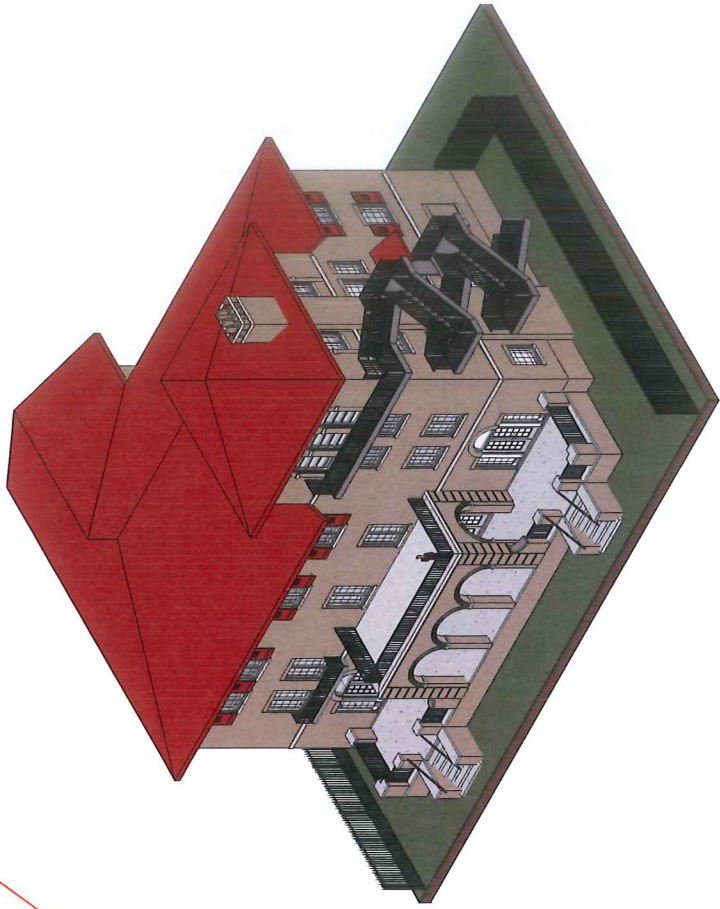
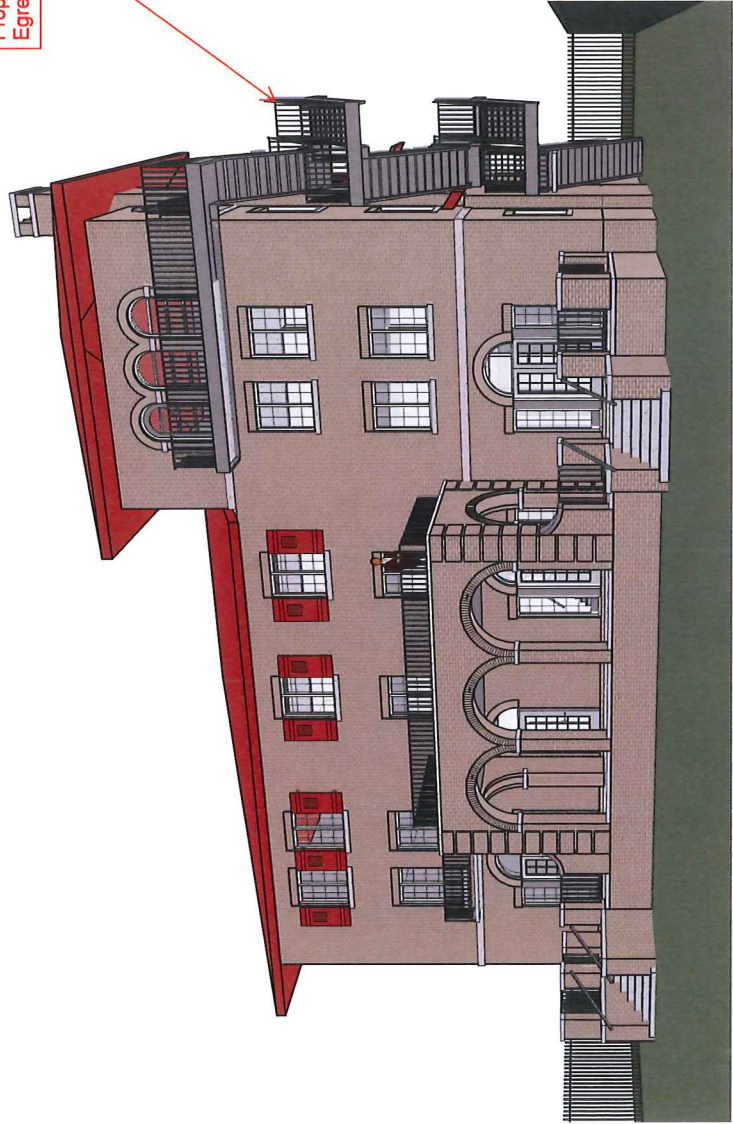
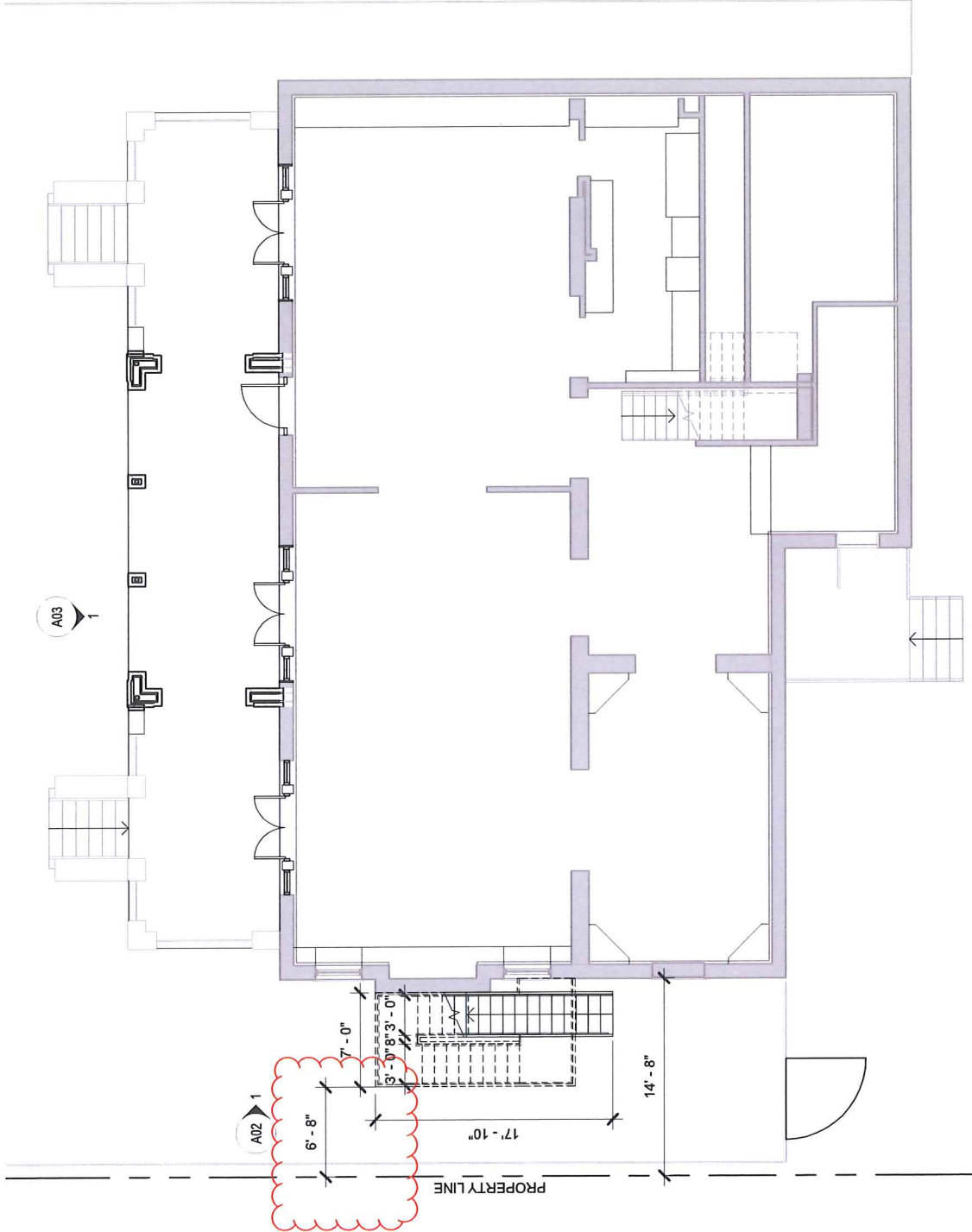
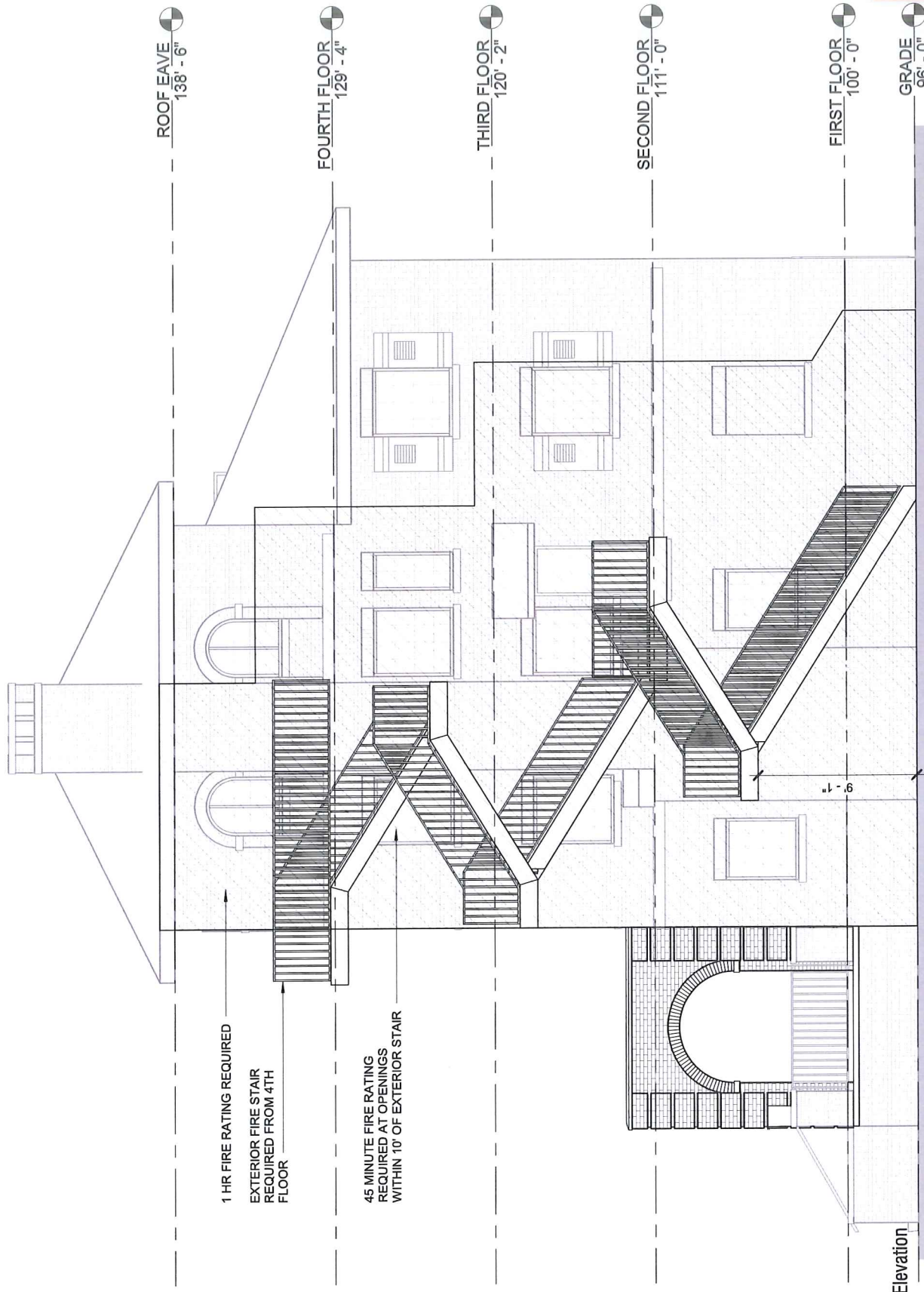


