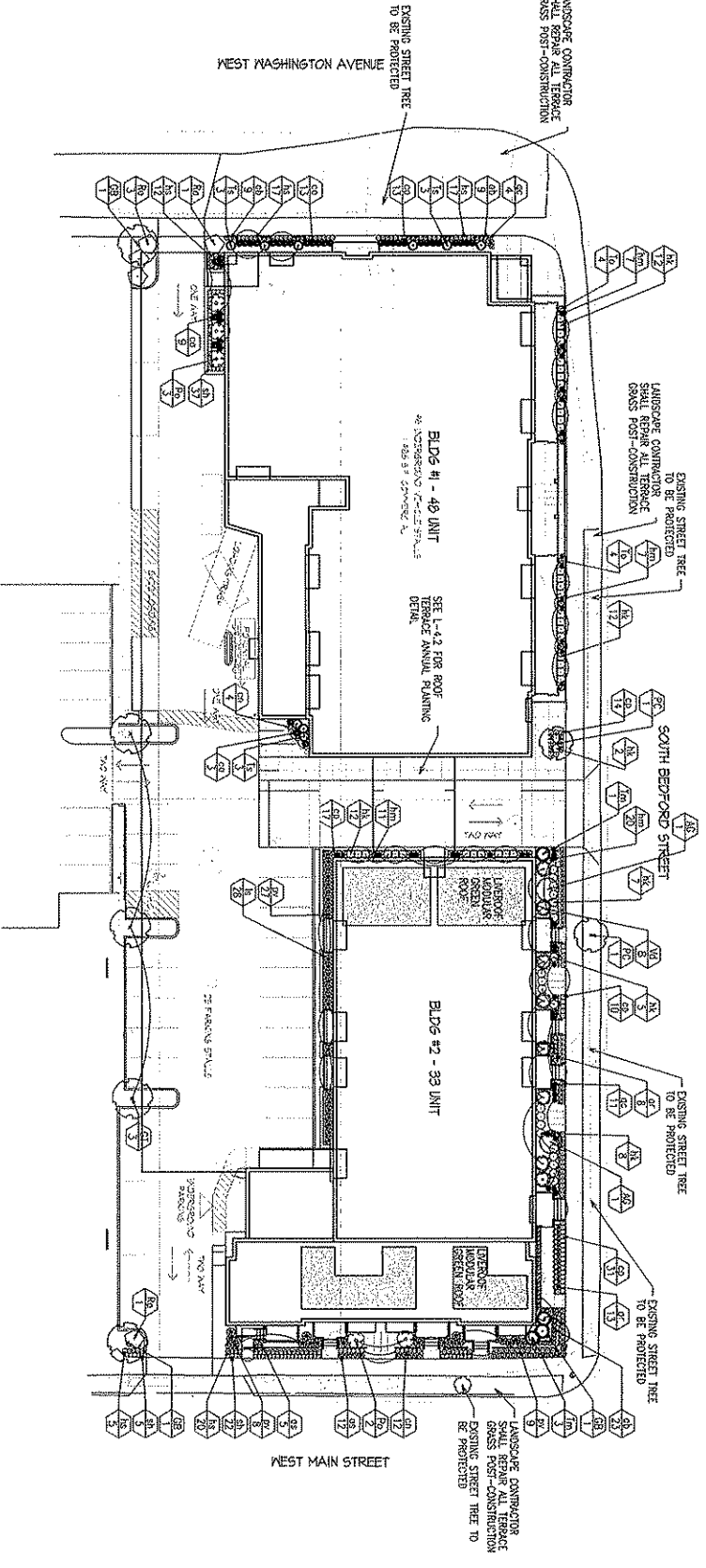


**Ken Sanki Design Inc.**  
 LANDSCAPE ARCHITECTS  
 678 S. Ackerl...  
 Waukesha, WI 53186  
 262.533.1111  
 262.533.1112  
 262.533.1113

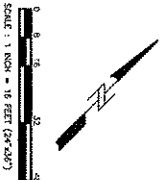
1. See sheet L-4.2 for planting details.
2. Install low protection kerbing at least 6" or on each side of all existing trees for the width support zone. If any kerbing is needed within 6" of the trees, City Forestry shall be called to evaluate the kerbing and approve any low kerbing.
3. Landscape contractor shall contact City Forestry at least 48 hours prior to planting near the tree protection. Contact Diana Kohn, 608-285-8116, D.Kohn@cityofmke.com.

