



Location
829 East Washington Avenue

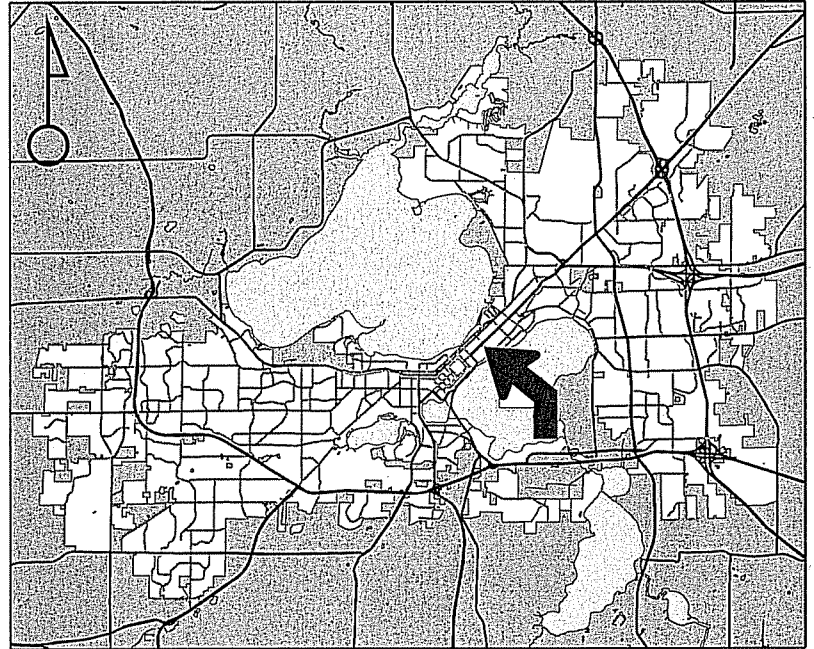
Project Name
Robinia Restaurant Group

Applicant
PAMAF, LLC/
Matt Tills – Tills Architecture

Existing Use
Former Lussier Teen Center

Proposed Use
Construct restaurant in TE zoning
with outdoor seating area

Public Hearing Date
Plan Commission
24 March 2014

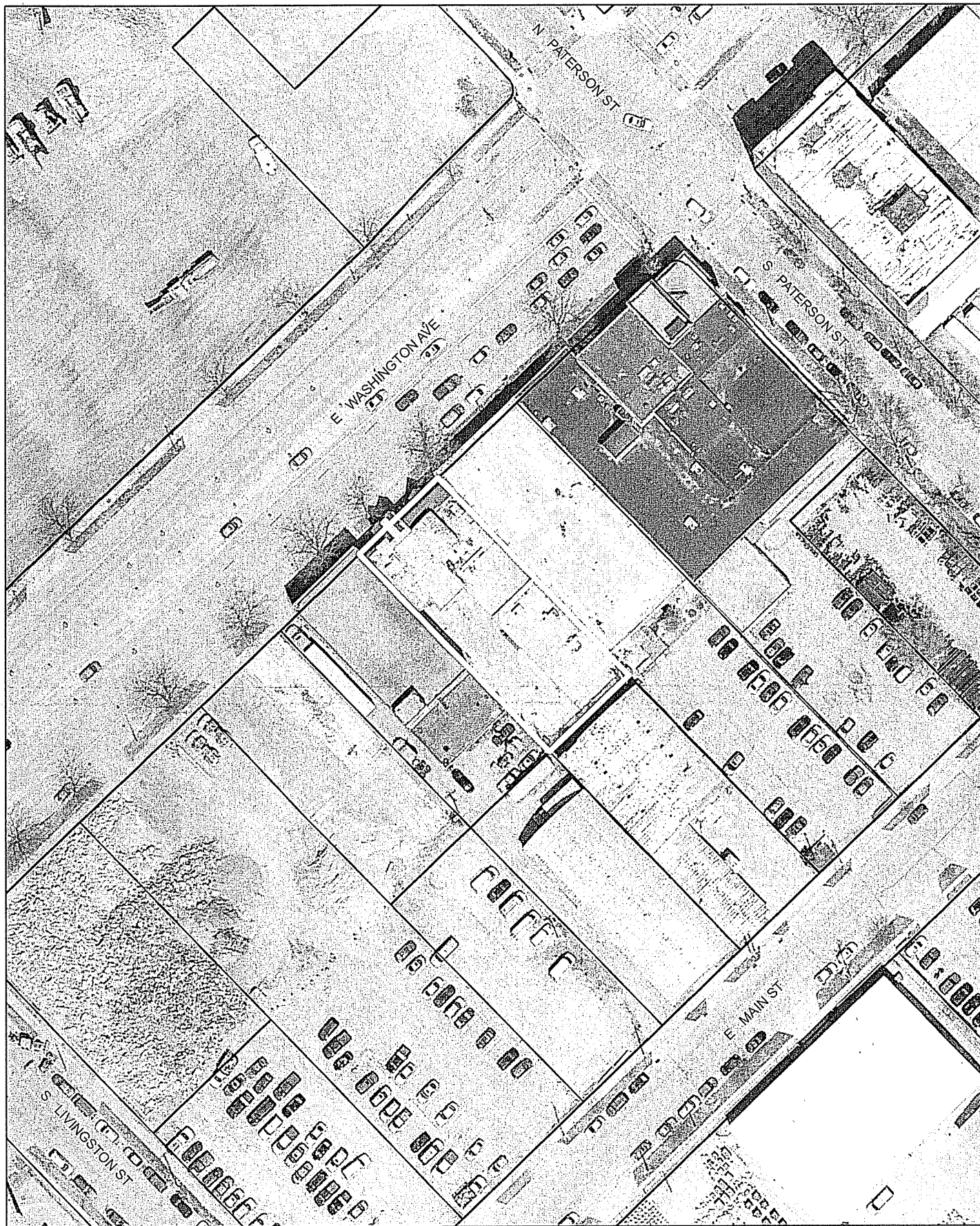


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 14 March 2013





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$600 Receipt No. 151207
 Date Received 2/5/14
 Received By JLK
 Parcel No. 0709-134-1003-4
 Aldermanic District 6 - Marsha Rumard
 Zoning District TE
 Special Requirements ZBA, UDC DIST
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 829 EAST WASHINGTON AVE. MADISON, WI 53703
 Project Title (if any): 829 EAST WASHINGTON

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Jonathan T. Reske Company: Fourcap, LLC
 Street Address: 3128 Lakeland Ave Apt 11 City/State: Madison, WI Zip: 53704
 Telephone: (608) 698-8174 Fax: () Email: jon.reske@fourcapre.com

Project Contact Person: Matt Tills Company: Tills Architecture
 Street Address: 2501 Balden Street City/State: Madison, WI Zip: 53713
 Telephone: (608) 235-6240 Fax: () Email: matt@tillsarchitecture.com

Property Owner (if not applicant): PAMAF, LLC
 Street Address: PO Box 208 City/State: Madison, WI Zip: 53701

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: RENOVATION AND REUSE OF EXISTING BUILDING FOR NEW RESTAURANT GROUP, OUTDOOR COURTYARD, AND OFFICE SPACE
 Development Schedule: Commencement APRIL 1, 2014 Completion AUGUST 1, 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:"

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled) } 32 06
- Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled) } 212
- One (1) copy of the plan set reduced to fit onto 8 1/4 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

Meeting with Marsha Rummel - 12/18/2013 ; Presentation to ANA Preservation & Development Committee - 12/18/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form. **-SEE ATTACHED EMAIL CORRESP.**

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: *Kathleen Cornwell* Date: *1/7/2013* Zoning Staff: *Matt Tucker* Date: *1/7/2013*

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant: *Jonathan T. Reske, PAMAF, LLC* Relationship to Property: *Buyer (Owner on 3/29/2014)*

Authorizing Signature of Property Owner: *Jonathan T. Reske* Date: *2/5/2014*



February 05, 2014

Matthew Tucker
Zoning Administrator
City of Madison
Madison Municipal Building
215 Martin Luther King Jr. Blvd. Suite LL-100
Madison, WI 53701

Dear Mr. Tucker:

This letter of intent accompanies plans for the rehabilitation and changed use of the property at 829 E. Washington Avenue, Madison, WI 53703.

The subject property has been vacant for the past 5 years and off the tax roll for the past 13. This project will not only reactivate this parcel economically, it will serve as further catalyst to the continued reinvestment in the Capitol East District. With the proposed restaurant group, we are bringing together a team of current and aspiring restaurateurs to make their contribution to, and leave their mark on, this burgeoning district. The proposed restaurant, wine bar/lounge and bakery café will create the perfect combination of spaces to serve guests from morning to night, and subsequently serve all those who choose to relocate to the Capitol East District to live, work and play.

The proposed project will require a conditional use approval for the restaurant under the new TE zoning, design review of the courtyard and limited improvements to the E. Washington façade, conditional use approval for use of the outdoor courtyard and approval of the provision of zero parking as part of this project.

We are excited at this opportunity to re-use exciting stock in this district. This is a rare opportunity to create some truly unique spaces, both indoor and out.

