

BATHROOM FIXTURE CALCULATIONS					
USE	CAPACITY	FLOOR WATER CLOSET		FLOOR LAVATORY	
		MALE	FEMALE	MALE	FEMALE
EMP	250	1 PER 40 (30)	1 PER 40 (30)	1 PER 75 (45)	1 PER 75 (45)
GENL	225	1 PER 75 (45)	1 PER 75 (45)	1 PER 200 (8)	1 PER 200 (8)
FLOOR TOTAL	475	4 (0)	4 (0)	2 (0)	2 (0)
PROVIDED	3 W. 4 (2) (1) (1)	5 (0)	5 (0)	2 (0)	2 (0)

NOTE:
 1. CAPACITY INCLUDES INDOOR AND OUTDOOR PATRON SEATING AND EMPLOYEES (A7A TOTAL).
 2. MALE FIXTURES SHALL BE ACCOUNTED FOR IN THE FAMILY RESTROOM.
 3. MAX INDOOR CAPACITY = 400 PERSONS.

1 FIRST FLOOR FURNITURE PLAN

SCALE: 1/8" = 1'-0"
 NOTE:
 FURNITURE LAYOUT IS BEING PROVIDED FOR REFERENCE AND CIRCULAR DIMENSIONS AS NOTED. FINAL FURNITURE LAYOUT TO BE PROVIDED BY CLIENT.