DATE: 04/13/2009  
 4:00 PM

**PLANTING PLAN**



Plant List Key	Botanical Name	Common Name	Quantity	Install Size	Full-grown size	Comments
	<b>Deciduous Trees</b>					
4C	<i>Jasminum x grandiflora 'Gold'</i>	Gold Select Serviceberry	3	6" ht. 8/88	15-20'	16-17.5' multi-stem
4E	<i>Gemata shibata 'Princeton Sentry'</i>	Princeton Sentry Ginkgo	3	2.5' cal. 8/88	40'	18'
4F	<i>Gemata shibata 'Savane'</i>	Savane Ginkgo	3	2.5' cal. 8/88	45'	18'
4G	<i>Prunus californica 'Chandler'</i>	Chandler Street Cherry Pear	2	2.5' cal. 8/88	35'	18'
	<b>Deciduous Shrubs</b>					
4a	<i>Photographa rotundifolia 'Seward'</i>	Seward Wink Eastern Noddy	3	2" ht. cont.	5-6'	5-6'
4b	<i>Rhus aromatica 'Sourwood'</i>	Goatfoot Redbud Sumac	10	18" soil. cont.	2.5'	6-8'
4c	<i>Viburnum dentatum 'Creston'</i>	Blue Madril Viburnum	9	3" ht. cont.	4-6'	4-6'
	<b>Evergreen Shrubs</b>					
4m	<i>Taxus x media 'Tammul'</i>	Tammul Yew	8	1.5" ht. cont.	3-4'	4-5'
4n	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arborvitae	12	4" ht. cont.	8-12'	3-4'
4o	<i>Thuja occidentalis 'Holmstrup'</i>	Holmstrup Arborvitae	8	4" ht. cont.	5'	2-3'
	<b>Perennials/Grasses/Roundovers</b>					
4r	<i>Allyea repens 'Cabin's Giant'</i>	Cabin's Giant Carpet Bugle	55	1 qt. cont.	8-12'	1-1.5'
4s	<i>Allium triquetrum 'Summer Beauty'</i>	Summer Beauty Ornamental Onion	20	1 qt. cont.	1-1.5'	1.5-2'
4t	<i>Amsonia x 'Blue Ice'</i>	Blue Ice Star Flower	73	1 qt. cont.	1-1.5'	1.5-2'
4u	<i>Calamagrostis scutellaria 'Yari Fourstar'</i>	Yari Fourstar Feather Reed Grass	30	1 gal. cont.	3-4'	2-3'
4v	<i>Calamagrostis scutellaria 'Yari Fourstar'</i>	Yari Fourstar Feather Reed Grass	5	1 qt. cont.	1.5-2'	1.5-2'
4w	<i>Calamagrostis scutellaria 'Yari Fourstar'</i>	Yari Fourstar Feather Reed Grass	5	1 qt. cont.	1.5-2'	1.5-2'
4x	<i>Coreopsis lanceolata</i>	Pennsylvania Sedge	30	1 qt. cont.	6-12'	1.5-2'
4y	<i>Geranium x cantabrigiae 'Birkovo'</i>	Birkovo Geranium	200	1 qt. cont.	6-6'	1.2-1.8'
4z	<i>Habenaria macra 'Huronia'</i>	Golden-leaved Japanese Forest Grass	45	1 qt. cont.	2-3'	1.5-2'
5a	<i>Habenaria semperverens 'Saphirspindel'</i>	Korosa Reishi Herb	40	1 qt. cont.	18-30"	1.5-2'
5b	<i>Hesperis matronalis 'Royal Velvet'</i>	Blazing Star	20	1 qt. cont.	2-3'	2.5'
5c	<i>Hesperis matronalis 'Royal Velvet'</i>	Blazing Star	28	1 qt. cont.	1.5-2'	2-3'
5d	<i>Hesperis matronalis 'Royal Velvet'</i>	Blazing Star	69	1 qt. cont.	4-6'	2-3'
5e	<i>Sparganium angustifolium</i>	Prairie Dropseed	45	1 qt. cont.	2-3'	1.5-2'



Project No: 0042  
 Drawing No: L-4.1  
 2 S Bedford Street  
 Planting Plan

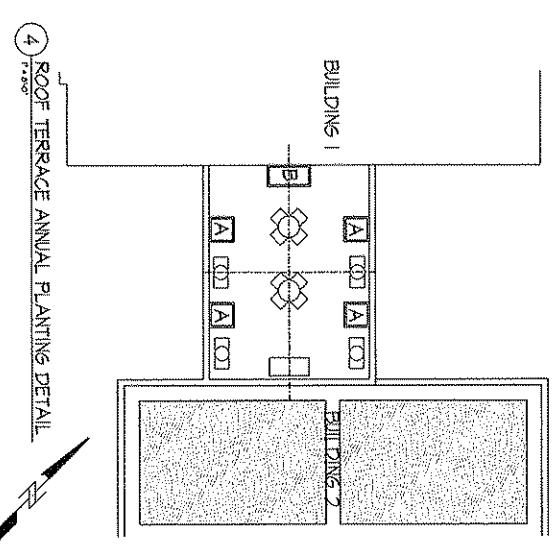
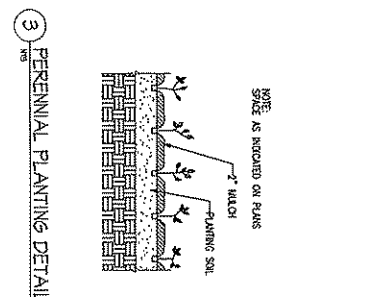
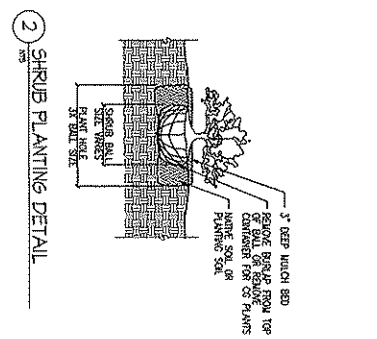
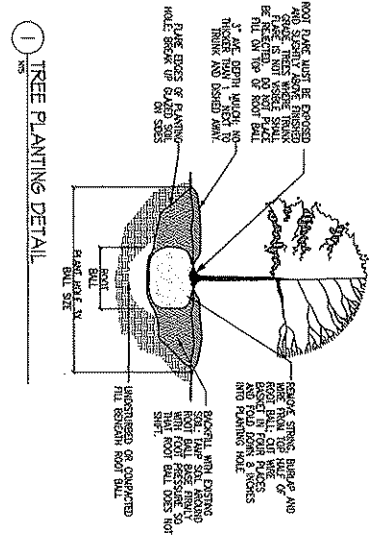
**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Suite 201  
 Middleton, Wisconsin 53552  
 608-889-3690 FAX 889-6934

**KEN SAIKI DESIGN INC LANDSCAPE ARCHITECTS**  
 1000 N. F. JENSEN  
 SUITE 200  
 MADISON, WI 53705  
 PHONE: 608-551-4839  
 FAX: 608-551-4839  
 WWW: WWW.KENSAIKI.COM

1. See sheet L-4.1 for planting plan.  
 2. Install tree protection fencing at least 8'-0" on each side of existing trees for the width of the root zone of the trees to be protected. The fence shall be constructed of 1/2" galvanized steel pipe with 1/2" x 1/2" x 1/4" galvanized steel caps. The fence shall be installed within 8'-0" of the trees. City Forestry shall be called to evaluate the installation and approve any tree cutting.  
 3. Landscaping contractor shall contact City Forestry at least 48 hours prior to planting native trees to approve planting sites and to obtain a tree planting permit. Call 608-268-4816. [CityofMadison@cityofmadison.com](mailto:CityofMadison@cityofmadison.com)

REVISIONS  
 DATE  
 BY  
 1. 06/11/2024  
 2. 06/11/2024  
 3. 06/11/2024

Project Title: The Depot  
 2 & Bedford Street  
 Drawing Title: Planting Details  
 Project No: 0642  
 Drawing No: L-4.2