If you should have any questions about our application materials, please do not hesitate to contact one of our team members:

Project Team

Owner:	PAMAF, LLC Contact: Jonathan T. Reske Jon.reske@FourcapRE.com 608.698.8174
Developer:	Fourcap, LLC Contact: Jonathan T. Reske Jon.reske@FourcapRE.com 608.698.8174
Architect:	Tills Architecture Contact: Matt Tills matt@tillsarchitecture.com 608.235.6240
Landscape Architect:	SAA Design Group Contact: Aaron Williams awilliams@saa-madison.com 608.441.3595
Construction Manager:	Bachmann Construction Contact: Chris Quandt cquandt@bachmannconstruction.net 608.222.8869

Existing Conditions

The current building at 827/829 E. Washington Avenue is a two-story building comprising of roughly 8,500 with approximately 6,600 on the first floor. The original footprint of the building still in existence today is around 4,500 square feet on the first floor. The remaining square footage is the result of two additions constructed between 1940 and 1944. The property was the original home to Savidusky's Fur and Leather from 1925 to 1998. The building was rehabilitated in the early 2000s to be the new home of the Lussier Teen Center. The building has been mostly vacant since 2009. The building is structurally sound. The current zoning of the parcel is TE, of which the proposed use (restaurant/bar) is a conditional use. The property is currently completely fenced in and the only points of access are from the E. Washington frontage (829 E. Washington Ave. entrance, 827 E. Washington Ave. entrance and a covered pass along the lot line shared with the property at 825 E. Washington Ave.)

Project Schedule

March 24, 2014	Plan Commission
April, 2014	Begin Construction
July, 2014	Finish Construction
July/August, 2014	Restaurant Open

Proposed Use / Hours of Operation

The building will be occupied by one tenant, the restaurant group Robinia, LLC. The hours of operation for the restaurant group will be 6:30am – 1:00am during the week and 6:30am – 2:30am on Fridays and Saturdays. The group will also have a 3,000 square foot courtyard open and active throughout the proposed hours of operation, weather permitting. The restaurant group will consist of a chef/menu-driven restaurant in the rear of the building (Zone 1), a wine/cocktail lounge in the middle of the building (Zone 2) and a bakery/café at the front of the building (Zone 1).

Building Square Footage

Approximate square footage of proposed building is identical to the existing square footage:

- Basement – 1,000 square feet
- First Floor – 6,588 square feet
- Second Floor – 1,673 square feet

Auto and Bike Parking Stalls

There is currently no automobile parking available on the property. No additional parking stalls will be created as a result of this proposed project. As there is no other restaurant, existing or proposed, within 300 feet of the entrance to the restaurant space, the City of Madison shouldn't require any parking as a result of this proposed new use. There will be ample bicycle parking incorporated into the courtyard improvements.

Lot Coverage and Usable Open Space Calculations

Improved Area	7,084 square feet	65.05%
Usable Open Space	<u>3,806 square feet</u>	<u>34.95%</u>
Total Lot Area	10,890 square feet	100.00%

Value of Land

The property is currently under contract for \$550,000. The property hasn't been assessed by the City since 2000; taxes paid were \$9,841.56 for 2000.

Estimated Project Cost

The estimated cost of the project is \$1,250,000 not including acquisition cost.

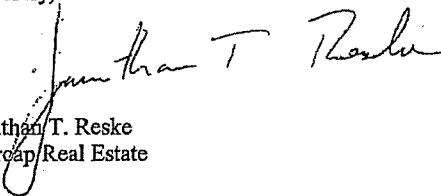
Number of Full-Time Equivalent Jobs Created

- Construction – 8 FTE over approximately 3 months
- Restaurant Operation – 25 FTE Jobs

Public Subsidy Requested

None.

Sincerely,



Jonathan T. Reske
Fourcap Real Estate

829 East Washington Avenue

Madison, Wisconsin 53703

February 5, 2014 - Plan Commission Submittal

Revision	Date

Project Name

829 East Washington

INDEX	
CS	Cover Sheet
C000	Existing Site Photos
C100	Existing Conditions
C200	Demolition Plan
C300	Site Layout & Landscape Plan
C400	Grading & Utility Plan
C500	Courtyard Elevations
C600	Details
C900	Illustrative Plan
A201	First Floor Plan
A202	Second Floor Plan/West Elevation

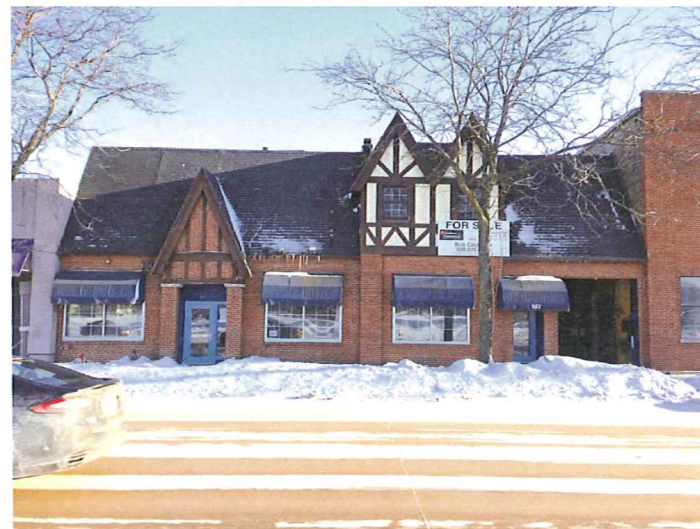
PROJECT INFORMATION	
Existing Building:	Interior remodel/change of use
Zoning District:	TE-WP 24
Occupancy Type:	First Floor-Assembly Group A-2: Restaurant Second Floor-Business B: Office Space
Site Area:	10,890 sf / .25 acre
Bldg. Stories (above grade):	Two stories along E. Washington, One story in rear
Max. Height (Zoning):	5 stories/68' allowable, 2 stories/29' Existing
Max. Height (Code):	3 stories (Table 503, 504.2 sprinkled)
Type of Construction:	Type III B
Sprinklered:	Fully sprinklered throughout per NFPA 13
Allowable area/floor (Code):	19,000 sf (Table 503, 506.3 sprinkled)
Total Building Area:	Basement: 1,000 sf First Floor: 6,588 sf Sec. Floor: 1,673 sf Total (Above Grade): 8,261 sf
Courtyard:	2,936 sf
Occupancy:	First Floor: 203 persons Sec. Floor: 17 persons (1,673/100 sf) Courtyard: 200 persons
Parking:	Street parking in front- no parking required, pending conditional use approval
Bike Stalls:	16 Vertical Bike Racks- see landscape plans

PROJECT TEAM	
DEVELOPMENT	Fourcap Real Estate PHONE: (608) 698-8174 629 S. Dickinson Street Madison, Wisconsin 53703
ARCHITECTURE	Tills Architecture LLC PHONE: (608) 235-6240 2501 Balden St. Madison, Wisconsin 53713
CIVIL & LANDSCAPE	SAA DESIGN GROUP PHONE: (608) 255-0800; FAX: (608) 255-7750 101 E. Badger Road Madison, Wisconsin 53713



