

LAND USE / UDC APPLICATION DRAWING SET

COVER SHEET SHEET LIST	
Sheet Number	Sheet Name
T001	COVER SHEET

CODE SHEET LIST

A002	CODE INFORMATION
A003	PROPERTY LINE AND EASEMENT DIAGRAMS

CIVIL SHEET LIST

C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C401	FIRE ACCESS PLAN
C500	CONSTRUCTION DETAILS
C501	CONSTRUCTION DETAILS
C502	CONSTRUCTION DETAILS
C800	REFUSE TRUCK VEHICLE MOVEMENT

LANDSCAPE SHEET LIST

L100	LANDSCAPE PLAN
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ARCHITECTURAL SHEET LIST

A100	BASEMENT FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A200	LOCATOR MAP AND SITE CONTEXT IMAGES
A201	BUILDING ELEVATIONS - NORTH
A202	BUILDING ELEVATIONS - EAST
A203	BUILDING ELEVATIONS - SOUTH
A204	BUILDING ELEVATIONS - WEST
A205	BUILDING ELEVATIONS - MATERIALS BOARD
A206	BUILDING ELEVATIONS - 3D RENDERINGS
A207	BUILDING ELEVATIONS - 3D RENDERINGS
A208	BUILDING ELEVATIONS - 3D RENDERINGS
A209	BUILDING ELEVATIONS - 3D RENDERINGS
A210	BUILDING ELEVATIONS - 3D RENDERINGS



7433 Elmwood Avenue
Middleton, WI 53562
T 608.827.5047
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22-04

consultant:

ay Plan:



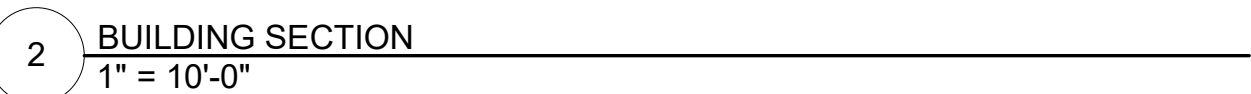
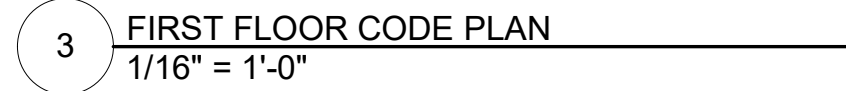
Agency / Institution
**ROHR CHABAD HOUSE AT THE
 UNIVERSITY OF WISCONSIN-MADISON**

223 - 225 W. Gilman St. Madison, WI 53703

RENOVATION AND ADDITION
ROHR CHABAD HOUSE AT THE
UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

COVER SHEET

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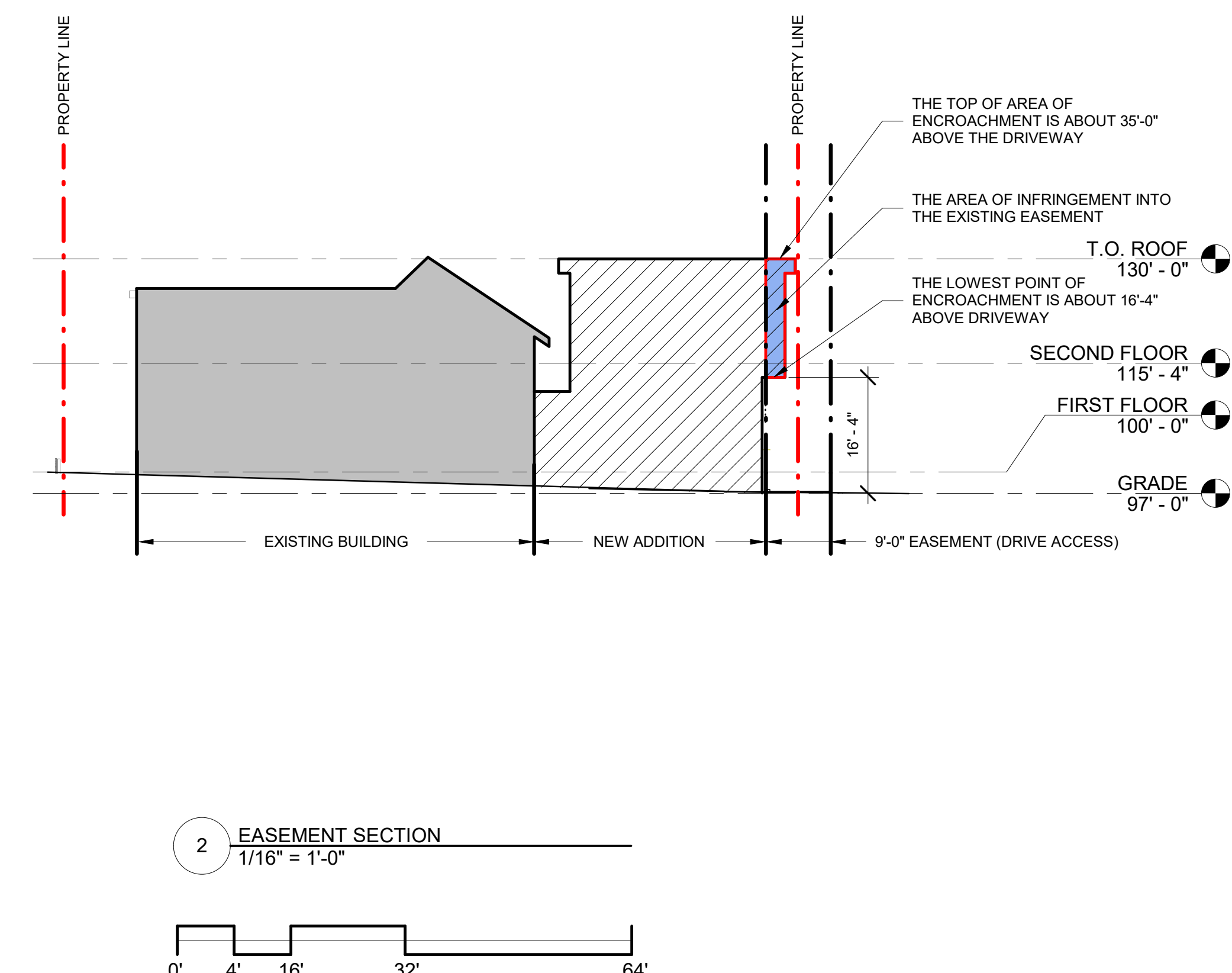
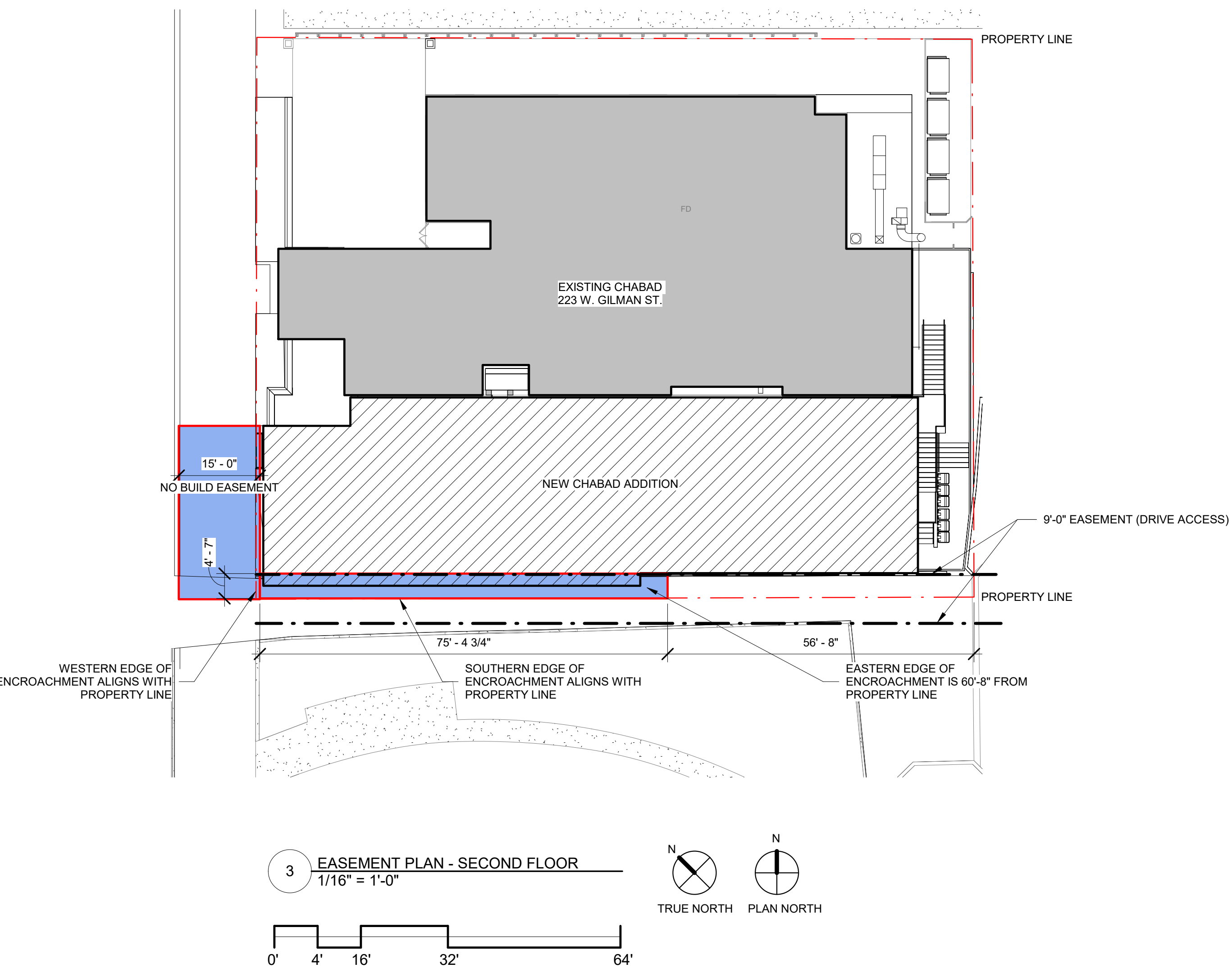


SANITARY FIXTURE SUMMARY - MAXIMUM USE CALCULATIONS	
TABLE 2902.1	WATER CLOSETS AND URINALS (PLACES OF WORSHIP AND OTHER RELIGIOUS SERVICES): 686 TOTAL OCCUPANTS FEMALE (1 PER 75): 343 OCCUPANTS/75 = 5 MALE (1 PER 150): 343 OCCUPANTS/150 = 2 TOTAL REQUIRED: 7 TOTAL PROVIDED: 8 LAVATORIES (1 PER 200): 686 OCCUPANTS/200 = 4 TOTAL REQUIRED: 4 TOTAL PROVIDED: 8 DRINKING WATER FOUNTAIN (1 PER 500): 686/500 = 2 TOTAL REQUIRED: 2 TOTAL PROVIDED: 2

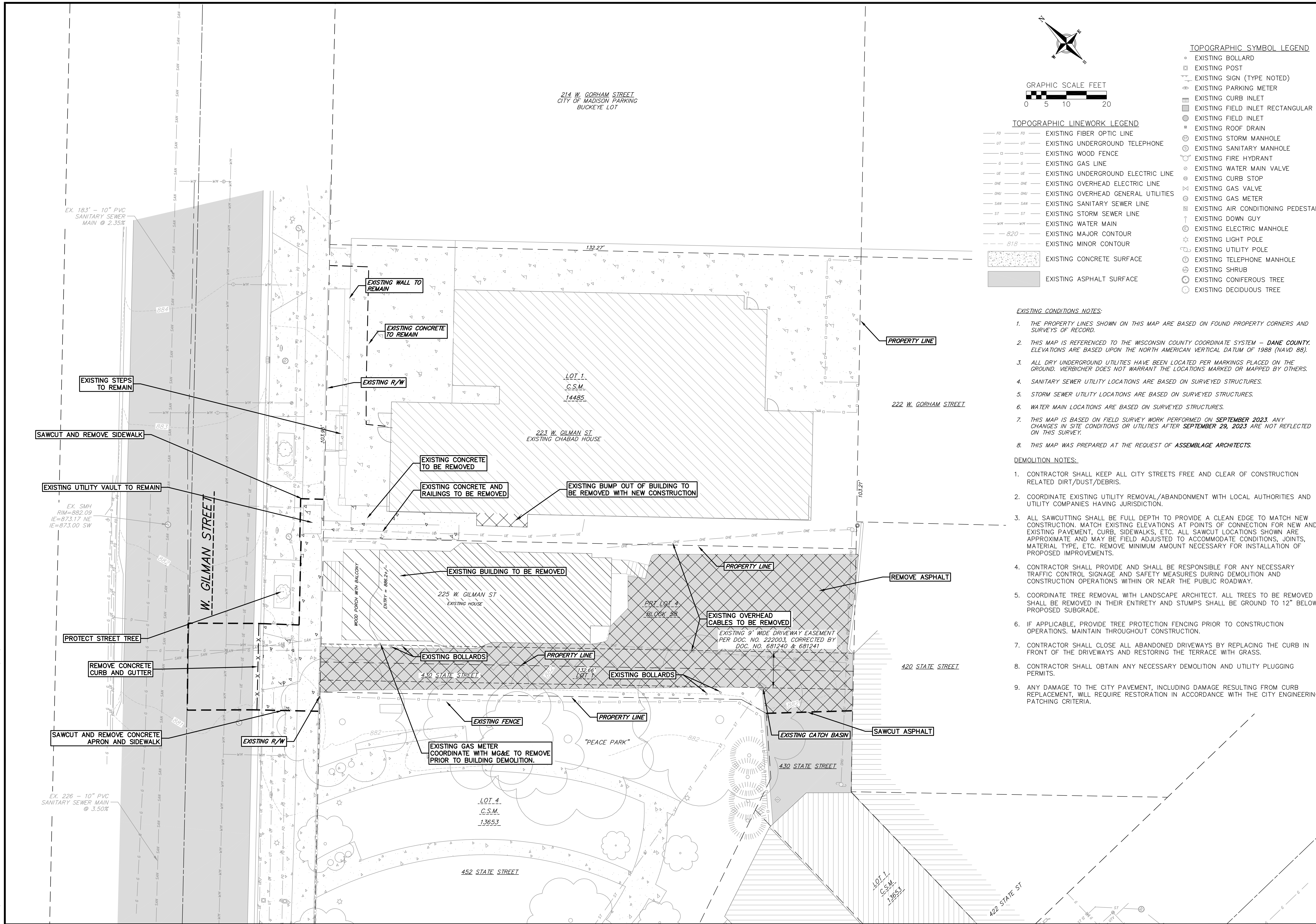
ROHR CHABAD HOUSE AT THE
UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

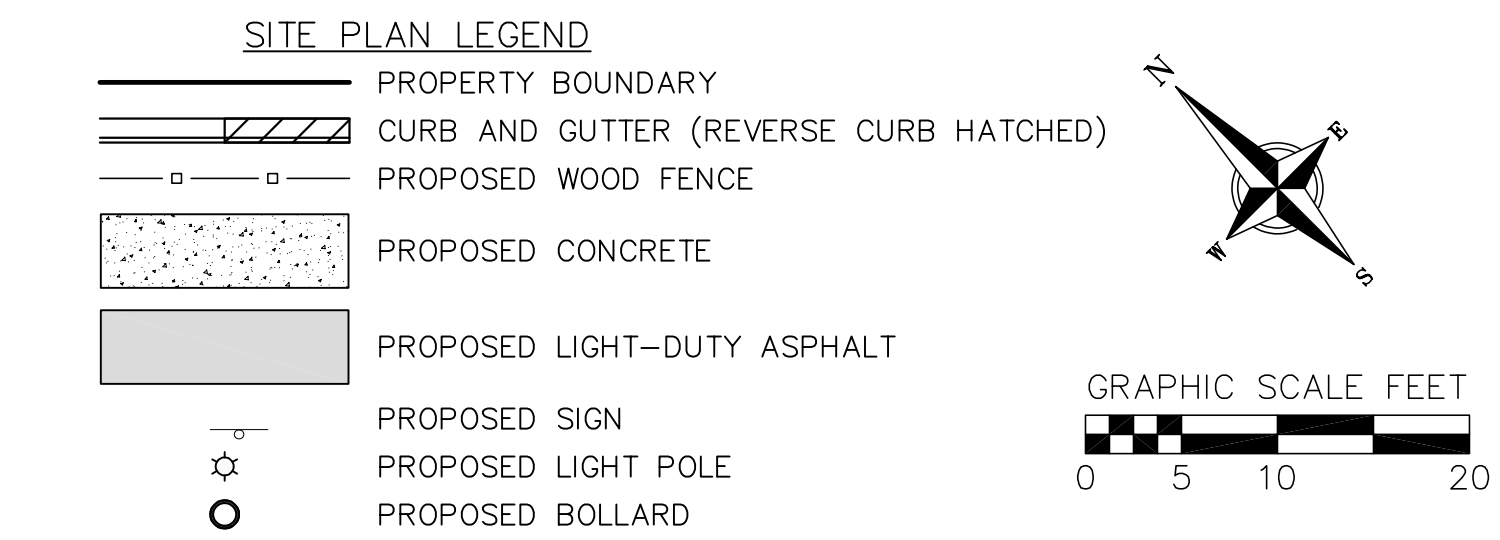
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nic	1/16" = 1'-0"
ct ber	2022 - 04
	NOT FOR CONSTRUCTION
d	08/18/2025
t ber	A003