PRELIMINARY PLANS NOT FOR CONSTRUCTION

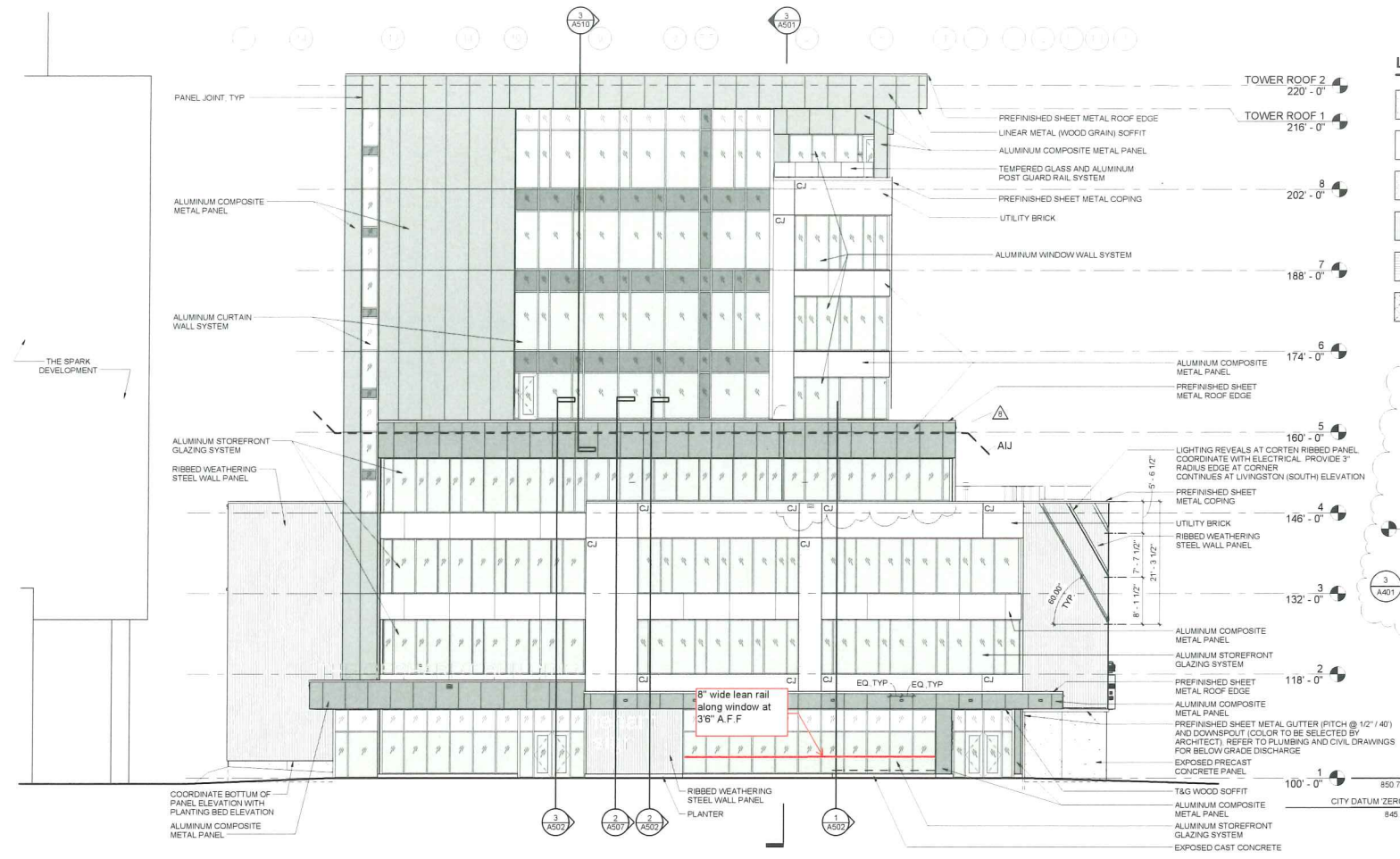
VINTAGE BREWING
 TENANT BUILD-OUT

FIRST FLOOR FURNITURE PLAN

ADCI Architectural Design Consultants, Inc.
 30 Wisconsin Dells Parkway • P.O. Box 580
 Lake Delton, WI 53940
 Phone: (608) 254-6181 Fax: (608) 254-2139
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Drawn By: M. BURCHOFF
 Checked By: W. SIMPSON
 Date: 3-23-2015
 Scale: AS NOTED
 S.P. Number: (7.14)

SHEET NUMBER
A1.3



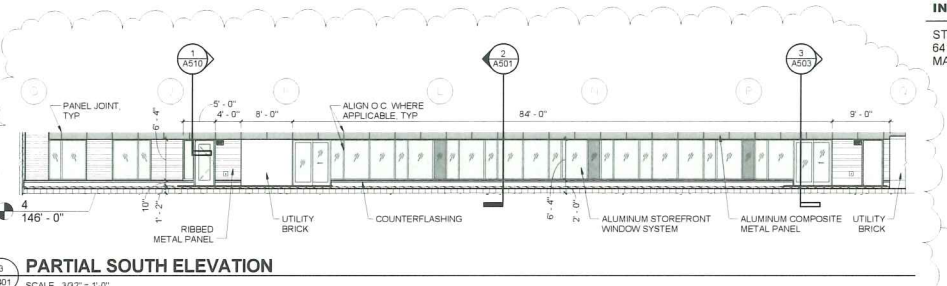
1 E. WASHINGTON AVE. (WEST) ELEVATION
SCALE 3/32" = 1'-0"

LEGEND

	EXPOSED CAST CONCRETE		ALUMINUM COMPOSITE METAL PANEL (ACM-1)
	EXPOSED PRECAST CONCRETE		ALUMINUM COMPOSITE METAL PANEL (ACM-2)
	UTILITY BRICK		VISION GLASS TRANSPARENT (IGU-1)
	WEATHERING STEEL PANEL (RIBBED)		VISION GLASS TEMPERED (IGU-2)
	RIBBED METAL PANEL		SPANREL GLASS (IGU-3)
	EIFS		

