

#### **Madison Landmarks Commission**

#### **APPLICATION**

City of Madison Planning Division

215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

1, <u>LOCATION</u>	
Project Address: 1021 University Avenue	Aldermanic District;8th
2. PROJECT	Date Submitted: 4-11-13
Project Title / Description: Luther Memorial Church - East	
This is an application for: (check all that apply)	
図 Alteration / Addition to a Designated Madison Landmark	
☐ Alteration / Addition to a building adjacent to a Designated M	adison Landmark
☐ Alteration / Addition to a building in a Local Historic District (s	pecīfy):
□ Mansion Hill □ Third Lake Ridge	☐ First Settlement
□ University Heights □ Marquette Bungalows	
☐ New Construction in a Local Historic District (specify):	
☐ Mansion Hill ☐ Third Lake Ridge	□ First Settlement
☐ University Heights ☐ Marquette Bungalows	
☐ Demolition	
☐ Variance from the Landmarks Ordinance	
☐ Referral from Common Council, Plan Commission, or other refe	erral
□ Other (specify):	
3. <u>APPLICANT</u>	
Applicant's Name: Pastor Brad Pohlman Company: Lu	ther Memorial Church
Address: 1021 University Avenue City/State: Madi	son, WI Zip: 53715
	@luthermem.org
Property Owner (if not applicant): Luther Memorial Church	
Address: 1021 University Avenue City/State: Mad	ison, WI Zip: 53715
Property Owner's Signature: Rs Colum	Date: 4-//-/3
GENERAL SUBMITTAL REQUIREMENTS	
Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the fill	ng deadline is 4:30 PM on the filing day)
■ Application ■ Brief narrative description of the project	Questions? Please contact the
Scaled plan set reduced to 11" x 17" or smaller pages. Please include:	Historic Preservation Planner:
- Site plan showing all property lines and structures	Amy Scanlon Phone: 608.266.6552
<ul> <li>Building elevations, plans and other drawings as needed to illustrate the project</li> <li>Photos of existing house/building</li> </ul>	Email: ascanlon@cityofmadison.com
- Contextual information (such as photos) of surrounding properties	
Any other information that may be helpful in communicating the details of the project at Ordinance, including the impacts on existing structures on the site or on nearby properti	
	······································

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (Including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.



Adam Voltz Allen Washatko

Ariel Steuer

Chris Socha

Erik Hancock

Erin Lawrence

**Ethan Bartos** 

Joel Krueger

Kirk Lundgren

Mark Lefebvre Rich Hepner

Tim Hansmann

Tom Kubala

Vicki Yurske

Vince Micha Wayne Reckard

Leta Flom

Justin Racinowski

Jim Read

April 11, 2013

City of Madison Planning Division 215 Martin Luther King Jr. Blvd. Madison, WI 53701-2985

Attention: Amy Scanlon - Historic Preservation Planner

RE: Narrative for Madison Landmarks Commission Application for Luther Memorial Church added east window wells.

Luther Memorial Church located at: 1021 University Avenue Madison, WI 53715

Dear Amy,

Please find enclosed the 12 sets of Luther Memorial Church proposed East Window Wells and Exterior Paving and Drainage Alterations drawings dated April 10, 2013 reduced to 11x17 (from 24x36) including the following drawings:

- C1.0 Existing Conditions
- C2.0 Site Plan
- · C3.0 Site Utility Plan
- C4.0 Grading and Erosion Control Plan
- A1.0 Site Plan, Elevations, Sections & Details
- A1.1 Lower Level Plan
- A1.2 Details
- S1.0 Plans and Details

These enclosed plans indicate the addition of four below grade window wells on the east side of the existing Luther Memorial Education Wing. Also proposed is added paving, landscaping and storm water drainage. This work is proposed for construction during the summer of 2013. This is to coincide with the new construction located to the east of Luther Memorial at 1001 University Avenue for the high- rise student housing project.

The proposed window wells align with the existing east elevation windows above and will introduce daylight into the basement level. A new 8'-0" high decorative metal fence is proposed near the east side of Luther Memorial Church property line with locked gates at the north and south ends. A concrete sidewalk with a landscape bed and low retaining wall (less that 2' high) to accommodate the difference in elevation between Luther Memorial and 1001 University Avenue. Storm water piping is proposed to direct Luther Memorial roof and east sidewalk to the storm sewer located in Conklin Place (alley to the south).

Please place this on the April 29<sup>th</sup> meeting agenda for projects not requiring a Public Hearing.

