



City of Madison Planning Division  
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

## Madison Landmarks Commission APPLICATION

### 1. LOCATION

Project Address: 1021 University Avenue Aldermanic District: 8th

### 2. PROJECT

Date Submitted: 4-11-13

Project Title / Description: Luther Memorial Church - East Window Wells

This is an application for: (check all that apply)

- ☒ Alteration / Addition to a Designated Madison Landmark
- ☐ Alteration / Addition to a building adjacent to a Designated Madison Landmark
- ☐ Alteration / Addition to a building in a Local Historic District (specify):
- ☐ Mansion Hill                      ☐ Third Lake Ridge                      ☐ First Settlement  
☐ University Heights                      ☐ Marquette Bungalows
- ☐ New Construction in a Local Historic District (specify):
- ☐ Mansion Hill                      ☐ Third Lake Ridge                      ☐ First Settlement  
☐ University Heights                      ☐ Marquette Bungalows
- ☐ Demolition
- ☐ Variance from the Landmarks Ordinance
- ☐ Referral from Common Council, Plan Commission, or other referral
- ☐ Other (specify): \_\_\_\_\_

### 3. APPLICANT

Applicant's Name: Pastor Brad Pohlman Company: Luther Memorial Church  
 Address: 1021 University Avenue City/State: Madison, WI Zip: 53715  
 Telephone: (608) 258-3165 Ext. 13 E-mail: pohlman@luthermem.org  
 Property Owner (if not applicant): Luther Memorial Church  
 Address: 1021 University Avenue City/State: Madison, WI Zip: 53715

Property Owner's Signature: [Signature] Date: 4-11-13

#### GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the  
Historic Preservation Planner:  
Amy Scanlon  
Phone: 608.266.6552  
Email: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

**NOTICE REGARDING LOBBYING ORDINANCE:** If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.





April 11, 2013

City of Madison Planning Division  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53701-2985  
Attention: Amy Scanlon - Historic Preservation Planner

RE: Narrative for Madison Landmarks Commission Application for Luther Memorial Church added east window wells.

Luther Memorial Church located at:  
1021 University Avenue  
Madison, WI 53715

Dear Amy,

Please find enclosed the 12 sets of Luther Memorial Church proposed East Window Wells and Exterior Paving and Drainage Alterations drawings dated April 10, 2013 reduced to 11x17 (from 24x36) including the following drawings:

- C1.0 Existing Conditions
- C2.0 Site Plan
- C3.0 Site Utility Plan
- C4.0 Grading and Erosion Control Plan
- A1.0 Site Plan, Elevations, Sections & Details
- A1.1 Lower Level Plan
- A1.2 Details
- S1.0 Plans and Details

These enclosed plans indicate the addition of four below grade window wells on the east side of the existing Luther Memorial Education Wing. Also proposed is added paving, landscaping and storm water drainage. This work is proposed for construction during the summer of 2013. This is to coincide with the new construction located to the east of Luther Memorial at 1001 University Avenue for the high-rise student housing project.

The proposed window wells align with the existing east elevation windows above and will introduce daylight into the basement level. A new 8'-0" high decorative metal fence is proposed near the east side of Luther Memorial Church property line with locked gates at the north and south ends. A concrete sidewalk with a landscape bed and low retaining wall (less than 2' high) to accommodate the difference in elevation between Luther Memorial and 1001 University Avenue. Storm water piping is proposed to direct Luther Memorial roof and east sidewalk to the storm sewer located in Conklin Place (alley to the south).

Please place this on the April 29<sup>th</sup> meeting agenda for projects not requiring a Public Hearing.

Sincerely,

A handwritten signature in blue ink that reads "Vincent B. Micha". The signature is fluid and cursive, with the first name "Vincent" being larger and more prominent than the last name "Micha".

Vincent B. Micha  
Project Architect





East side of Luther Memorial Church looking north



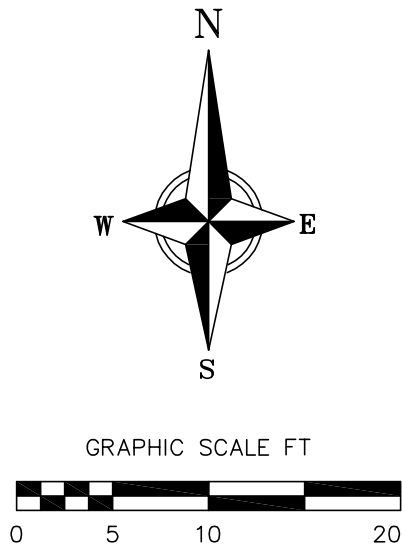






From Luther Memorial Church roof east side looking south.