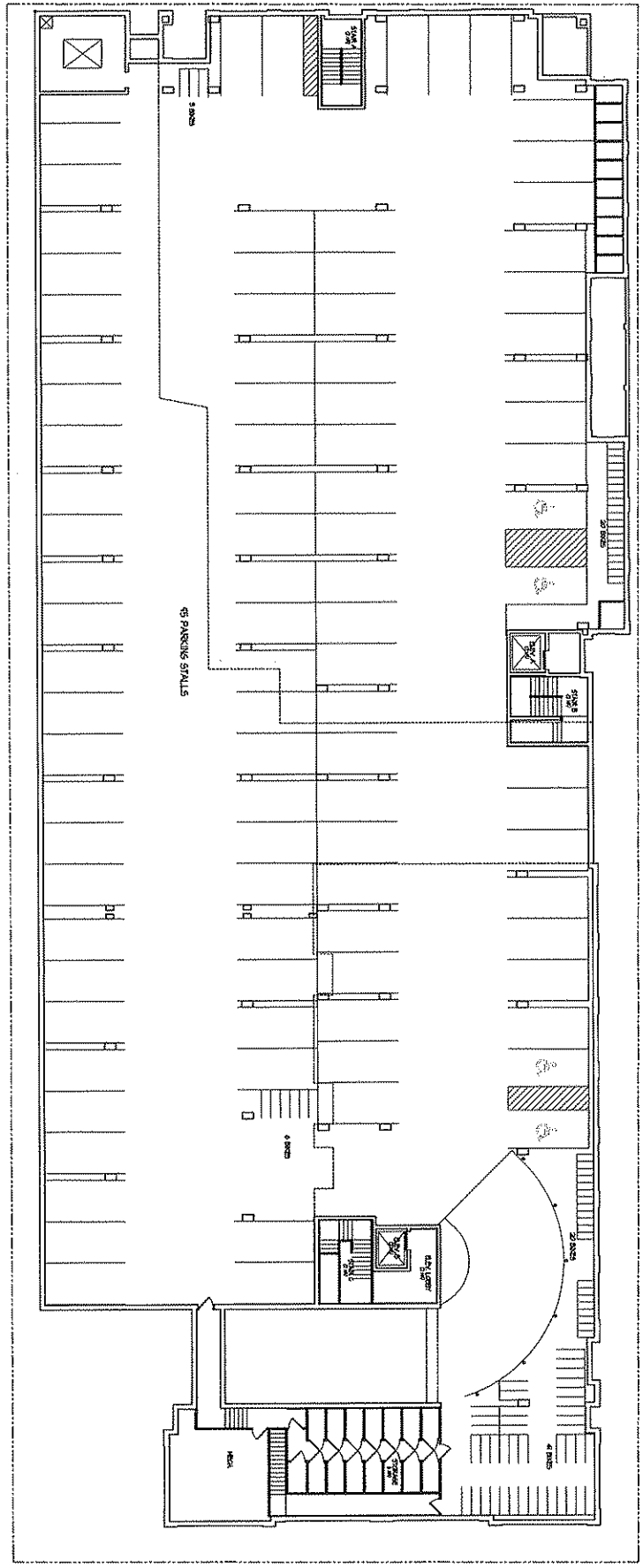
- NOTES
1. Standard shall be latest adopted or proposed standard edition of planting specifications for Green Commission. The standard shall be the most recent, most current, and most up-to-date edition of the standard.
  2. Shrub and tree, quality, and size shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  3. Plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  4. Plant shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  5. Plant shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  6. Plant shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  7. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  8. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  9. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  10. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  11. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  12. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  13. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  14. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.
  15. All plant and soil shall be as indicated on the drawing. The standard shall be the most current, most up-to-date edition of the standard.

City of Madison - Landscape Worksheet

Item	Quantity	Points	Points Value	Points Achieved	Points
Number of Parking Spaces	24				24
Total Sq. Footage of Storage Area					2
Number of Canopy Shade Trees					117
Number of Canopy Shade Trees					117
Number of Points Required					117
Number of Points Required					117
Item	Points Value	Quantity	Points Achieved	Points	
Canopy Tree, 2" - 21/2"	5	3	0	0	
Deciduous Shrub	2	4	0	0	
Evergreen Shrub	3	3	0	0	
Decorative Wall or Fence	5	0	0	0	
Screen Wall (over 10'-1/2" Avg. Height 30"	5	0	0	0	
Avg. Height 15"	2	0	0	0	
Evergreen Trees	15	0	0	0	
Height of 15' or taller	15	0	0	0	
1 1/2" - 2" Caliper	15	0	0	0	
(i.e. Crab Apples)					
Sub-TOTALS		1221		1221	
TOTAL POINTS				1221	

**KNOTHE  
& BRUCE**  
ARCHITECTS

2011  
1111  
N. 1st Street, Suite 200  
Portland, Oregon 97208  
503.251.3150 Fax 503.493.1111