Length: 45'-0"





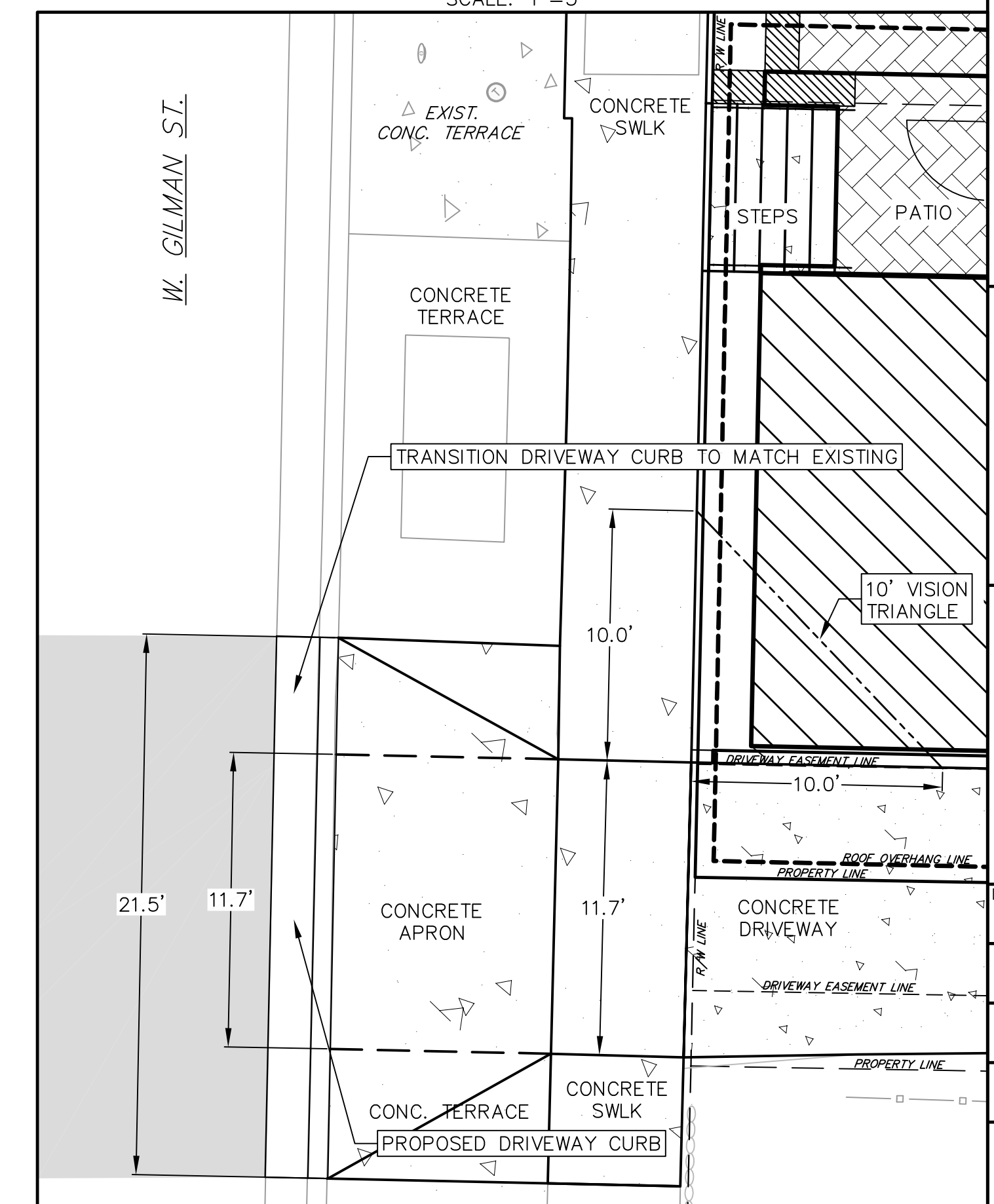
- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
 3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
 4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DIVISIONS

ENTRY WAY DETAIL

SCALE: 1"=5'



SITE PLAN

[illegible]

DATE
08/18/2025

DRAFTER

CHECKED
TSCH

PROJECT NO.
230228

C200



W. GILMAN STREET^(S)

LOT 1
C.S.M.
14485

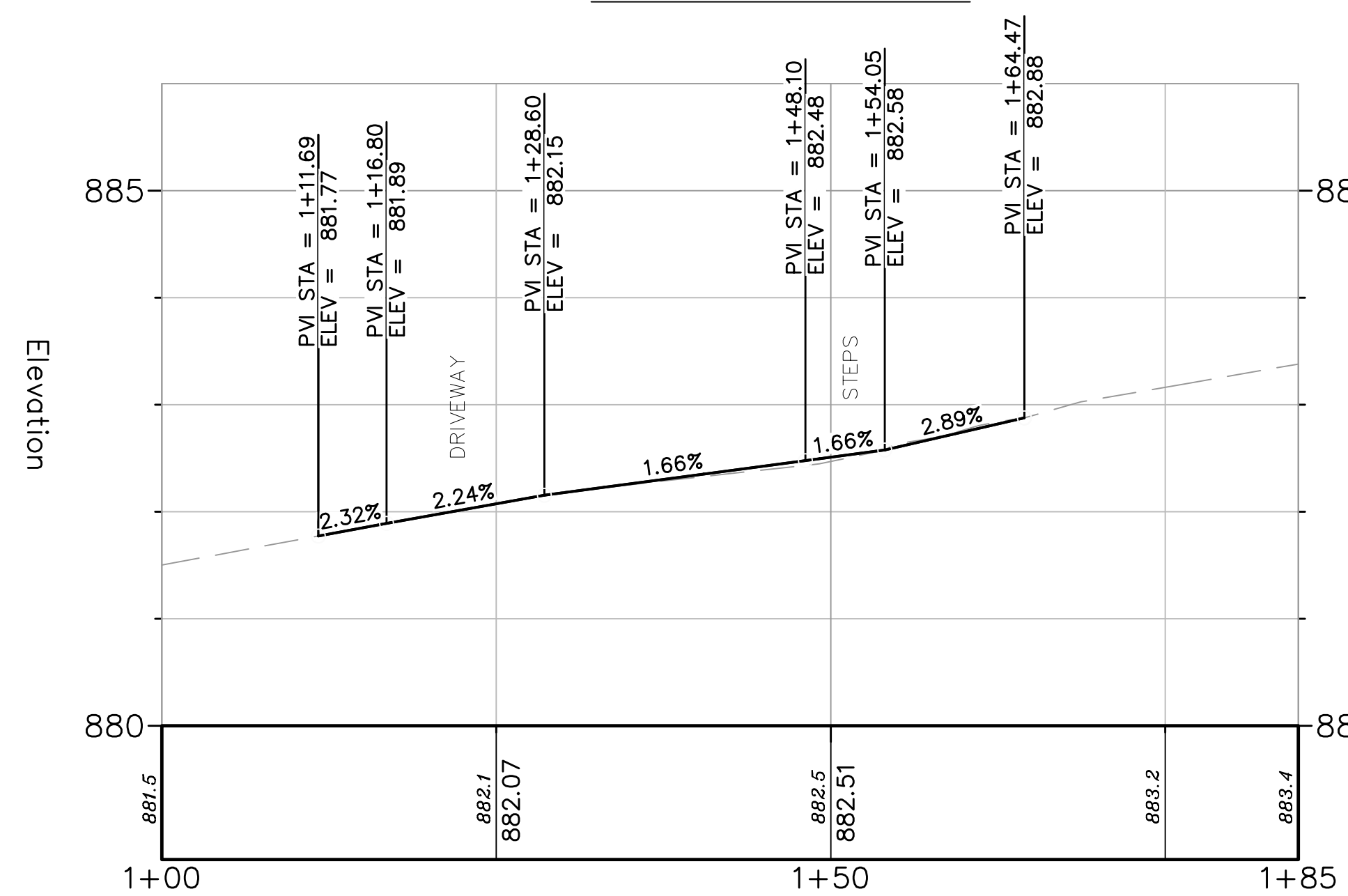
~~FIRST FLOOR=885.8~~

DISTURBANCE LIMITS=7,625 SF

INLET PROTECTION

STRUCT CONCRETE STEPS

FRONT OF SIDEWALK PROFILE

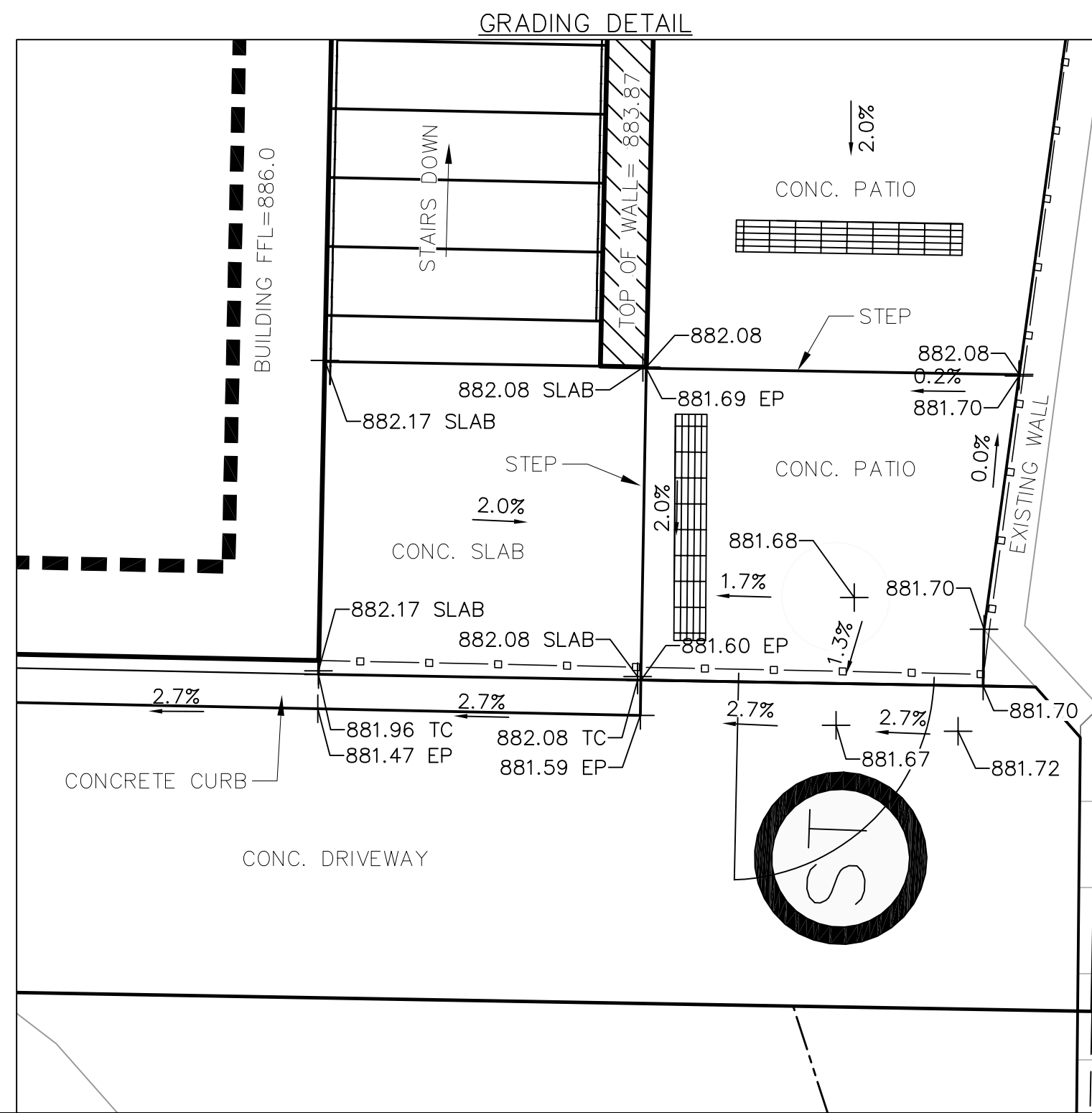
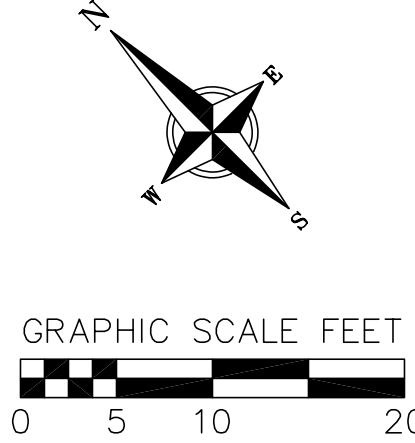


GRADING LEGEND

- | | |
|---|--------------------------|
|  | EXISTING MAJOR CONTOURS |
|  | EXISTING MINOR CONTOURS |
|  | PROPOSED MAJOR CONTOURS |
|  | PROPOSED MINOR CONTOURS |
|  | SILT FENCE |
|  | DISTURBED LIMITS |
|  | PROPOSED SPOT ARROWS |
|  1048.61 | EXISTING SPOT ELEVATIONS |
|  1048.61 | PROPOSED SPOT ELEVATIONS |
|  | INLET PROTECTION |

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



DATE		08/18/2025	
DRAFTER		DPER/MBRA	
CHECKED		TSOH	
PROJECT NO.		230228	
C300			

GRADING PLAN
SCHABAD HOUSE RENOVATION
2223-225 W. GILMAN STREET, MADISON
DANE COUNTY, WISCONSIN

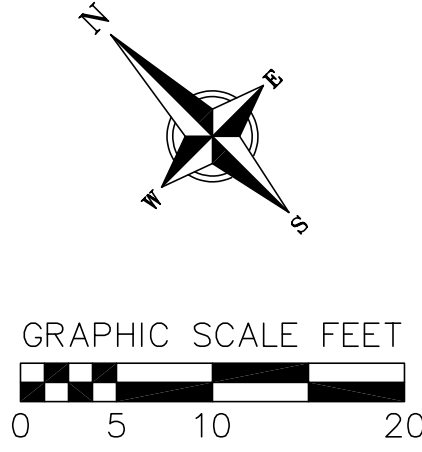
C300



	EXISTING FIBER OPTIC LINE
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING OVERHEAD GENERAL UTILITIES
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING WATER MAIN
	EXISTING CURB INLET
	EXISTING FIELD INLET RECTANGULAR
	EXISTING FIELD INLET
	EXISTING ROOF DRAIN
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN VALVE
	EXISTING CURB STOP
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING AIR CONDITIONING PEDESTAL
	EXISTING DOWN GUY
	EXISTING ELECTRIC MANHOLE
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING TELEPHONE MANHOLE