Madison, Wisconsin

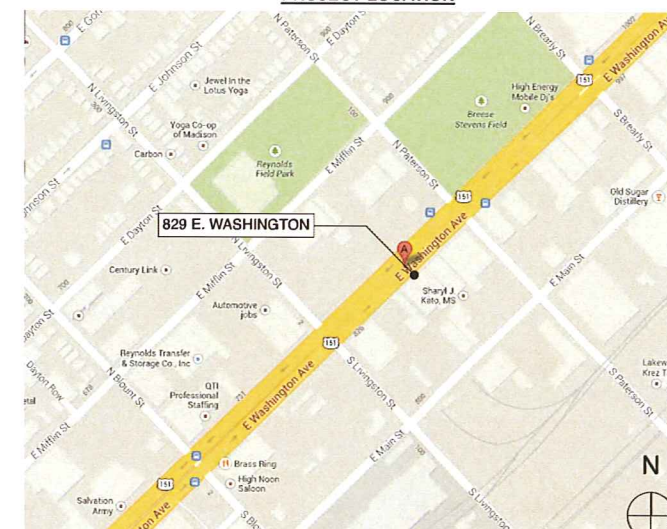
EAST WASHINGTON VIEW



PROJECT CONTEXT



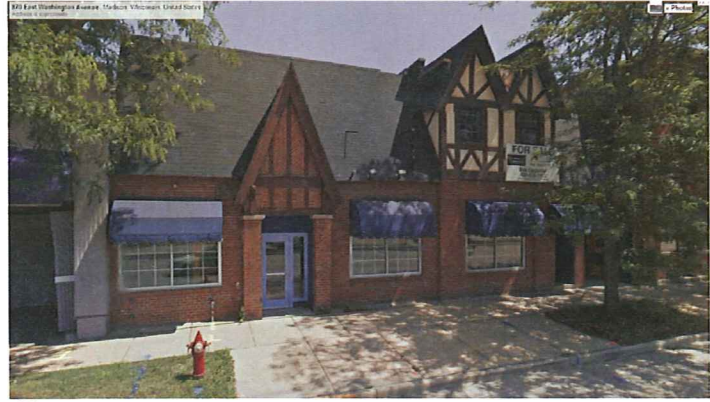
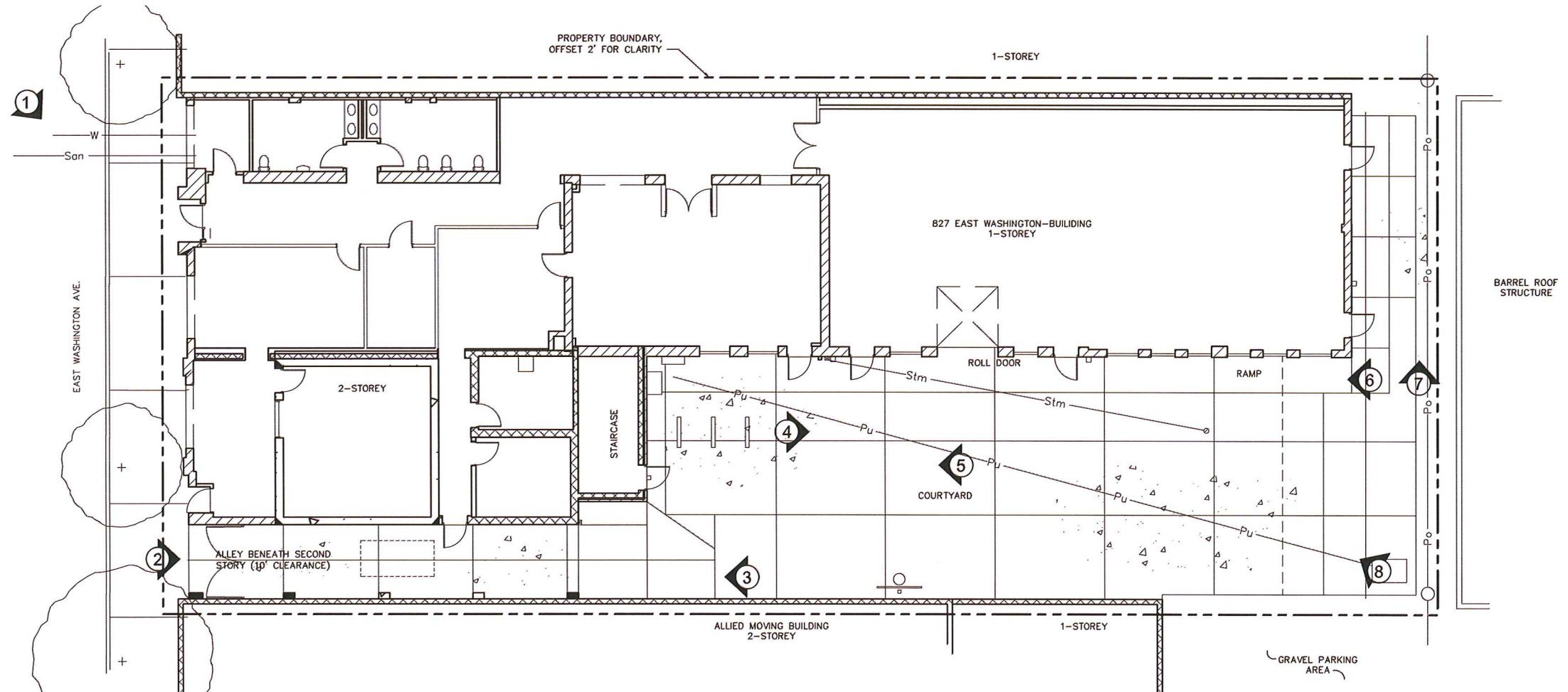
PROJECT LOCATION



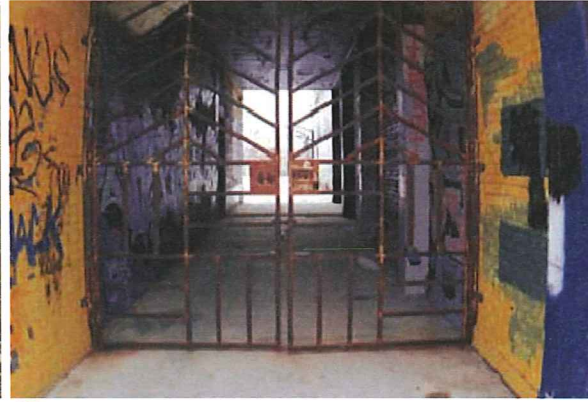
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 Project No. 2547

COVER SHEET

Sheet Number
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1 VIEW OF FACADE ALONG EAST WASHINGTON



2 VIEW OF TUNNEL FROM E. WASHINGTON AVE. SIDEWALK



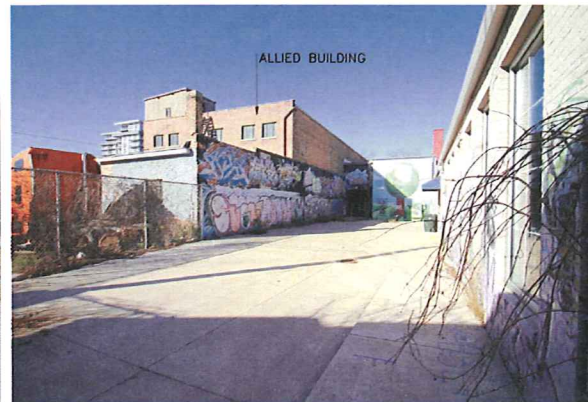
3 VIEW OF TUNNEL FROM INSIDE COURTYARD



4 VIEW SOUTHEAST INSIDE COURTYARD



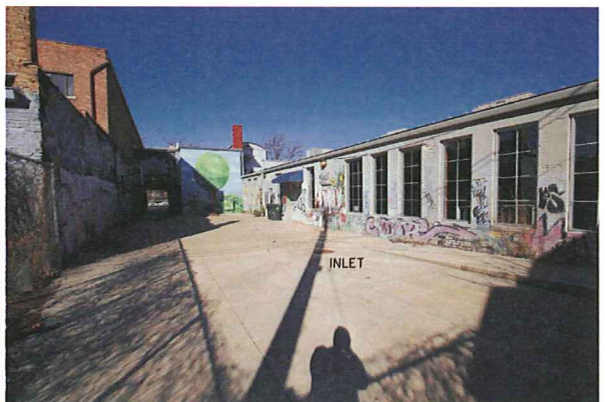
5 VIEW NORTHWEST INSIDE COURTYARD



6 VIEW NORTHWEST INSIDE COURTYARD



7 VIEW BEHIND EXISTING BUILDING



8 VIEW NORTH INSIDE COURTYARD

SAA DESIGN GROUP
 SAA Design Group, Inc.
 101 East Badger Road
 Madison, WI 53713
 Ph. 608.255.6800
 Fx. 608.255.7750
 www.saa-madison.com

TILLS ARCHITECTURE
 Tills Architecture
 2501 Golden Street
 Madison, WI 53713
 Ph. 608.235.6240
 www.tillsarchitecture.com

Revision	Date

Project Name
829 East Washington



Madison, Wisconsin

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 File: P-EXPHOTO
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 Issue Date: 02/05/2014
 Project No. 2547

EXISTING SITE PHOTOS



Sheet Number

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Revision	Date

Project Name

829 East Washington



Madison, Wisconsin

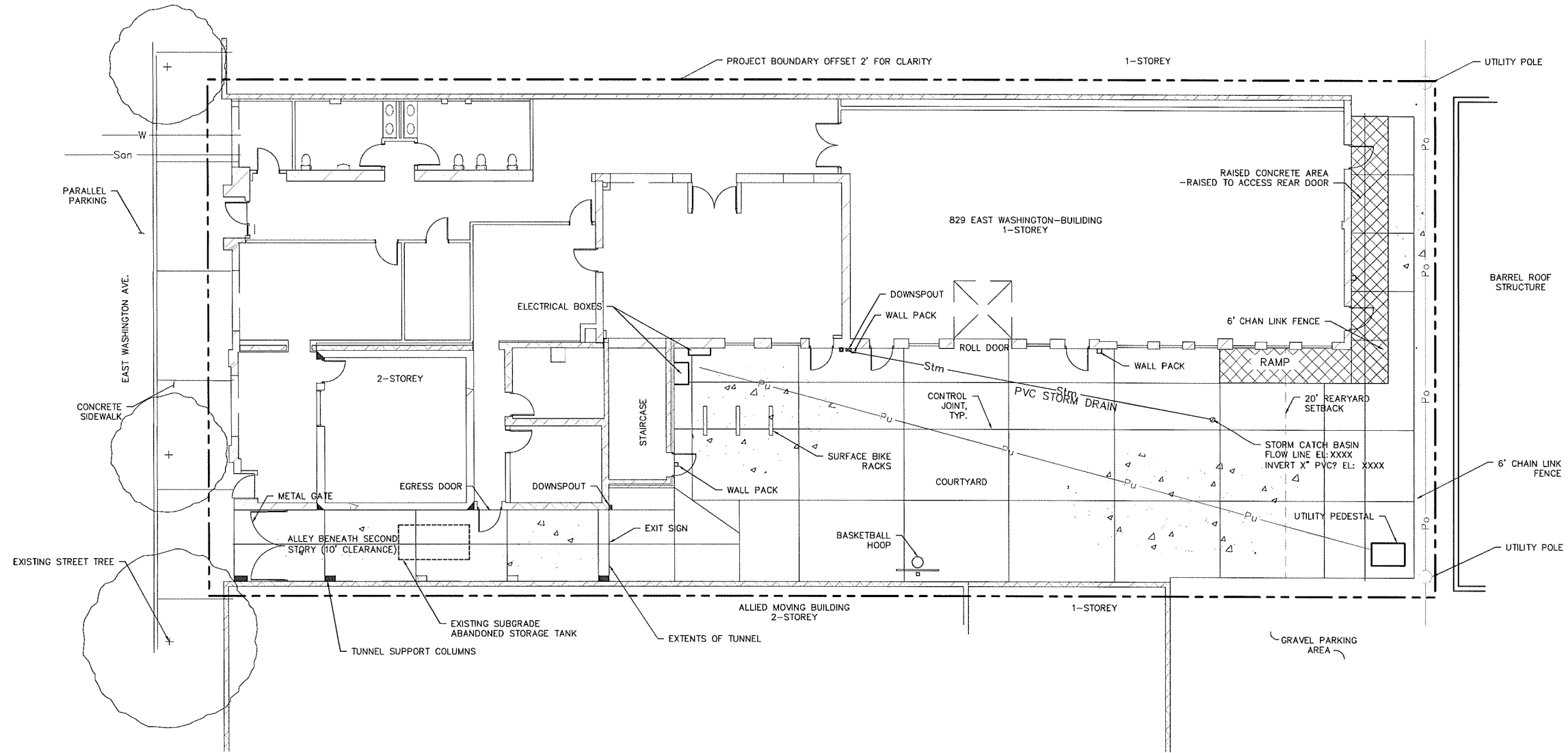
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EXISTING CONDITIONS