Sincerely,

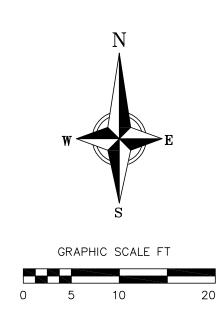
Vincent B. Micha Project Architect

Vincent B. Micha





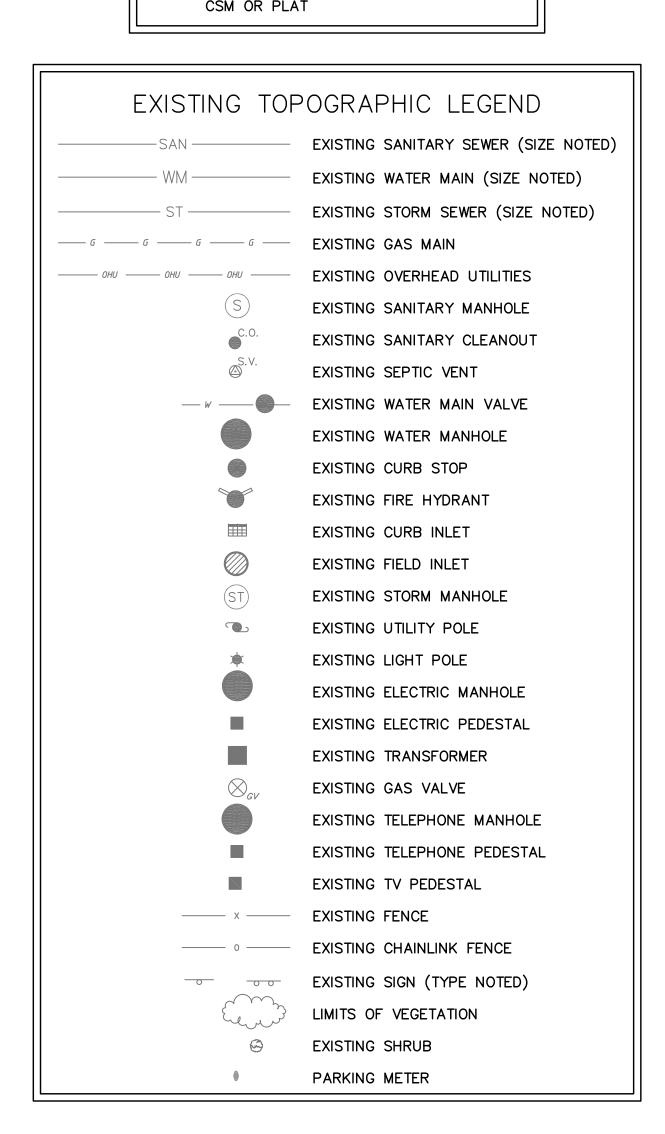


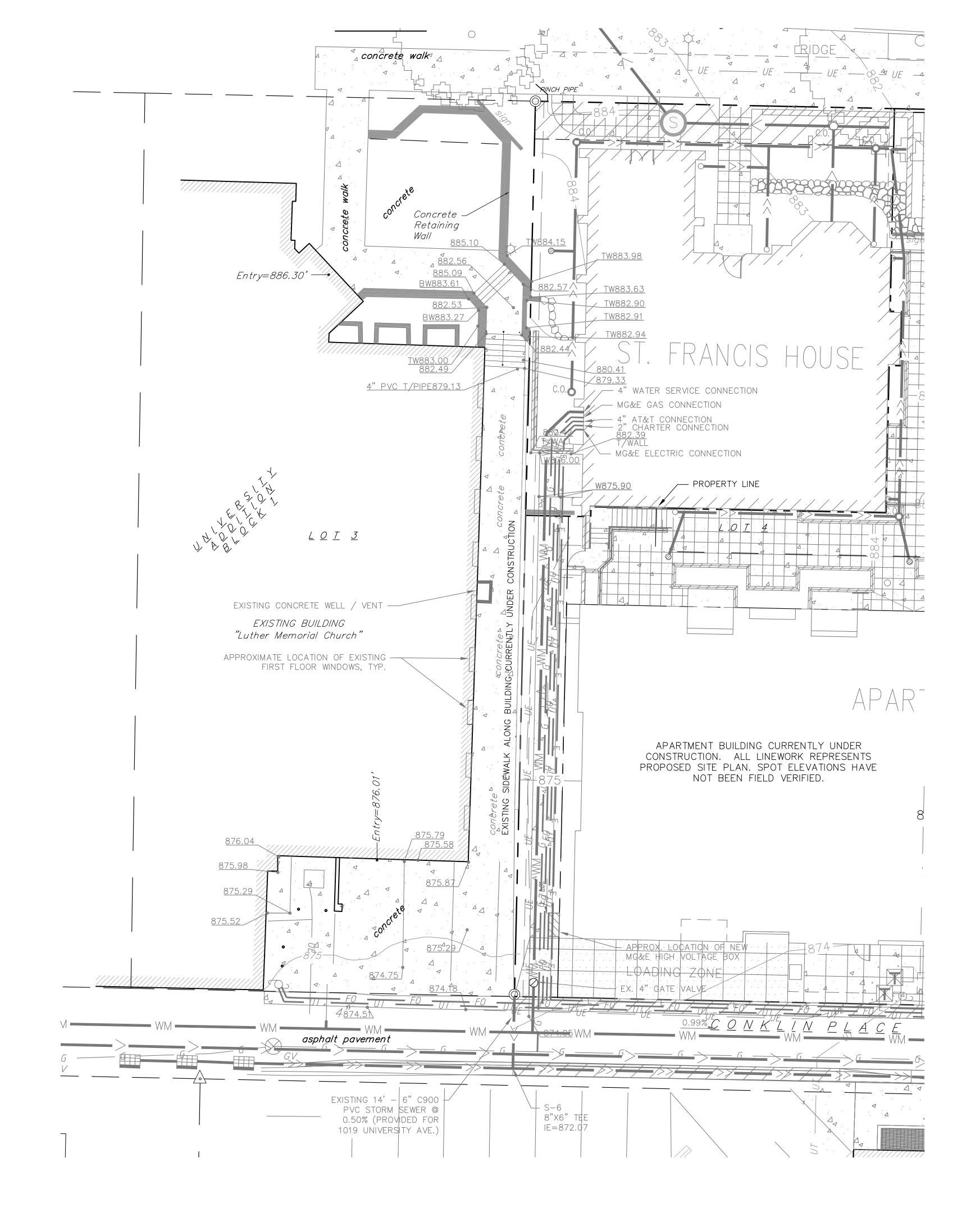


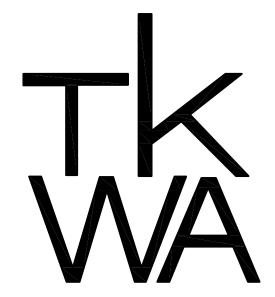
## SURVEY LEGEND

- © EXISTING 1"OUTSIDE dia. IRON PIPE
- EXISTING 3/4"dia. SOLID IRON ROD

  ☑ EXISTING CUT CROSS IN CONCRETE
- △ SET MAG NAIL
- SET 3/4"x24" IRON RE-BAR,
   WT. 1.50lbs./lin.ft. MIN.
- [ ] RECORDED PER SURVEY #96-1123 BY
  DONALD L. PAULSON DATED 11-22-1996
  OR PER SURVEY #94-0334 BY DONALD L.
  PAULSON DATED 04-07-1994
- { } RECORDED PER SURVEY BY FRANCIS R. THOUSAND DATED 07-09-1991
- ( ) RECORDED INFORMATION PER CSM OR PLAT







The Kubala Washatko Architects, Inc. W61 N617 Mequon Avenue Cedarburg, WI 53012 p: 262.377.6039 | f: 262.377.2954

PROJECT

East Window Well and Exterior Paving and Drainage Alterations

OWNER

Luther Memorial Church
1021 University Avenue
Madison, WI 53715
p: 608.258.3165

GENERAL CONTRACTOR

Stevens Construction Corp.

2 Buttonwood Ct
Madison, W 53718
p: 608.222.5100

STRUCTURAL ENGINEER

PIERCE ENGINEERS, INC. 10 West Mifflin Street, Suite 205 Madison, WI 53703 p: 608.256.7307