GENERAL EXTERIOR ELEVATION NOTES

- REFER TO WALL SECTIONS AND SPECIFICATION FOR ADDITIONAL EXTERIOR MATERIALS INFORMATION
- APPROXIMATE LOCATIONS OF SIGNAGE AND CUSTOM PERFORATED WEATHERING STEEL ARE SHOWN. LOCATIONS PENDING CITY APPROVAL
- SIGNAGE PROVIDED BY OWNER'S SIGNAGE CONSULTANT. N I C APPROXIMATE LOCATIONS SHOWN FOR GENERAL COORDINATION OF ELECTRICAL WORK PROVIDED BY E C
- SHEET METAL COLORS FOR COPINGS, FLASHINGS, DOWNSPOUTS AND GUTTERS TO BE SELECTED BY ARCHITECT

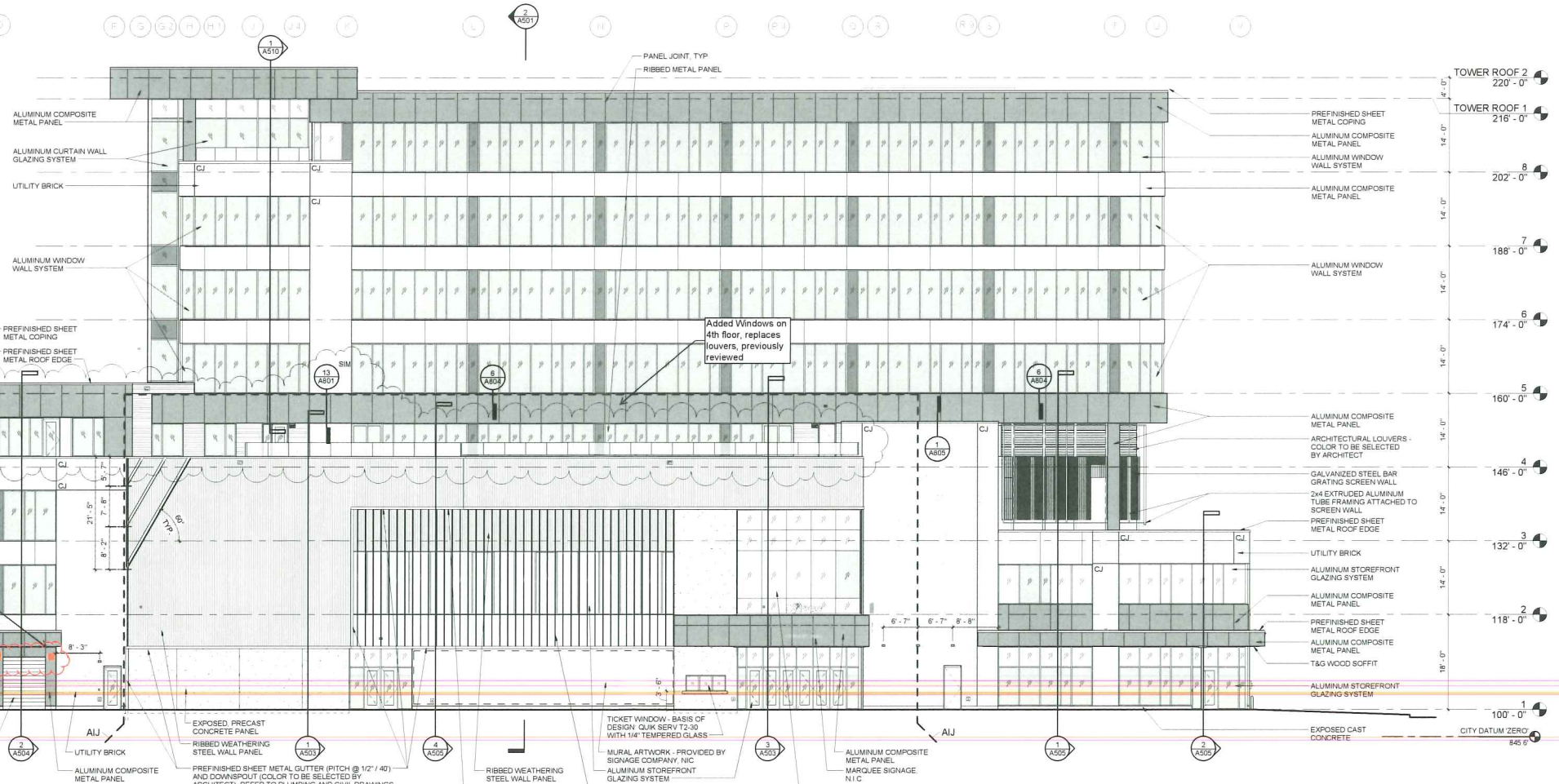


3 PARTIAL SOUTH ELEVATION
SCALE 3/32" = 1'-0"

REVISIONS