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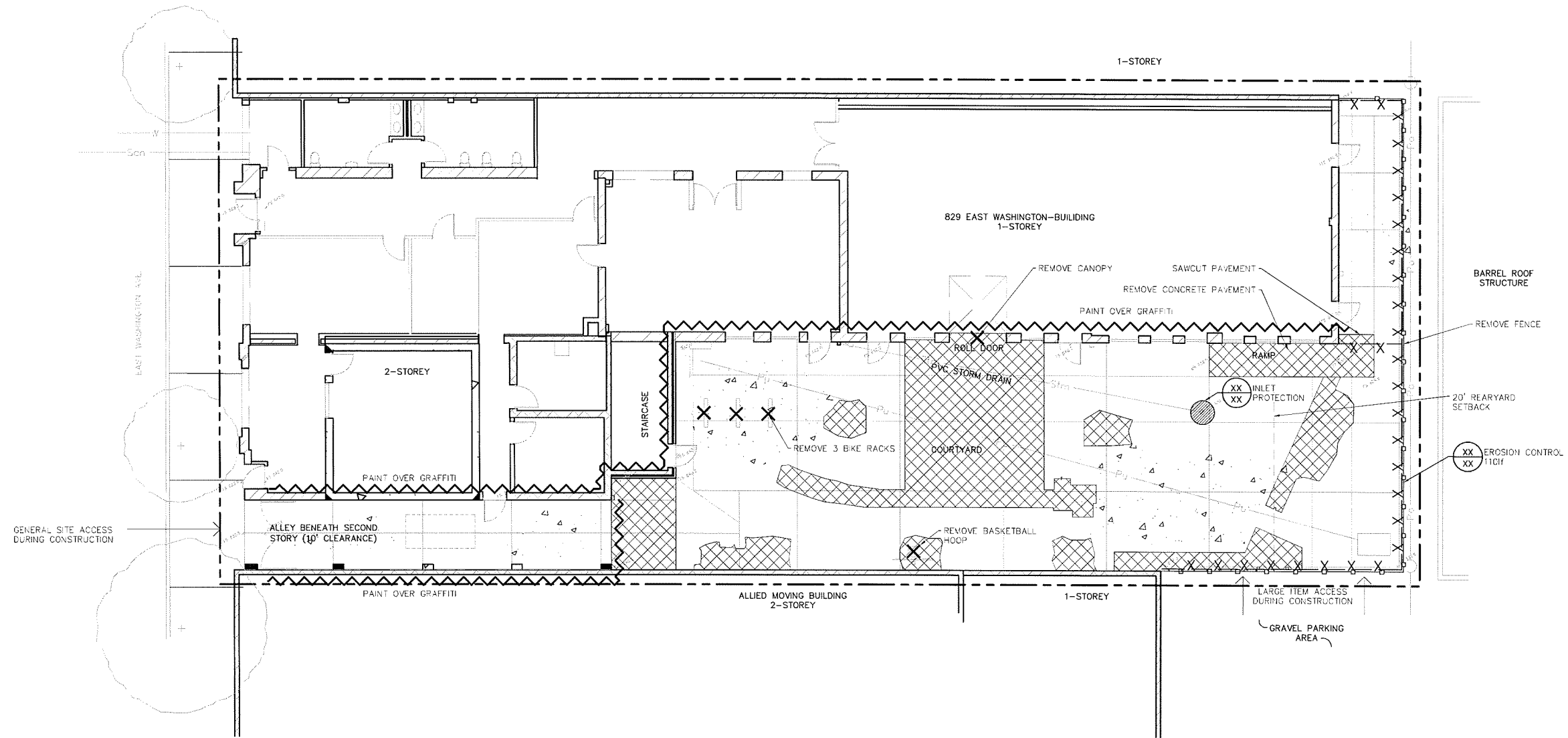


NOTES:

1. BASE LINEWORK COMPILED FROM SITE RECONNAISSANCE, DNR FILE REFERENCE 03-13-207239, AND SUPPLIED INFORMATION.
2. COURTYARD CURRENTLY NON-ACCESSIBLE TO VEHICULAR TRAFFIC.

LEGEND

- PROJECT BOUNDARY
- Po— POWER OVERHEAD
- E— ELECTRIC
- Son— SANITARY
- W— WATER
- - - STORM
- [Cross-hatched] RAISED CONCRETE AREA
- [Dotted] CONCRETE PAVEMENT



NOTES:

- EXISTING SITE IS A BROWNFIELD CLASSIFICATION PER DNR. ALL EXCAVATED SOIL SHALL BE PROPERLY REMOVED AND DISPOSED OF LEGALLY OFF-SITE.
- REFER TO SITE PLAN FOR COORDINATION OF PROPOSED ELEMENTS AND REMOVED CONCRETE AREAS. IT IS ADVISED CONCRETE WILL BE JACK HAMMERED OUT UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE INDICATED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE.
- REMOVE BASKETBALL HOOP AND BIKE RACKS, RETURN TO OWNER.
- CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AND APPROPRIATE UTILITY COMPANIES A MINIMUM OF THREE (3) DAYS PRIOR TO THE START OF ANY CONSTRUCTION TO FIELD VERIFY UTILITIES.
- IT IS ANTICIPATED ALL CONSTRUCTION ACCESS WILL OCCUR VIA THE SOUTHWEST CORNER OF THE SITE THROUGH THE EXISTING CHAINLINK FENCE.
- ALL SITE EROSION CONTROL MEASURES SHALL BE MAINTAINED BY CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AS NEEDED TO SERVE INTENDED FUNCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION CONTROL DEVICES AT PROJECT COMPLETION.

LEGEND

- PROJECT BOUNDARY
- Po— POWER OVERHEAD
- E— ELECTRIC
- San— SANITARY
- W— WATER
- STORM
- ~ ~ ~ PAINT WALLS - NEUTRAL COLOR TBD
- X X REMOVE FENCE
- X REMOVE ELEMENT
- ▣ CONCRETE TO BE REMOVED
- ▣ EXISTING CONCRETE PAVEMENT

Madison, Wisconsin



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 Project No. 2547

DEMOLITION PLAN



Sheet Number

C200

LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:
 DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT) 3,636 SF
 DEVELOPED AREA POINTS REQUIRED (3,636/300) 12.1 POINTS
 DEVELOPED AREA POINTS PROVIDED (XXXXXX) XXX POINTS