Proposed Exterior
Egress Stair





Parts of the stair
would hang over the
10' setback from the
property line.



ROOF LEAVE
138' - 6"

FOURTH FLOOR
129' - 4"

THIRD FLOOR
120' - 2"

SECOND FLOOR
111' - 0"

FIRST FLOOR
100' - 0"

GRADE
96' - 0"

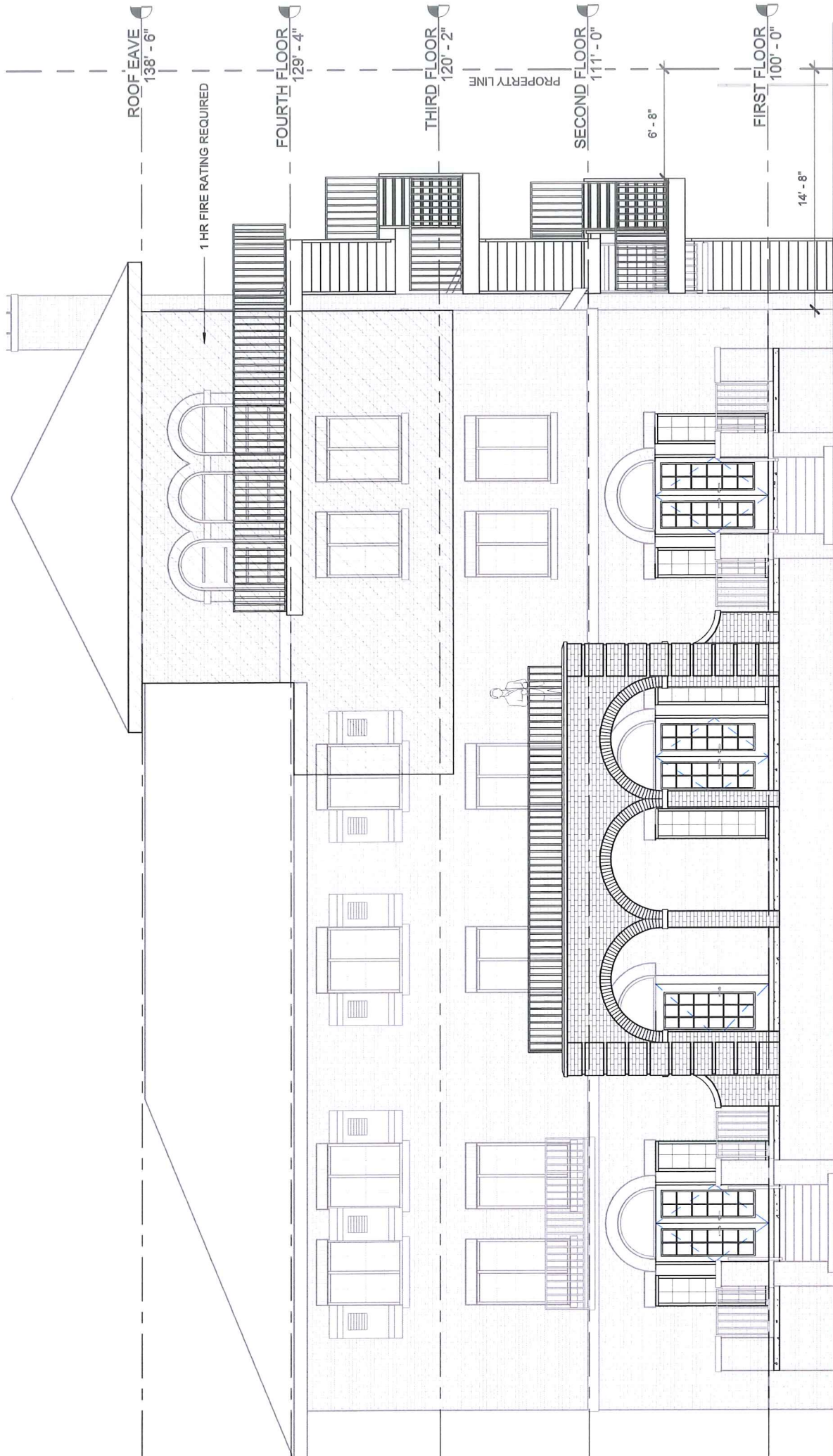
1 HR FIRE RATING REQUIRED
EXTERIOR FIRE STAIR
REQUIRED FROM 4TH
FLOOR

45 MINUTE FIRE RATINGS
REQUIRED AT OPENINGS
WITHIN 10' OF EXTERIOR STAIR

1'-6"