No.	DESCRIPTION	DATE
1	ADDENDUM 01	05-30-2017
2	SI-C01	06-28-2017
3	SI-FP01	07-10-2017
4	CONSTRUCTION SET	07-14-2017
5	SI-FP02	08-04-2017
6	SI-FP06	10-14-2017
7	SI-C15	12-27-2017
8	SI-C10	01-12-2018

2 S. LIVINGSTON ST. (SOUTH) ELEVATION
SCALE 3/32" = 1'-0"



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DRAWING SET	CD
DRAWN	JZ
CHECKED	JC
DATE	1-08-2018
PROJECT NO.	2016090

PROJECT TITLE
GEBHARDT DEVELOPMENT - THE COSMOS PROJECT

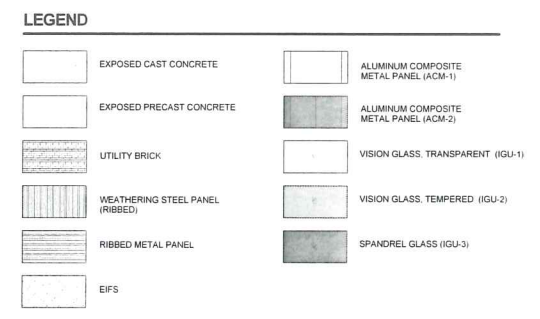
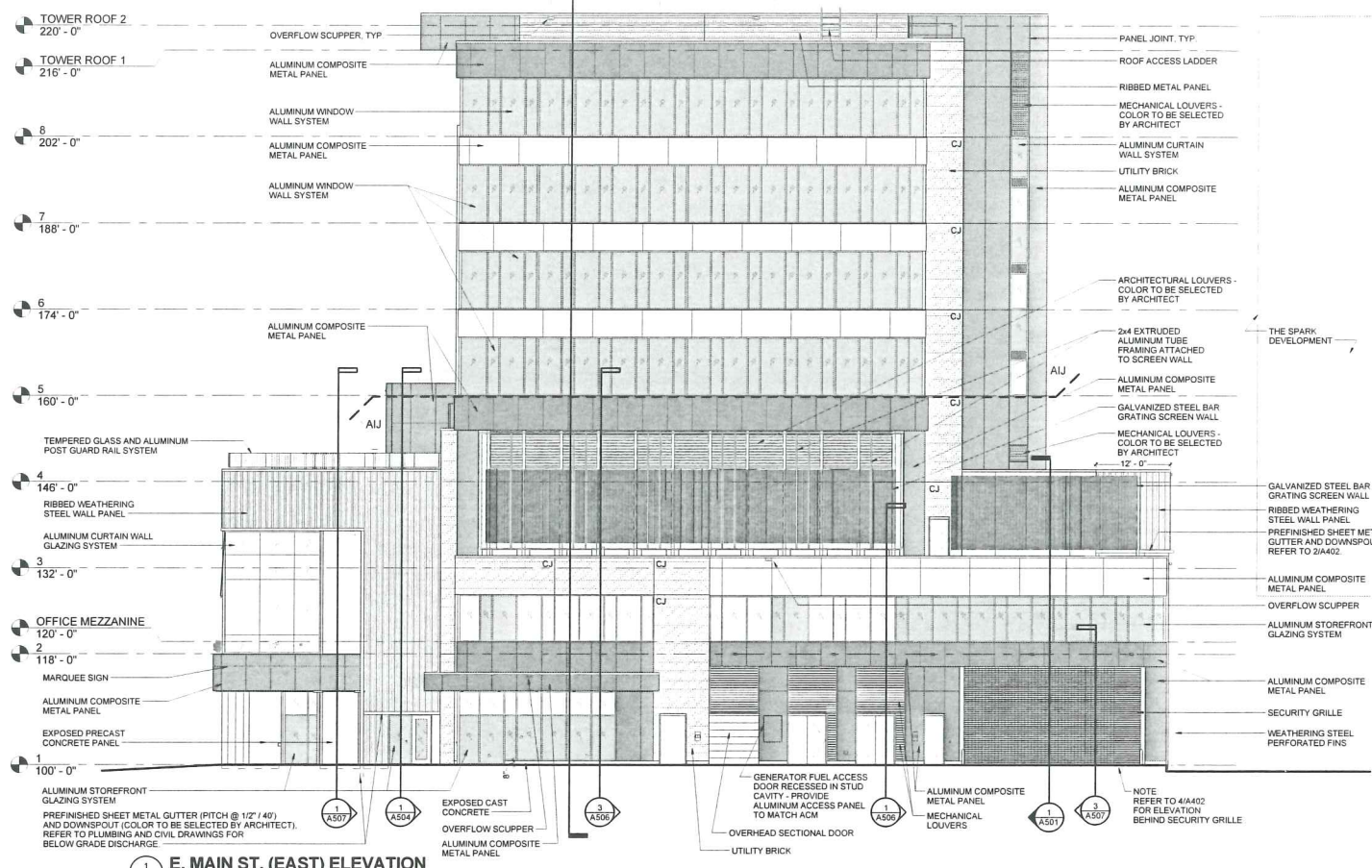
811 E. WASHINGTON AVENUE
 MADISON, WISCONSIN 53703