DEVELOPMENT FRONTAGE LANDSCAPING:
 NOT APPLICABLE

INTERIOR PARKING LOT LANDSCAPING:
 NOT APPLICABLE

FOUNDATION PLANTING LANDSCAPING:
 NOT APPLICABLE

TOTAL LANDSCAPE POINTS REQUIRED 12.1 POINTS
 TOTAL LANDSCAPE POINTS PROVIDED XXX POINTS

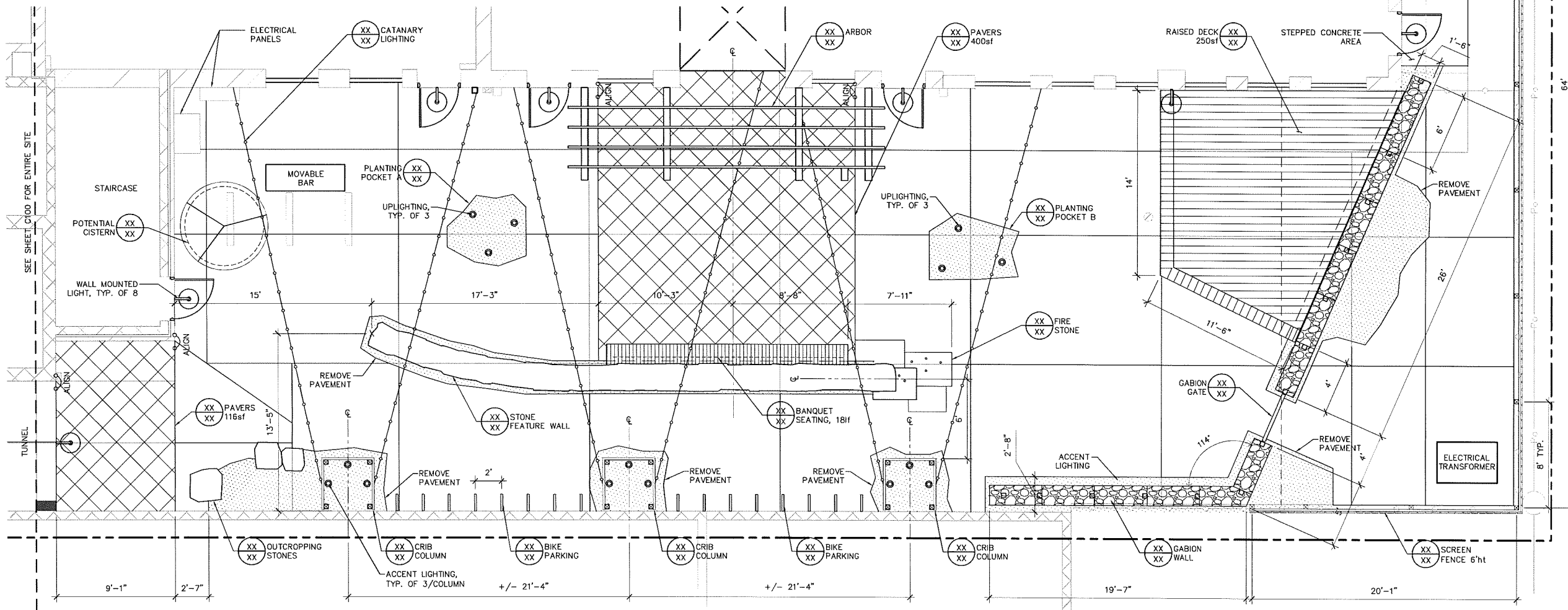
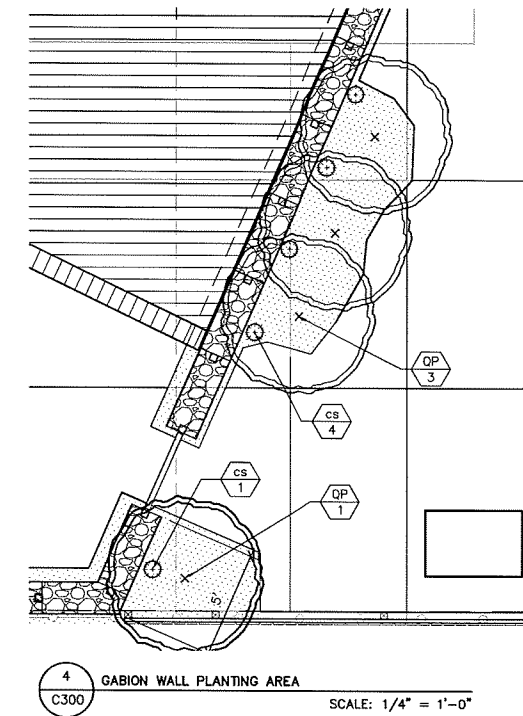
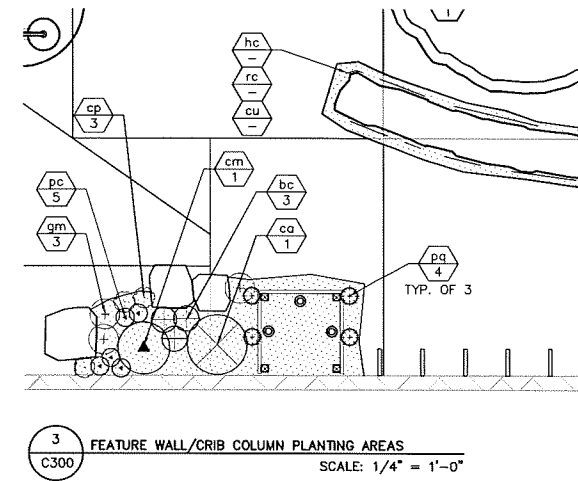
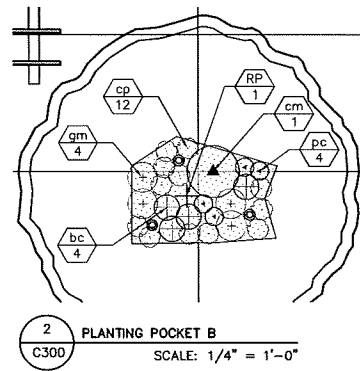
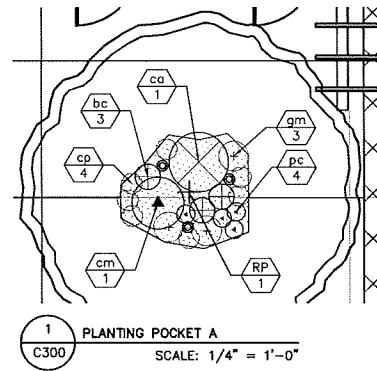
SITE STATISTICS

SITE AREA 10,850 SF
 EXISTING IMPERVIOUS SURFACES 10,850 SF
 EXISTING ISR 1.0
 PROPOSED IMPERVIOUS SURFACES 10,650 SF
 PROPOSED ISR 0.98

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
RP	<i>Robinia pseudoacacia</i>	Black Locust	3" Cal.	B&B	2	
QP	<i>Quercus palustris</i> 'Green Pillar'	Green Pillar Pin Oak	3" Cal.	B&B	4	Upright
bc	<i>Bouteloua curtipendula</i>	Sideoats Gramma	3" Cal.	Cont.	10	
ca	<i>Ceanothus americanus</i>	New Jersey Tea	3" Cal.	Cont.	2	Shrub
cm	<i>Carex muskingumensis</i>	Palm Sedge	3" Cal.	Cont.	3	
cp	<i>Carex pensylvanica</i>	Penn Sedge	3" Cal.	Cont.	19	
gm	<i>Geranium maculatum</i>	Wild Geranium	3" Cal.	Cont.	10	
pc	<i>Polemonium caeruleum</i>	Jacob's Ladder	3" Cal.	Cont.	13	
cs	<i>Celastrus scandens</i>	American Bittersweet	1 Gal.	Cont.	5	Vine
pq	<i>Parthenocissus quinquefolia</i> 'Englemans'	Engleman Ivy	1 Gal.	Cont.	12	Vine
hc	Haircap Moss			Mix	15sf	Moss
rc	Rock Cap Moss			Mix	15sf	Moss
cu	Cushion Moss			Mix	15sf	Moss

NOTES:

- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
- THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
- DIMENSIONS TAKEN TO FACE OF BUILDING



SAA DESIGN GROUP
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 Tills Architecture
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 www.tillsarchitecture.com

Revision	Date

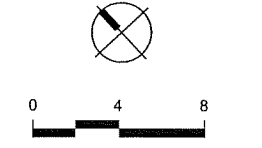
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FOURCAP REAL ESTATE

Madison, Wisconsin

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SITE LAYOUT & LANDSCAPE PLAN



C300

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Revision	Date

Project Name

829 East Washington



Madison, Wisconsin

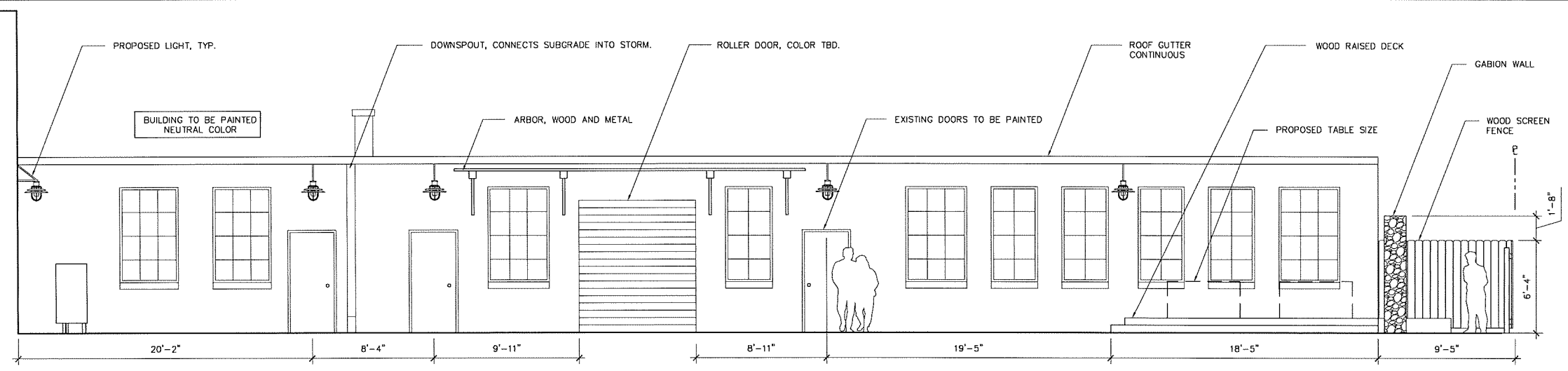
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ELEVATIONS