CIVIL ENGINEER

VIERBICHER 999 Fourier Drive, Suite 201 Madison, WI 53717 p: 608.826.0532

REVISIONS		

April 10, 2013

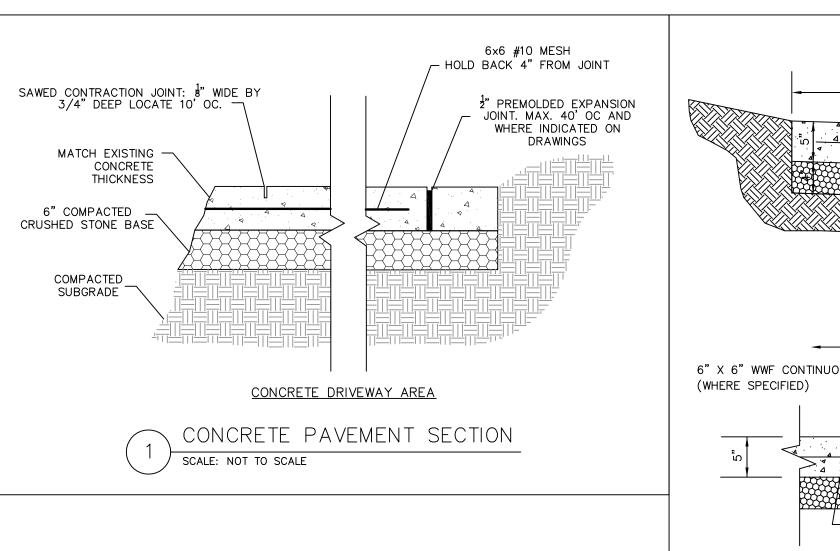
project number 200112

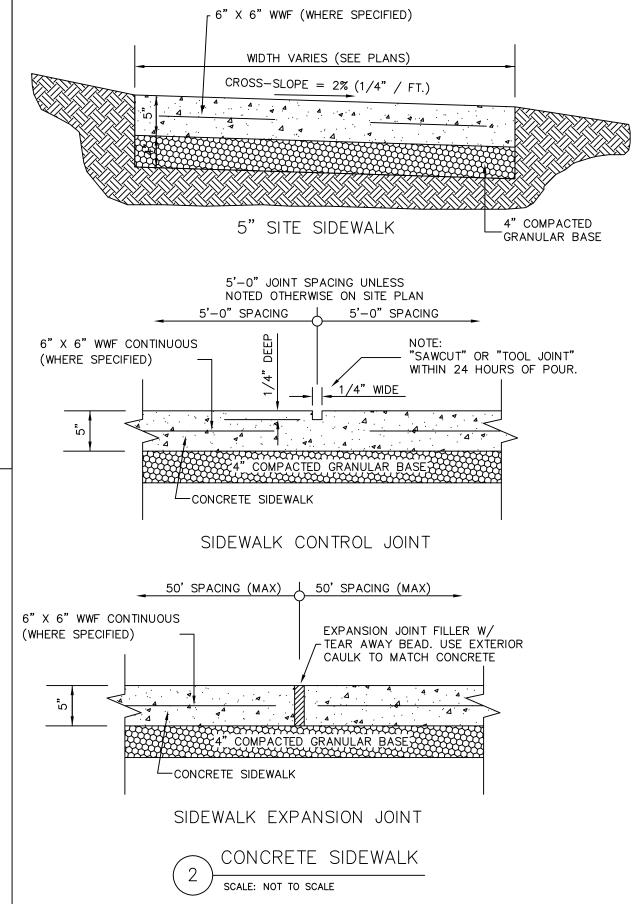
SHEET TITLE

Existing Conditions

SHEET NUMBER

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#### **GENERAL NOTES:**

- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
- ANY DAMAGE TO THE CITY PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
- PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

### **DEMOLITION NOTES:**

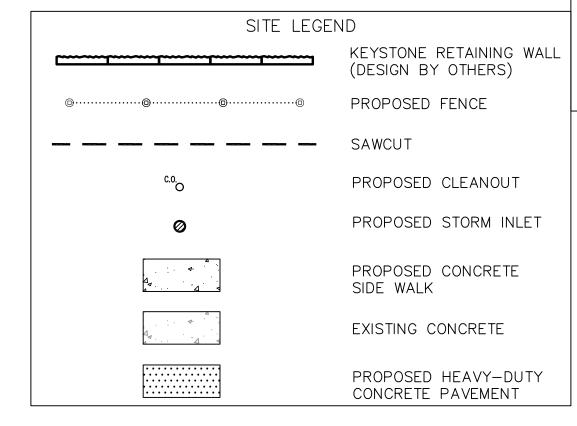
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.