**BASEMENT FLOOR PLAN**

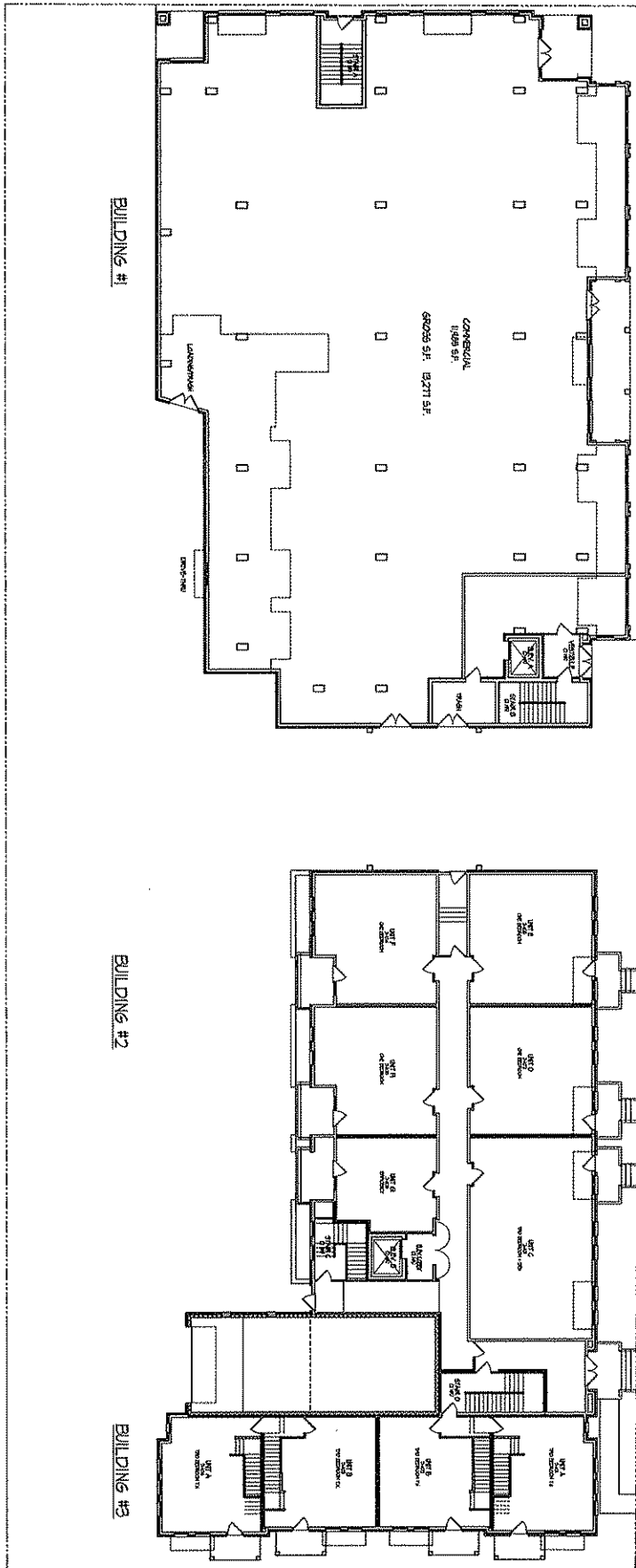
Notes:  
1. See General Schedule - 4/14/01, 2004  
2. Based on Building - August 4, 2004  
3. New Alteration 6/29/05 - August 5, 2004

2 S. Bedford Street  
Owner: The  
**Basement Floor Plan**  
Project No. 0842  
Date: 11/0

Project No. 0842  
The Depot

W. WASHINGTON AVE.

S. BEDFORD STREET



N  
 3822 x 1107  
**FIRST FLOOR PLANS - Buildings #1 - #3**

Notes:  
 1. Based on Survey - July 28, 2004  
 2. Based on Survey - August 4, 2004  
 3. New Addition 607-50' - August 5, 2004

25. Bedford Street  
 Project No.  
**Floor Plans**  
**Buildings #1 - #3**  
 Project No.  
**0842**  
 Date/Rev.  
**A-11**

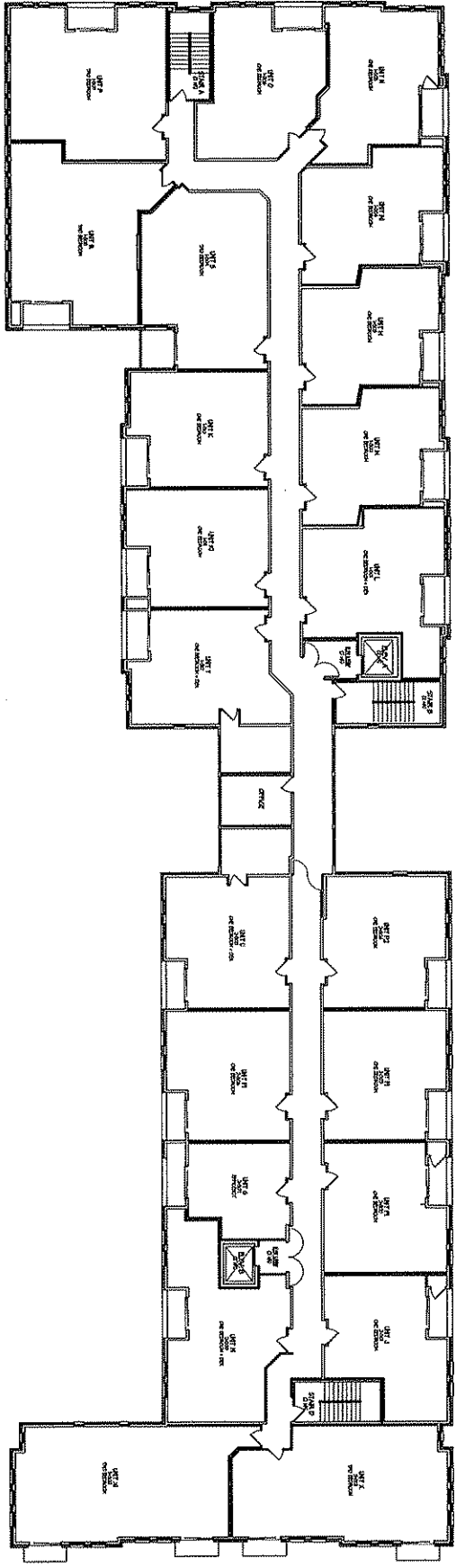
Project Title  
**The Depot**

KNOTHE  
 & BRUCE  
 ARCHITECTS  
 7201 University Avenue, Suite 201  
 Middleton, Wisconsin 53562  
 608.831.3190 Fax 608.831.4834





**KNOTHE & BRUCE ARCHITECTS**  
 700 University Avenue, Suite 201  
 Madison, Wisconsin 53706  
 608.261.9180 Fax: 608.443.4331