Exterior Stair West Elevation

Beta Theta PI
01/25/2021



Exterior Stair North Elevation

Beta Theta PI
01/25/2021







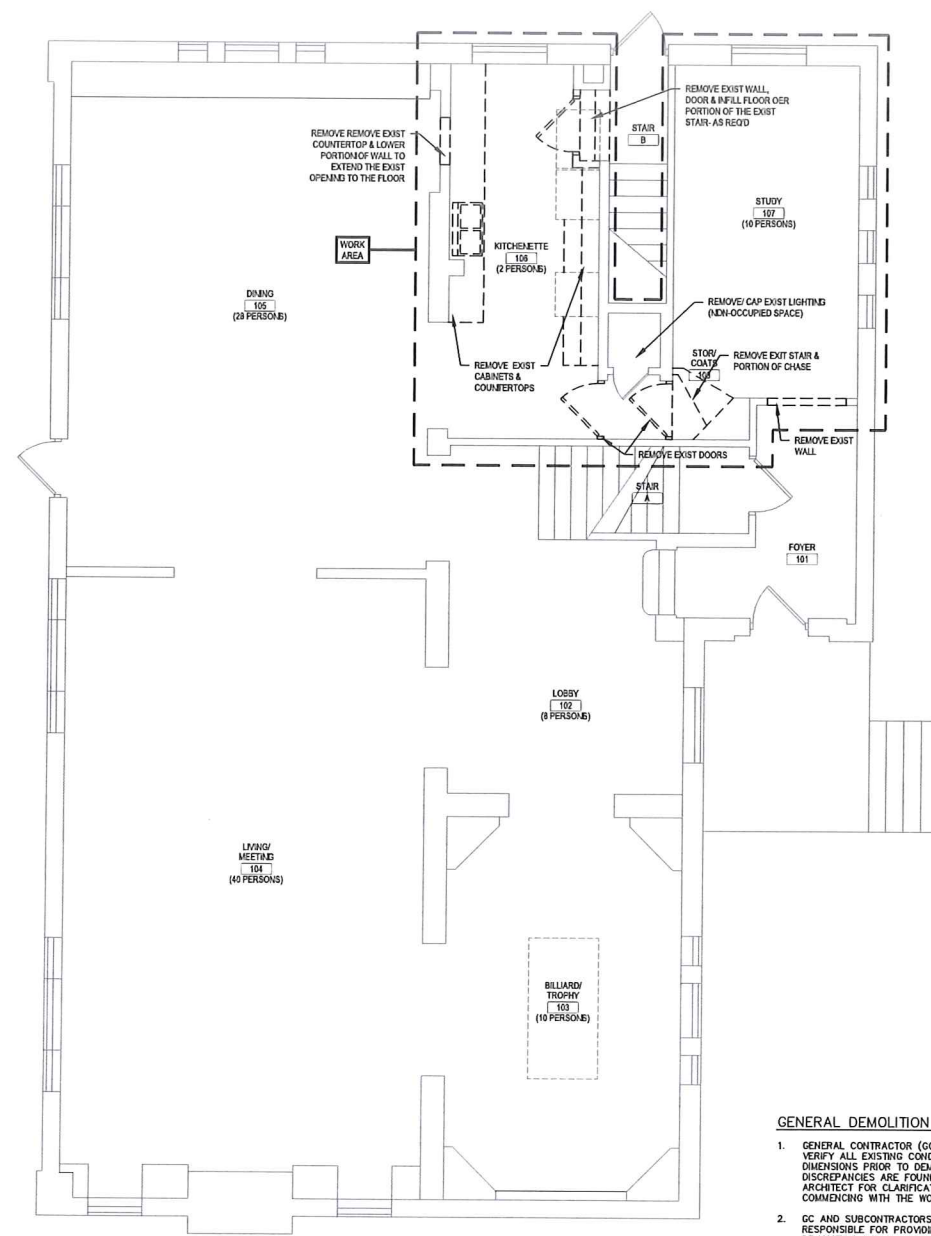
Existing Sprinkler

Existing Sprinkler

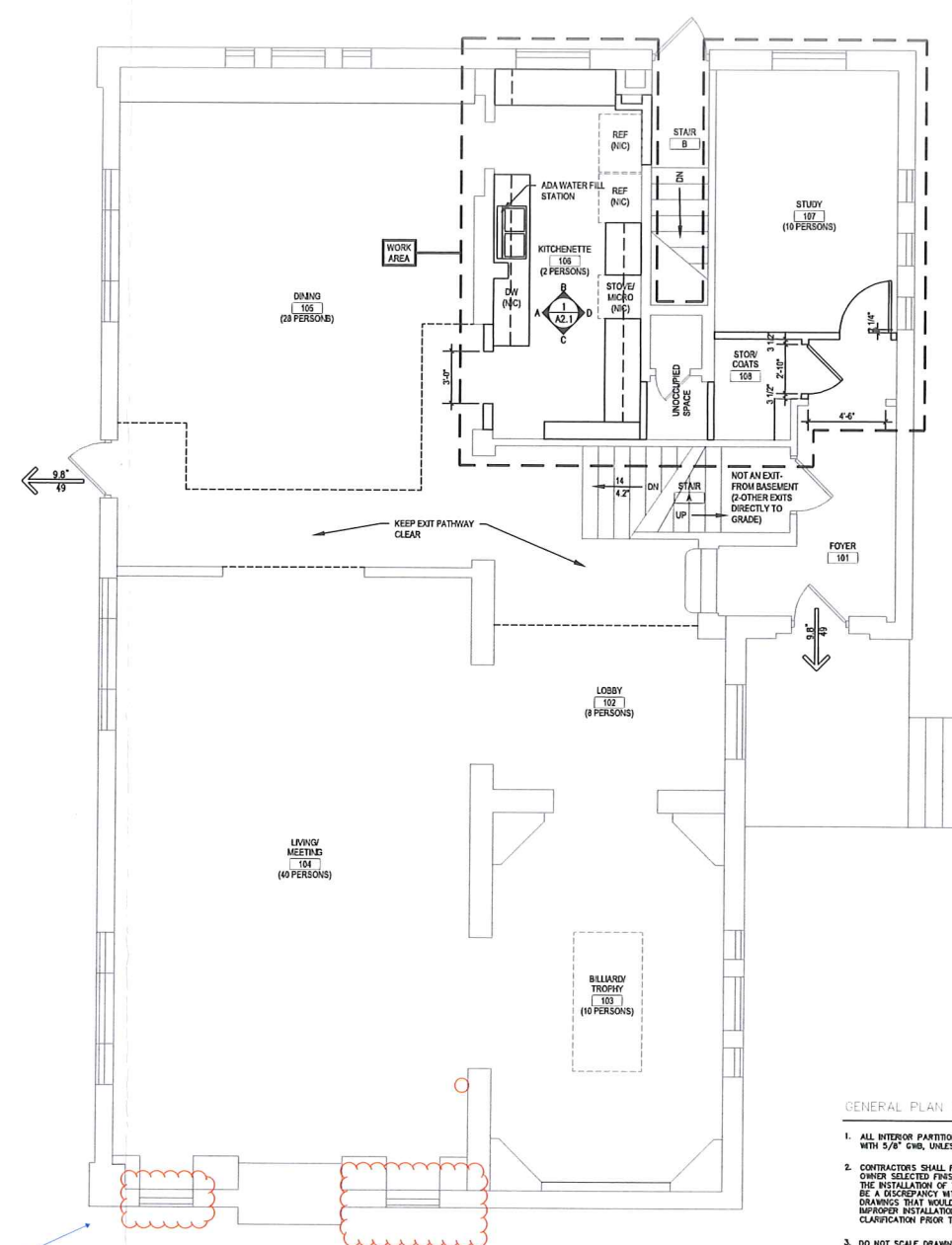


Architect
Potter Lawson
749 University Row, Suite 300
Madison, WI 53705
608.274.2741

Notes: _____



1 FIRST FLOOR DEMOLITION PLAN
A1.1 1/4" = 1'-0"



2 FIRST FLOOR PROPOSED/ CODE PLAN
A1.1 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- GENERAL CONTRACTOR (GC) SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
- GC AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL DEMOLITION AND PATCHING WORK REQUIRED TO COMPLETE THEIR WORK IN ACCORDANCE WITH THE DESIGN INTENT, WHETHER FULLY INDICATED OR NOT IN THE CONTRACT DOCUMENTS.
- THESE DEMOLITION DRAWINGS HAVE BEEN PREPARED BASED UPON EXISTING CONSTRUCTION DOCUMENT DRAWINGS AND FIELD OBSERVATIONS. THE EXACT LOCATION OF THE BUILDING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, LOAD BEARING WALLS, ETC) MAY BE DIFFERENT IN THE FIELD THAN WHAT IS INDICATED OR ASSUMED ON THESE DRAWINGS. GC SHALL FIELD VERIFY THE LOCATION OF ALL BUILDING STRUCTURAL ELEMENTS. ALL BUILDING STRUCTURAL ELEMENTS SHALL REMAIN UNLESS INDICATED TO BE REMOVED ON THE STRUCTURAL DRAWINGS. ANY BUILDING STRUCTURAL ELEMENT INDICATED AS BEING REMOVED ON THIS DRAWING SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO COMMENCING DEMOLITION.
- REPLACE OR REPAIR ANY EXISTING CONSTRUCTION SCHEDULED TO REMAIN WHICH IS DAMAGED DURING DEMOLITION.
- PATCH ALL FLOORS, WALLS, BASE AND CEILINGS WHERE PARTITIONS, OR MISCELLANEOUS ITEMS ARE REMOVED.