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NO.

A401

1 1.1 1.2 2 3 3.6 4 5 6 7 7.7 8 9 10 11 13 14 15

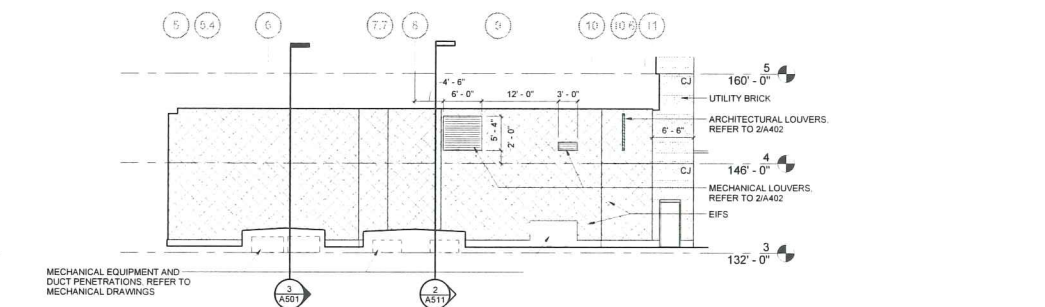


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 - SHEET METAL COLORS FOR COPINGS, FLASHINGS, DOWNSPOUTS AND GUTTERS TO BE SELECTED BY ARCHITECT.