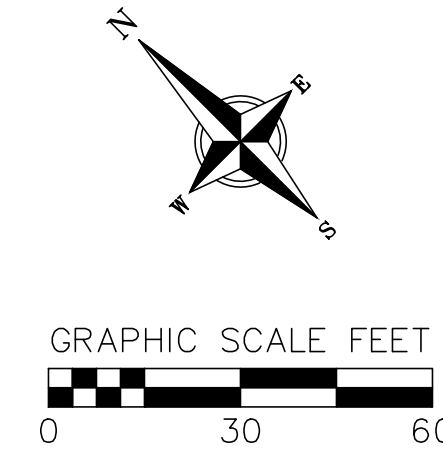
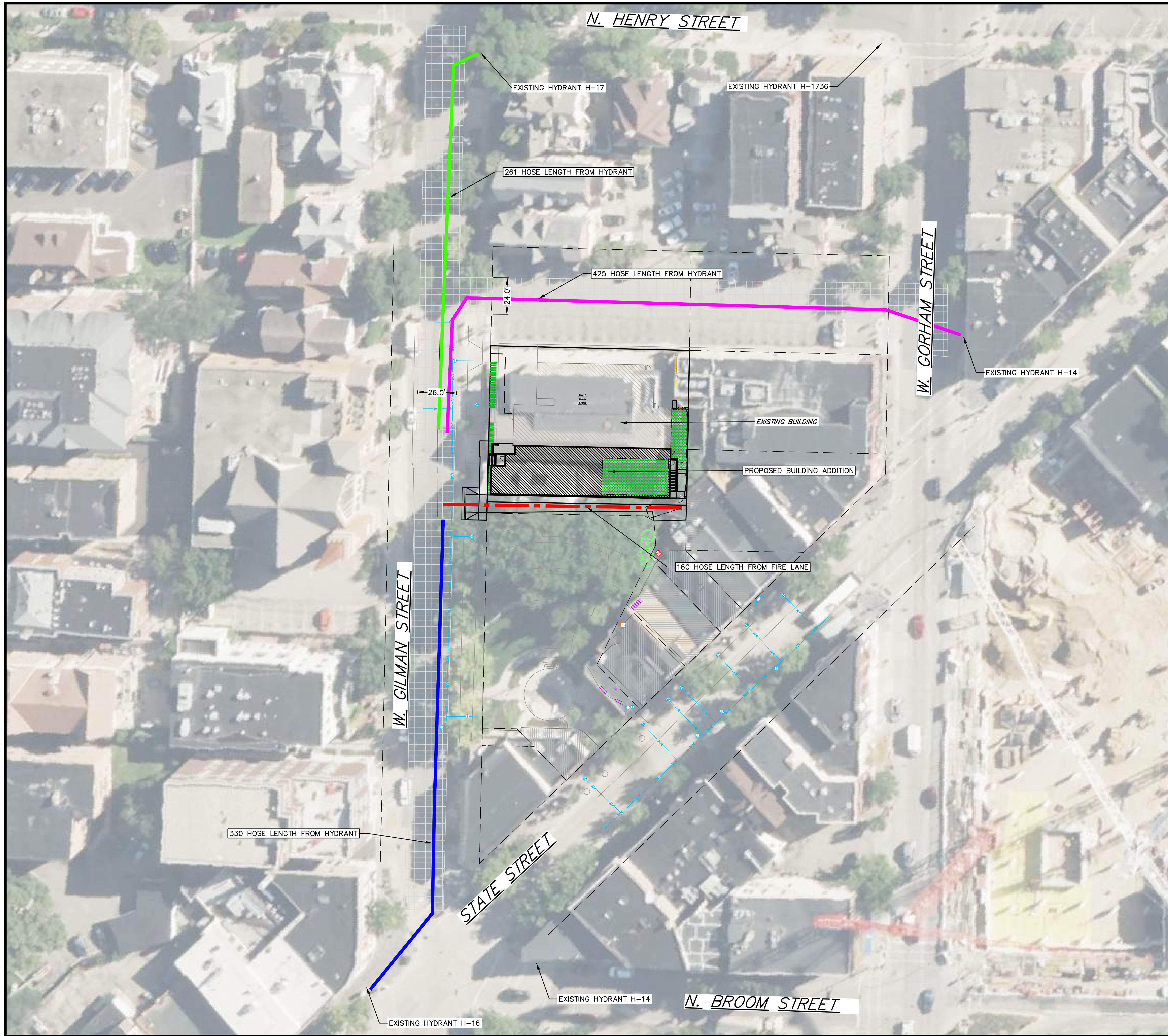
ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE



	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER CURB INLET
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	SANITARY SEWER LATERAL PIPE
	SANITARY SEWER CLEANOUT
	WATER SERVICE LATERAL PIPE
	CURB STOP
	PROPOSED PIPE INSULATION
	GAS MAIN
	ELECTRIC SERVICE

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
10. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
11. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
19. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
20. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
21. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
22. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
23. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
24. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.



FIRE ACCESS LEGEND

-  HOSE LAY FROM FIRE LANE
 HOSE LAY FROM HYDRANT
 EXISTING WATER MAIN
 EXISTING FIRE HYDRANT
 EXISTING FIRE LANE

FIRE ACCESS PLAN

CHABAD HOUSE RENOVATION
223-225 W. GILMAN STREET, MADISON
DANE COUNTY, WISCONSIN

C401	PROJECT NO. 230228		CHECKED TSCB		DRAFTER DPER/MBRA		DATE 08/18/2025		REVISIONS				REVISIONS			
									NO.		DATE		NO.		DATE	

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- 13 Aug 2025 - 12:53p M:\Assemblage Architects\230228 Chabad House\CADD\230228 Details.dwg by: dber

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
SEE LANDSCAPE PLAN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH. CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

1"x 2" WOOD STAKE

FILL MATERIAL (TO BE SPECIFIED BY MANUFACTURER)

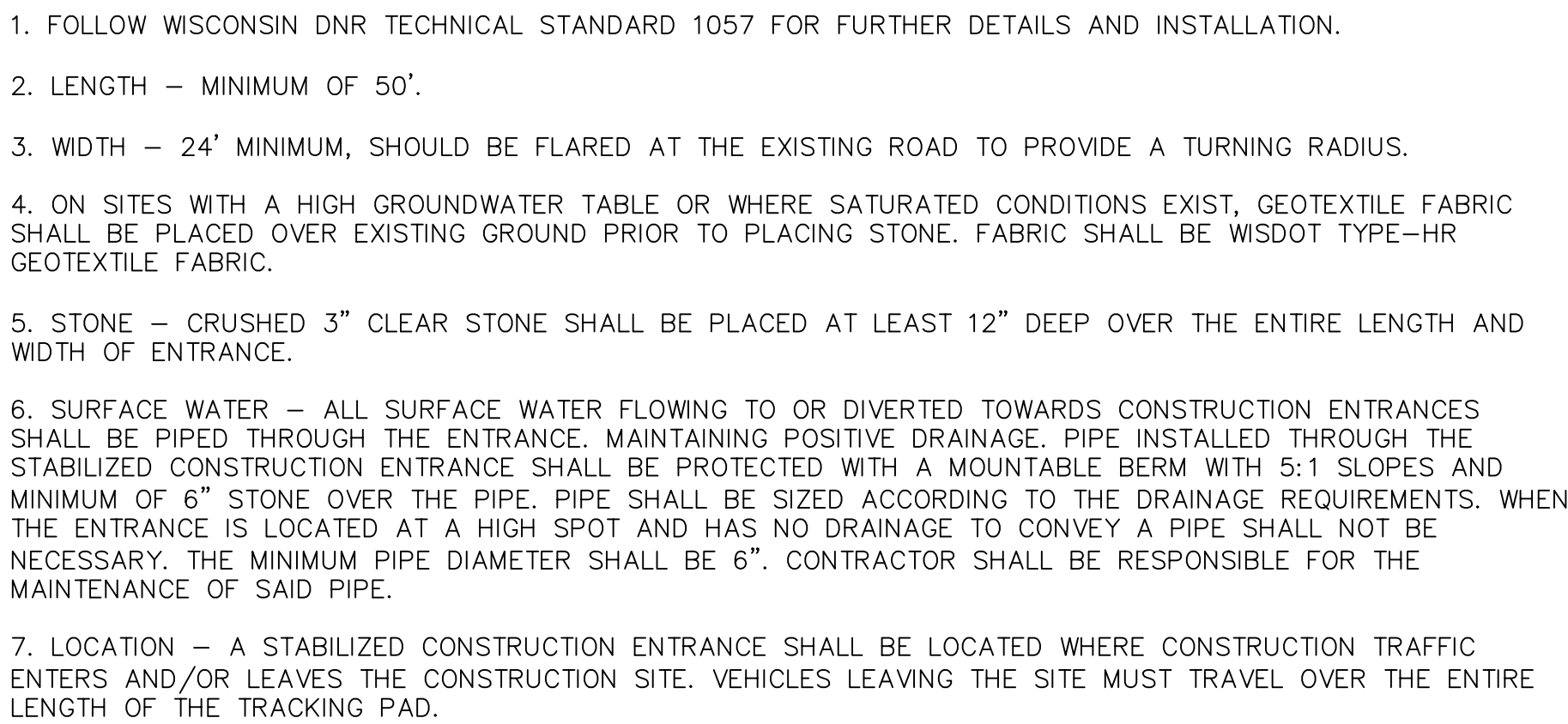
GROUND SURFACE

SEDIMENT COLLECTION AREA

FLOW DIRECTION

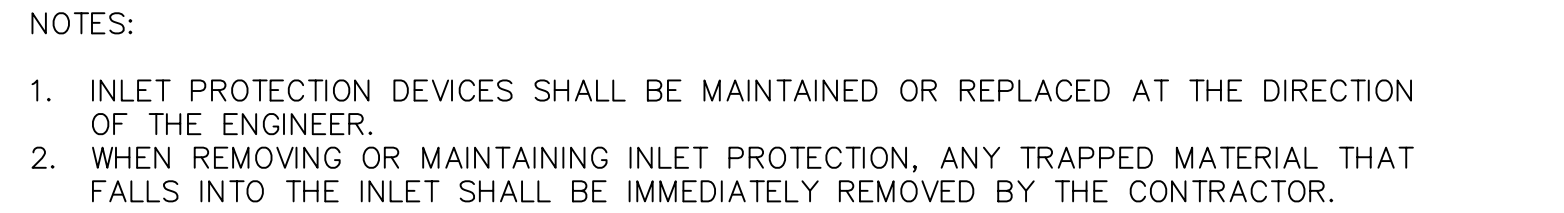
1
C500

SILT SOCK
NOT TO SCALE



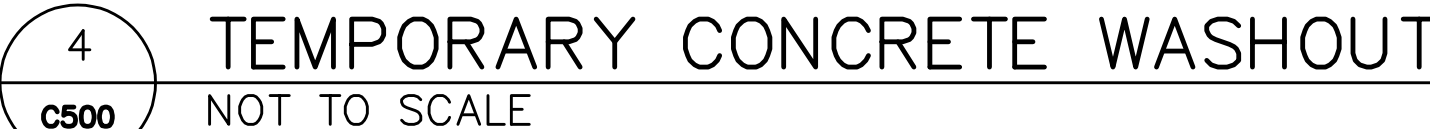
2 TRACKING PAD

C500 NOT TO SCALE



3 FRAMED INLET PROTECTION
c500 NOT TO SCALE

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.