GENERAL PLAN NOTES

- ALL INTERIOR PARTITIONS TO BE WOOD STUD 16" O.C. WITH 5/8" GWB, UNLESS OTHERWISE NOTED.
- CONTRACTORS SHALL REVIEW ALL DRAWINGS AND OWNER SELECTED FINISH SCHEDULE ITEMS BEFORE THE INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS THAT WOULD CAUSE AN ANKWARD OR IMPROPER INSTALLATION NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING THE WORK. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL (-) OR CENTERLINE (+). ALL WALL AND PARTITION THICKNESS DIMENSIONS ARE NOMINAL. SEE WALL SECTIONS AND PARTITION TYPES FOR EXACT CONSTRUCTION.
- WHERE NEW PARTITIONS ARE A CONTINUATION OF EXISTING PARTITIONS THE NEW FINISH SURFACES SHALL BE FLUSH, CONTIGUOUS, AND MATCH THE EXISTING SURFACES (TYPICAL ON BOTH SIDES).
- REPAIR ANY CONSTRUCTION OR FINISHES AFFECTED BY ADJACENT CONSTRUCTION. MATCH EXISTING FINISHES.
- CONTRACTOR TO VERIFY AND UPDATE THE EGRESS/ EMERGENCY LIGHTING AND THE EXIT LIGHTS TO MEET CURRENT CODES.

NOTE:
THIS COMPUTER GENERATED FLOOR PLAN WAS PRODUCED BY SCANNING EXISTING CONSTRUCTION DOCUMENTS. THE COMPUTER DRAWING IS NOT GRAPHICALLY ACCURATE. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION WORK.



Legend
Existing Sprinkler Head Location
Required Sprinkler Head Location

For any window that is within 10' of the exterior exit stair, Extend sprinkler system to be 5' from exterior wall and centered in rooms or centered on glass. (Satisfies the 45 min. opening requirement) Or provide a 45 minute rated window.

**Beta Theta Pi
Fraternity House**

622 Mendota Court
Madison, WI 53703

Project #: 2019.29.00

Date	Issuance/Revisions	Symbol
6/9/2020	PRICING DOCUMENT	

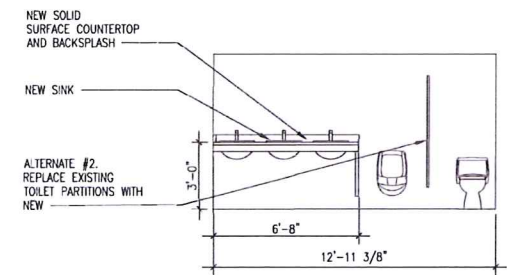
**FIRST FLOOR DEMO &
PROPOSED/CODE PLANS**