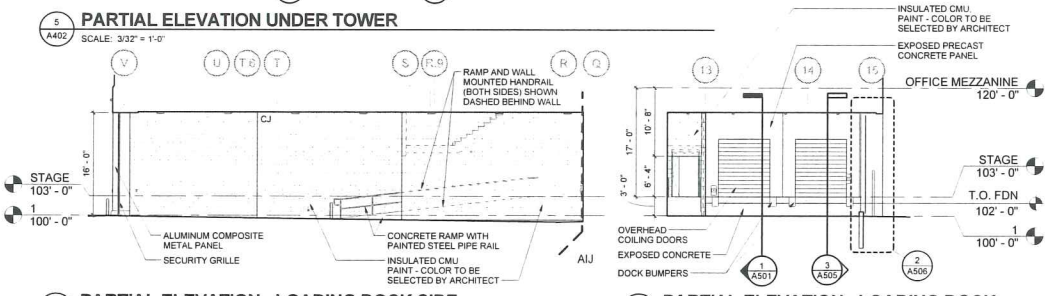
**ARCHITECTURE
ENGINEERING
INTERIOR DESIGN**

STRANG, INC.
6411 MINERAL POINT ROAD
MADISON, WI 53705-4395



REVISIONS

No.	DESCRIPTION	DATE
1	ADDENDUM 01	05-30-2017
2	SI-C01	06-28-2017
3	CONSTRUCTION SET	07-14-2017
4	SI-F02	08-04-2017
5	SI-C05	10-26-2017
6	SI-C04.1	12-13-2017
7	SI-F12	12-15-2017
8	SI-C15	13-27-2017
9	SI-C10	01-12-2018



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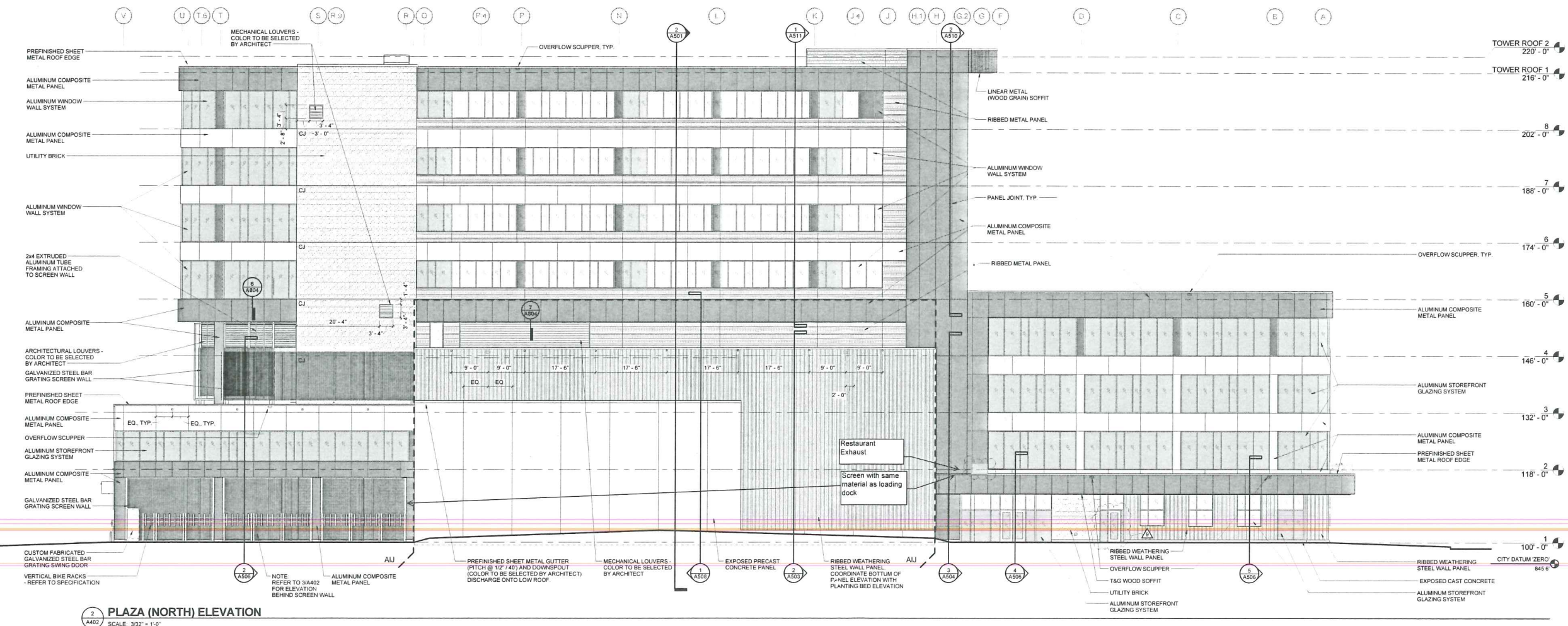
**GEBHARDT
DEVELOPMENT -
THE COSMOS
PROJECT**