vierbicher

planners | engineers | advisors

CONSTRUCTION DETAILS

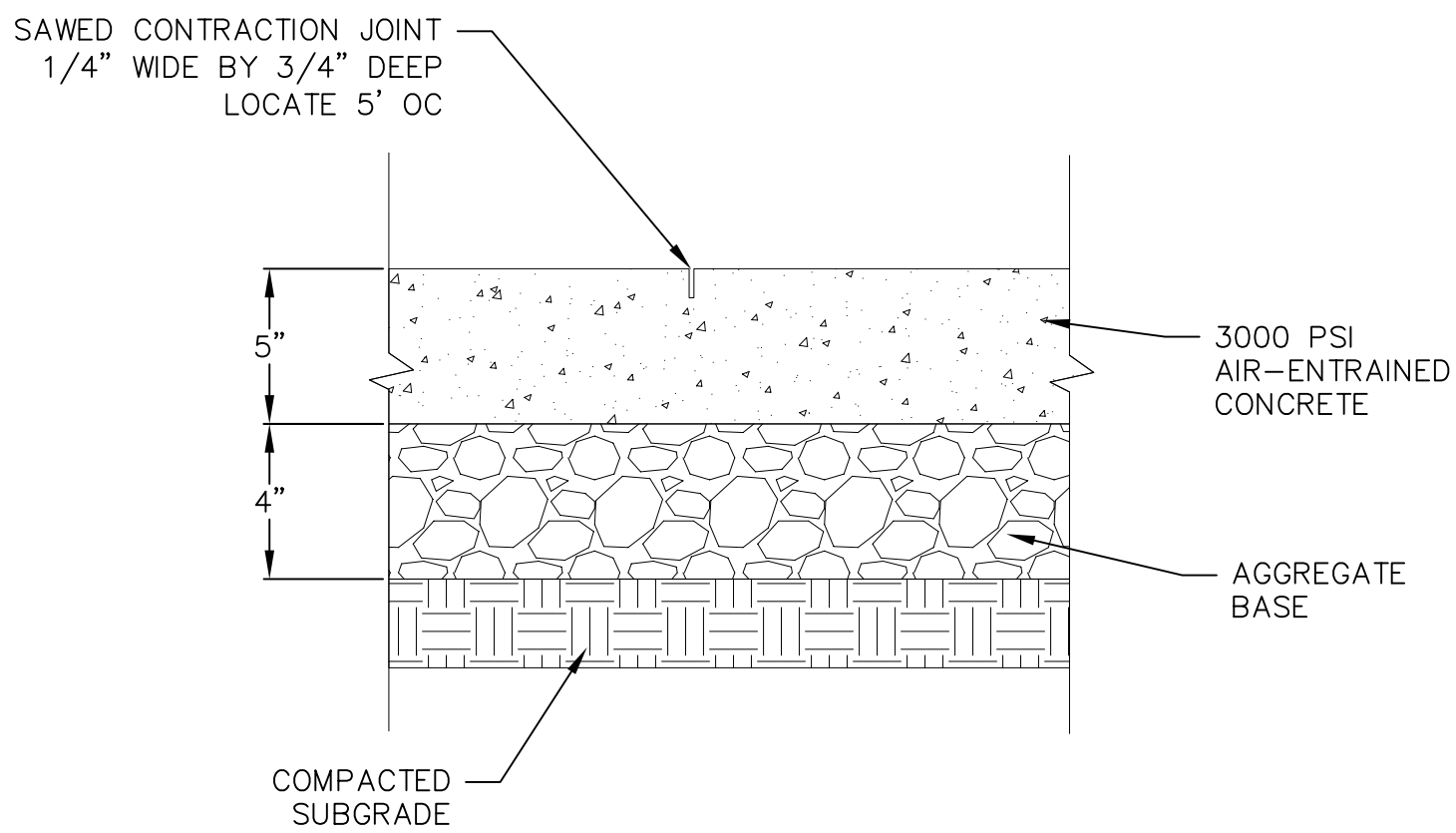
CHABAD HOUSE RENOVATION

223-225 W. GILMAN STREET, MADISON

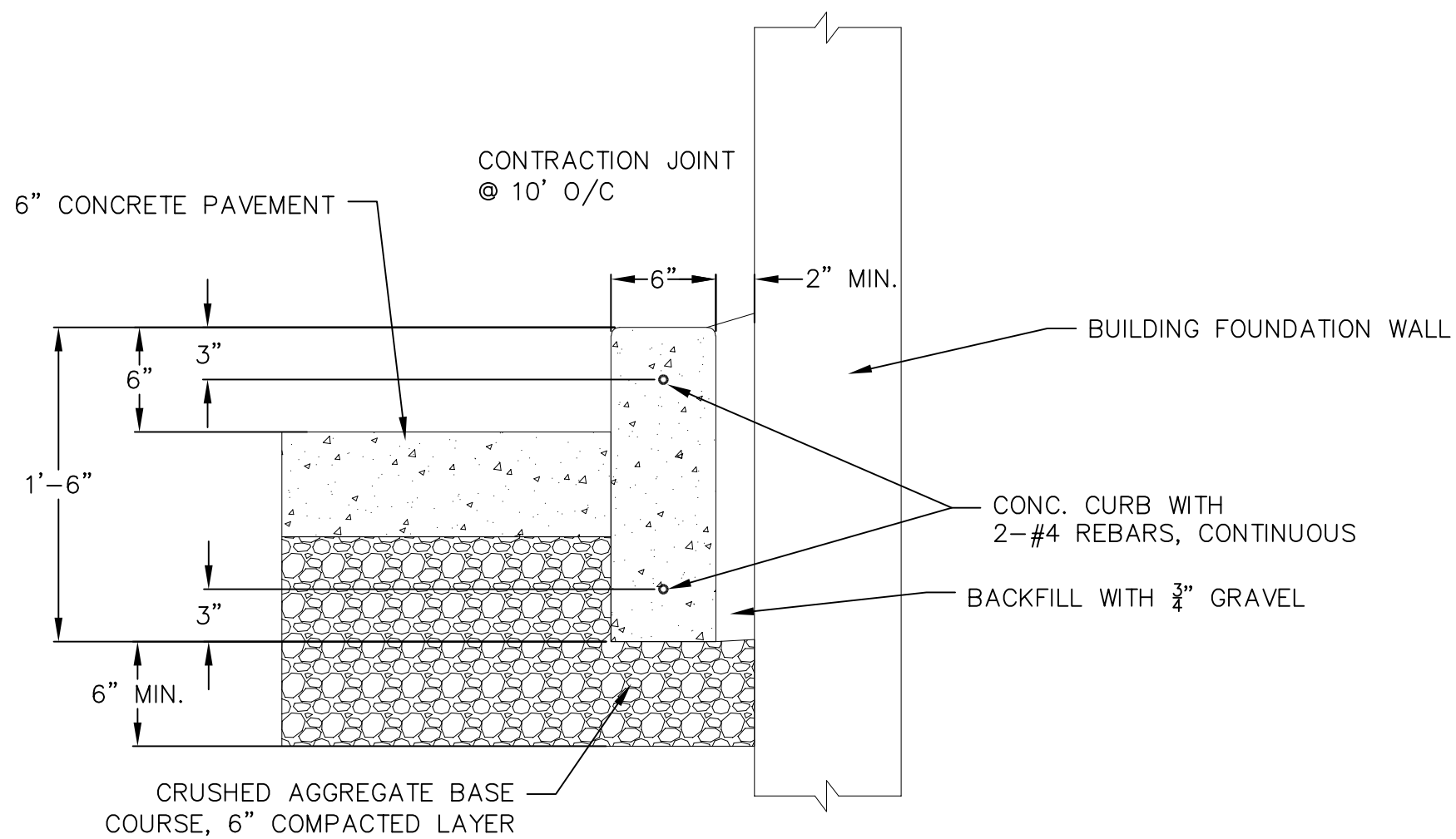
DANE COUNTY, WISCONSIN

DATE		REVISONS		REVISONS	
		NO.	DATE	NO.	DATE
DRAFTER					
DPER/MBRA					
CHECKED					
TSCH					
PROJECT NO.					
230228					

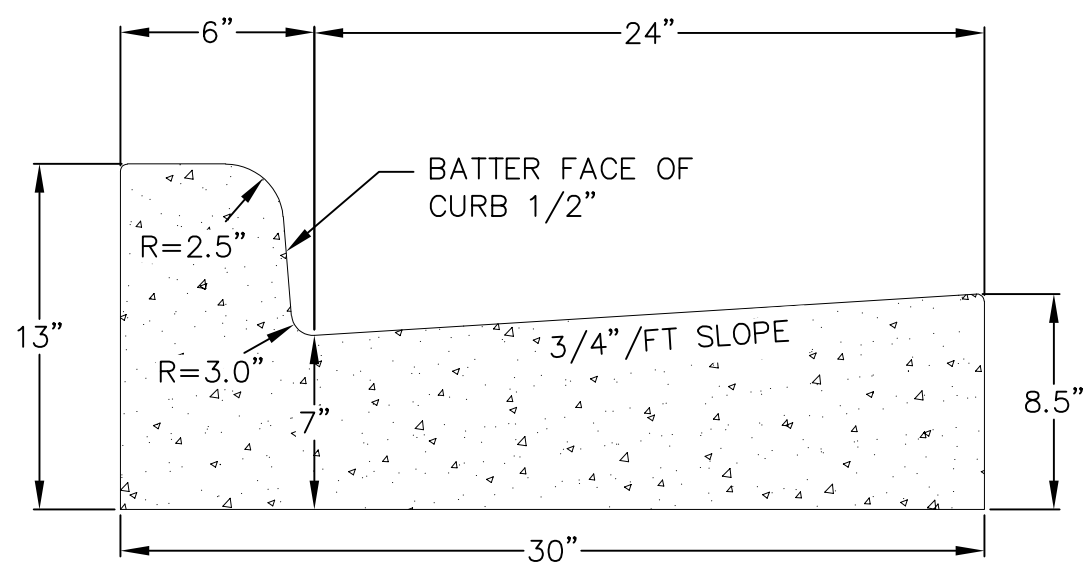
C500



1 SITE CONCRETE PATIO
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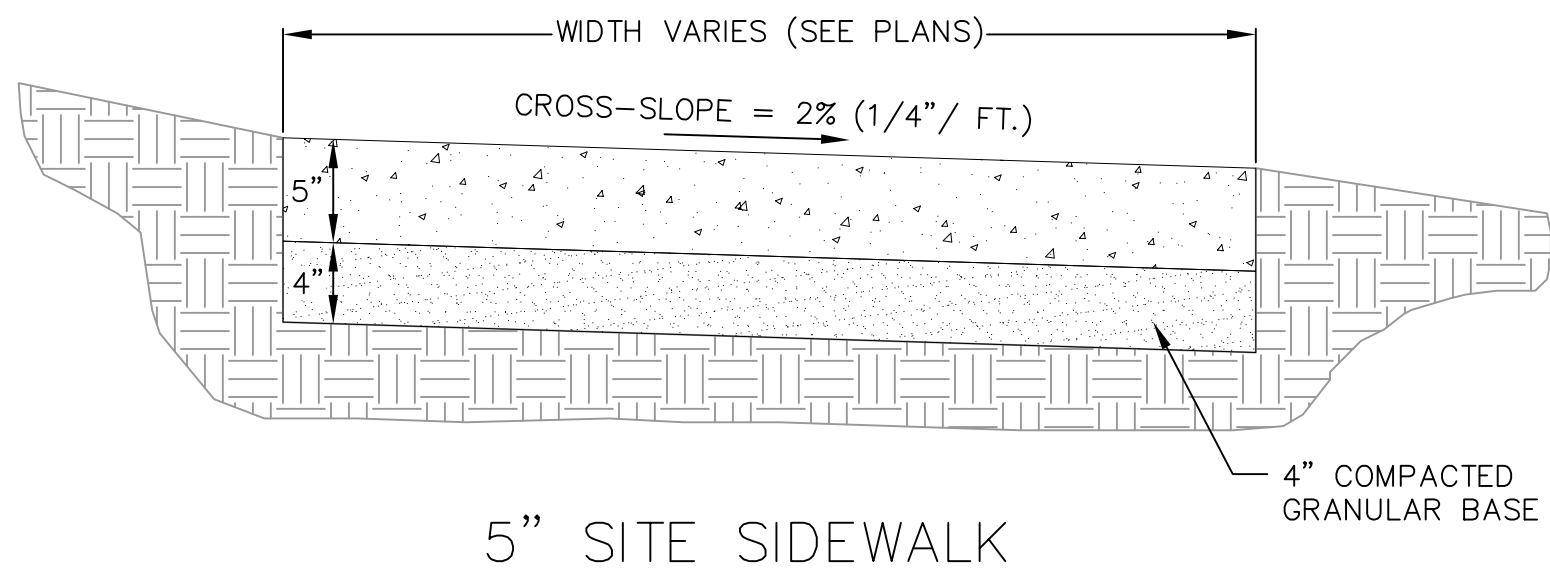


2 CONCRETE PAVEMENT & CURB DETAIL
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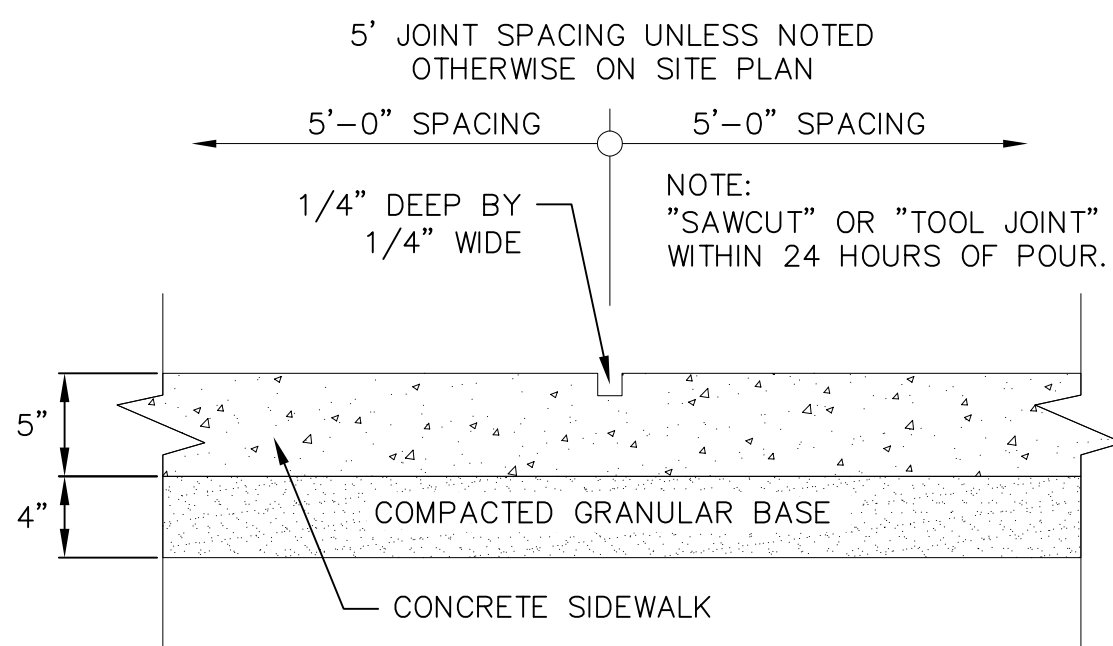


CURB AND GUTTER
CROSS SECTION

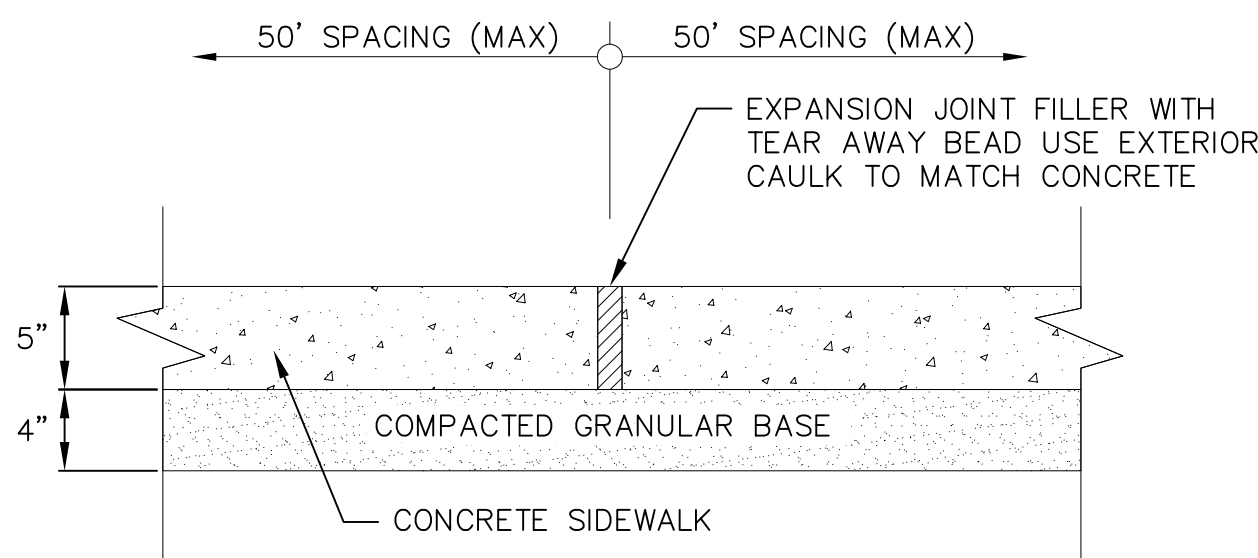
3 TYPE 'A' CONCRETE CURB AND GUTTER
C501 NOT TO SCALE