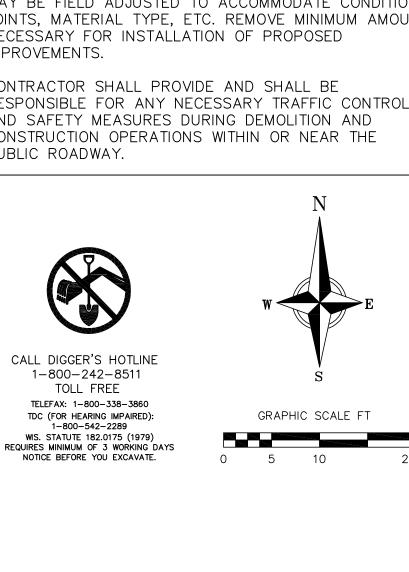
1-800-242-8511

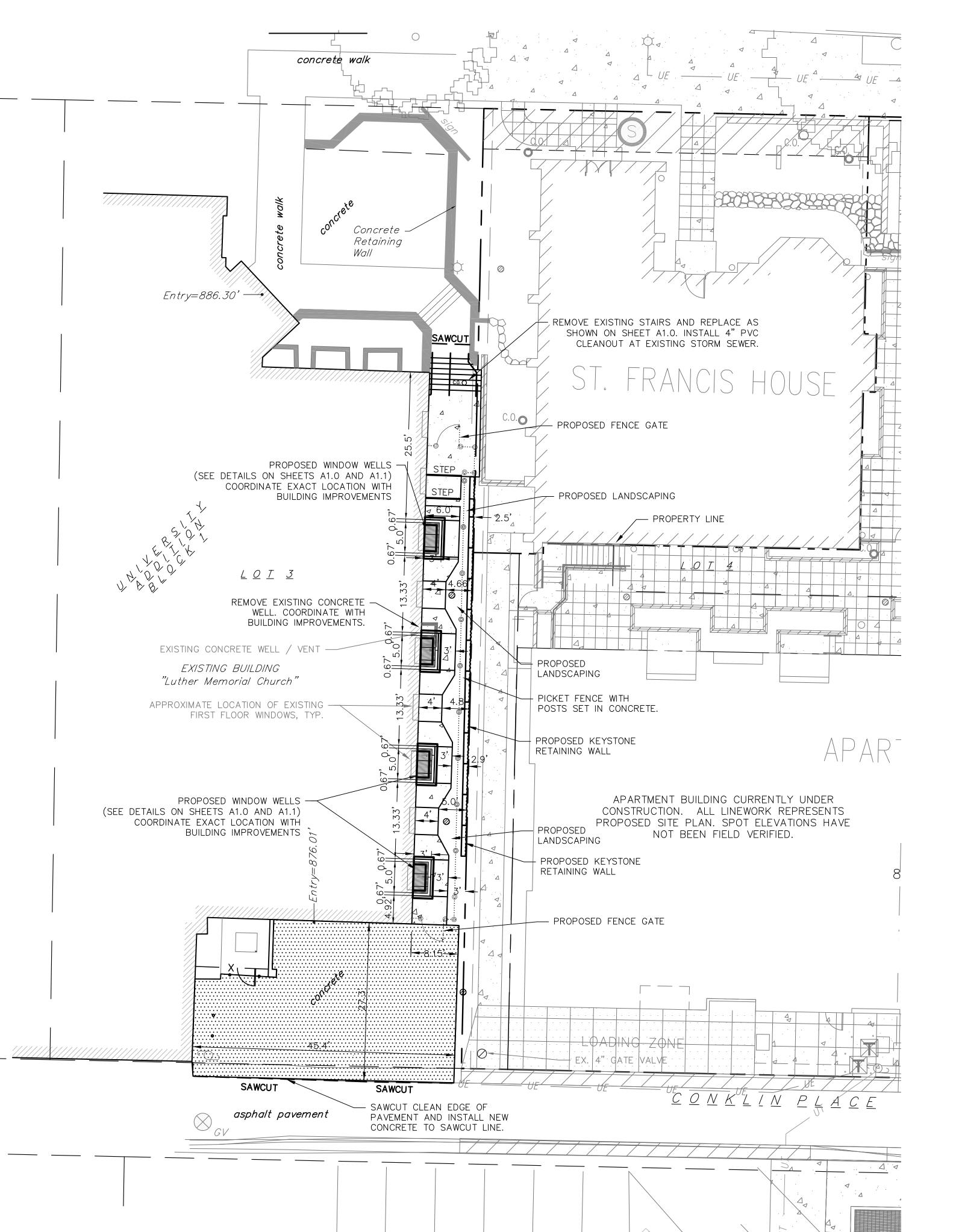
TOLL FREE

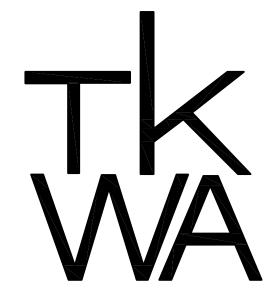
TELEFAX: 1-800-338-3860

1-800-542-2289









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GENERAL CONTRACTOR

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CIVIL ENGINEER

VIERBICHER 999 Fourier Drive, Suite 201

Madison, WI 53717 p: 608.826.0532

REVISIONS	

April 10, 2013 PROJECT NUMBER

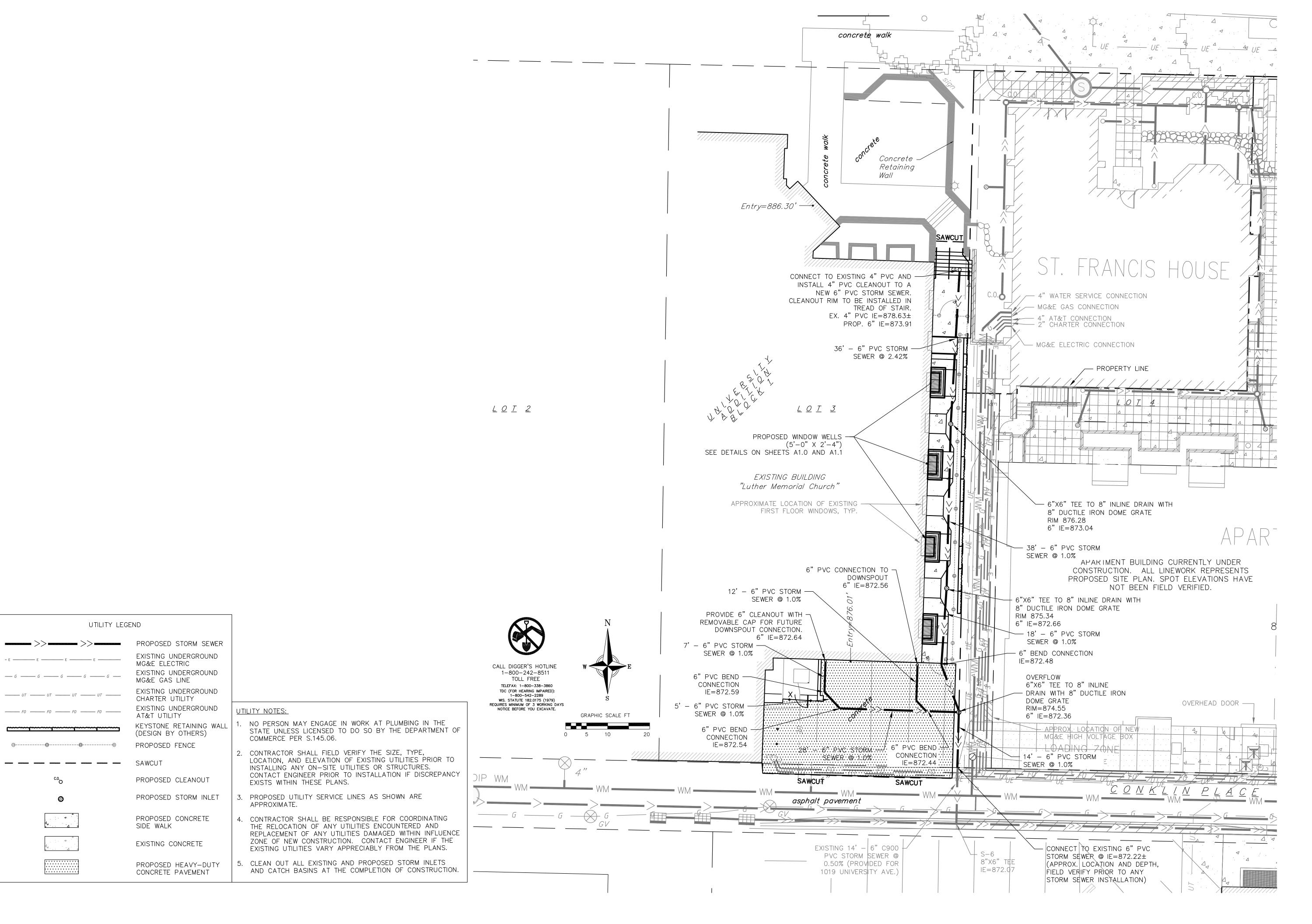
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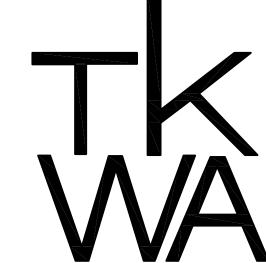
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Site Plan