BUILDING #1

BUILDING #2

BUILDING #3

**THIRD FLOOR PLANS - Buildings #1 - #3**

Project Title  
 The Depot

Revision  
 0842  
 0842  
 0842

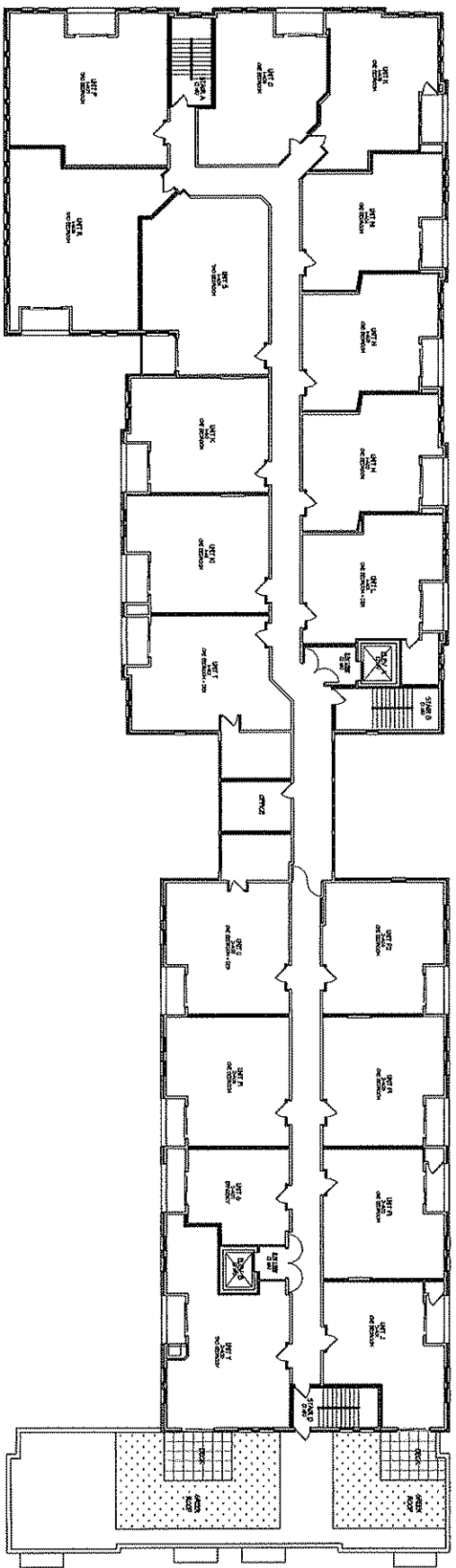
2 S. Bedford Street  
 Drawing No.  
**Third Floor Plans - Buildings #1 - #3**  
 Project No.  
 0842  
 A-13

**KNOTHE  
& BRUCE  
ARCHITECTS**

7681 University Avenue Suite 204  
Berkeley, California 94704  
415.841.1800 Fax 415.841.9334

COPYBOOK

Scale: \_\_\_\_\_



BUILDING #1

BUILDING #2

N  
FOURTH FLOOR PLANS - Buildings #1 & #2  
SCALE = 1/4"

Project File: \_\_\_\_\_

Drawn By: \_\_\_\_\_  
Fourth Floor Plans -  
Building #1 & #2  
Project File: \_\_\_\_\_