811 E. WASHINGTON AVENUE
MADISON, WISCONSIN 53703

SHEET NAME
**EXTERIOR
ELEVATIONS**

SHEET NO.

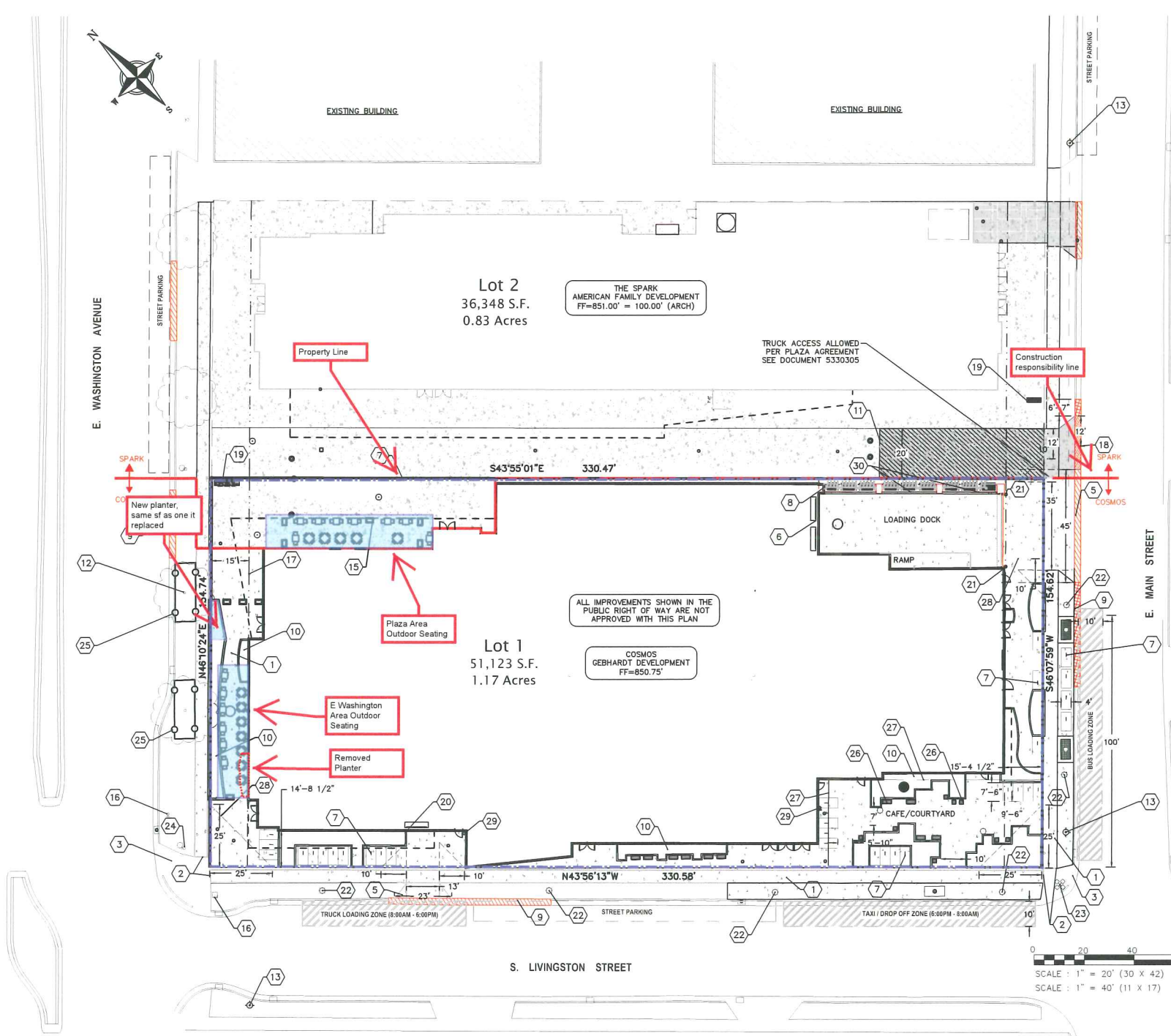
A402



#	DATE	DESCRIPTION
1	07/14/17	CONSTRUCTION SET
2	03/16/18	SI-C22
3	06/18/18	CITY SUBMITTAL

PROJECT MANAGER	RJ
PROJECT NUMBER	1249
DATE	05/16/17

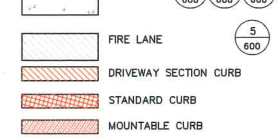
E
D
C
B
A



PLAN KEY

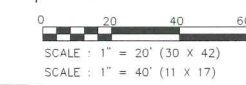
- 1 CONCRETE SIDEWALK, TYP.
- 2 MATCH EXISTING SIDEWALK, TYP.
- 3 EXISTING SIDEWALK TO REMAIN, TYP.
- 4 SIDEWALK TO BE 7" THICK IN FIRELANE SECTION
- 5 NEW DRIVEWAY APPROACH SHALL BE IN ACCORDANCE WITH CITY STANDARDS
- 6 LOADING DOCK
- 7 BICYCLE RACK (65 TOTAL STALLS), TYP.
- 8 VERTICAL BICYCLE RACK (41 TOTAL STALLS), TYP.
- 9 EXISTING DRIVEWAY TO BE ABANDONED IN ACCORDANCE WITH CITY STANDARDS W/ CURB REPLACED & TERRACE RESTORED