SHEET NUMBER

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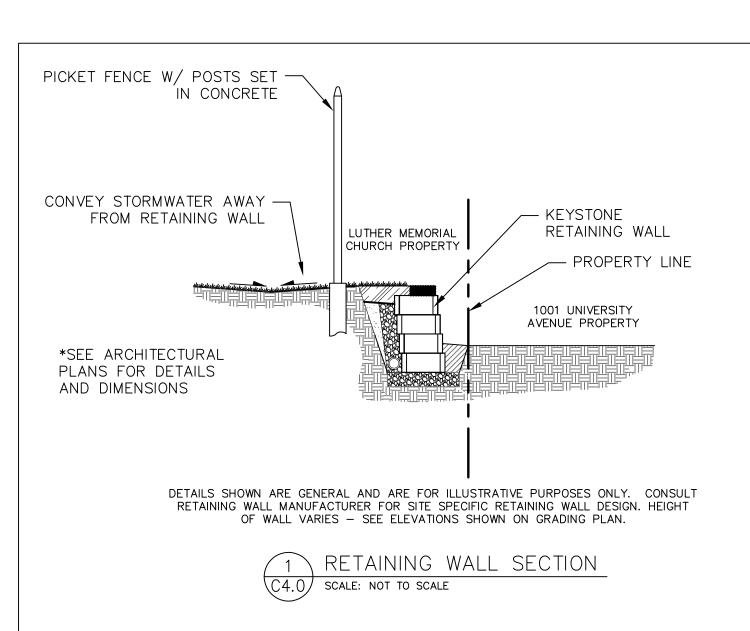
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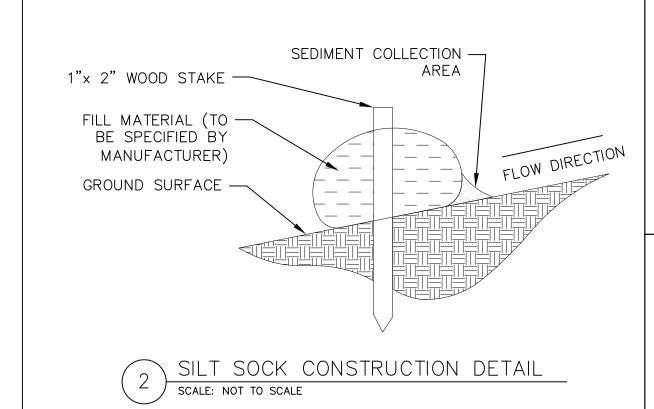
SHEET TITLE

Site Utility Plan

SHEET NUMBER

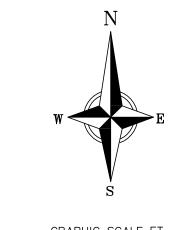
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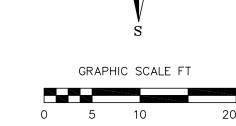


#### EROSION CONTROL MEASURES

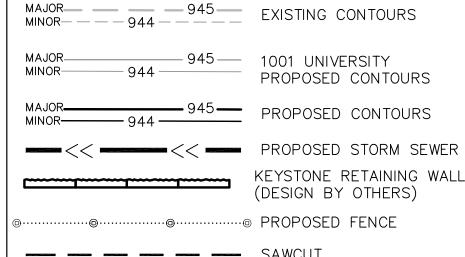
- 1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE
- HANDBOOK. 3. INSTALL SEDIMENT CONTROL PRACTICES PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- 4. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 5. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- 6. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- 7. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- 8. EROSION CONTROL SILT SOCK SHALL BE INSTALLED ACROSS AREAS THAT SLOPE TOWARDS A PUBLIC STREET.
- 9. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- 10. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



CALL DIGGER'S HOTLINE 1-800-242-8511 TOLL FREE TELEFAX: 1-800-338-3860 TDC (FOR HEARING IMPAIRED): 1-800-542-2289 WIS. STATUTE 182.0175 (1979) REQUIRES MINIMUM OF 3 WORKING DAYS NOTICE BEFORE YOU EXCAVATE.



#### GRADING LEGEND



PROPOSED CLEANOUT PROPOSED STORM INLET

PROPOSED SPOT ELEVATION PAVEMENT ELEV. CONCRETE SIDEWALK ELEV. TW - TOP OF RETAINING WALL ELEV.

PROPOSED DRAINAGE 1.82% ARROWS AND SLOPE PROPOSED CONCRETE SIDE WALK PROPOSED HEAVY-DUTY CONCRETE PAVEMENT EXISTING CONCRETE

#### **CONSTRUCTION SEQUENCE:**

- 1. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
- 2. ROUGH GRADE PAVEMENT AND SIDEWALKS.
- 3. CONSTRUCT UNDERGROUND UTILITIES.
- 4. CONSTRUCT WALKS AND PAVEMENT.
- 5. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
- 6. REMOVE SILT SOCK AFTER DISTURBED AREAS ARE RESTORED.

#### **SEEDING RATES:**

#### **TEMPORARY**:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS. 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

#### FERTILIZING RATES:

TEMPORARY AND PERMANENT: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

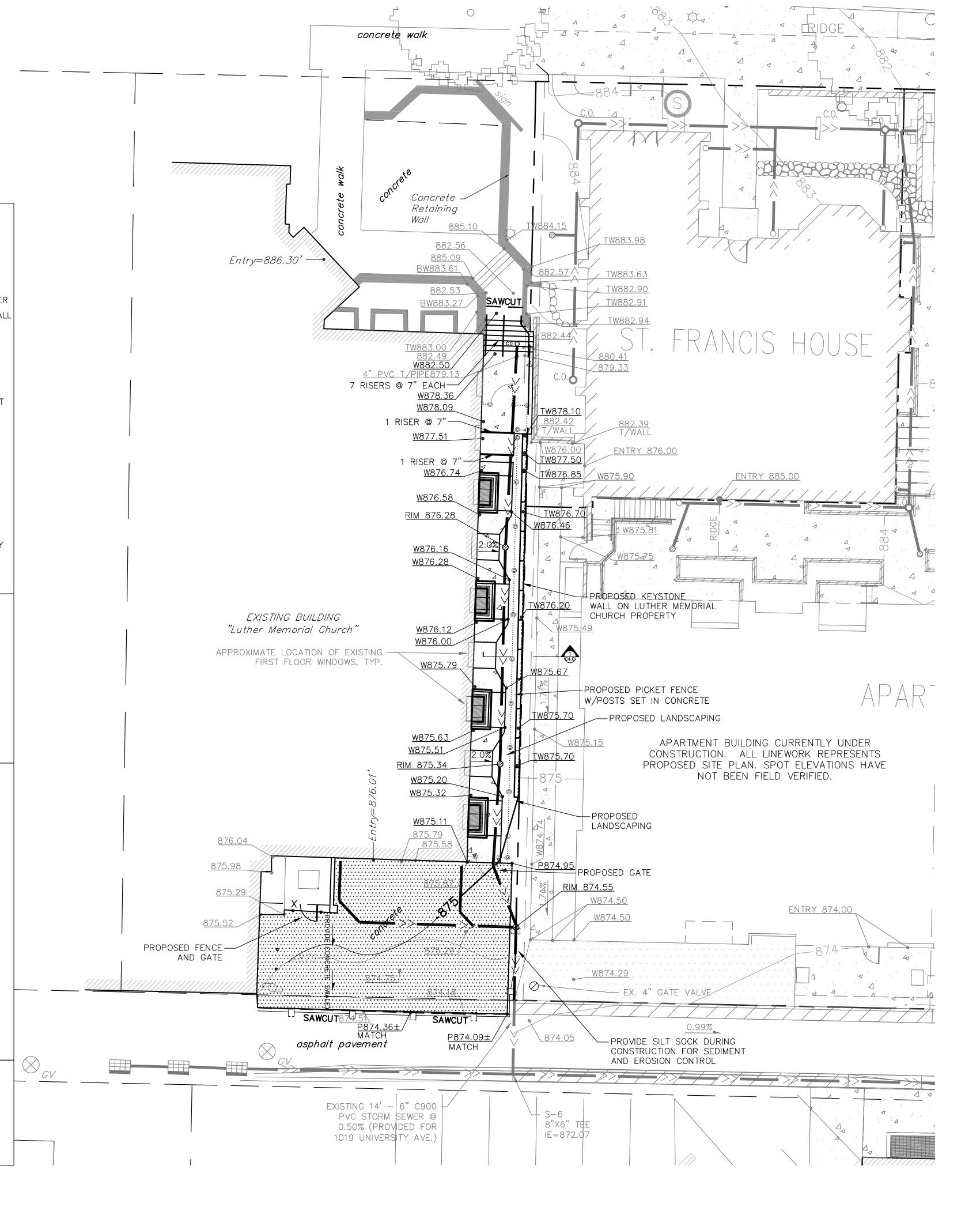
#### MULCHING RATES:

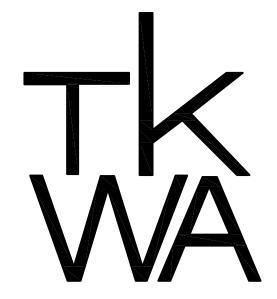
#### TEMPORARY AND PERMANENT:

USE  $\frac{1}{2}$ " TO 1- $\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

### SITE PAVING NOTES

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE AT DRIVEWAY SHALL MATCH EXISTING THICKNESS, CONSTRUCTED ON A MINIMUM BASE OF 6" COMPACTED SAND OR CRUSHED STONE.





W61 N617 Meguon Avenue Cedarburg, WI 53012 p: 262.377.6039 | f: 262.377.2954

PROJECT

East Window Well and Exterior Paving and Drainage Alterations

OWNER

Luther Memorial Church 1021 University Avenue Madison, WI 53715 p: 608.258.3165

GENERAL CONTRACTOR

Stevens Construction Corp. 2 Buttonwood Ct Madison, WI 53718 p: 608.222.5100

STRUCTURAL ENGINEER

PIERCE ENGINEERS, INC. 10 West Mifflin Street, Suite 205 p: 608.256.7307

CIVIL ENGINEER

p: 608.826.0532

VIERBICHER 999 Fourier Drive, Suite 201 Madison, WI 53717

April 10, 2013 PROJECT NUMBER

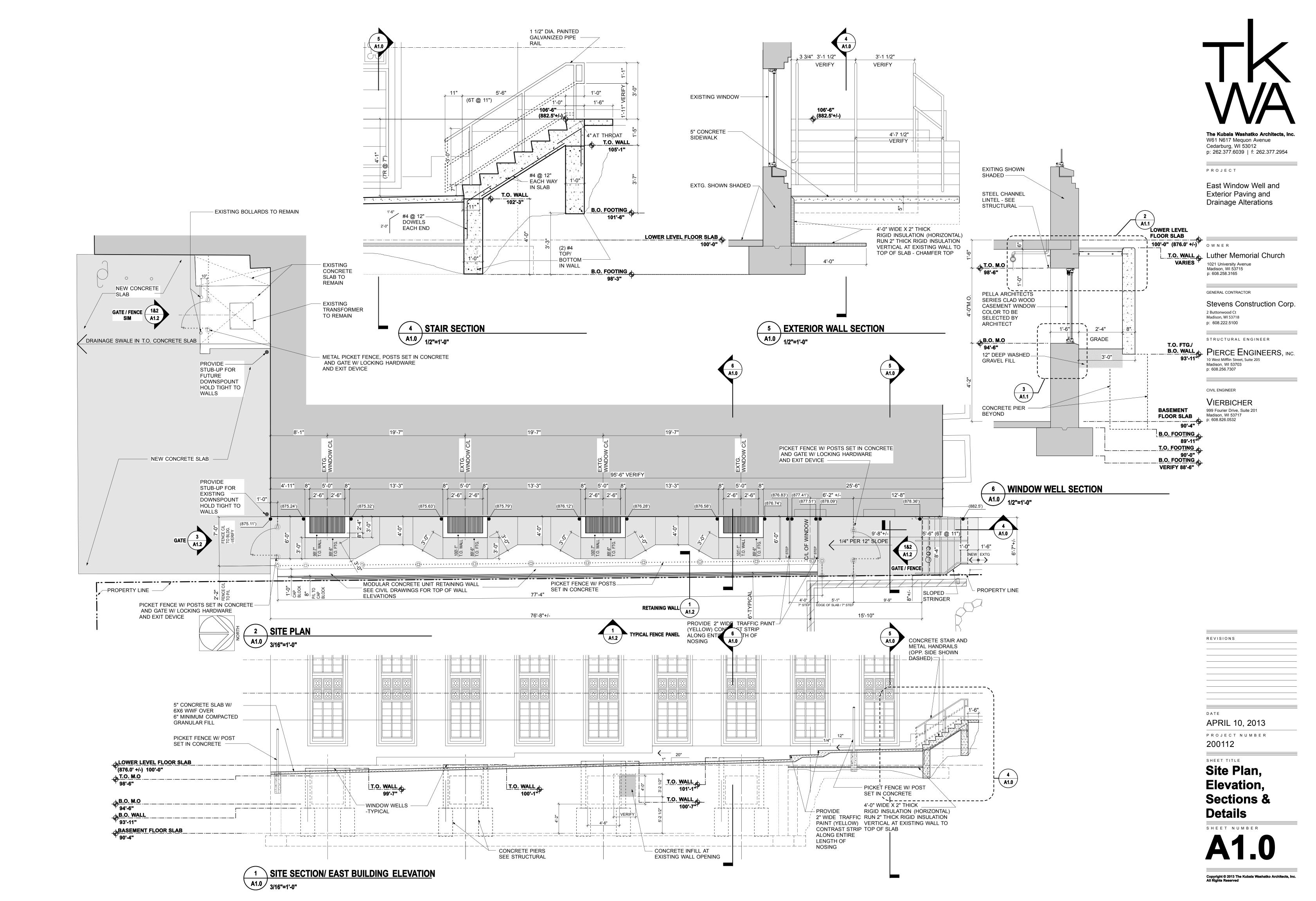
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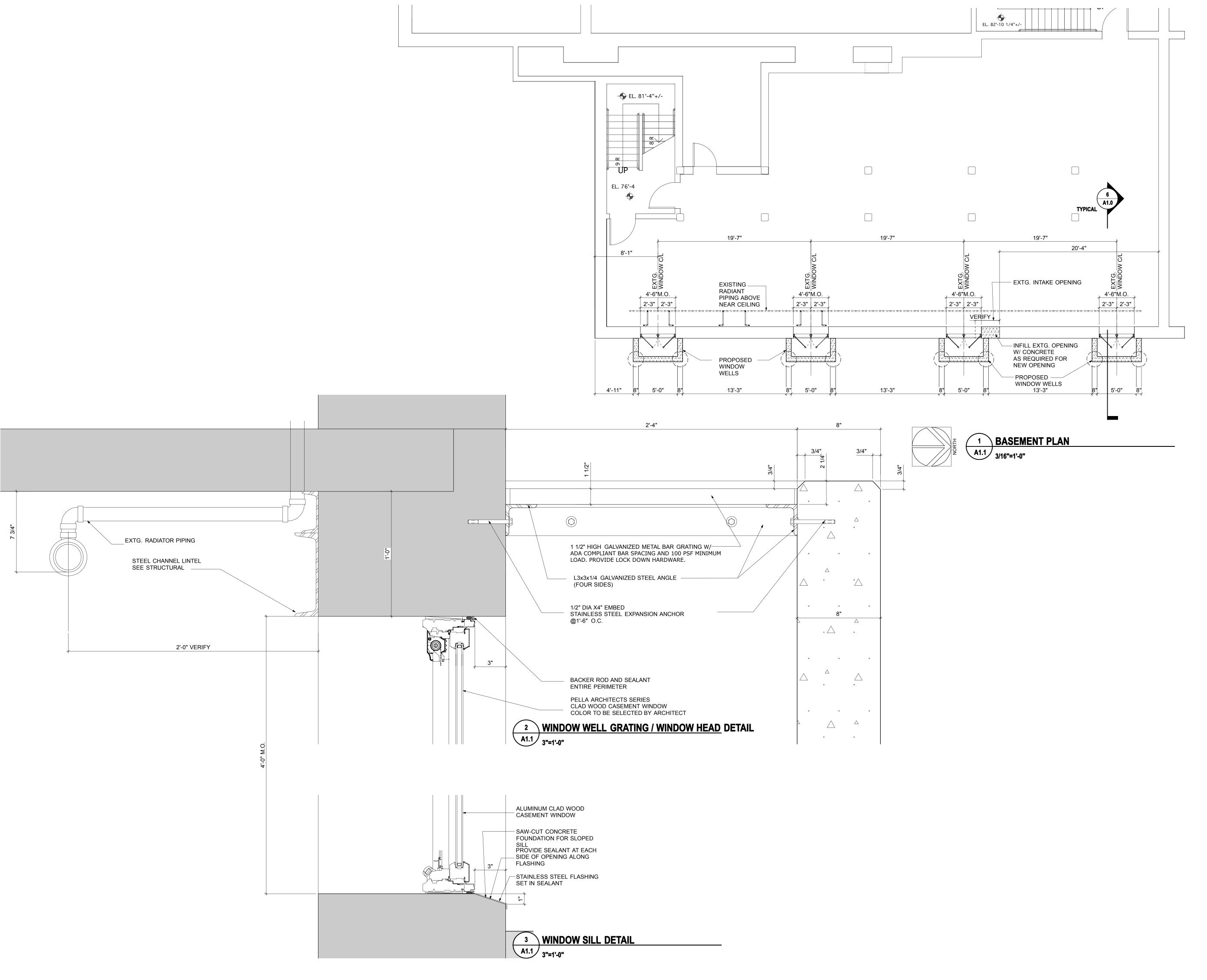
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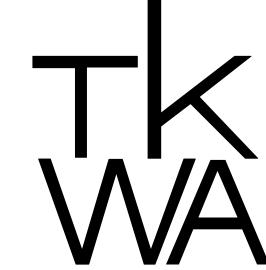
Grading & Erosion Control Plan