5" SITE SIDEWALK

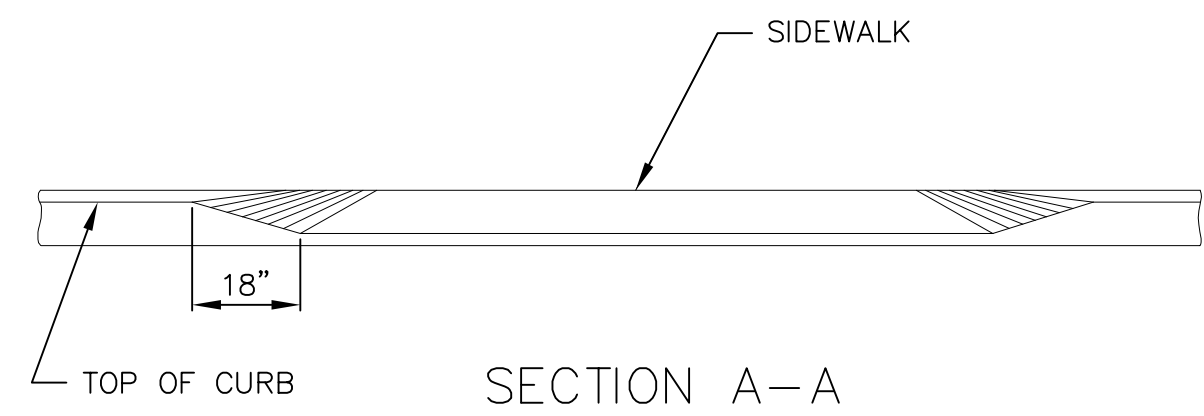


SIDEWALK CONTROL JOINT

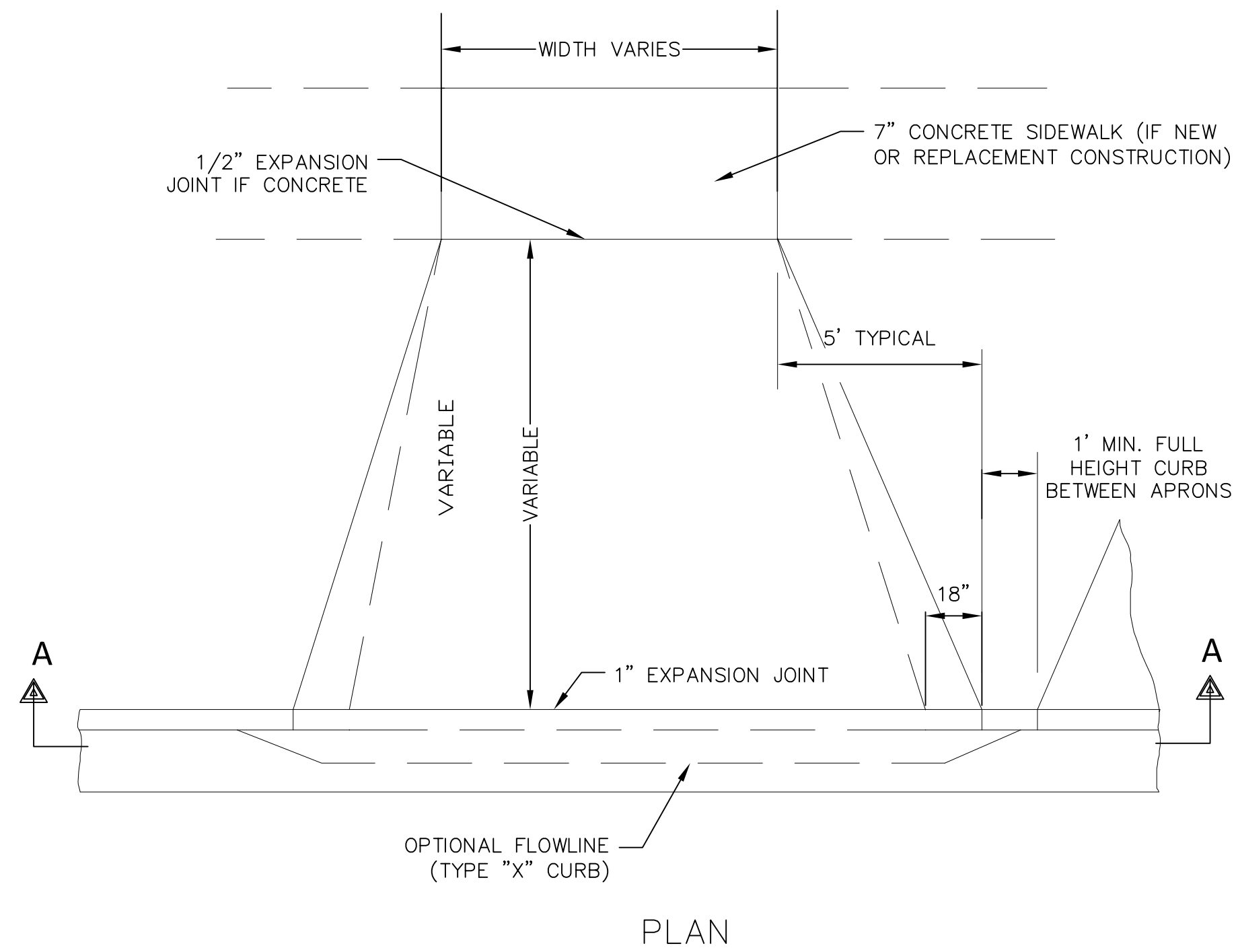


SIDEWALK EXPANSION JOINT

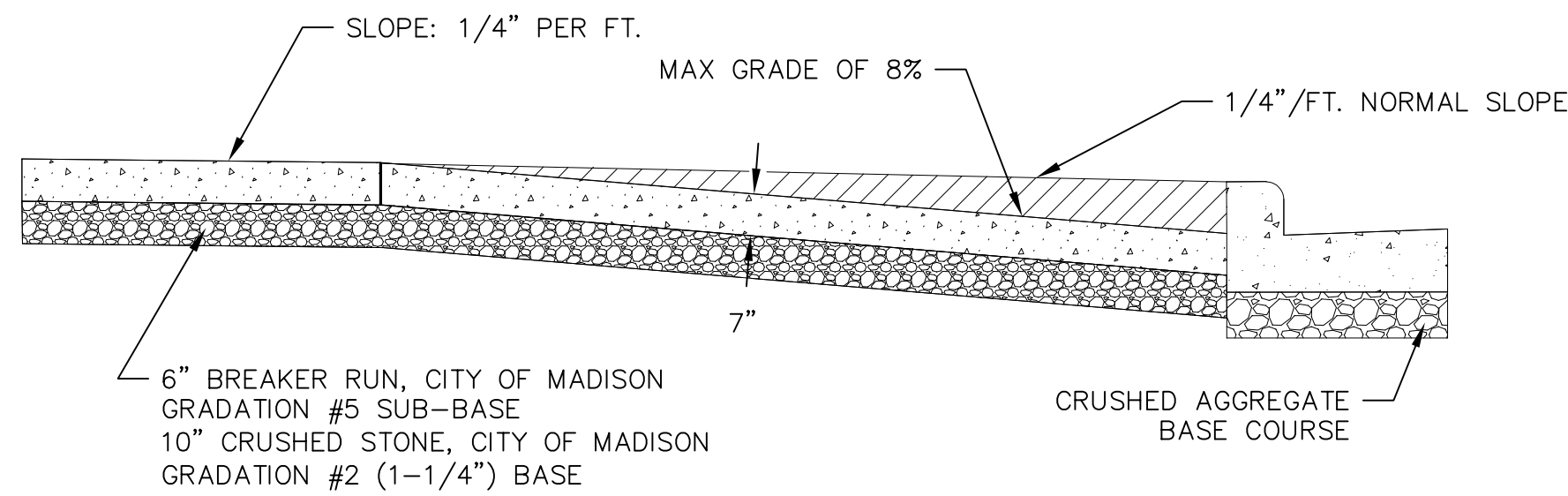
4 5" SIDEWALK
C501 NOT TO SCALE



SECTION A-A



PLAN



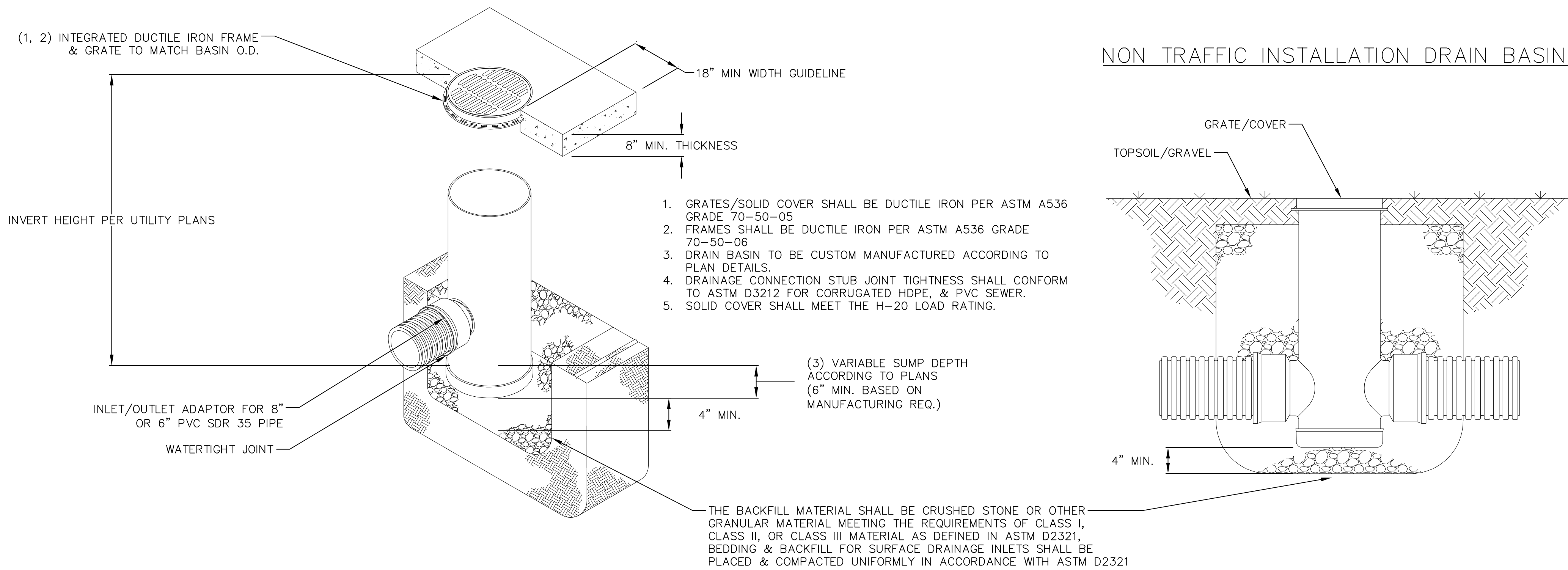
PROFILE

5 COMMERCIAL DRIVE DETAIL
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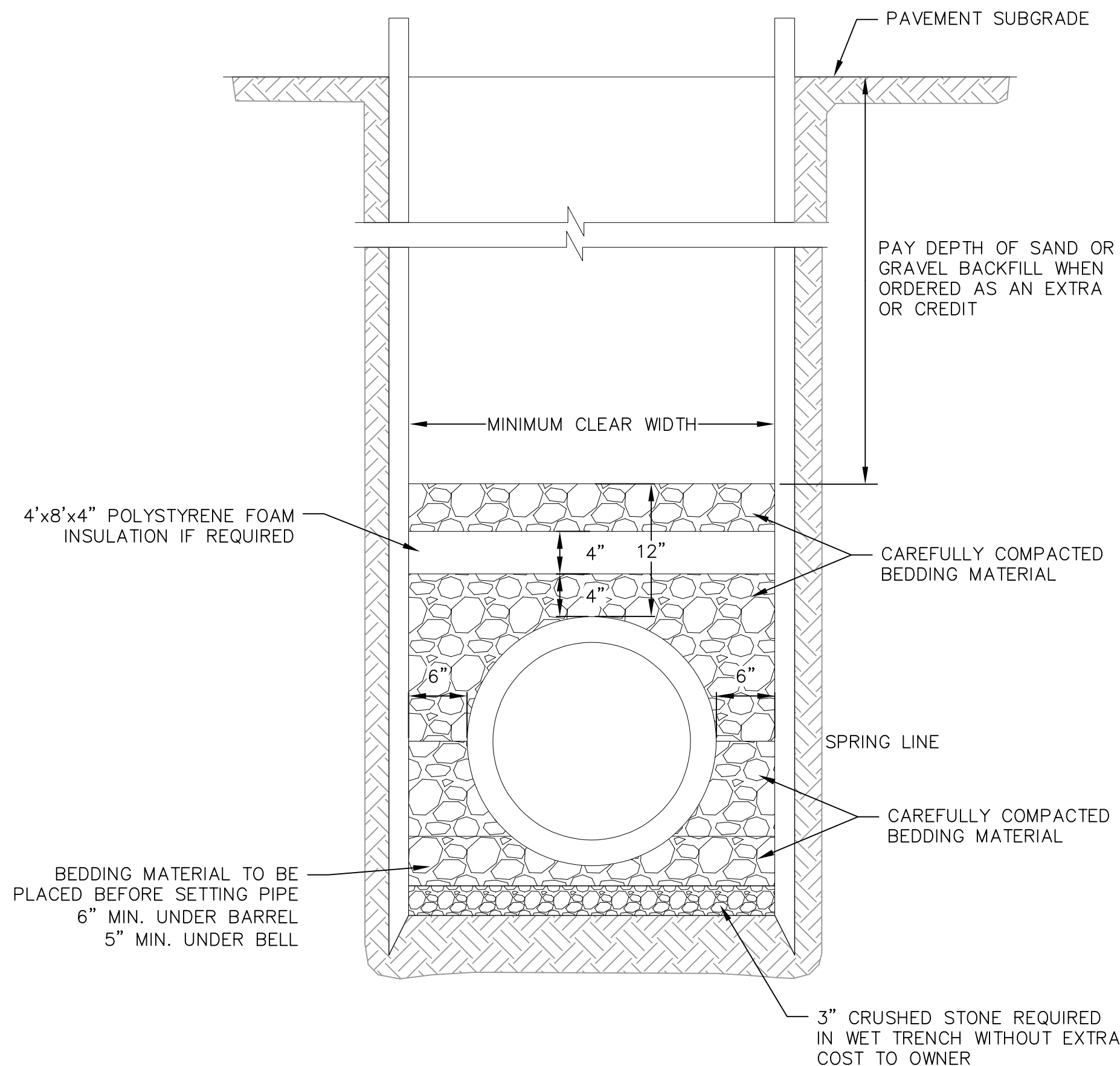
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE	08/18/2025
DRAFTER	DPER/MBRA
CHECKED	TSCH
PROJECT NO.	230228

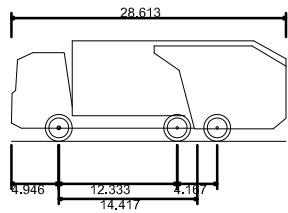
NYLOPLAST 24" DRAIN BASIN



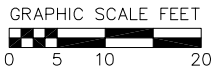
1 NYLOPLAST DRAIN BASIN
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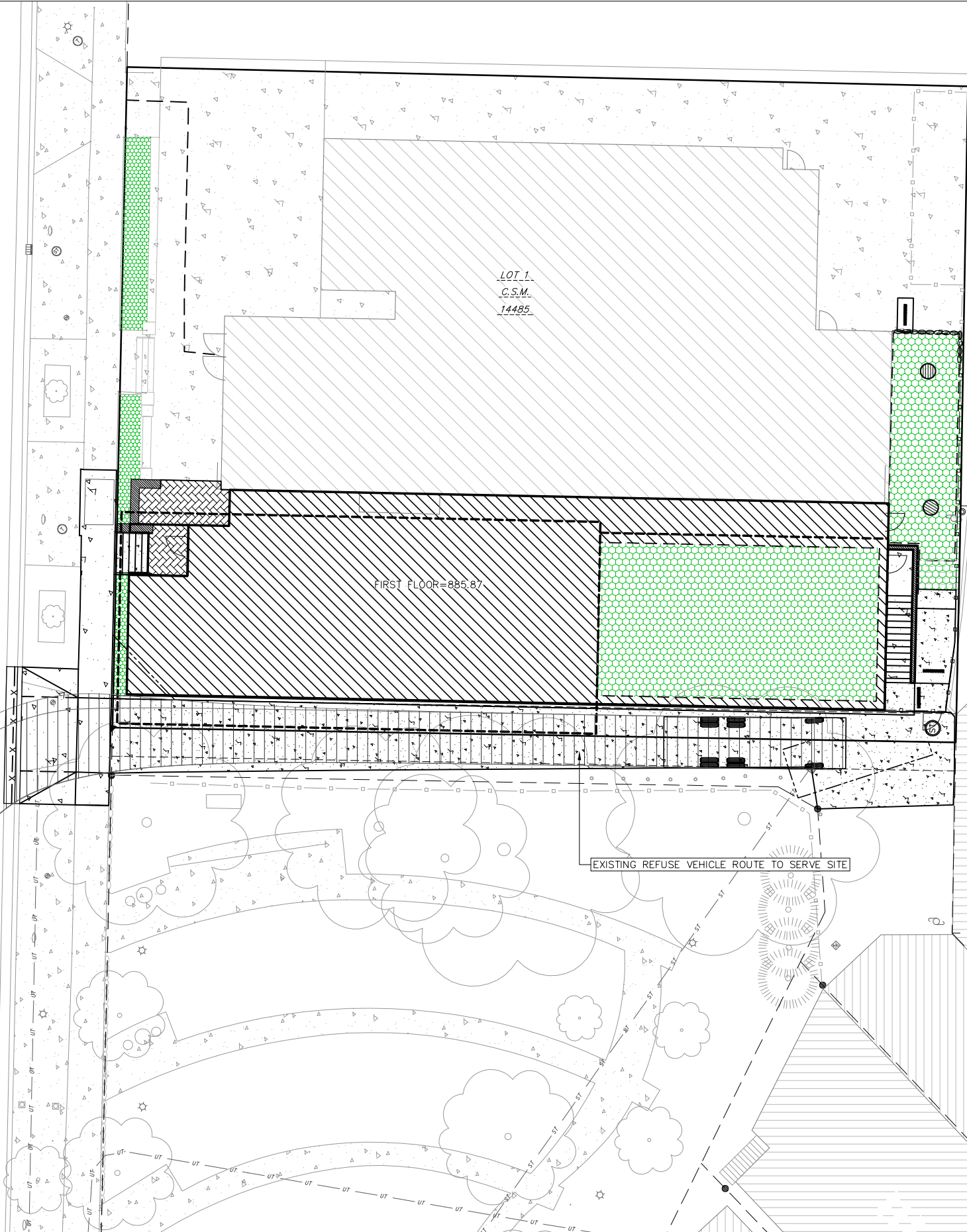
2 CLASS B BEDDING COMPACTED SECTION
C502 NOT TO SCALE



Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd
Overall Length 28.613ft
Overall Width 8.000ft
Overall Body Height 10.481ft
Min Body Ground Clearance 1.311ft
Track Width 8.000ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 33.500ft