A1.1

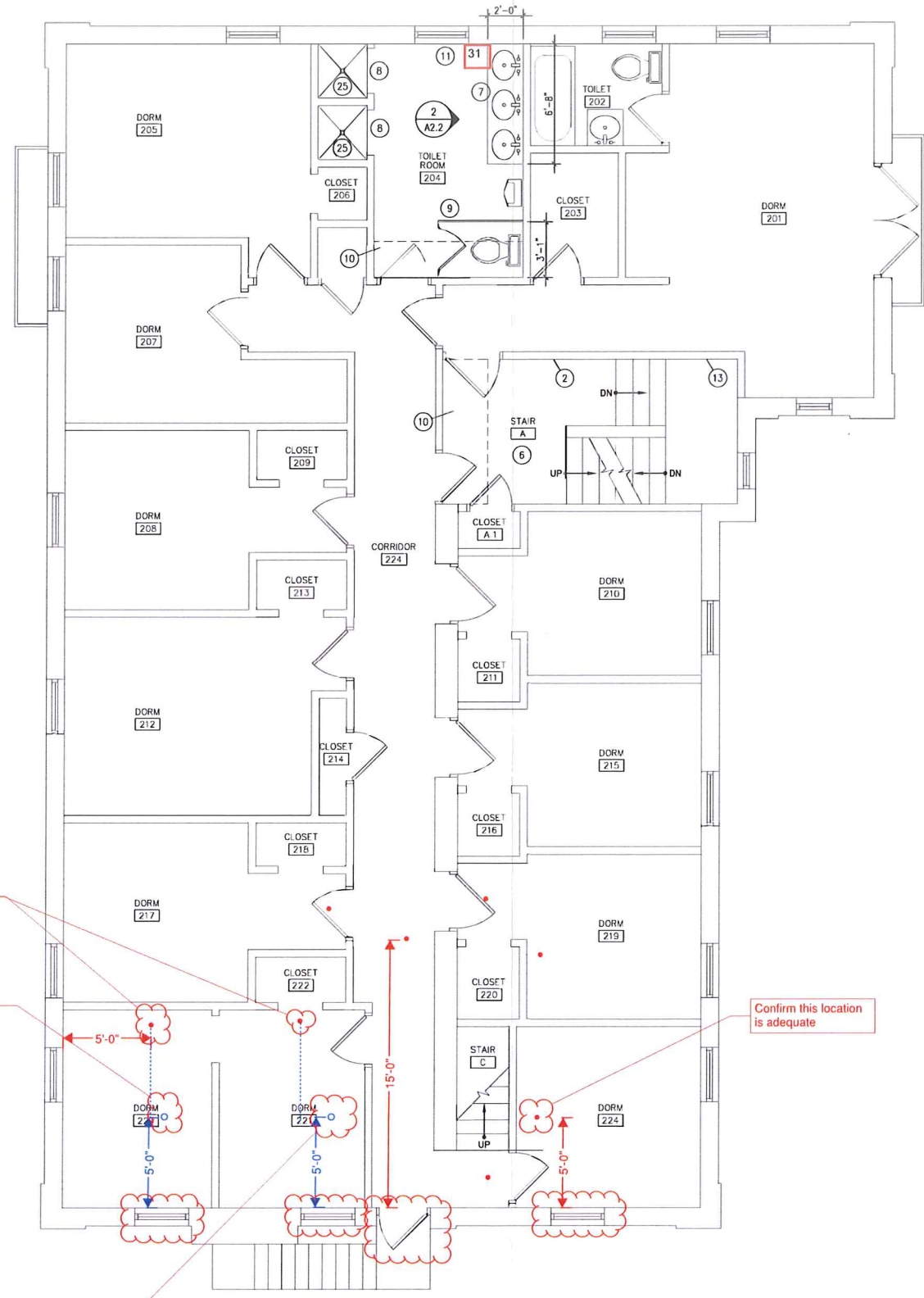
FLOOR PLAN KEYED NOTES

- 1 REPAIR EXISTING HOT WATER RE-CIRCULATION SYSTEM. CONSULT WITH OWNER FOR SPECIFICS.
- 2 REPAIR EXISTING DRYWALL IN STAIR A. & 107 REPAINT EXISTING REPAIRED WALLS, CORNER TO CORNER.
- 3 REMOVE EXISTING DOOR AND CLOSER. NEW 3'-4" X 7'-0" DOOR. INCLUDE WINDOW IN NEW ENTRY DOOR. SEE DETAIL 3/A2.1
- 4 REPLACE FLOOR TILE IN ENTRYWAY. NEW TILE TBD WITH TILE BORDER.
- 5 REPAIR EXISTING RADIATOR MOUNTING IN ENTRYWAY.
- 6 NEW BROADLOOM CARPET IN STAIRWELL. 2ND TO 3RD FLOOR AND 3RD FLOOR TO PENTHOUSE. NEW CARPET TO BE PATCRAFT HOMEROOM V3.0 ECOWORKS-COLOR TBD
- 7 NEW SOLID SURFACE COUNTER AND (3) NEW INTEGRATED SOLID SURFACE SINKS. CORIAN-DOESKIN.
- 8 ALTERNATE #1: PRICE RIPPING OUT SHOWER TILE (4) SHOWERS, REPLACE WITH NEW. FLOOR TILE-DALTILE MANTLE, FROST MOKA. WALL TILE-TBD
- 9 ALTERNATE #2: REMOVE EXISTING TOILET PARTITION AND REPLACE WITH NEW.
- 10 REMOVE EXISTING CEILING SOFFIT FINISH. INSTALL DRYWALL OVER SURFACE. PAINT AND TEXTURE TO MATCH EXISTING .
- 11 REMOVE EXISTING WINDOW BLINDS AND INSTALL TRANSLUCENT FILM ON WINDOW GLASS FOR PRIVACY.
- 12 ALTERNATE #3: NEW LIGHTING IN BATHROOM NEW 1X4 FLUORESCENT
- 13 NEW VINYL BASE IN STAIRWELL
- 14 REMOVE EXISTING FIRE ESCAPE. 20 OCCUPANTS MAX ON 4TH FLOOR
- 15 BETA THETA PI LOGO INSTALLED WITHIN FLOOR TILE AREA ON FIRST STEP.
- 16 INSTALL NEW HARDWARE ON EXISTING DOOR LEAF. NEW SECURITY ON DOOR, SEE NOTE #23
- 17 REPAIR SHEET METAL ON EXISTING FIREPLACE.