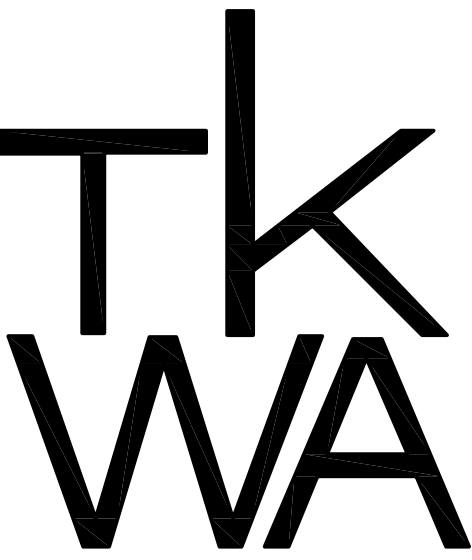
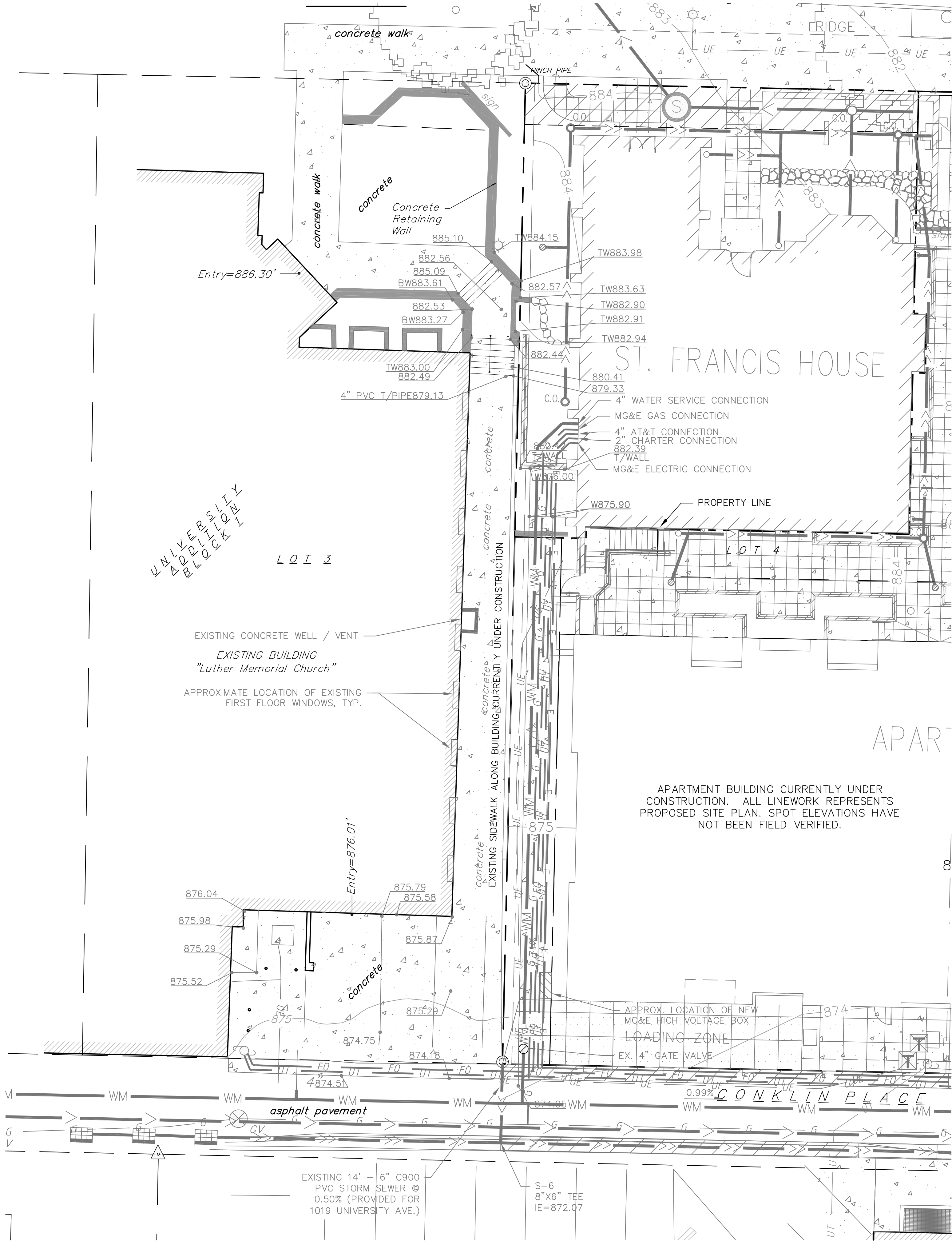


**SURVEY LEGEND**

- ⊙ EXISTING 1"OUTSIDE dia. IRON PIPE
- EXISTING 1-1/4"dia. SOLID IRON ROD
- EXISTING 3/4"dia. SOLID IRON ROD
- ⊠ EXISTING CUT CROSS IN CONCRETE
- △ SET MAG NAIL
- ⊙ SET 3/4"x24" IRON RE-BAR, WT. 1.50lbs./lin.ft. MIN.
- [ ] RECORDED PER SURVEY #96-1123 BY DONALD L. PAULSON DATED 11-22-1996 OR PER SURVEY #94-0334 BY DONALD L. PAULSON DATED 04-07-1994
- { } RECORDED PER SURVEY BY FRANCIS R. THOUSAND DATED 07-09-1991
- ( ) RECORDED INFORMATION PER CSM OR PLAT

**EXISTING TOPOGRAPHIC LEGEND**

|                     |                                      |
|---------------------|--------------------------------------|
| — SAN —             | EXISTING SANITARY SEWER (SIZE NOTED) |
| — WM —              | EXISTING WATER MAIN (SIZE NOTED)     |
| — ST —              | EXISTING STORM SEWER (SIZE NOTED)    |
| — G — G — G — G —   | EXISTING GAS MAIN                    |
| — OHU — OHU — OHU — | EXISTING OVERHEAD UTILITIES          |
| (S)                 | EXISTING SANITARY MANHOLE            |
| C.O.                | EXISTING SANITARY CLEANOUT           |
| S.V.                | EXISTING SEPTIC VENT                 |
| — W —               | EXISTING WATER MAIN VALVE            |
| ●                   | EXISTING WATER MANHOLE               |
| ●                   | EXISTING CURB STOP                   |
| ●                   | EXISTING FIRE HYDRANT                |
| ■                   | EXISTING CURB INLET                  |
| ■                   | EXISTING FIELD INLET                 |
| (ST)                | EXISTING STORM MANHOLE               |
| ⌂                   | EXISTING UTILITY POLE                |
| ★                   | EXISTING LIGHT POLE                  |
| ●                   | EXISTING ELECTRIC MANHOLE            |
| ■                   | EXISTING ELECTRIC PEDESTAL           |
| ■                   | EXISTING TRANSFORMER                 |
| ⊗ <sub>GV</sub>     | EXISTING GAS VALVE                   |
| ●                   | EXISTING TELEPHONE MANHOLE           |
| ■                   | EXISTING TELEPHONE PEDESTAL          |
| ■                   | EXISTING TV PEDESTAL                 |
| — x —               | EXISTING FENCE                       |
| — o —               | EXISTING CHAINLINK FENCE             |
| —                   | EXISTING SIGN (TYPE NOTED)           |
| ☁                   | LIMITS OF VEGETATION                 |
| ☁                   | EXISTING SHRUB                       |
| ●                   | PARKING METER                        |



The Kubala Washatko Architects, Inc.  
W61 N617 Mequon Avenue  
Cedarburg, WI 53012  
p: 262.377.6039 | f: 262.377.2954

PROJECT

East Window Well and  
Exterior Paving and  
Drainage Alterations

OWNER

Luther Memorial Church  
1021 University Avenue  
Madison, WI 53715  
p: 608.256.3165

GENERAL CONTRACTOR

Stevens Construction Corp.  
2 Buttonwood Ct  
Madison, WI 53718  
p: 608.222.5100