W. GILMAN STREET



REFUSE TRUCK VEHICLE MOVEMENT

229 W. GILMAN ST, MADISON, WI
AUGUST 18, 2025

vierbicher
planners | engineers | advisors

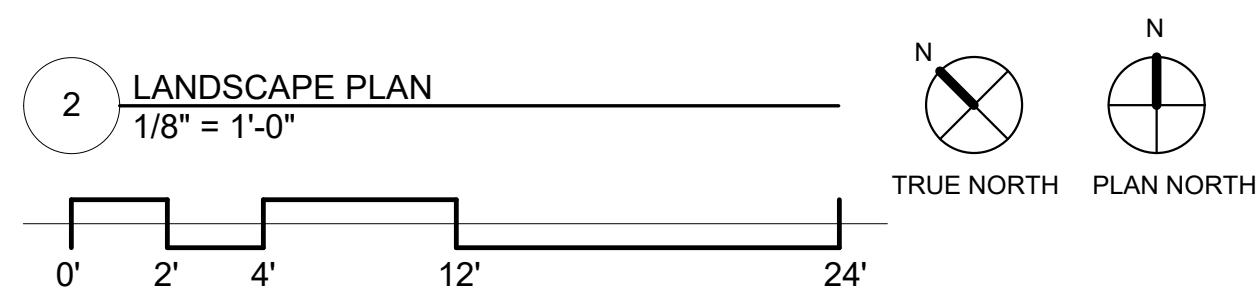
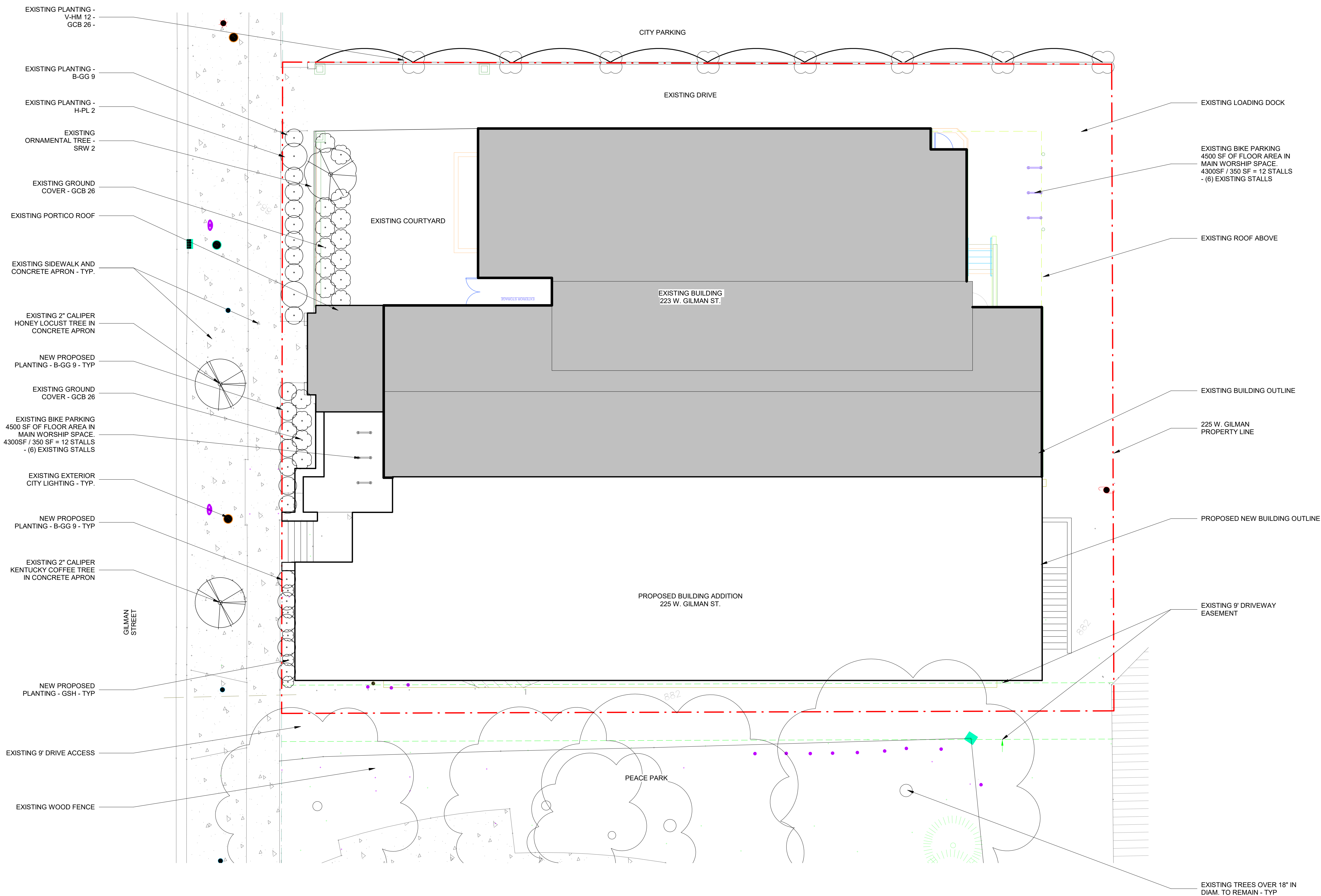


1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
3. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
4. CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.
5. ALL MATERIAL QUANTITIES AND AREA MEASUREMENTS SHOWN ON LANDSCAPE PLAN ARE TO BE CONFIRMED BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING FOR ANY QUANTITATIVE DISCREPANCIES BETWEEN PLAN, SCHEDULES, AND PREPARED CONDITIONS PRIOR TO INSTALLATION.
6. PLANTS SHALL BE INSTALLED WHEN ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE VICINITY.
7. ANY PREPARED SITE CONDITIONS THAT CONTRADICT THE LANDSCAPE PLAN AND NEGATIVELY AFFECT THE SUCCESS OF PLANTINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. LANDSCAPE CONTRACTOR TO PROVIDE 60 DAYS OF INITIAL MAINTENANCE PERIOD FOLLOWING LANDSCAPE INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SEEDINGS AND PLANTINGS, AS WELL AS MOWING, WEEDING AND MATERIAL CLEAN UP.

1. CONTRACTOR SHALL PROVIDE A SUFFICIENT AMOUNT TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL BE A MINIMUM OF 18" DEEP. PROVIDE A SUFFICIENT AMOUNT OF TOPSOIL TO EQUALS PER SPEC. 625.21 (I) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION". PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS.
2. SUBSOIL UNDER TUFF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH SHREDDED HARDWOOD BARK MULCH, BROWN, TO 3" DEPTH MIN. DO NOT ALLOW MULCH TO COVER LEAVES, STEMS OR TRUNKS OF INSTALLED PLANTS. NO LANDSCAPE FABRIC TO BE INSTALLED WITH PLANTING PLACEMENT.
4. LANDSCAPE STONE TO BE INSTALLED USING 1" WASHED STONE TO A DEPTH OF 3" MINIMUM. LAY COMMERICAL GRADE LANDSCAPE FABRIC BETWEEN GRADE AND STONE.

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
5. EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN. WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.

CHABAD PLANT LIST						
SYMBOL	KEY	BOTANICAL NAME	QUANTITY	INITIAL SIZE	MATURE SIZE	COMMENTS
	V-1M	VINES <i>Hydrangea anomala</i> subsp. <i>Petalota</i> "Manitow"	12		10' HT. X 3" SPR.	EXISTING
	H-P L 2	DECIDUOUS SHRUBS <i>Hydrangea paniculata</i> "Little Quick Fire"	2		3.0' HT. X 3.0" SPR.	EXISTING
	B-G 0 3	EVERGREEN SHRUBS <i>Bauhinia microphylla</i> var. <i>koronara</i> x <i>verticillata</i> , "Green Gae"	9 EXIST 12 NEW		2.7' HT. X 2.2" SPR.	NEW AND EXISTING
	GCB 20	PERENNIALS & GRASS/COVER <i>Geranium x carabidgeum</i> "Beckov" "Beckov" <i>Cerastium</i>	53 EXIST		12' HT. X 1" SPR.	EXISTING
	GSH	GRASSES <i>Sesleria heuffera</i> "Blue-green Moss Grass"	5 NEW		16-30" HT. X 16-20" SPR.	NEW AND EXISTING
	BRW 2	EXISTING ORNAMENTAL TREE <i>Exoniya racemata</i> "Williamette" "very Piny Tree List"	1 EXIST.		20' HT. X 1" SPR.	EXISTING
		EXISTING TREE ON CITY PROPERTY "east of 2" College Home Little Tree"	2 EXIST.			EXISTING



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**ROHR CHABAD HOUSE AT THE
 UNIVERSITY OF WISCONSIN-MADISON**

2223 - 225 W. Gilman St. Madison, WI 53703

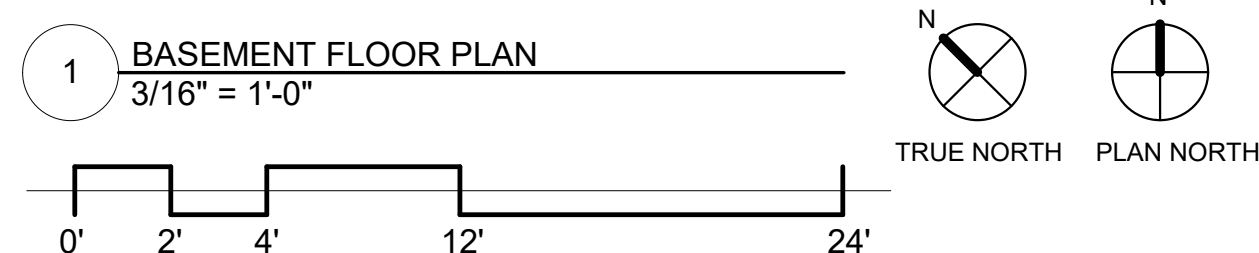
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MADISON, WISCONSIN

Sheet Title:

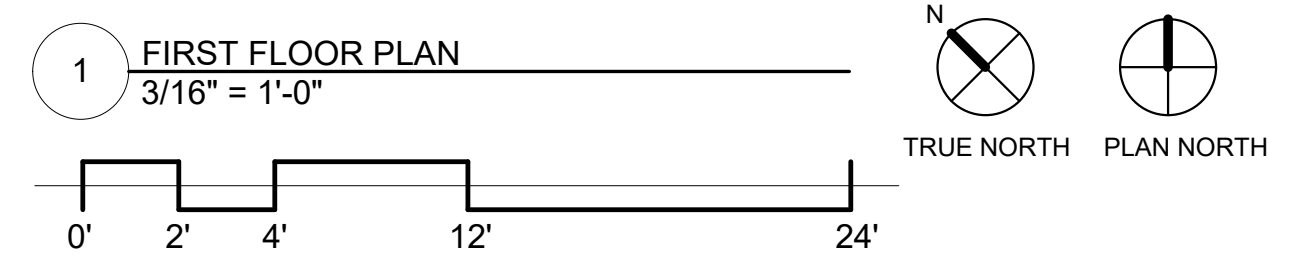
LANDSCAPE PLAN

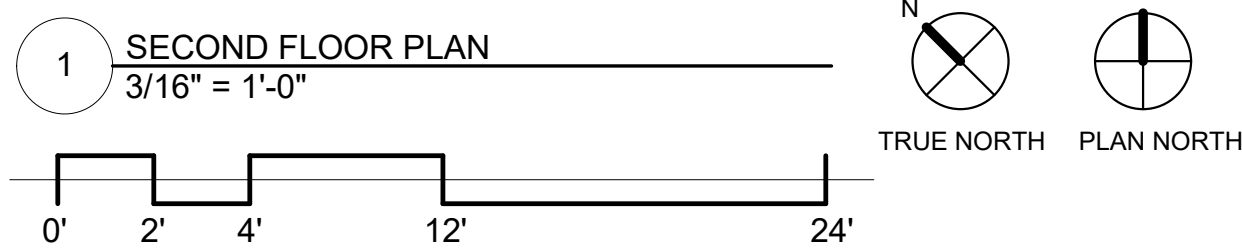
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As indicated
2022 - 04
NOT FOR CONSTRUCTION
08/18/2025
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Which Project Number	As indicated
Effective Date	2022 - 04
Project Status	NOT FOR CONSTRUCTION
Expiration Date	08/18/2025
Project Number	A100

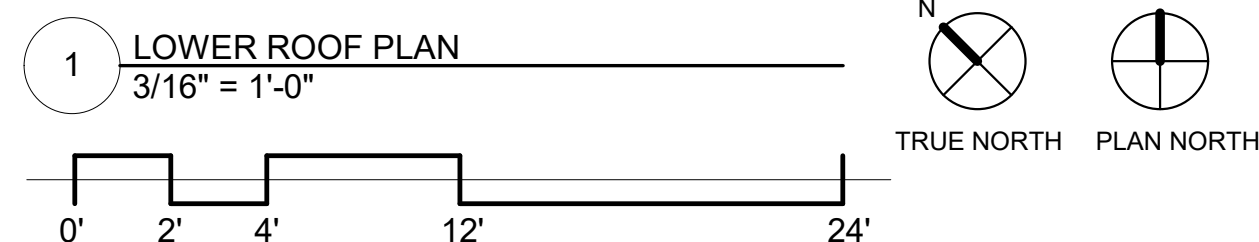




- | KEYNOTE LEGEND | |
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| Key Value | Keynote Text |

SECOND FLOOR PLAN

As indicated
2022 - 04
NOT FOR CONSTRUCTION
08/18/2025
A102



Graphic Scale	As indicated
Project Number	2022 - 04
Set Type	NOT FOR CONSTRUCTION
Date Issued	08/18/2025
Sheet Number	A103

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Project Number	2022 - 04
Project Name	NOT FOR CONSTRUCTION
Project Date	08/18/2025
Project Location	A200



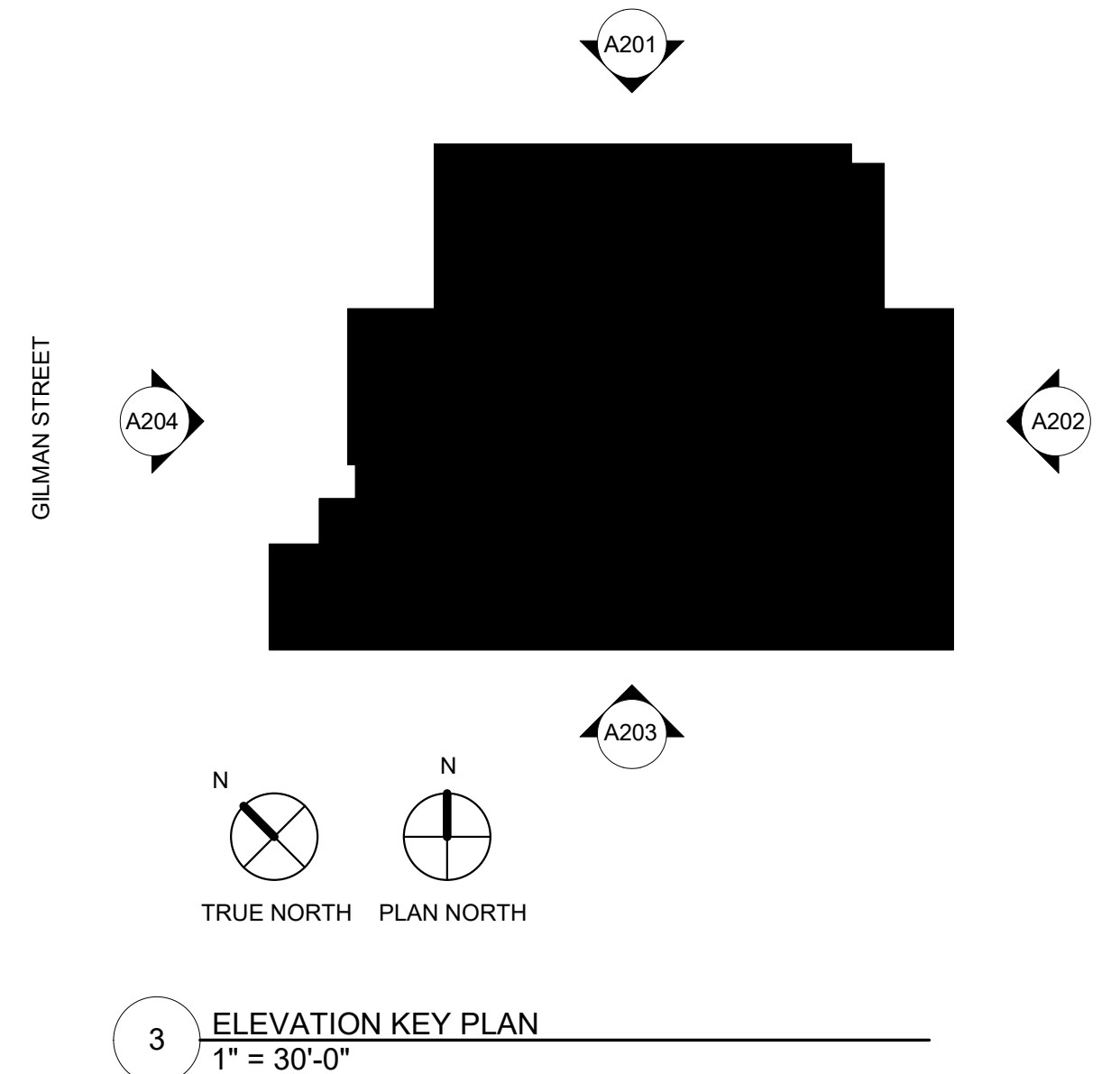
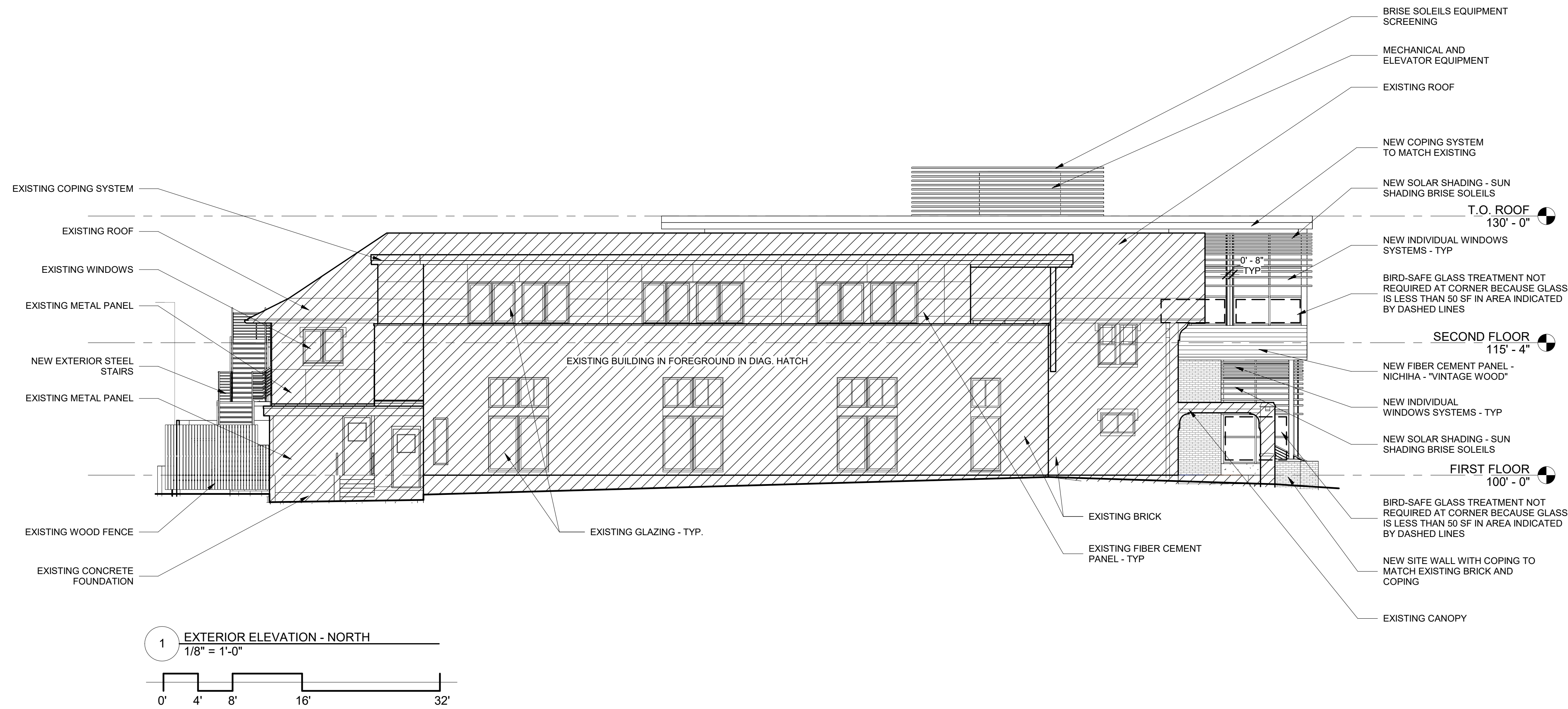
2. SITE CONTEXT IMAGES