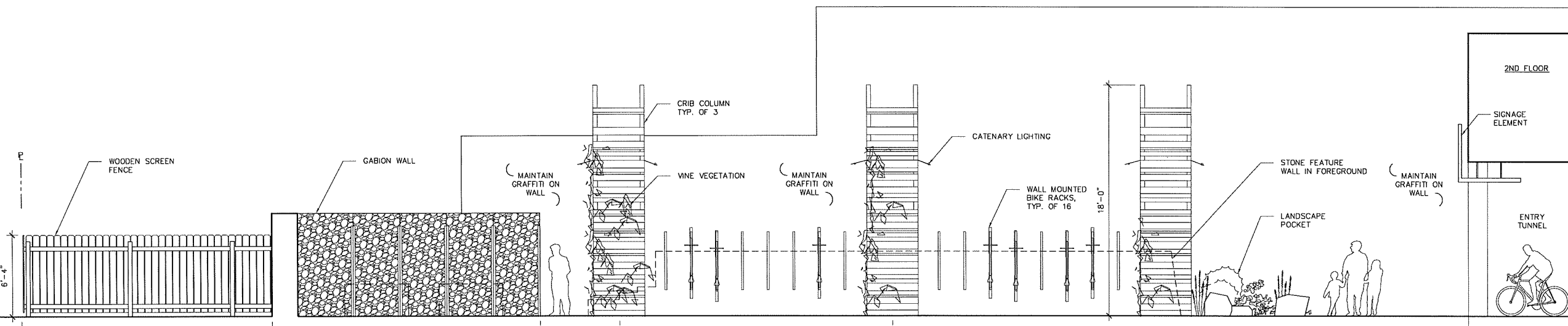


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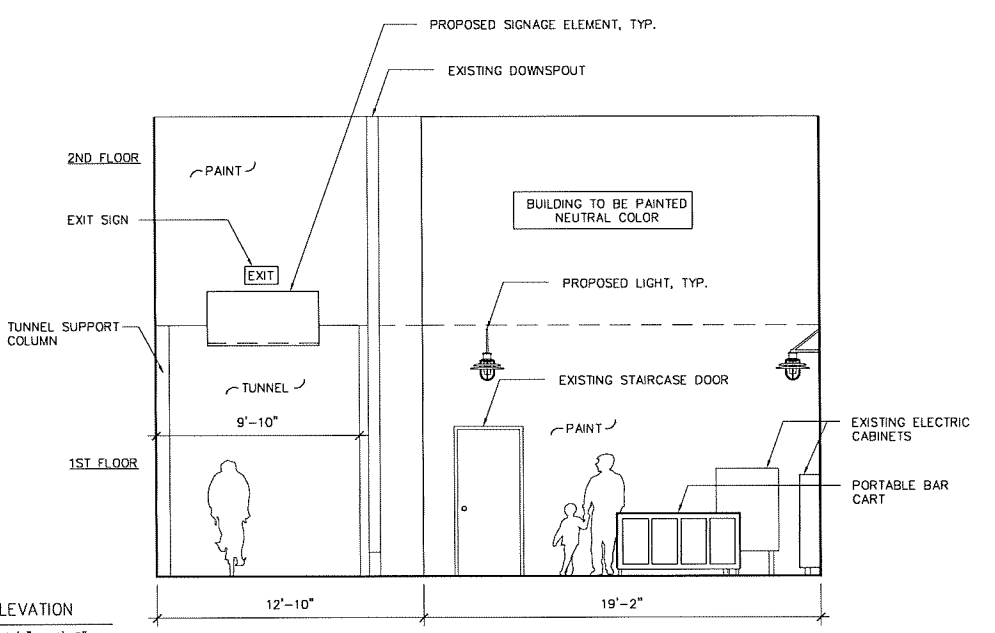
C500



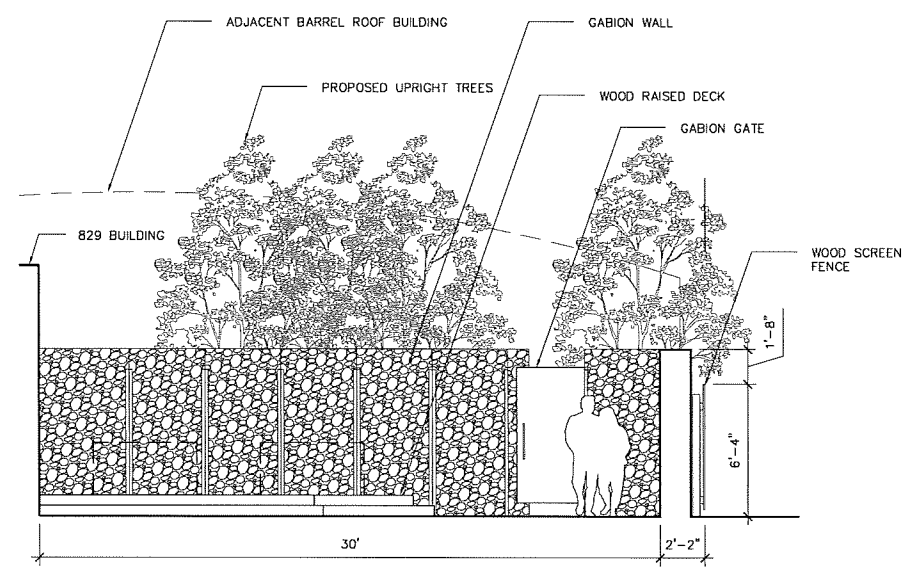
1 NORTH ELEVATION
 C500 SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION
 C500 SCALE 1/4" = 1'-0"

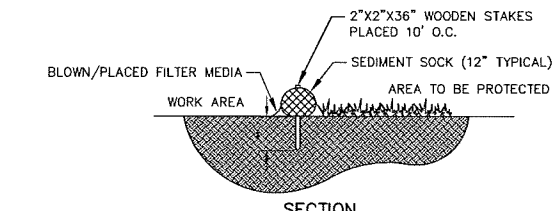


3 EAST ELEVATION
 C500 SCALE 1/4" = 1'-0"

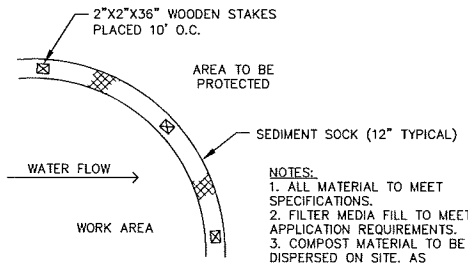


4 WEST ELEVATION
 C500 SCALE 1/4" = 1'-0"

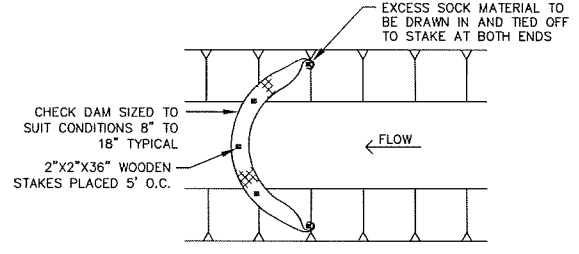
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SECTION

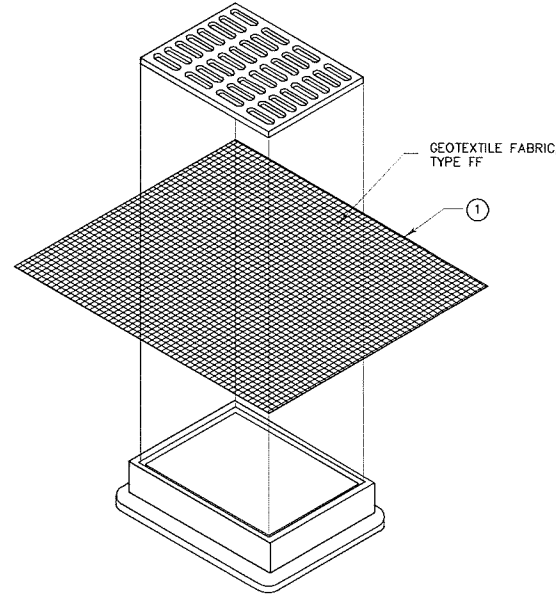


PLAN



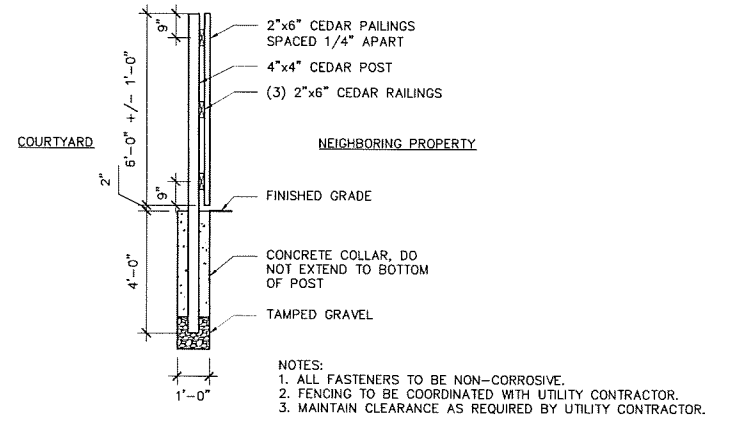
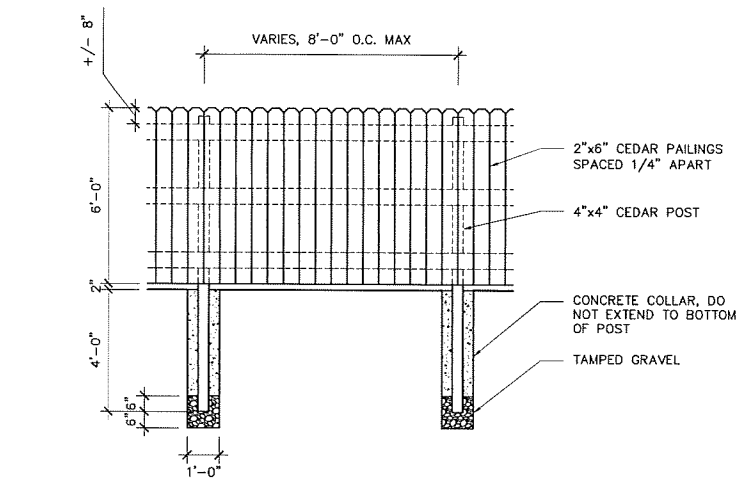
- NOTES:**
1. ALL MATERIAL TO MEET SPECIFICATIONS.
 2. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 3. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 4. UTILIZE SILT SOCK AS INLET PROTECTION PER DMR SPECIFICATIONS IF REQUIRED