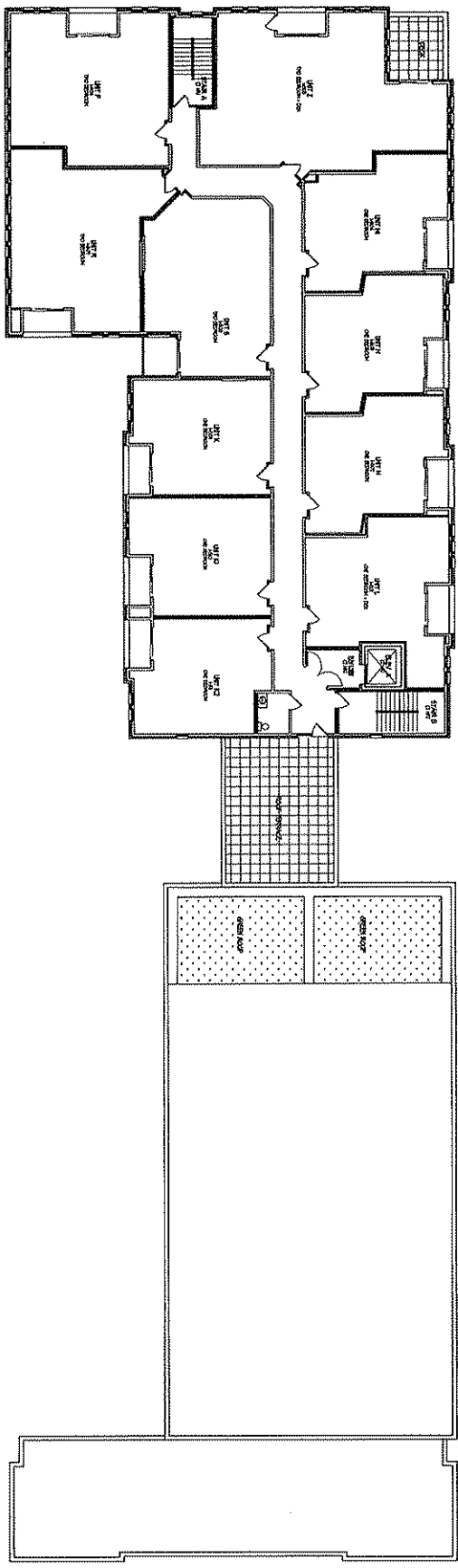
Drawn By: \_\_\_\_\_  
A-14

Project File: \_\_\_\_\_

**KNOTHE  
& BRUCE**  
ARCHITECTS

201 University Avenue, Suite 200  
Berkeley, CA 94704  
415.841.3900 Fax: 415.841.3910

Room \_\_\_\_\_



BUILDING #1

⊗ **FIFTH FLOOR PLAN - Building #1**  
3/27 & 1/07

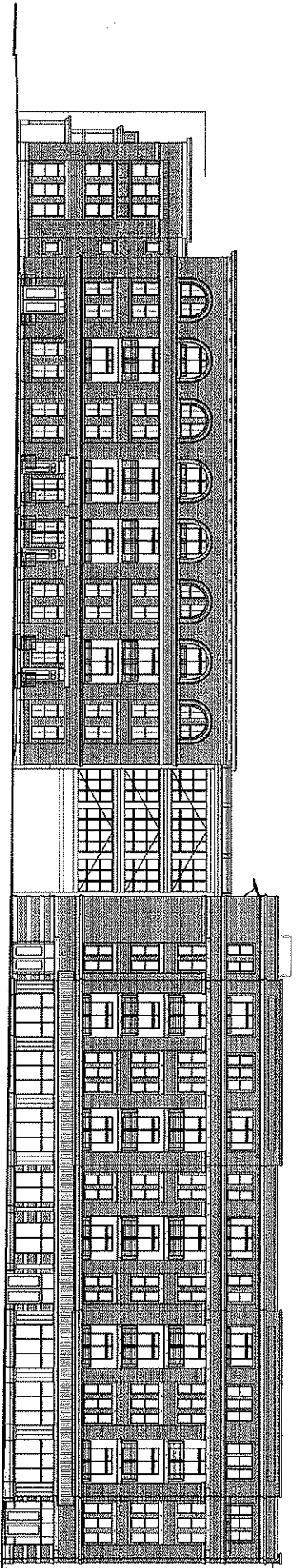
Report Title  
**The Depot**

Revised  
Revised and Submitted - July 29, 2004  
Issued for Bidding - August 4, 2004  
Minor Alterations Specified - August 5, 2004

2 S. Redford Street  
Berkeley, CA  
**Fifth Floor Plan**  
Building #1  
Project No. **0842**  
Sheet No. **A-15**

**KNOTHE & BRUCE ARCHITECTS**  
 7401 University Avenue, Suite 200  
 Philadelphia, PA 19104  
 610-831-3100 Fax 610-493-4334

**CONTEXT**

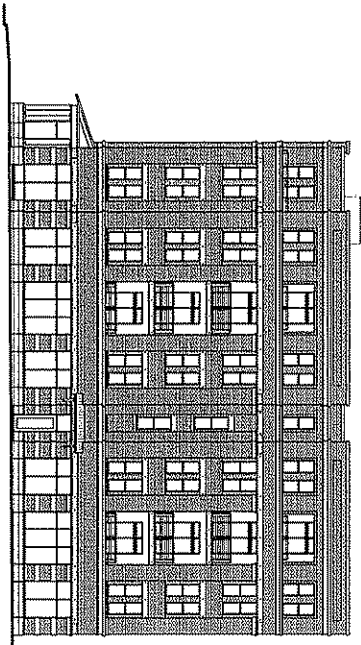


BUILDING #1

BUILDING #2

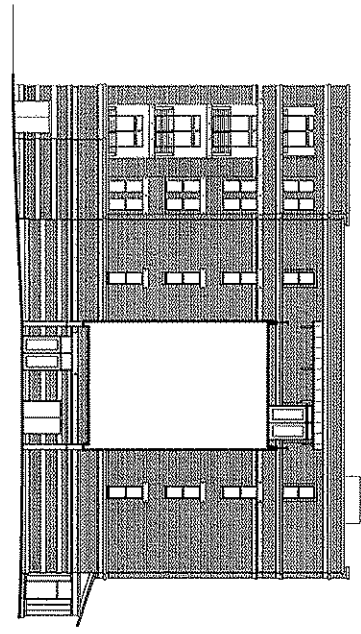
BUILDING #1

**A**  
 NORTH EAST ELEVATION AT S. BEDFORD ST.



BUILDING #1

**B**  
 NORTHWEST ELEVATION AT W. WASHINGTON



BUILDING #1

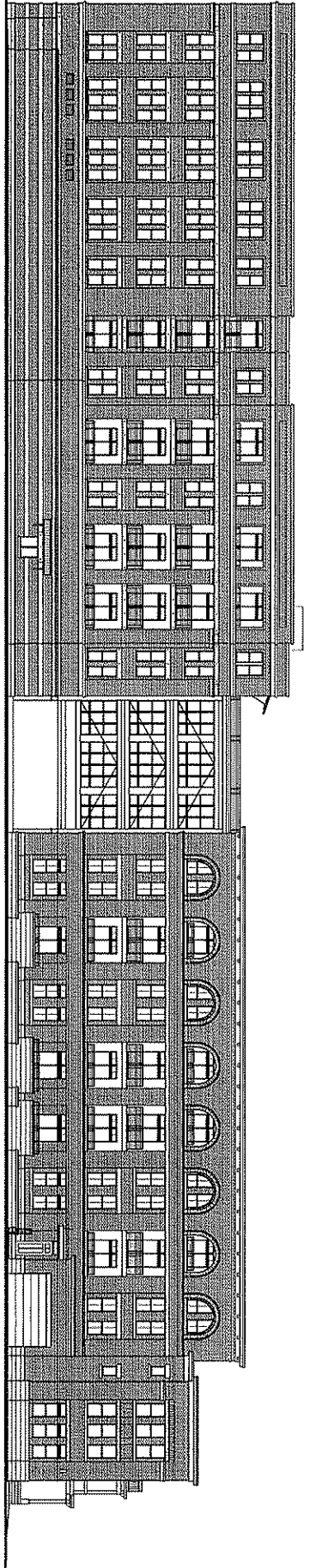
**C**  
 SOUTHEAST ELEVATION AT PRIVATE DRIVE

**NOTES**  
 1. See final landscape plan for site details.  
 2. All elevations are based on a finished floor elevation of 100.00.  
 3. All elevations are based on a finished floor elevation of 100.00.

**Project Title**  
 The Depot

**2. S. Bedford Street**  
 Context for  
 Elevations  
 Buildings #1, #2  
 Project No. 0842  
 Sheet No. A-2

**KNOTHE & BRUCE ARCHITECTS**  
 7001 University Avenue, Suite 201  
 Houston, Texas 77030  
 656.835.3470 Fax: 656.835.6934