- 18 REMOVE EXISTING DAMAGED ATTIC FLOORING. REPLACE WITH NEW 1/2" T&G PLYWOOD
- 19 PROVIDE SECURITY AT DOOR TO ATTIC STORAGE AREA. CONSULT WITH OWNER FOR PREFERRED SECURITY SOLUTION
- 20 INSULATE ATTIC WITH NEW BAIT INSULATION.
- 21 NEW ELECTRONIC VALVES ON OLD RADIATORS
- 22 NEW RECESSED CAN LIGHTING IN LIVING ROOM #104. MATCH FIXTURES TO EXISTING CAN LIGHTING IN DINING #105.
- 23 ADD CARD READER TO PENTHOUSE. UTILIZE EXISTING WIRE WHICH WAS PULLED TO THIS LOCATION.
- 24 INSTALL PROTECTIVE SHIELD OVER DRAINAGE PIPING.
- 25 NEW 4" RECESSED LED SHOWER FIXTURES. HALO RL460WH
- 26 REMOVE AND REPLACE EXISTING WOOD WINDOWS/DOORS WITH NEW. NEW WINDOWS TO MATCH EXISTING STYLE AND COLOR. VERIFY FINAL WINDOW SELECTION WITH ARCHITECT/OWNER. NOTE: NEW WINDOWS TO BE SEALED, EXISTING BALCONY TO BECOME NON-OCCUPIABLE SPACE.
- 27 REMOVE EXISTING DOOR. NEW DOOR TO SWING OUT FOR EXITING.
- 28 REPAIR DAMAGED FLOOR TILE. MATCH EXISTING SIZE AND COLOR.
- 29 NEW MOP SINK. ELEVATE EXISTING MOP SINK ON PLATFORM TO ALLOW FOR ALLOWABLE PLUMBING HEADROOM. 7'-0" MIN HEADROOM IN STAIRWAY BELOW.

31. NEW TOILET EXHAUST - LOCATE NEAR EXTERIOR WALL- RUN IN CLG TO WALL CAP



2 INTERIOR ELEVATION
 1/4"=1'-0"



Existing Sprinkler location

Required Sprinkler location to satisfy 45' opening. Centered on wall or glass, 5' from wall. Typical.

Confirm this location is adequate

Confirm if extension of sprinkler system is required in these two rooms

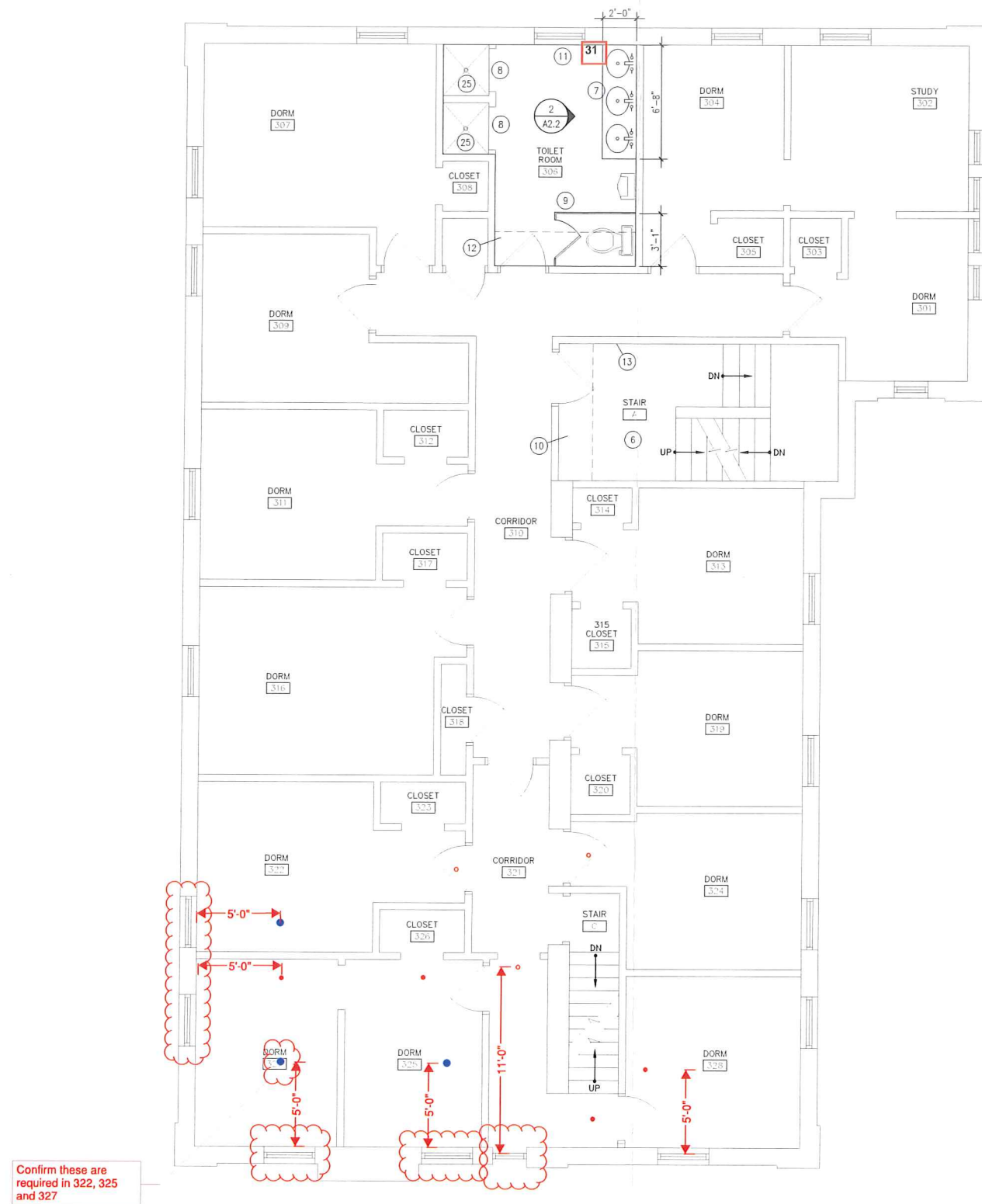
1 SECOND FLOOR PLAN
 1/4"=1'-0"