SHEET NUMBER

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REVISIONS

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APRIL 10, 2013

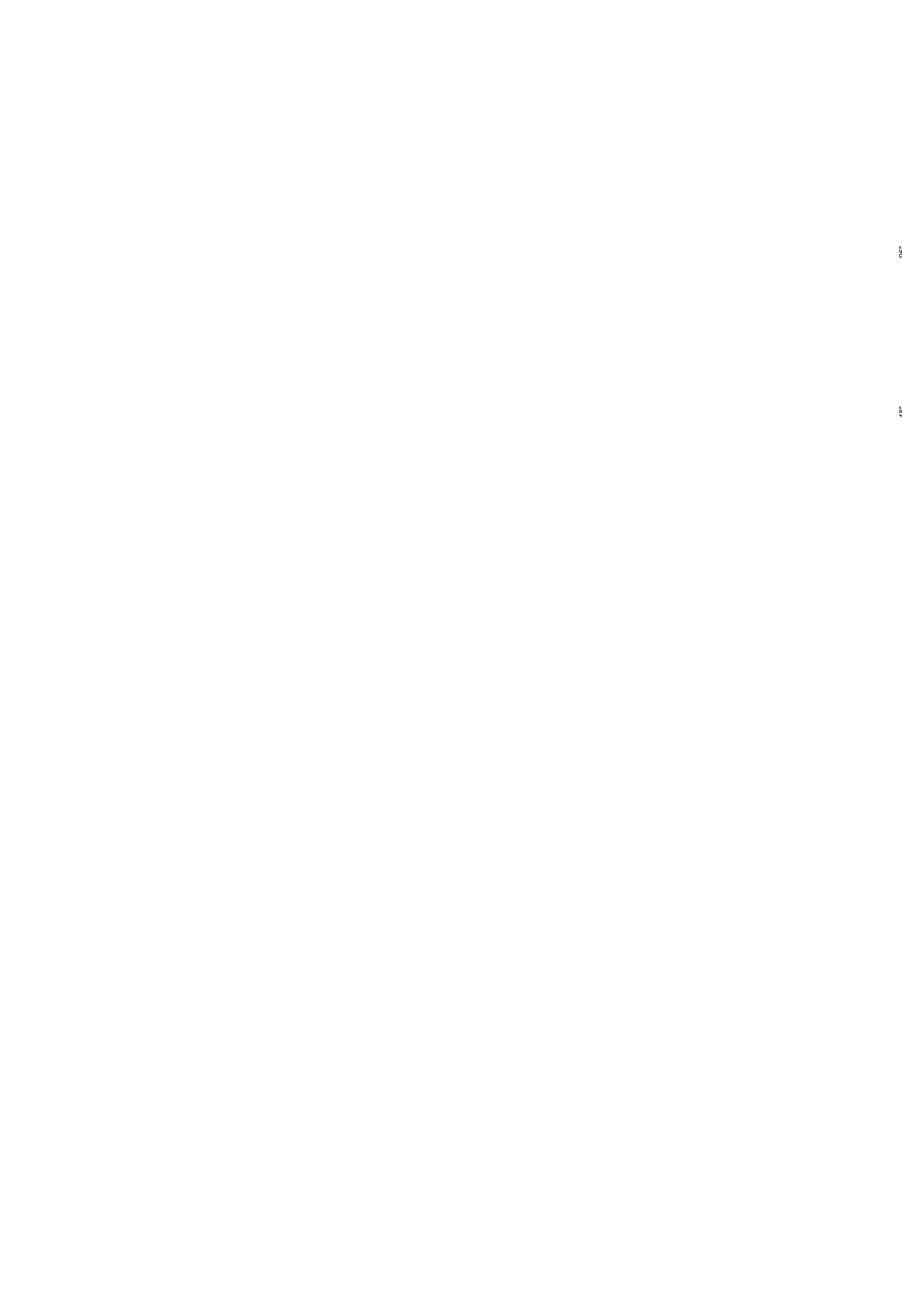
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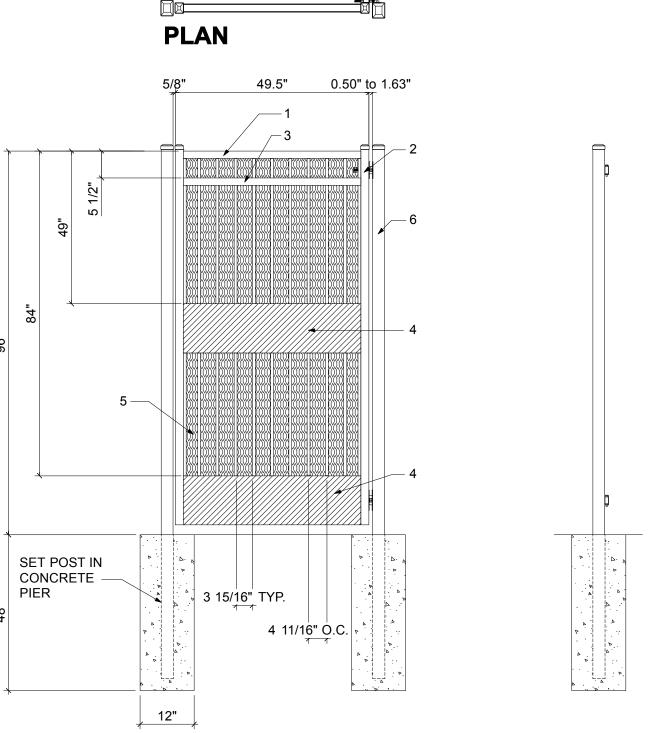
SHEET TITLE