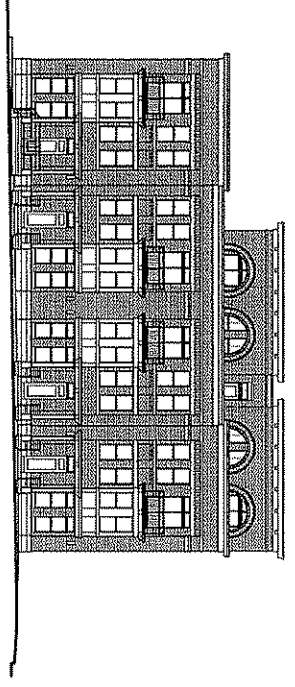


BUILDING #1

BUILDING #2

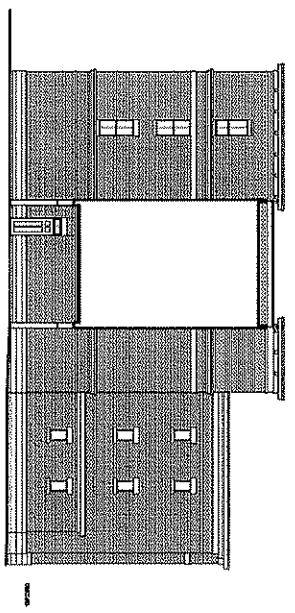
BUILDING #3

**D** **AS1** **2007-10'** **SOUTHWEST ELEVATION AT PARKING LOT**



BUILDING #3

**E** **AS2** **2007-10'** **SOUTHEAST ELEVATION AT WEST MAIN ST.**



BUILDING #2

**F** **AS3** **2007-10'** **NORTHWEST ELEVATION AT PRIVATE DRIVE**

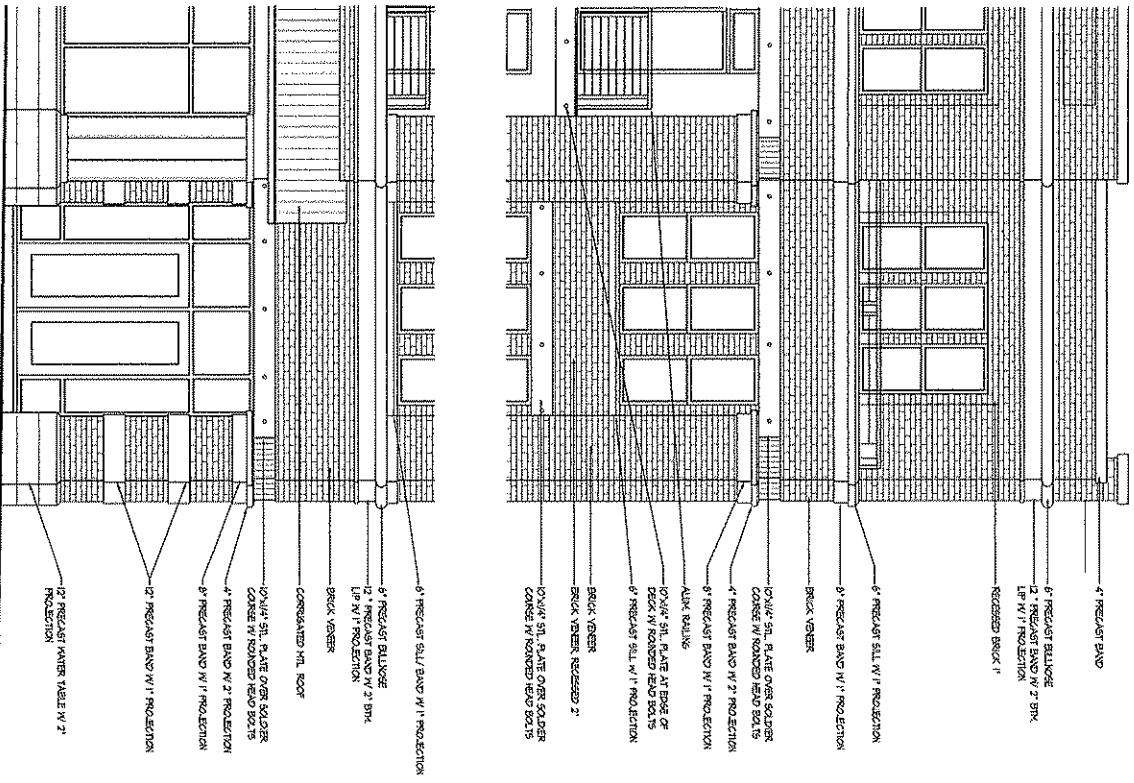
**EXHIBIT**  
 2007 Final Standard - 10.24.2007  
 Added to Existing - 10.24.2007  
 New Additions to 2007 - 10.24.2007

**Project Title**  
 The Depot

**2.5. Bedford Street**  
 Showing the  
**Elevations**  
**Buildings #1-#3**  
 Project No. **0842** Drawing No. **A-22**



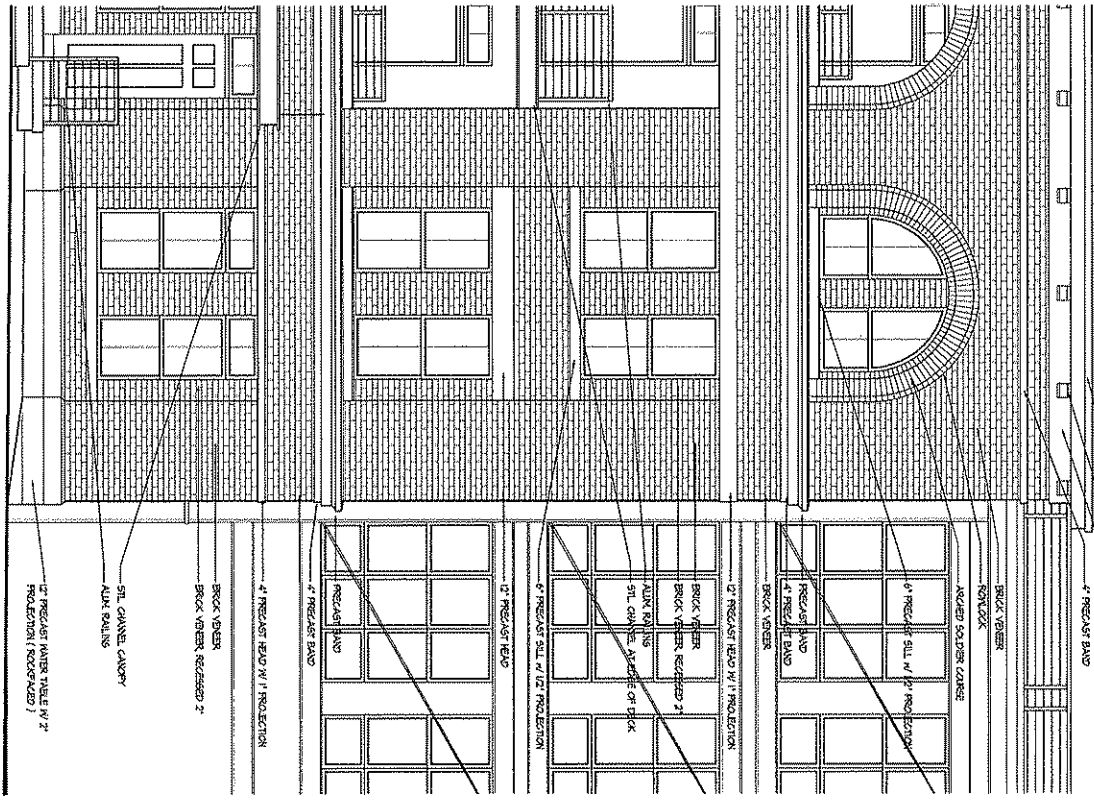
**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Suite 201  
 University Heights, Ohio 44118  
 (419) 929-9800 Fax: (419) 929-9331