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MADISON, WISCONSIN

Sheet Title:

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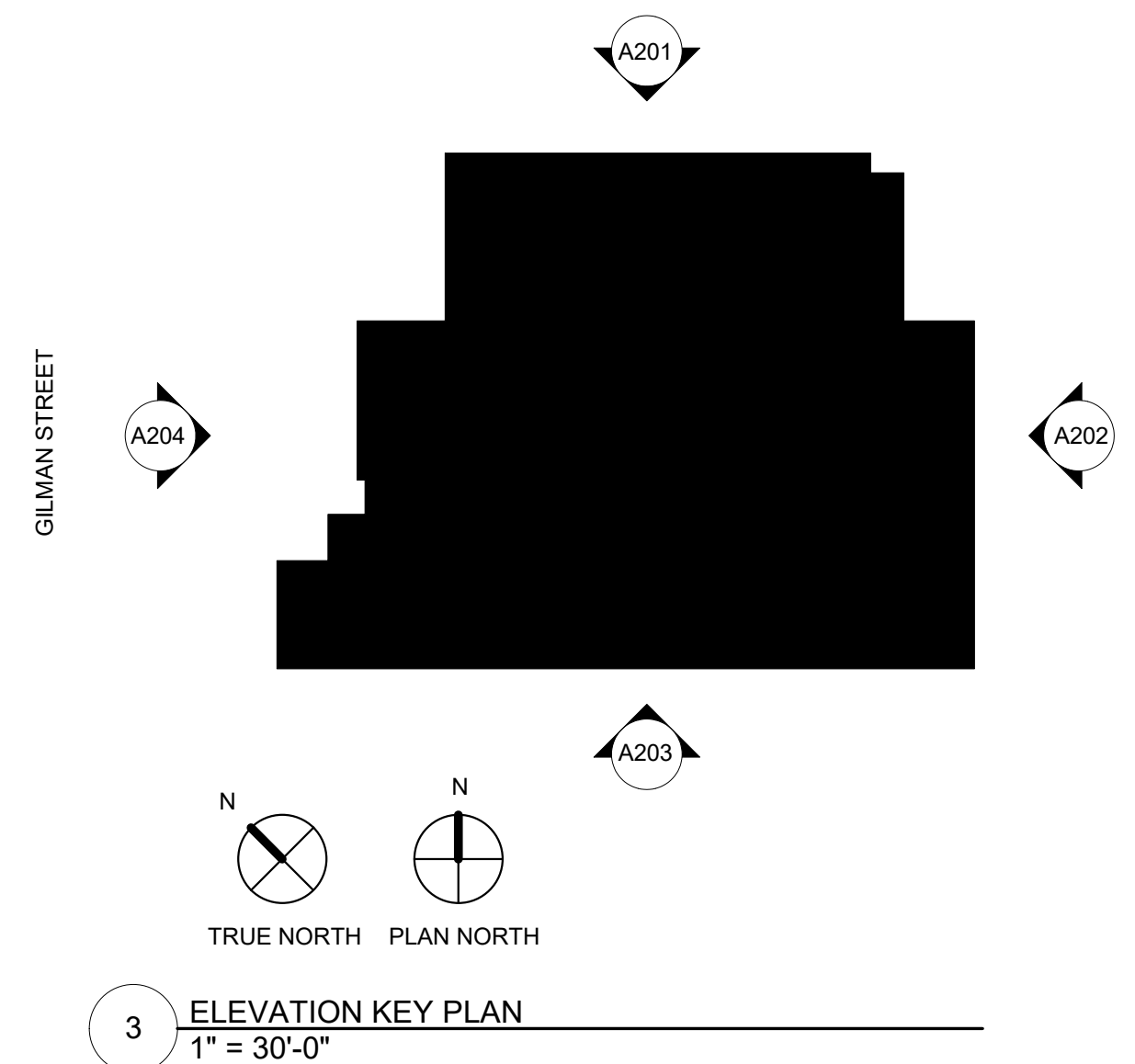
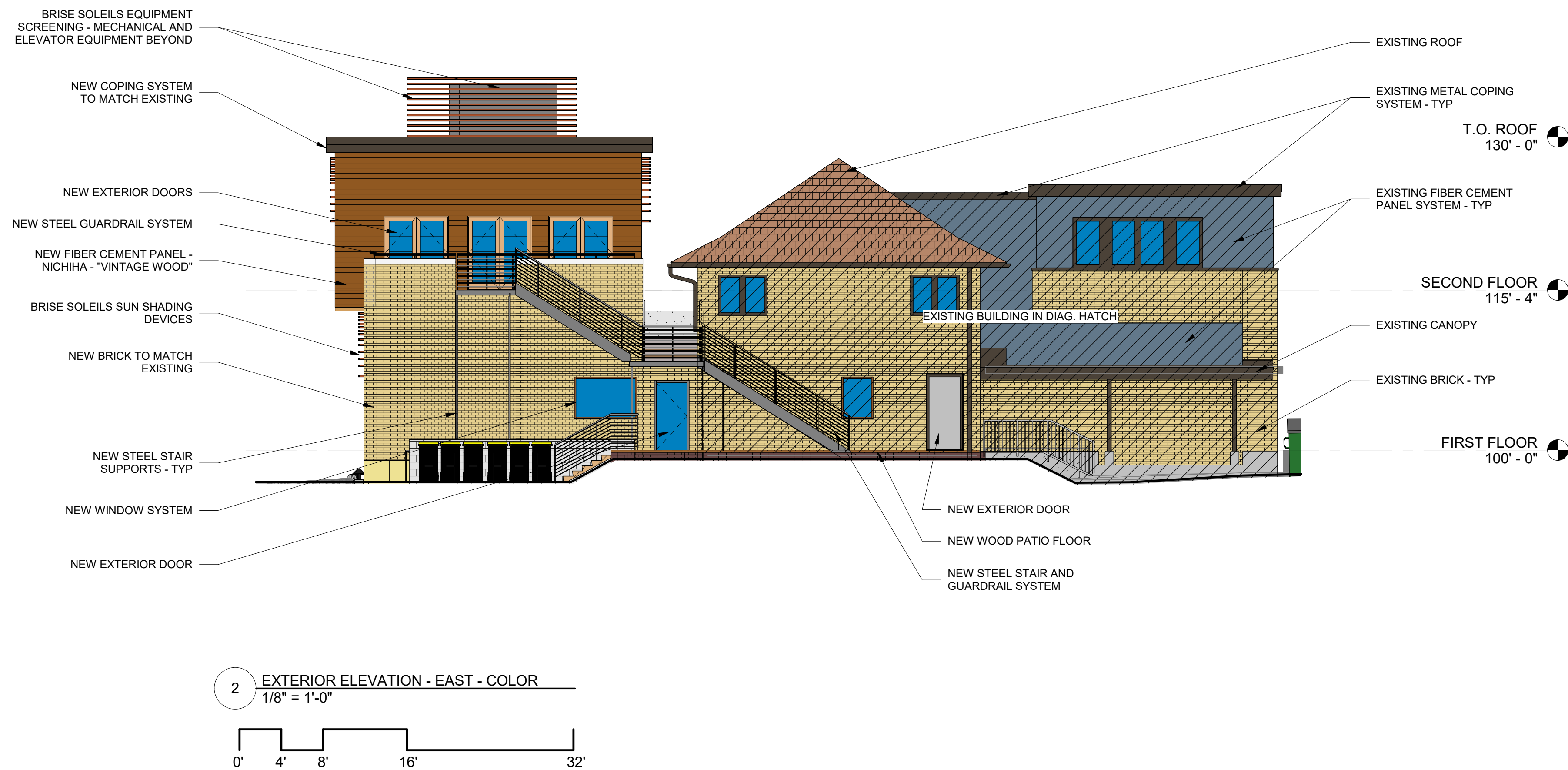
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RENOVATION AND ADDITION
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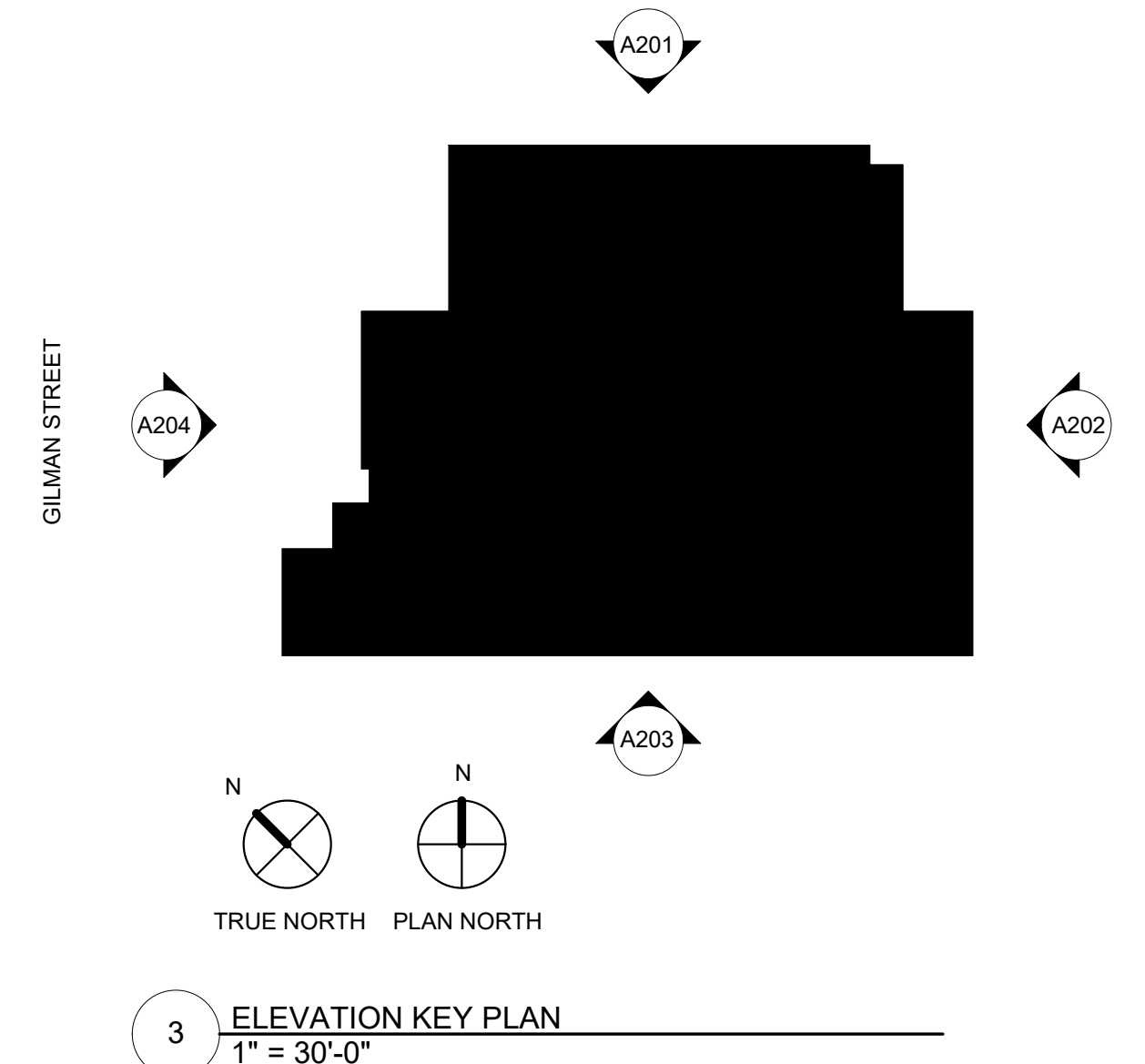
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Sheet Number	A202