STRUCTURAL ENGINEER

PIERCE ENGINEERS, INC.  
10 West Milillin Street, Suite 205  
Madison, WI 53703  
p: 608.256.7307

CIVIL ENGINEER

VIERBICHER

999 Fourler Drive, Suite 201  
Madison, WI 53717  
p: 608.826.0532

REVISIONS

DATE

April 10, 2013

PROJECT NUMBER

200112

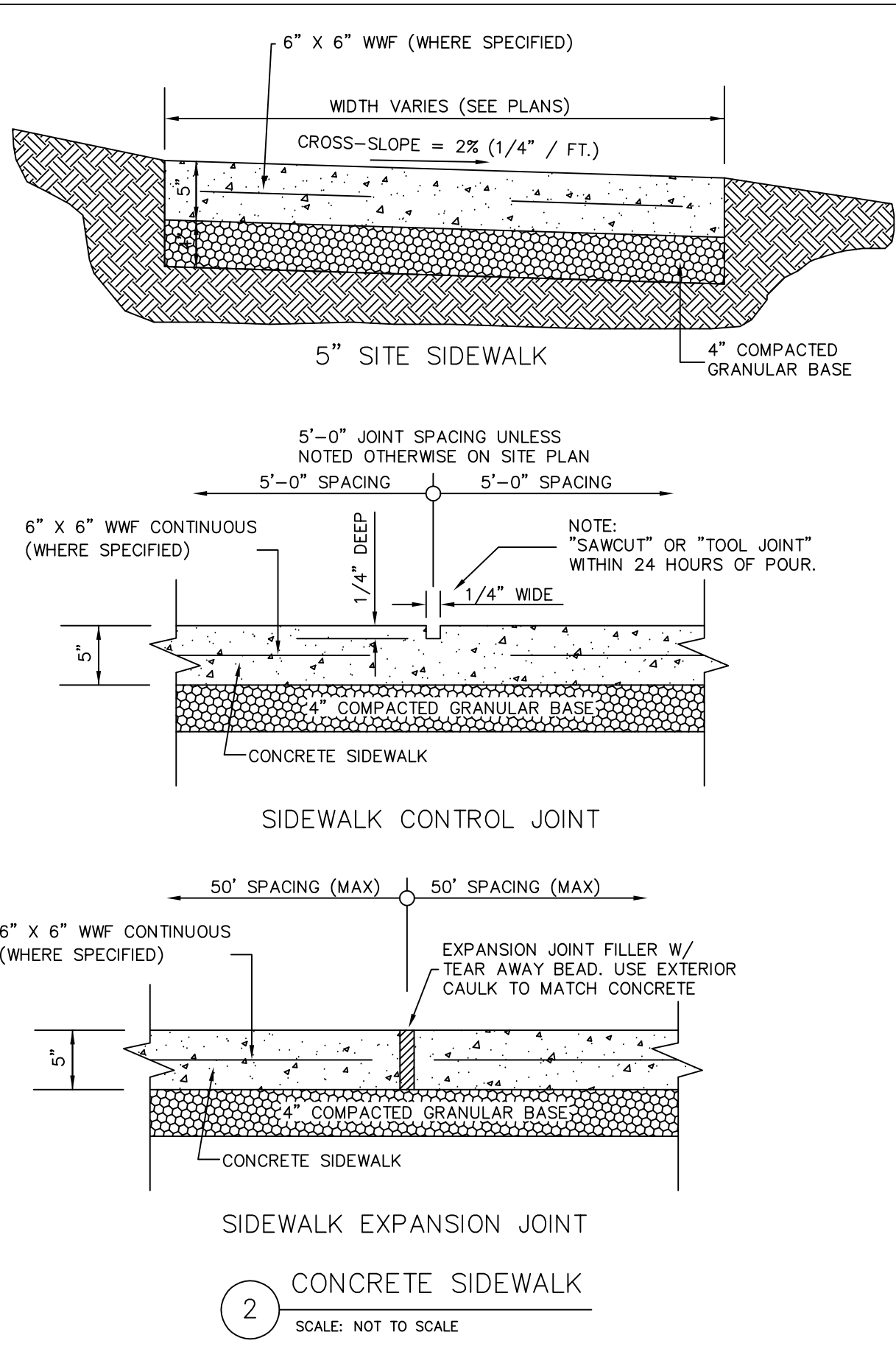
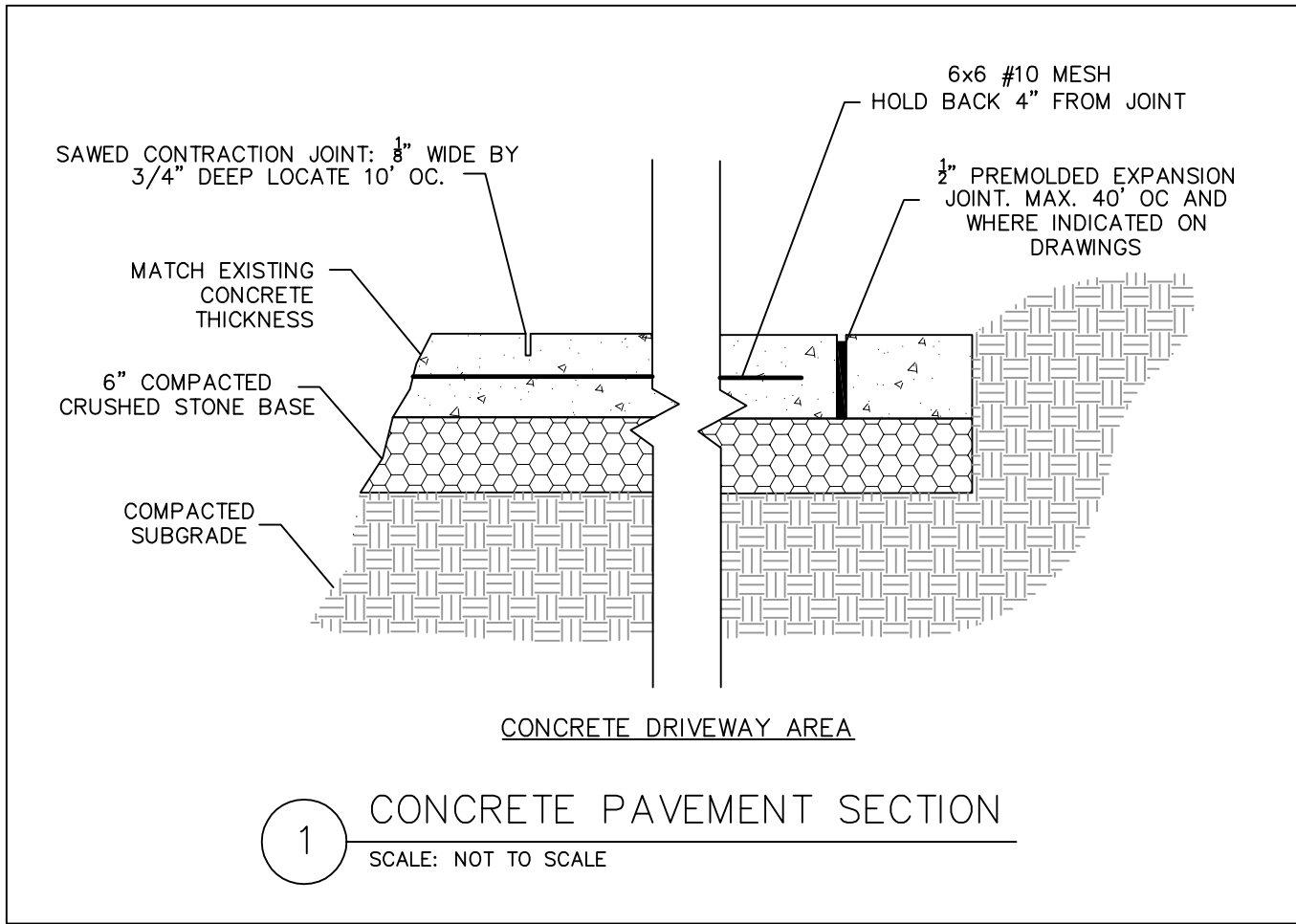
SHEET TITLE