- Legend**
- o Existing Sprinkler Head Location
 - o Required Sprinkler Head Location

For any window that is within 10' of the exterior exit stair, Extend sprinkler system to be 5' from exterior wall and centered in rooms or centered on glass. (Satisfies the 45 min. opening requirement) Or provide a 45 minute rated window.

FLOOR PLAN KEYED NOTES

- 1 REPAIR EXISTING HOT WATER RE-CIRCULATION SYSTEM. CONSULT WITH OWNER FOR SPECIFICS.
- 2 REPAIR EXISTING DRYWALL IN STAIR A. REPAINT EXISTING REPAIRED WALLS, CORNER TO CORNER.
- 3 REMOVE EXISTING DOOR AND CLOSER. NEW 3'-4" X 7'-0" DOOR. INCLUDE WINDOW IN NEW ENTRY DOOR. SEE DETAIL 3/A2.1
- 4 REPLACE FLOOR TILE IN ENTRYWAY. NEW TILE TBD WITH TILE BORDER.
- 5 REPAIR EXISTING RADIATOR MOUNTING IN ENTRYWAY.
- 6 NEW BROADLOOM CARPET IN STAIRWELL. 2ND TO 3RD FLOOR AND 3RD FLOOR TO PENTHOUSE. NEW CARPET TO BE PATCRAFT HOMEROOM V3.0 ECOWORKS-COLOR TBD
- 7 NEW SOLID SURFACE COUNTER AND (3) NEW INTEGRATED SOLID SURFACE SINKS. CORIAN-DOESKIN.
- 8 ALTERNATE #1: PRICE RIPPING OUT SHOWER TILE (4) SHOWERS. REPLACE WITH NEW. FLOOR TILE-DALTILE MANTLE, FROST MOKA. WALL TILE-TBD
- 9 ALTERNATE #2: REMOVE EXISTING TOILET PARTITION AND REPLACE WITH NEW.
- 10 REMOVE EXISTING CEILING SOFFIT FINISH. INSTALL DRYWALL OVER SURFACE. PAINT AND TEXTURE TO MATCH EXISTING .
- 11 REMOVE EXISTING WINDOW BLINDS AND INSTALL TRANSLUCENT FILM ON WINDOW GLASS FOR PRIVACY.
- 12 ALTERNATE #3: NEW LIGHTING IN BATHROOM NEW 1X4 FLUORESCENT
- 13 NEW VINYL BASE IN STAIRWELL
- 14 REMOVE EXISTING FIRE ESCAPE. 20 OCCUPANTS MAX ON 4TH FLOOR
- 15 BETA THETA PI LOGO INSTALLED WITHIN FLOOR TILE AREA ON FIRST STEP.
- 16 INSTALL NEW HARDWARE ON EXISTING DOOR LEAF. NEW SECURITY ON DOOR, SEE NOTE #23
- 17 REPAIR SHEET METAL ON EXISTING FIREPLACE.
- 18 REMOVE EXISTING DAMAGED ATTIC FLOORING. REPLACE WITH NEW 2" T&G PLYWOOD
- 19 PROVIDE SECURITY AT DOOR TO ATTIC STORAGE AREA. CONSULT WITH OWNER FOR PREFERRED SECURITY SOLUTION
- 20 INSULATE ATTIC WITH NEW BATT INSULATION.
- 21 NEW ELECTRONIC VALVES ON OLD RADIATORS
- 22 NEW RECESSED CAN LIGHTING IN LIVING ROOM #104. MATCH FIXTURES TO EXISTING CAN LIGHTING IN DINING #105.
- 23 ADD CARD READER TO PENTHOUSE. UTILIZE EXISTING WIRE WHICH WAS PULLED TO THIS LOCATION.
- 24 INSTALL PROTECTIVE SHIELD OVER DRAINAGE PIPING.
- 25 NEW 4" RECESSED LED SHOWER FIXTURES. HALO RL460WH
- 26 REMOVE AND REPLACE EXISTING WOOD WINDOWS/DOORS WITH NEW. NEW WINDOWS TO MATCH EXISTING STYLE AND COLOR. VERIFY FINAL WINDOW SELECTION WITH ARCHITECT/OWNER. NOTE: NEW WINDOWS TO BE SEALED. EXISTING BALCONY TO BECOME NON-OCCUPIABLE SPACE.
- 27 REMOVE EXISTING DOOR. NEW DOOR TO SWING OUT FOR EXITING.
- 28 REPAIR DAMAGED FLOOR TILE. MATCH EXISTING SIZE AND COLOR.
- 29 NEW MOP SINK. ELEVATE EXISTING MOP SINK ON PLATFORM TO ALLOW FOR ALLOWABLE PLUMBING HEADROOM. 7'-0" MIN HEADROOM IN STAIRWAY BELOW.



Confirm these are required in 322, 325 and 327

1 THIRD FLOOR PLAN
1/4" = 1'-0"

Legend
Existing Sprinkler Head Location
Required Sprinkler Head Location

For any window that is within 10' of the exterior exit stair, Extend sprinkler system to be 5' from exterior wall and centered in rooms or centered on glass. (Satisfies the 45 min. opening requirement) Or provide a 45 minute rated window.