1 SEDIMENT SOCK
C600 SCALE NTS

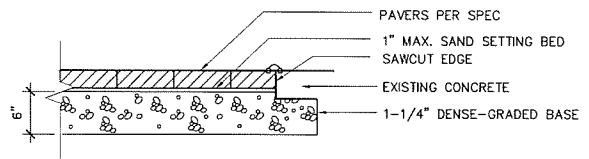


- NOTES:**
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY
- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL

3 INLET PROTECTION, TYPE B
C600 SCALE NTS

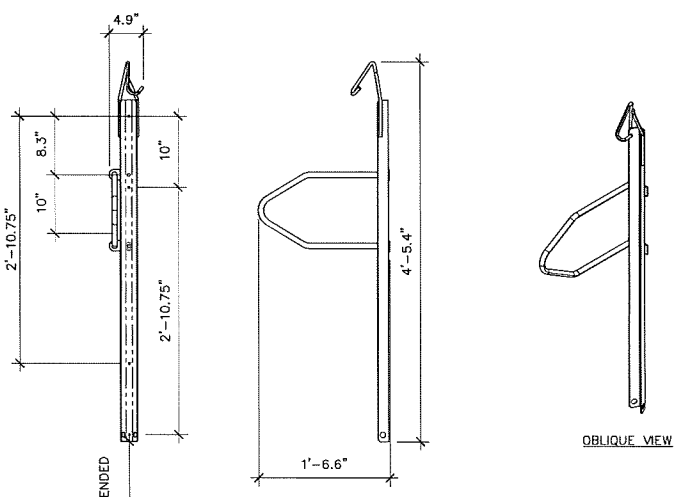


6 WOOD FENCE
C600 SCALE 3/8" = 1'-0"



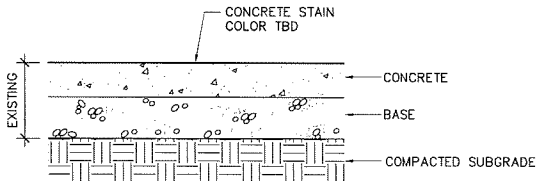
- NOTES:**
1. SEE ENLARGEMENT FOR LAYOUT PATTERN
 2. CONTRACTOR TO SUPPLY OWNER WITH ANY SURPLUS PAVERS

4 PAVERS OVER AGGREGATE
C600 SCALE 1" = 1'-0"



- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. SPACING BETWEEN RACKS SHALL BE 2'-0"

2 LOCKING VERTICAL BIKE RACK
C600 SCALE NTS



5 CONCRETE PAVEMENT STAIN
C600 SCALE NTS

Revision	Date

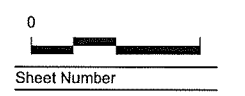
Project Name

829 East Washington

Madison, Wisconsin

Drawn By: AW
Checked By: BM
File: P-D
Issued For: Review
Issue Date: 02/05/2014
Project No. 2547

DETAILS

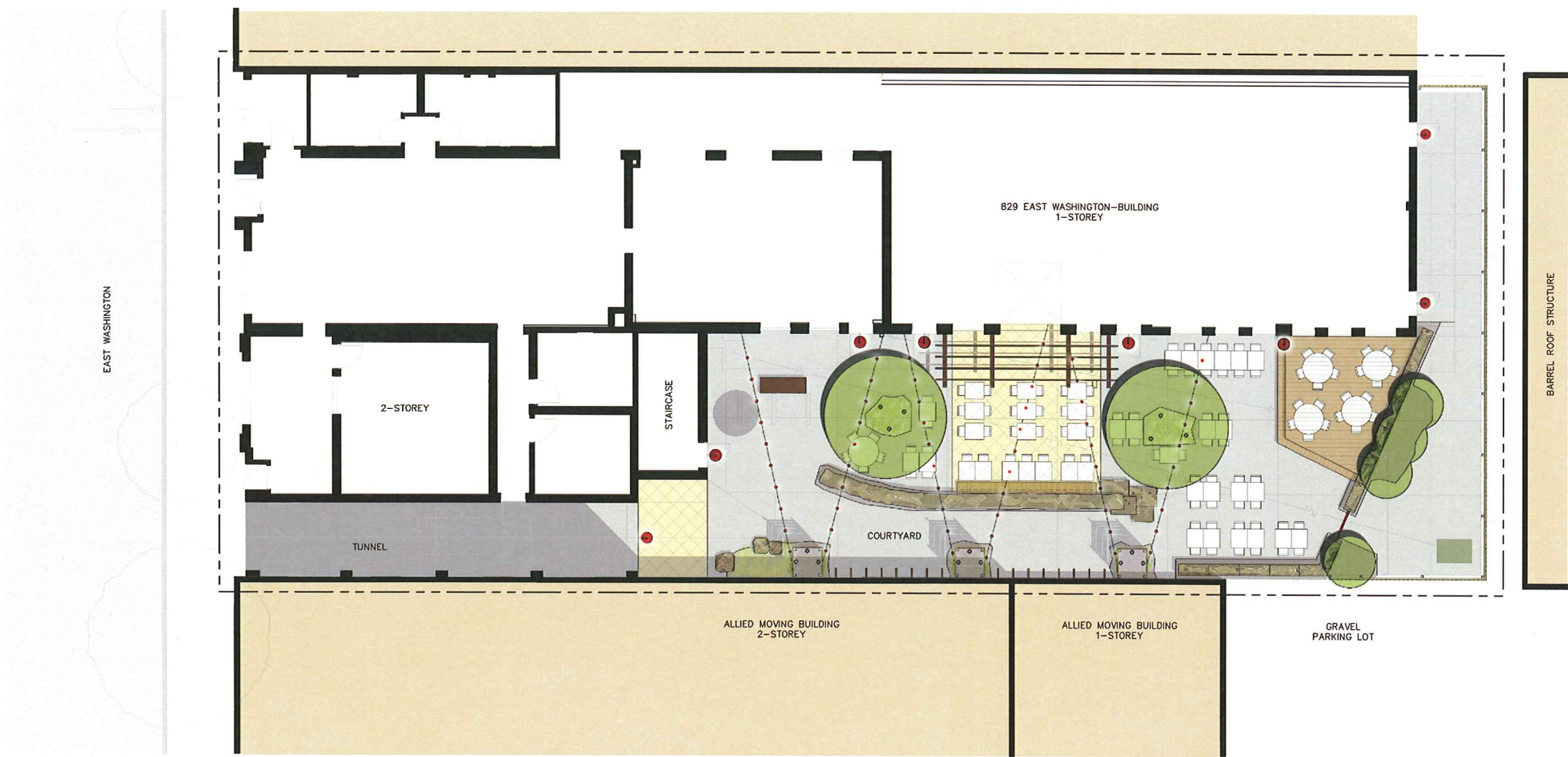


C600

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Revision	Date

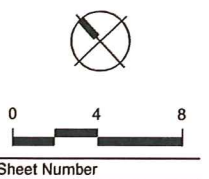
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829 East Washington