Existing  
Conditions

SHEET NUMBER

C1.0



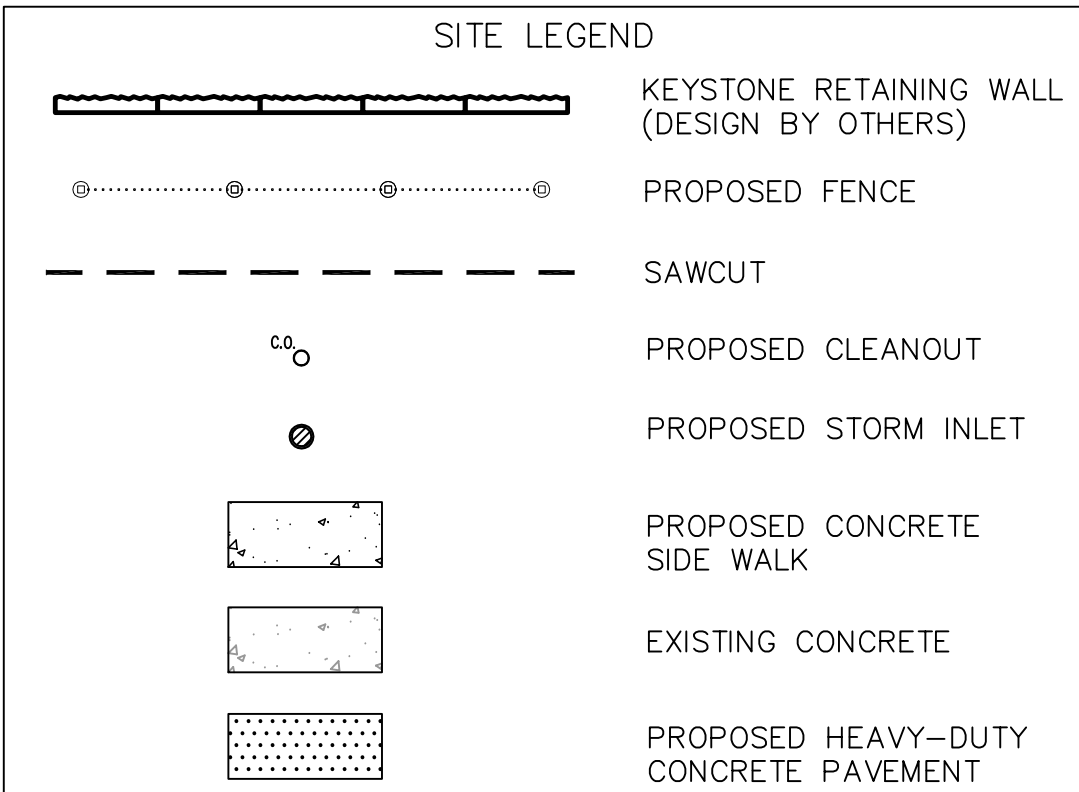


GENERAL NOTES:

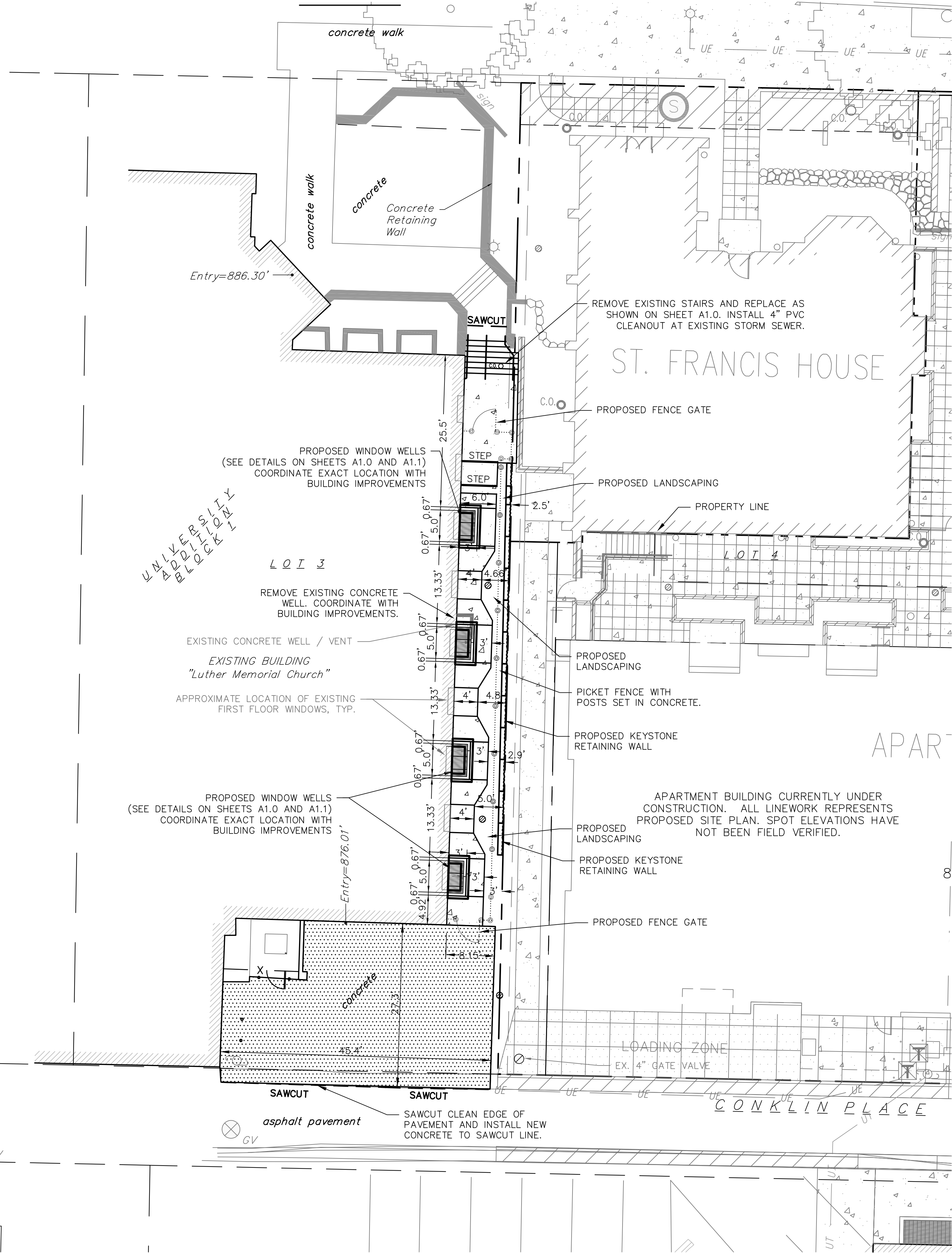
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. ANY DAMAGE TO THE CITY PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
3. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

DEMOLITION NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
3. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.



CALL DIGGER'S HOTLINE  
1-800-242-8511  
TOLL FREE  
TELEFAX: 1-800-338-3860  
TDC (FOR HEARING IMPAIRED):  
1-800-345-2288  
WIS. STATUTE 182.0175 (1979)  
REQUIRES MINIMUM OF 3 WORKING DAYS  
NOTICE BEFORE YOU EXCAVATE.



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STRUCTURAL ENGINEER

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CIVIL ENGINEER

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REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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DATE

April 10, 2013

PROJECT NUMBER

200112

SHEET TITLE

Site Plan

SHEET NUMBER

C2.0

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PROJECT

### East Window Well and Exterior Paving and Drainage Alterations

OWNER

Luther Memorial Church

1021 University Avenue  
Madison, WI 53715  
p: 608.258.3165

GENERAL CONTRACTOR

Stevens Construction Corp.

**2 Buttonwood Ct**  
**Madison, WI 53718**  
p: 608.222.5100

STRUCTURAL ENGINEER

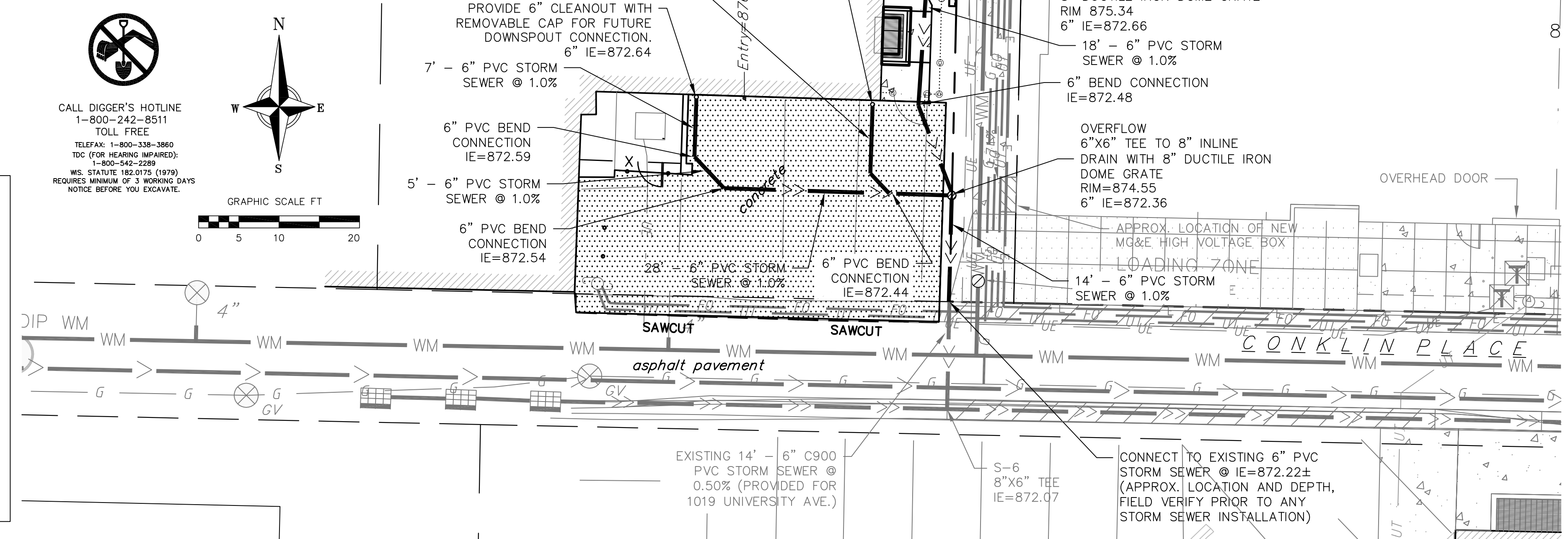
PIERCE ENGINEERS, INC.