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DEMOLITION GENERAL NOTES

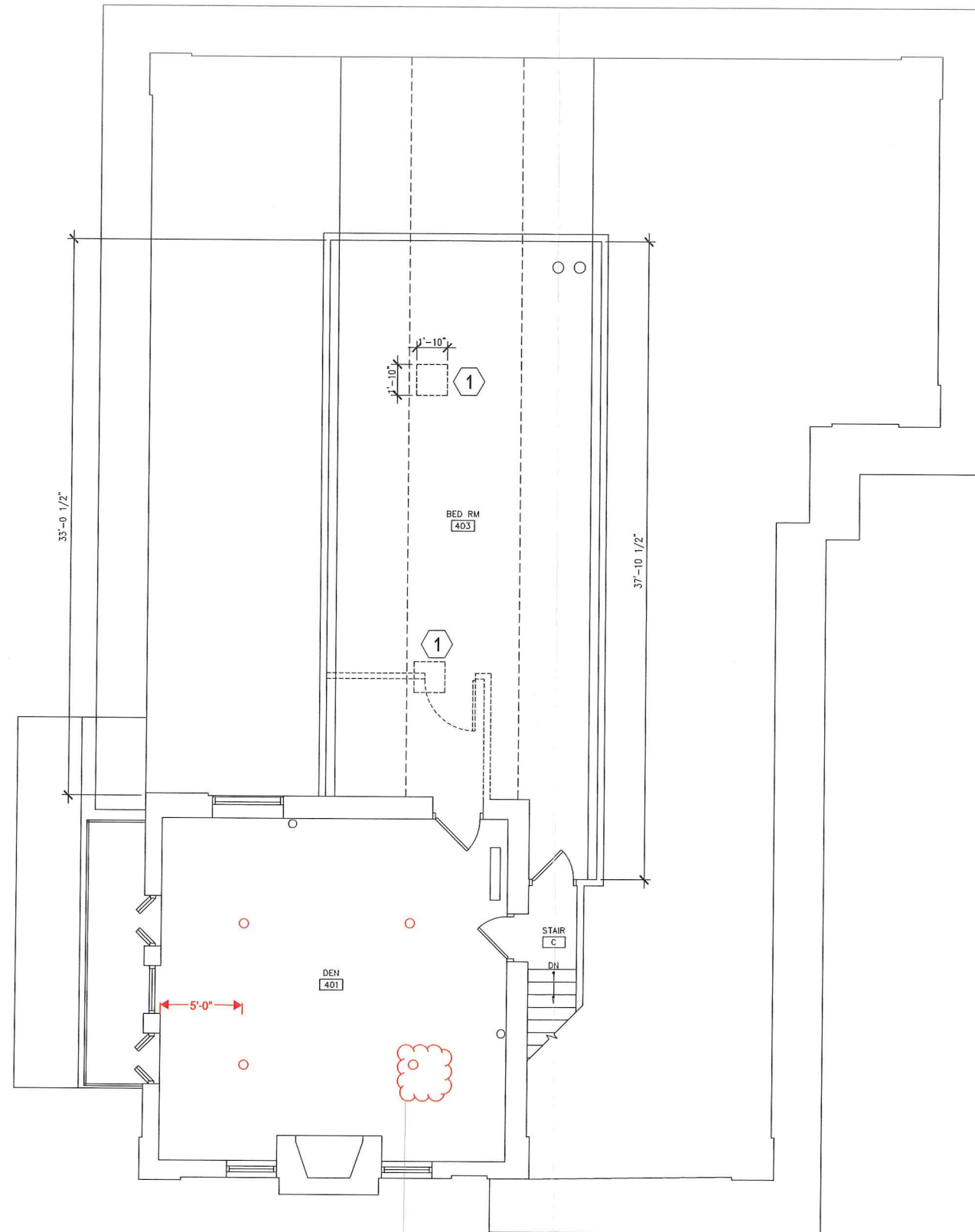
1. ITEMS SHOWN DASHED ARE TO BE DEMOLISHED.
2. VERIFY EXISTING CONDITIONS AND REPORT CONFLICTS TO ARCHITECT / ENGINEER BEFORE PROCEEDING.
3. PRIOR TO REMOVAL, VERIFY THE COMPOSITION OF EXISTING CONSTRUCTION.
4. CONSTRUCT DUST-PROOF PARTITIONS TO SEPARATE AREAS OF DEMOLITION/ CONSTRUCTION FROM ADJACENT OCCUPIED AREAS NOT PART OF THIS WORK.
5. COMPLY WITH I.C.R.A. (INFECTION CONTROL RISK ASSESSMENT) PLAN FOR DEMOLITION WORK.
6. PROTECT EXISTING CONSTRUCTION TO REMAIN. REPAIR / RESTORE ANY DAMAGED AREAS.
7. TEMPORARY EXIT ACCESS CORRIDORS THRU CONSTRUCTION AREAS SHALL BE CLEARLY MARKED AND MAINTAINED. AREAS NOT ACCESSIBLE TO THE OWNER SHALL BE BARRICADED AND CLEARLY MARKED.
8. REMOVE FLOOR FINISHES WHERE NEW FLOORING IS INDICATED ON ROOM FINISH SCHEDULE.
9. REMOVE SUSPENDED CEILINGS, RELATED HANGERS AND GYPSUM BOARD CEILINGS, SOFFITS AND RELATED FRAMING WHERE NEW CEILINGS ARE INDICATED.
10. REMOVE CASEWORK AND WALL MOUNTED ITEMS IN AREAS TO BE REMODELED.
11. MODIFY EXISTING STEEL STUD FRAMING FOR HEAD AND JAMB CONDITIONS AT NEW WALL OPENINGS.
12. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ASSOCIATED EQUIPMENT.
13. WHEN PATCHING EXISTING CONDITIONS MATCH CONSTRUCTION COMPOSITION AND FIRE RATING .

DEMOLITION PLAN LEGEND

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN
- ⓐ KEYNOTE TAG

KEYNOTE LEGEND

- ① DEMO OPENING FOR NEW SKYLIGHT



The existing sprinkler head locations will satisfy the 5' distance

① FOURTH FLOOR EXISTING / DEMO FLOOR PLAN N ⊕
SCALE: 1/4" = 1'-0"

Legend
Existing Sprinkler Head Location
Required Sprinkler Head Location

For any window that is within 10' of the exterior exit stair, Extend sprinkler system to be 5' from exterior wall and centered in rooms or centered on glass. (Satisfies the 45 min. opening requirement) Or provide a 45 minute rated window.

PROJECT:
BETA THETA PI
622 MENDOTA COURT
MADISON, WI 53703-1105

TITLE:
FOURTH FLOOR
EXISTING / DEMO
FLOOR PLAN

DRAWN BY: TT CHECKED BY: SH
PROJECT NO: 18107 DATE: 04/18/2019