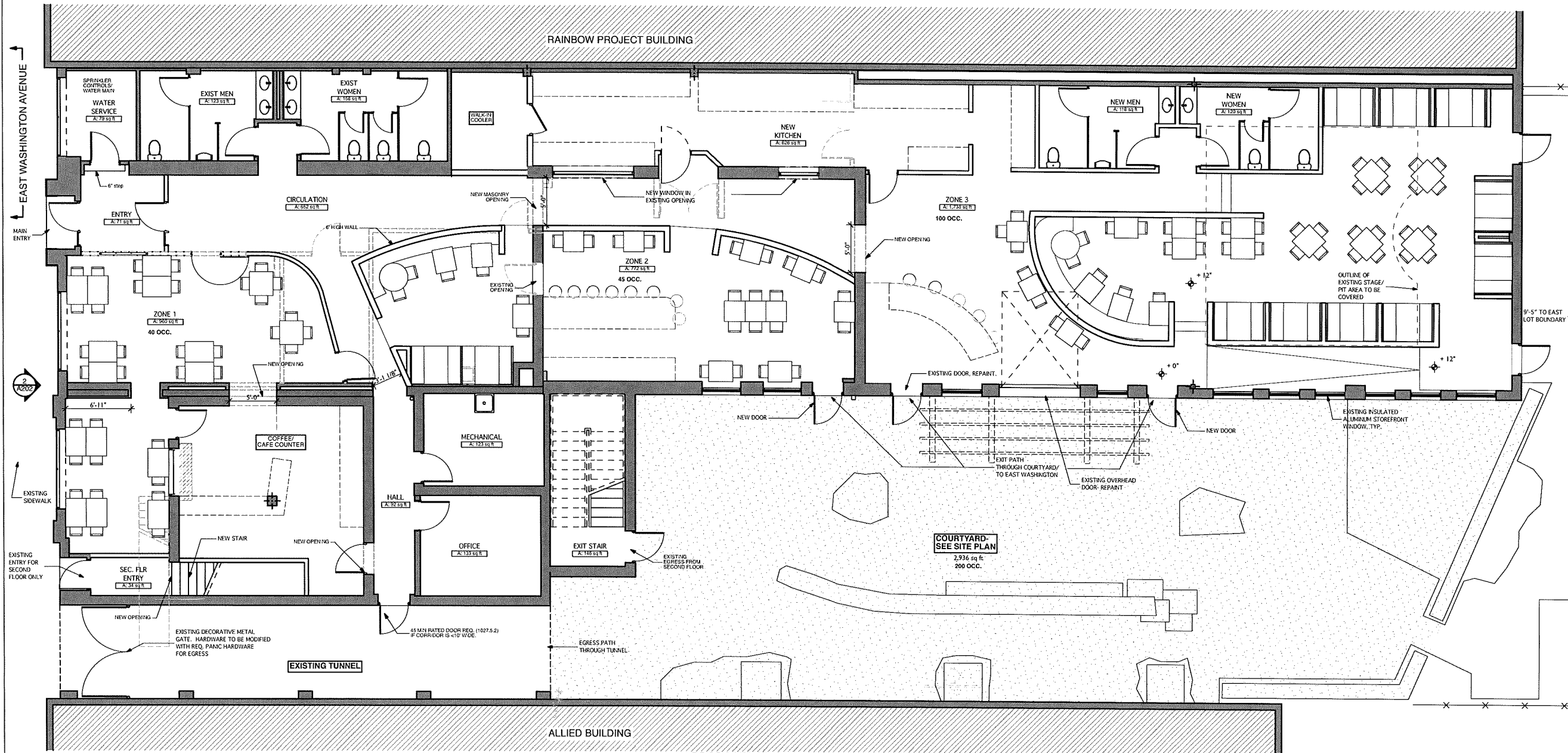
Madison, Wisconsin

Drawn By: AW
 Checked By: BM
 File: P-ILL
 Issued For: Review
 Issue Date: 02/05/2014
 Project No. 2547

ILLUSTRATIVE

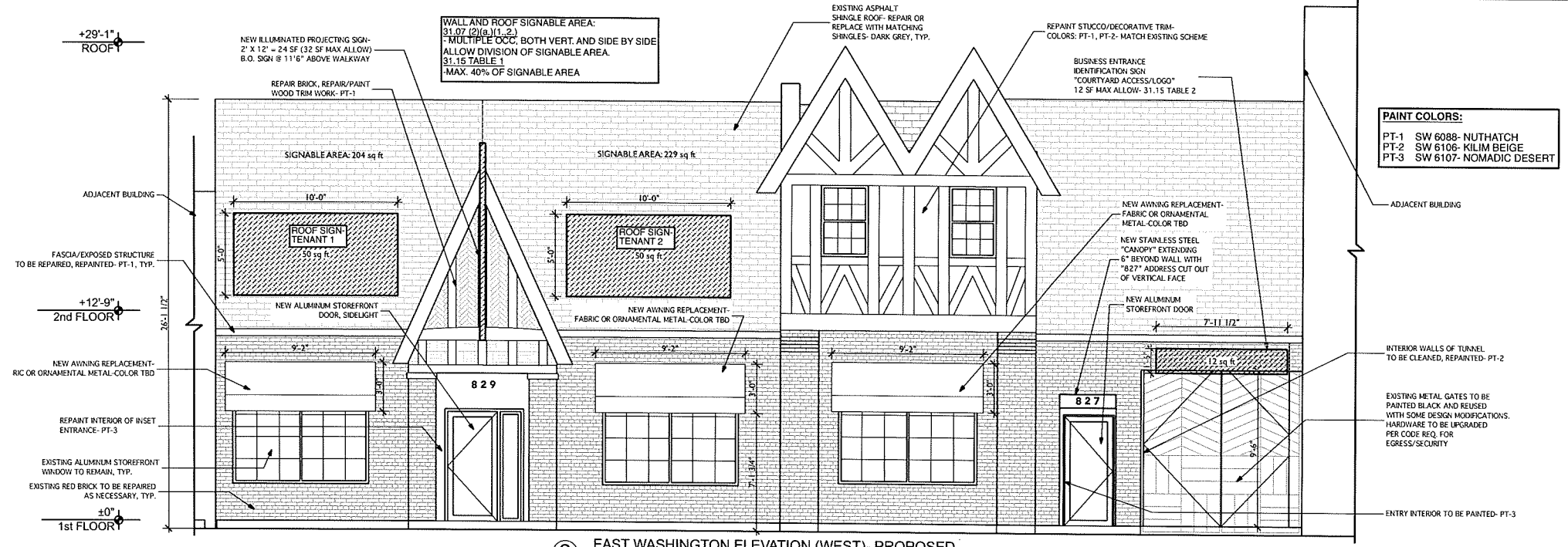


Sheet Number
C900

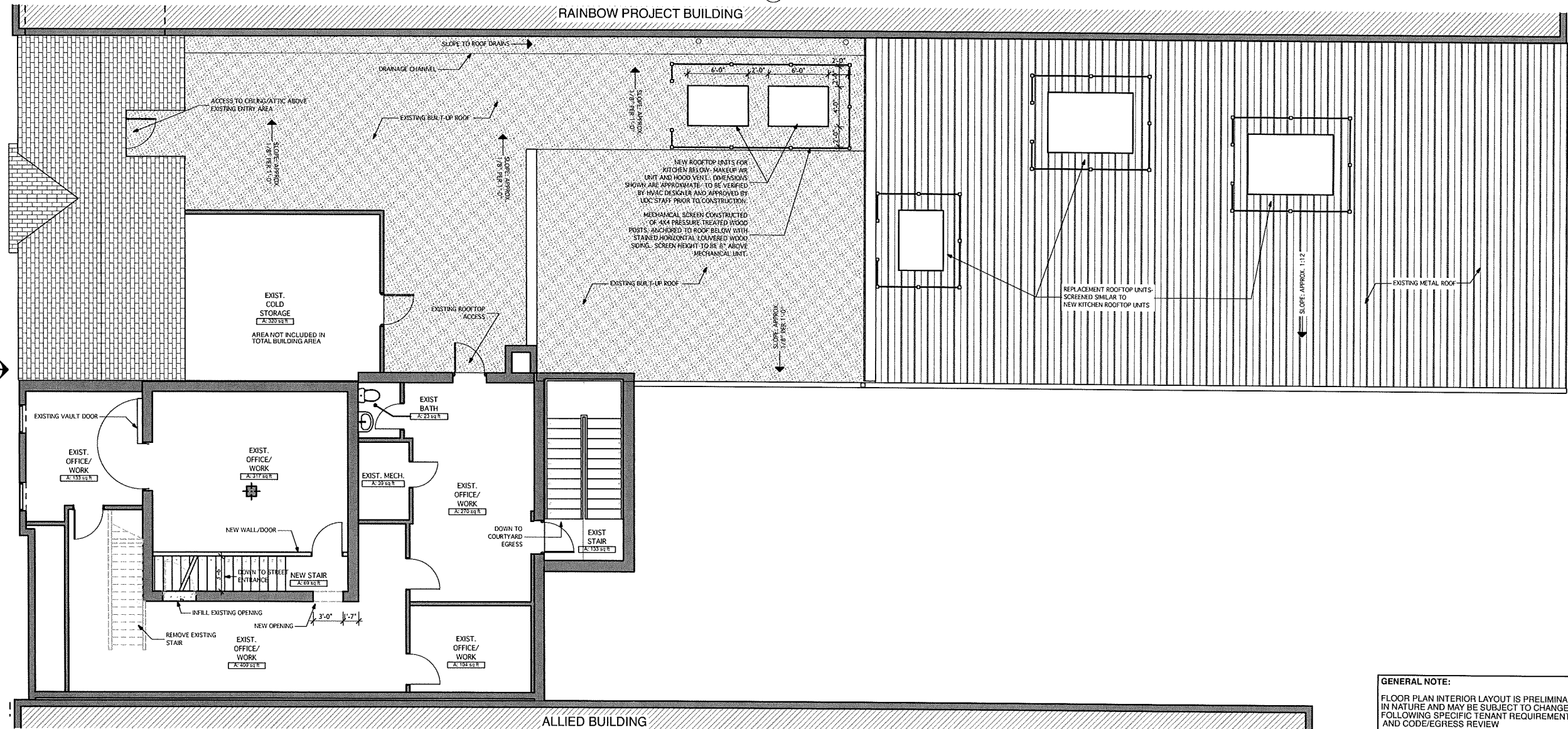


1 PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

GENERAL NOTE:
 FLOOR PLAN INTERIOR LAYOUT IS PRELIMINARY
 IN NATURE AND MAY BE SUBJECT TO CHANGE
 FOLLOWING SPECIFIC TENANT REQUIREMENTS
 AND CODE/EGRESS REVIEW



2 EAST WASHINGTON ELEVATION (WEST)- PROPOSED
SCALE: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR/LOWER ROOF PLAN
SCALE: 3/16" = 1'-0"

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Revision _____ Date _____
Project Name _____

829 East
Washington

FOURCAP
REAL ESTATE

Madison,
Wisconsin

Drawn By: _____
Checked By: _____
File: _____
Issued For: Review
Issue Date: 02/05/2014
Project No. 2547

OPTION
SECOND FLOOR
PLAN/WEST
ELEVATION



Sheet Number

A202

GENERAL NOTE:
FLOOR PLAN INTERIOR LAYOUT IS PRELIMINARY IN NATURE AND MAY BE SUBJECT TO CHANGE FOLLOWING SPECIFIC TENANT REQUIREMENTS AND CODE/EGRESS REVIEW