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Madison, WI 53703  
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CIVIL ENGINEER

## VIERBICHER

999 Fourrier Drive, Suite 201  
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p: 608.826.0532



REVISIONS

DATE  
April 10, 2013

PROJECT NUMBER  
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SHEET TITLE

# Site Utility Plan

SHEET NUMBER

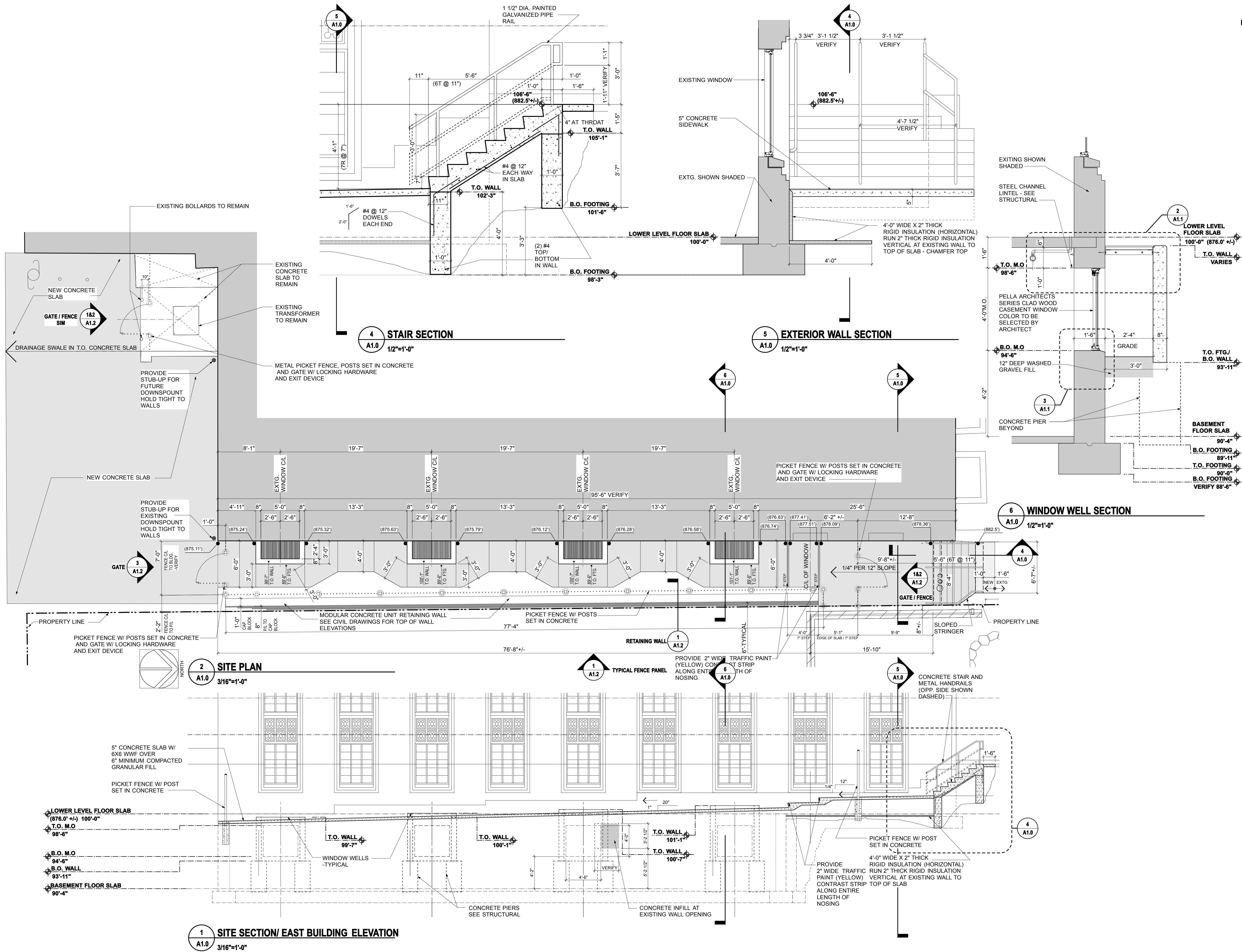
C3.0

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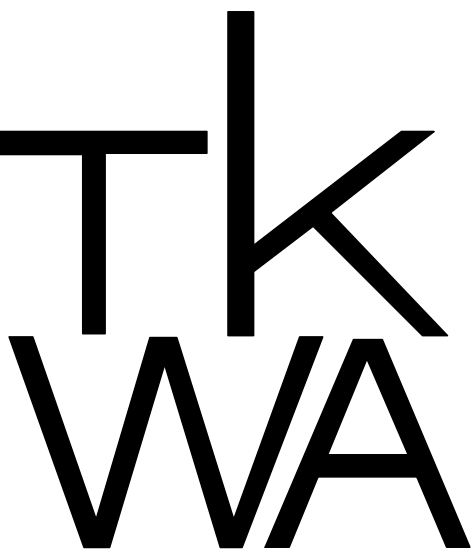