- 10 LANDSCAPE AREA, TYP. SEE LANDSCAPE PLANS
- 11 FIRE LANE
- 12 EX TREE, TYP.
- 13 EXISTING FIRE HYDRANT
- 14 PROPOSED LOT LINE
- 15 CANOPY/UPPER FLOOR OVERHANG, TYP.
- 16 EXISTING STOP LIGHT
- 17 15' BUILDING SETBACK
- 18 TRANSITION TO ROLL CURB (7/600)
- 19 MONUMENT SIGN
- 20 LANDSCAPE PLANTER, SEE LANDSCAPE PLAN
- 21 BOLLARD
- 22 PEDESTRIAN LIGHT (10' HIGH POLE)
- 23 STREET LIGHT (30' HIGH POLE)
- 24 EXISTING STREET LIGHT
- 25 TREE PROTECTION, TYP.
- 26 BENCH, TYP.
- 27 EXISTING ATC EASEMENT
- 28 VISION TRIANGLE, TYP.
- 29 DOWNSPOUT, LOCATION TO BE FIELD VERIFIED
- 30 NO VEHICLE PARKING/FIRE LANE SIGN

PAVEMENT KEY



SITE INFORMATION

SITE ADDRESS: 811 EAST WASHINGTON AVENUE
 SITE ACREAGE TOTAL:
 LOT 1: 51,123 SQ. FT. (1.17 ACRES)
 LOT COVERAGE:
 LOT 1: 42,563 SQ. FT. (83% IMPERVIOUS, INCLUDES 5,468 SQ. FT. OF VEGETATED ROOF)



1 2 3 4 5 6 7