BUILDING #1

**NORTH EAST ELEVATION AT S. BEDFORD ST.**

50'-1 1/4"



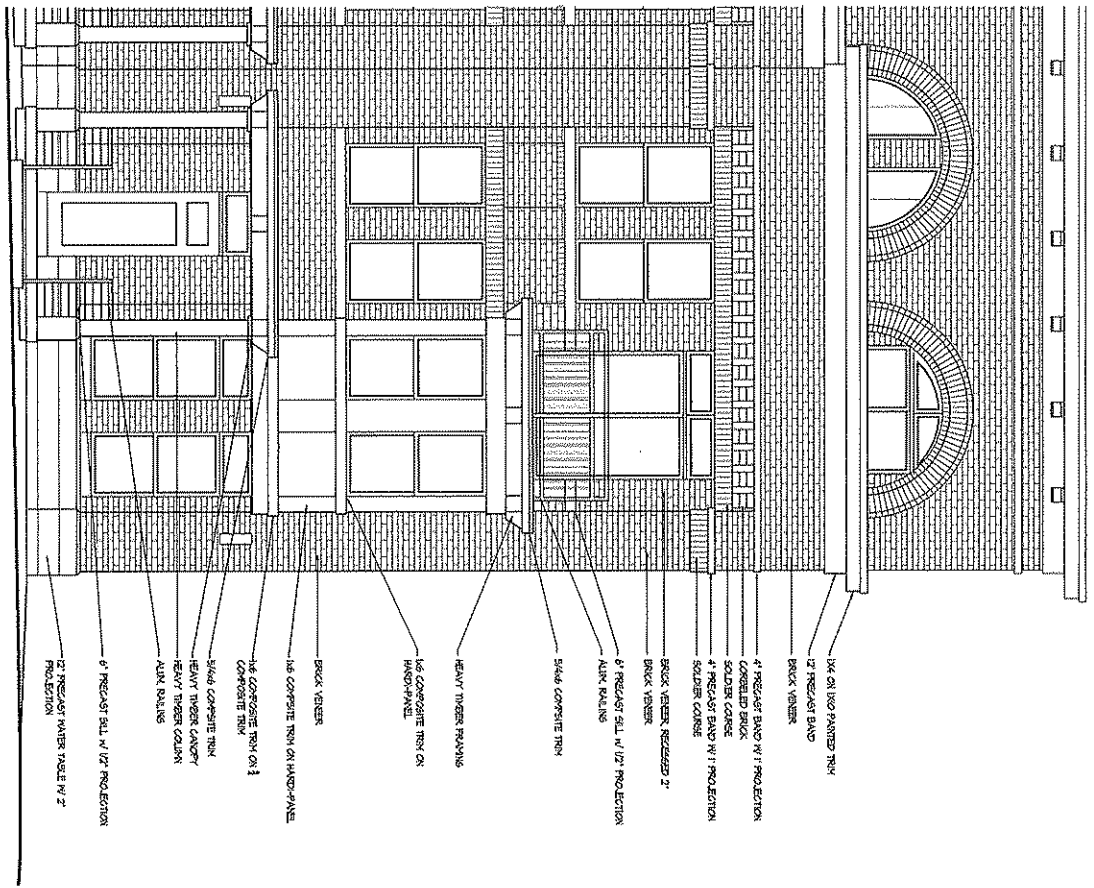
BUILDING #2

2.5. Bedford Street  
 Drawing the  
**Elevation Details**  
 Buildings #1 & #2  
 Project: 0642  
 Date: 11/11/09  
 A-23

**The Depot**

Project Title  
 2.5. Bedford Street  
 Drawing the  
**Elevation Details**  
 Buildings #1 & #2  
 Project: 0642  
 Date: 11/11/09

**KNOTHE  
& BRUCE  
ARCHITECTS**  
7601 University Avenue Suite 201  
Madison, Wisconsin 53722  
608-261-3190 Fax 608-261-9594



**BUILDING #3**  
**SOUTH EAST ELEVATION AT W. MAIN ST.**

- 1/4" ON 1/2" PAINTED TRIM
- 1/2" PRECAST BAND
- BRICK VENER
- 4" PRECAST BAND W/ 1" PROJECTION
- CORNERED BRICK
- SOLDER CORNER
- 4" PRECAST BAND W/ 1" PROJECTION
- SOLDER CORNER
- BRICK VENER, RECESSED 2"
- BRICK VENER
- 6" PRECAST SILL W/ 1/2" PROJECTION
- ALUM. RAILING
- SLAB CONCRETE TRIM
- HEAVY TRUSS FRAMING
- 1/4" CONCRETE TRIM ON HANDRAIL
- BRICK VENER
- 1/4" CONCRETE TRIM ON HANDRAIL
- 1/4" CONCRETE TRIM ON HANDRAIL
- SLAB CONCRETE TRIM
- HEAVY TRUSS CANOPY
- HEAVY TRUSS COLUMN
- ALUM. RAILING
- 6" PRECAST SILL W/ 1/2" PROJECTION
- 1/2" PRECAST WATER TABLE W/ 2" PROJECTION

Project: **The Depot**  
 2.5. Bedford Street  
 Elevation Details  
 Building #3  
 0842 A-2.4