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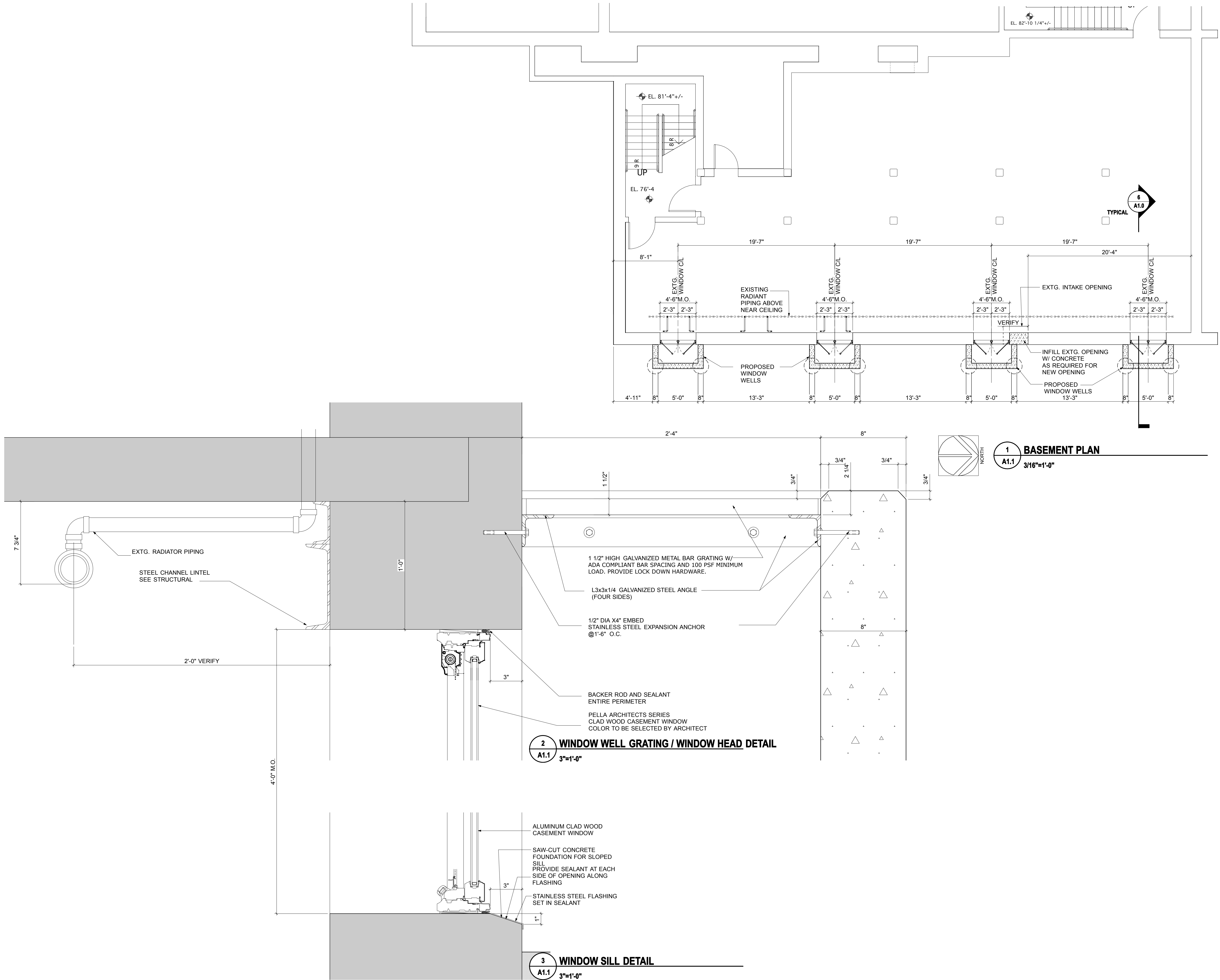
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REVISIONS