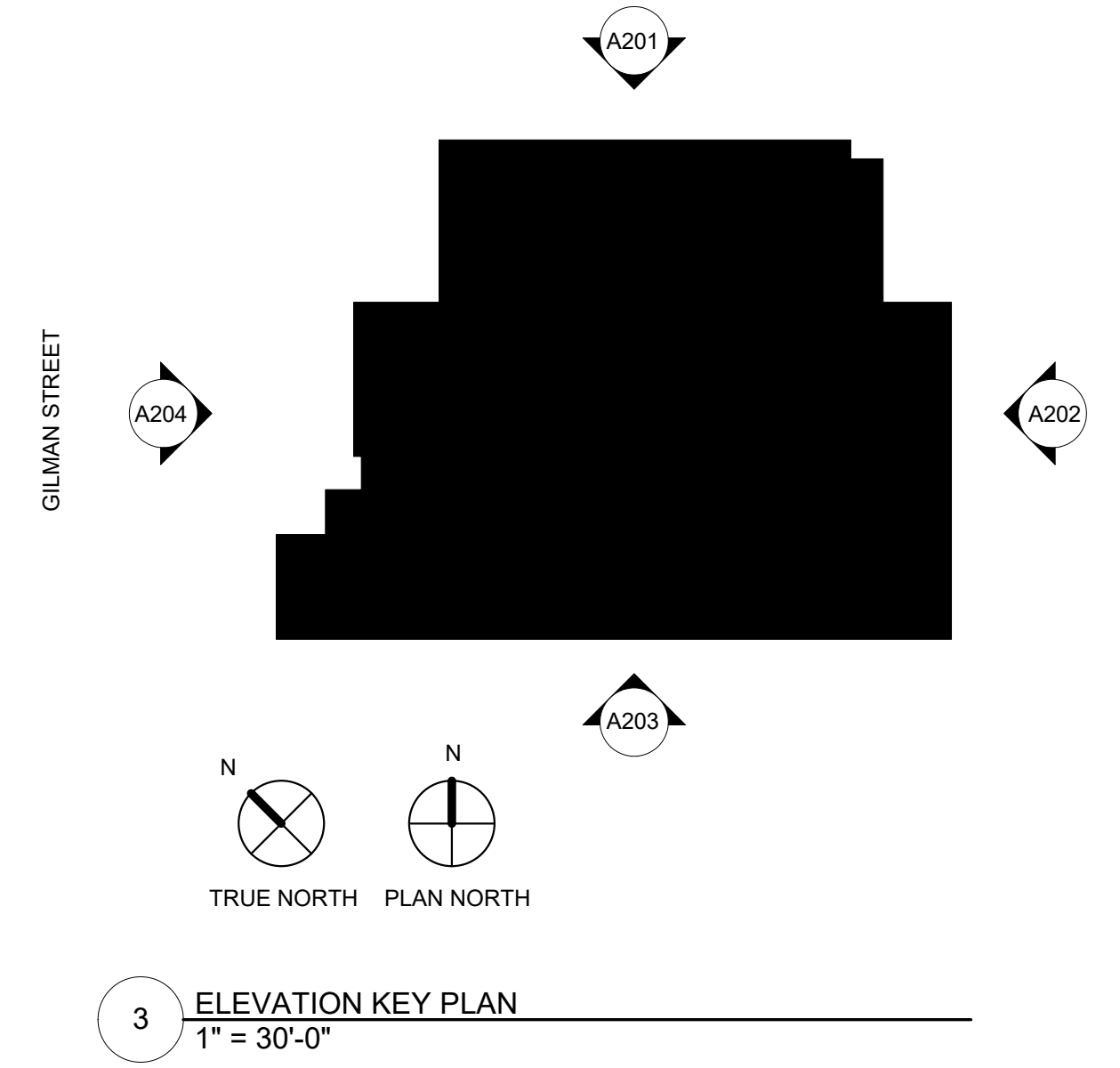
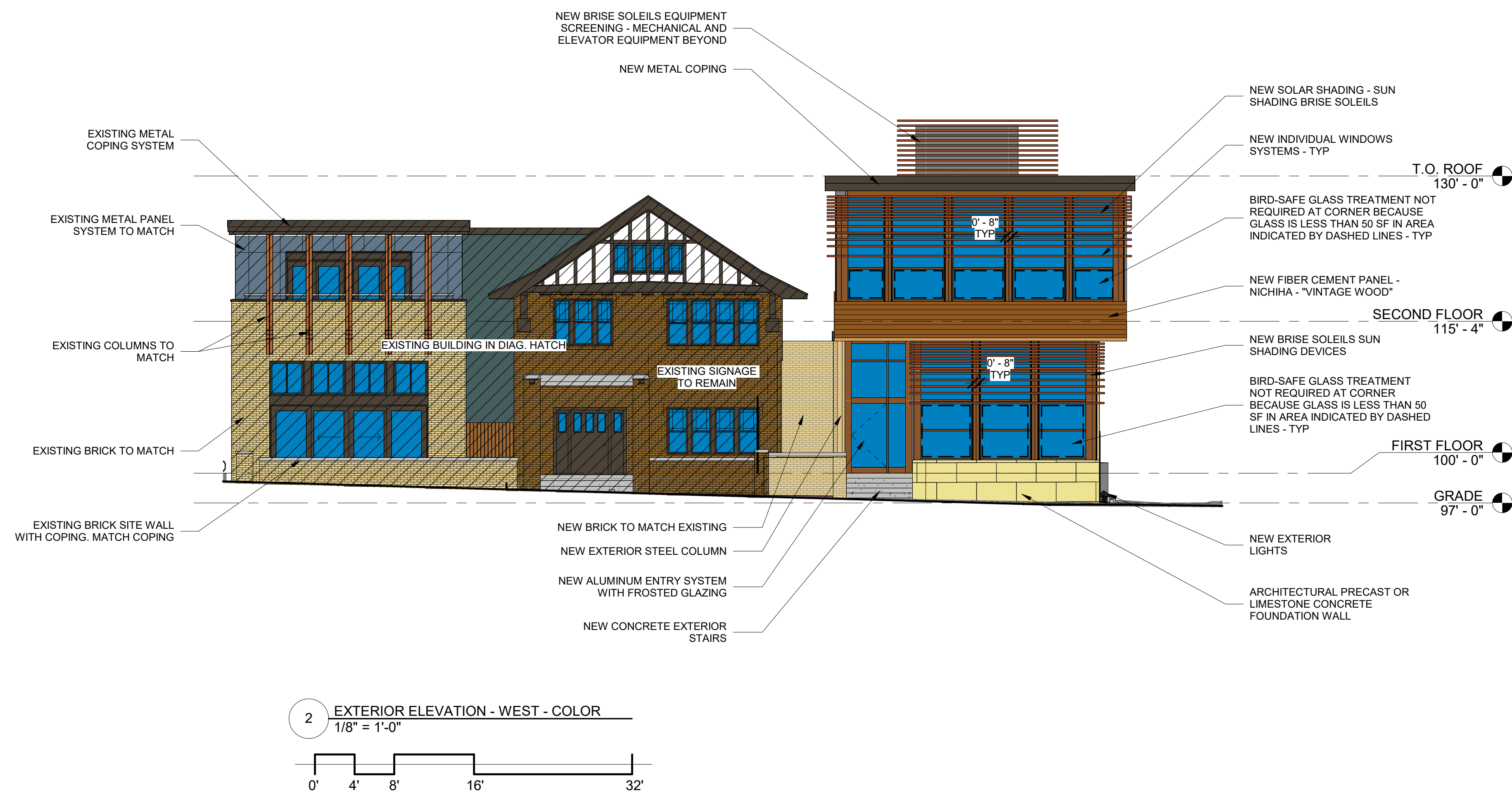


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Project Number	2022 - 04
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Date issued	08/18/2025
Sheet Number	A203



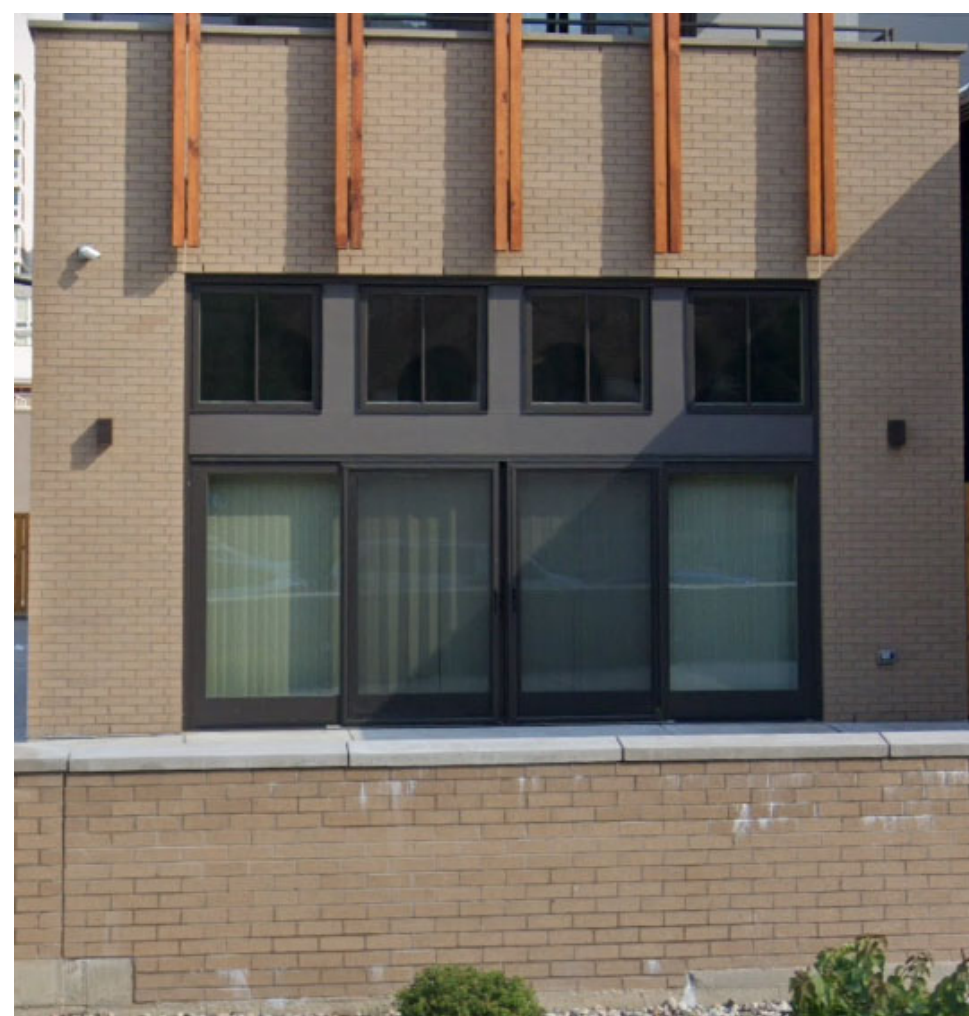
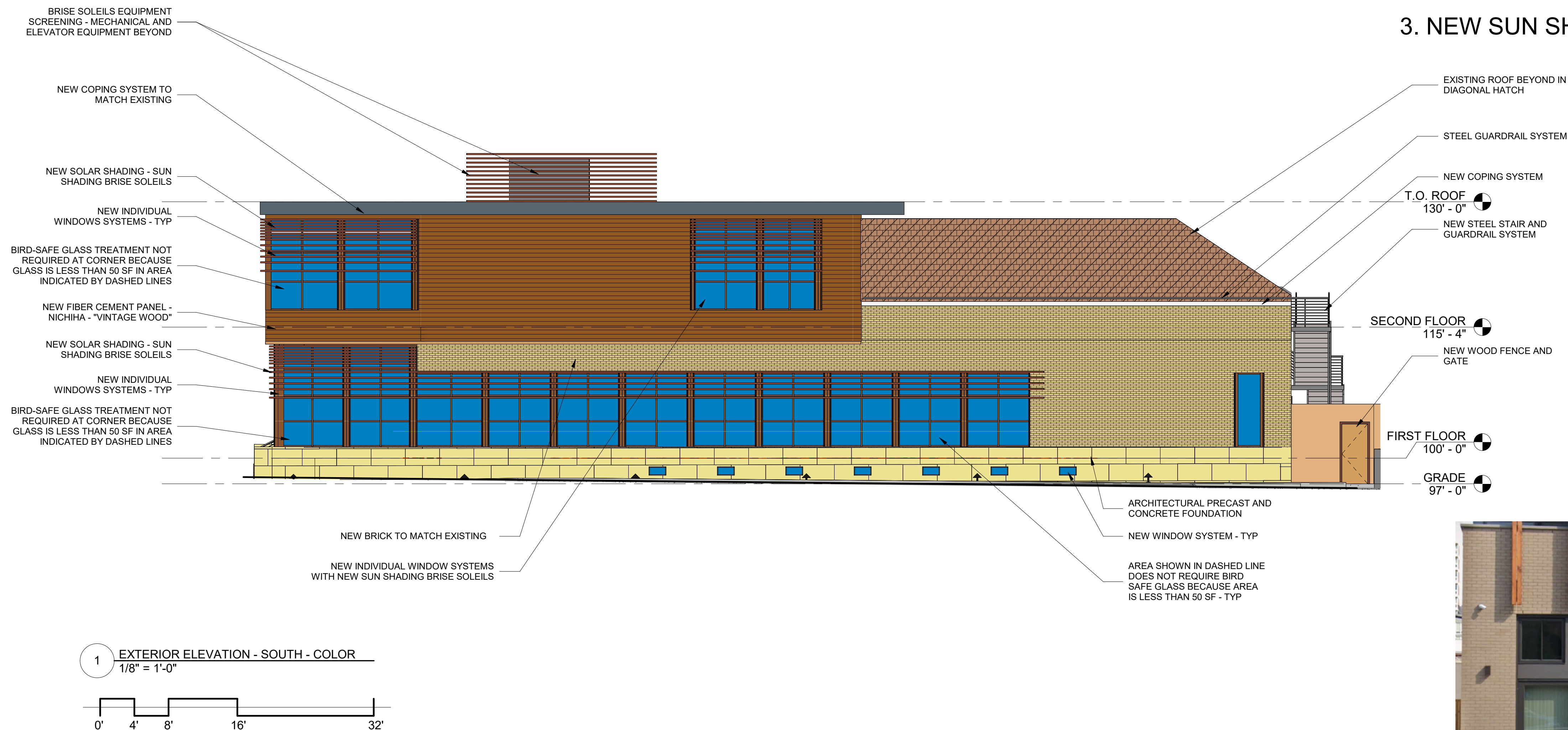
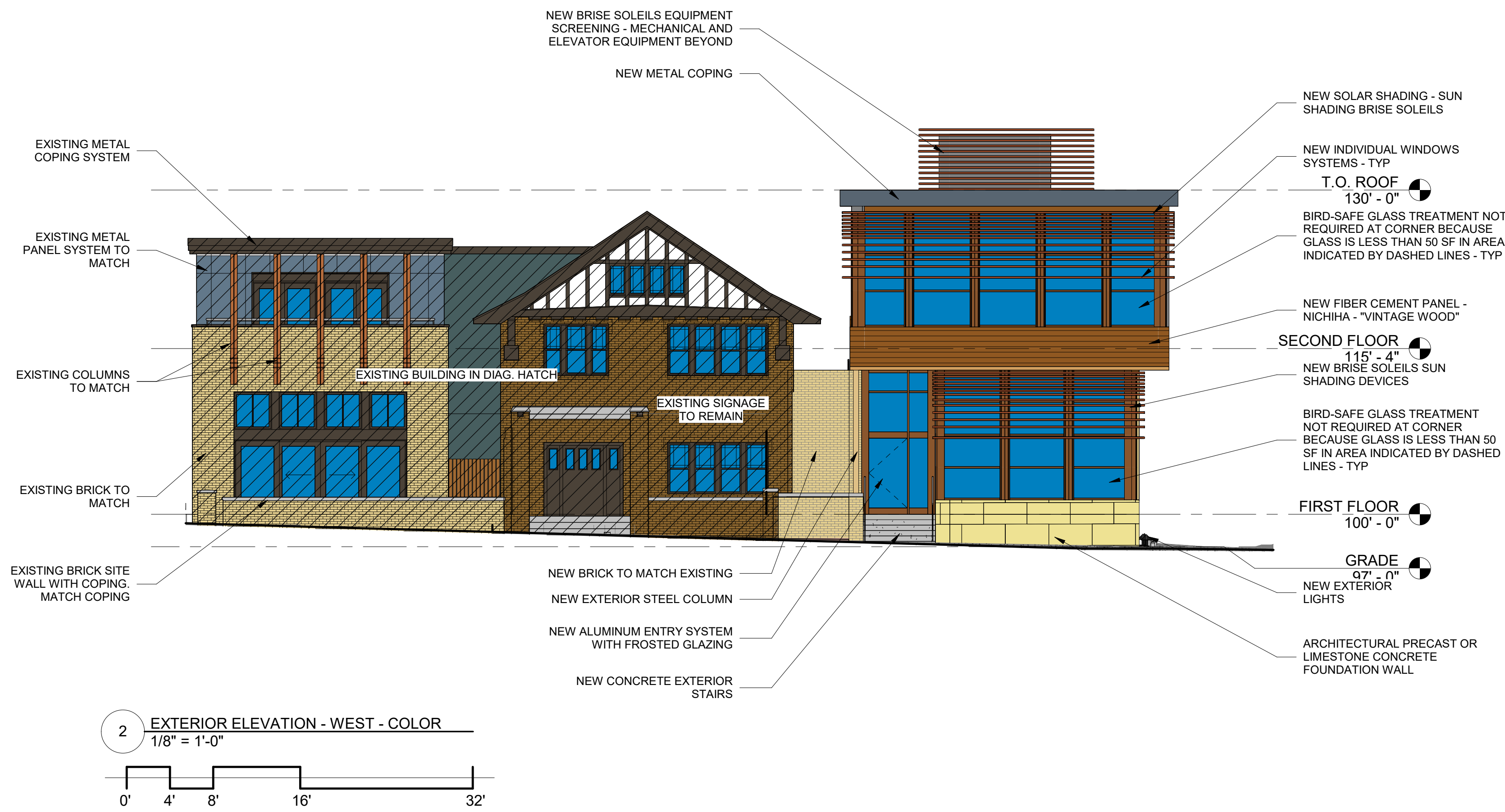




2. NEW VINTAGE WOOD PANELING IMAGE



4. NEW ARCHITECTURAL PRECAST FINISH



6. NEW VINTAGEWOOD SAMPLE FOR PANELING



assemblage
ARCHITECTS

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BUILDING ELEVATIONS - 3D RENDERINGS

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assemblage
ARCHITECTS

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BUILDING ELEVATIONS - 3D RENDERINGS

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