DATE

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PROJECT NUMBER

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SHEET TITLE

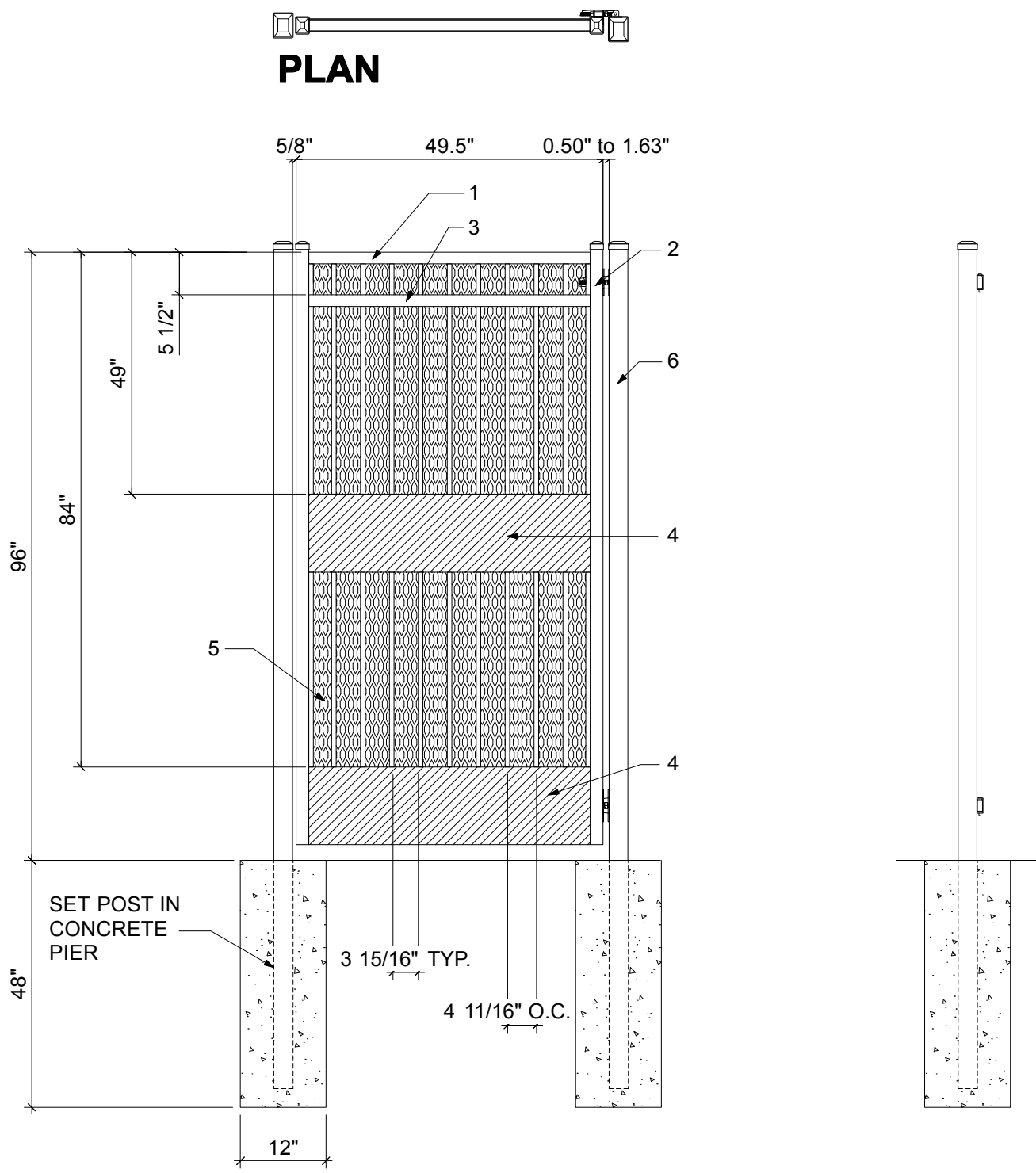
Lower Level  
Plan

SHEET NUMBER

A1.1

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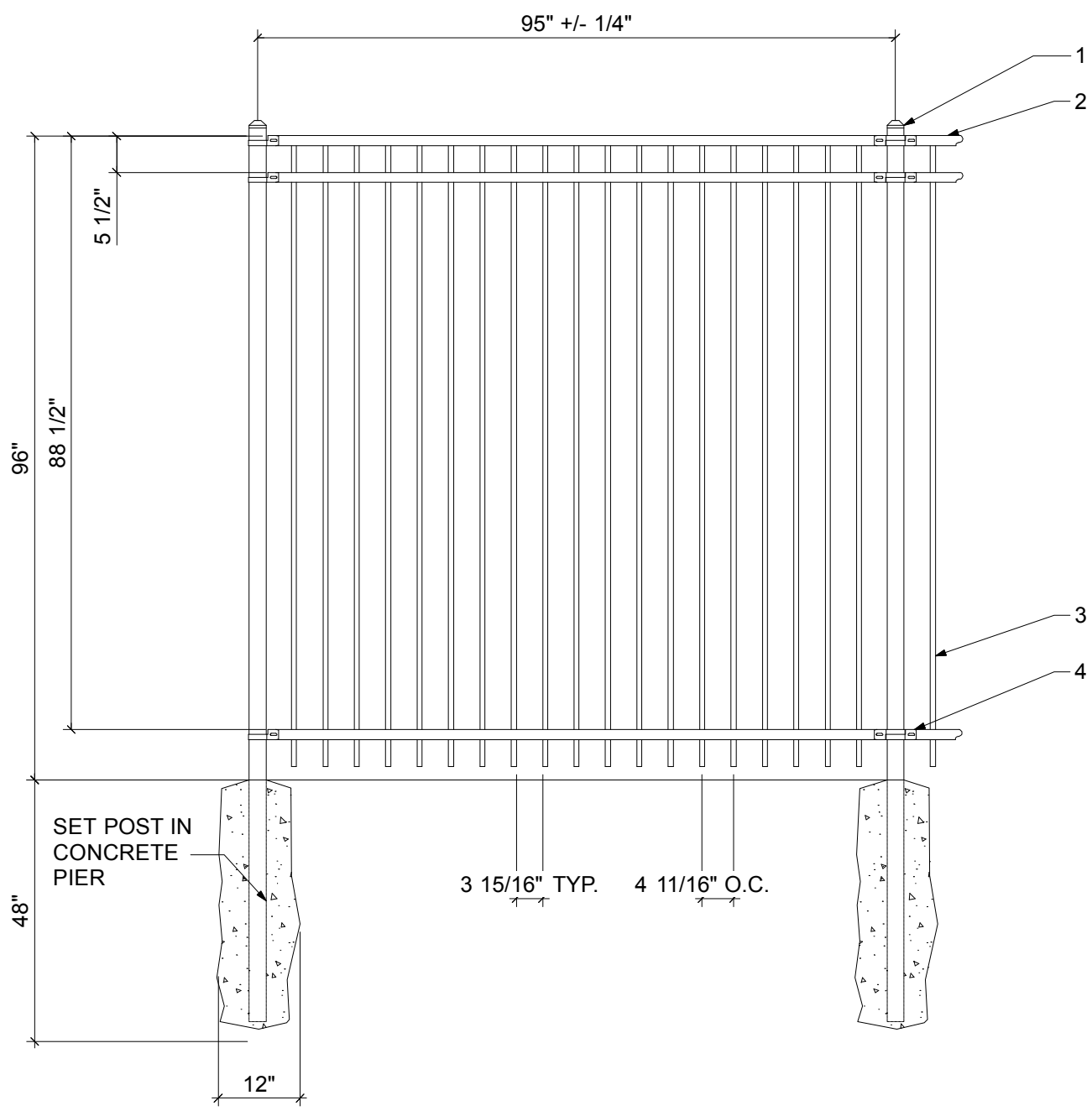


**ELEVATION**  
**AMERISTAR FENCE PRODUCTS**  
**MONTAGE COMMERCIAL MAJESTIC STEEL GATE**  
**OR EQUAL**

**NOTE: EXPANDED METAL PROVIDED BY GATE MANUFACTURER**

| # | DESCRIPTION                            |
|---|--|
| 1 | 1 1/2" x 1 7/16" x 14 ga. CHANNEL RAIL |
| 2 | 2" SQ. x 12 ga. GATE END               |
| 3 | 3/4" SQ. x 14 ga. PICKET               |
| 4 | 10" x 2" x 3/16" PANIC/KICK TUBE       |
| 5 | EXPANDED METAL (#9 - 3/4" DIA)         |
| 6 | 3" SQ. POST                            |

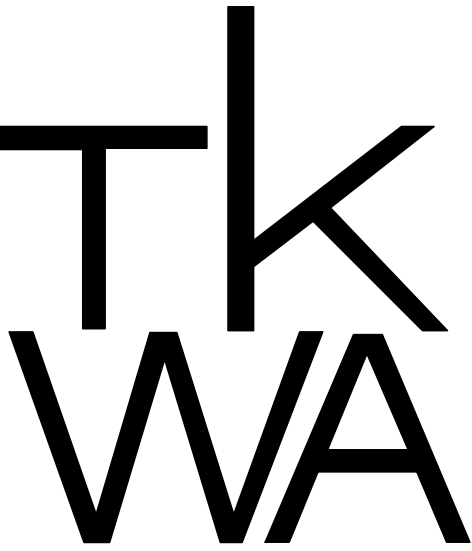
**2**  
**A1.2** **TYPICAL FENCE GATE DETAIL**  
**NOT TO SCALE**



**ELEVATION**  
**AMERISTAR FENCE PRODUCTS**  
**MONTAGE PLUS MAJESTIC 3R EXT 8'T 8' PANEL**  
**OR EQUAL**

| # | DESCRIPTION                          |
|---|--------------------------------------|
| 1 | 2 1/2" SQ. POST                      |
| 2 | 1 1/2" x 1 7/16" RIBBED CHANNEL RAIL |
| 3 | 3/4" SQ. PICKET                      |
| 4 | BRACKETS                             |

**1**  
**A1.2** **TYPICAL FENCE PANEL DETAIL**  
**NOT TO SCALE**



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OWNER

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Madison, WI 53715  
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GENERAL CONTRACTOR

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2 Buttonwood Ct  
Madison, WI 53718  
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STRUCTURAL ENGINEER

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Madison, WI 53703  
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CIVIL ENGINEER

**VIERBICHER**

999 Fourier Drive, Suite 201  
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p: 608.826.0532

REVISIONS

DATE

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SHEET TITLE

**Details**

SHEET NUMBER

**A1.2**

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