Lower Level Plan

SHEET NUMBER

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## ELEVATION

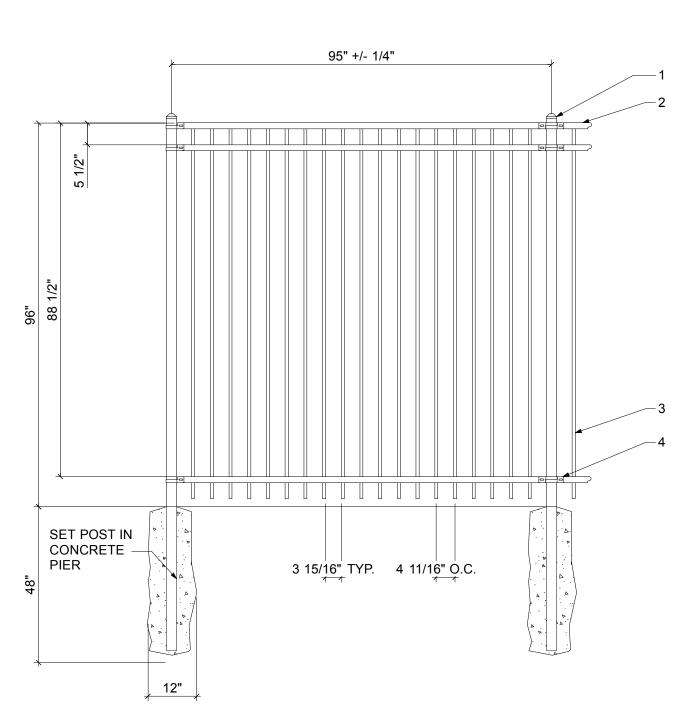
SIDE

AMERISTAR FENCE PRODUCTS
MONTAGE COMMERCIAL MAJESTIC STEEL GATE
OR EQUAL

#### NOTE: EXPANDED METAL PROVIDED BY GATE MANUFACTURER

#	DESCRIPTION
1	1 1/2" x 1 7/16" x 14 ga. CHANNEL RAIL
2	2" SQ. x 12 ga. GATE END
3	3/4" SQ. x 14 ga. PICKET
4	10" x 2" x 3/16" PANIC/KICK TUBE
5	EXPANDED METAL (#9 - 3/4" DIA)
6	3" SQ. POST



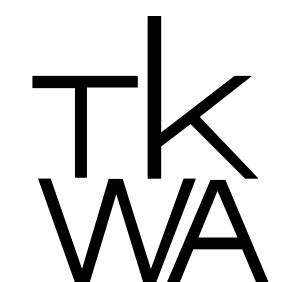


## **ELEVATION**

AMERISTAR FENCE PRODUCTS
MONTAGE PLUS MAJESTIC 3R EXT 8'T 8' PANEL
OR EQUAL

#	DESCRIPTION
1	2 1/2" SQ. POST
2	1 1/2" x 1 7/16" RIBBED CHANNEL RAIL
3	3/4" SQ. PICKET
4	BRACKETS





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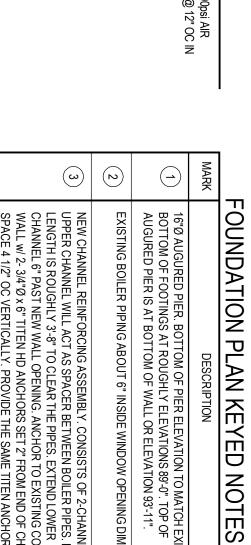
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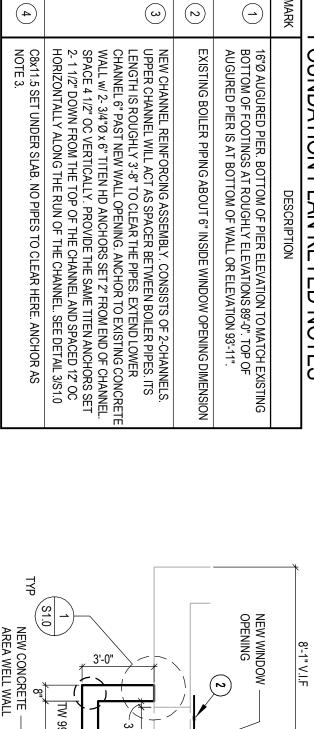
# **Details**

SHEET NUMBER

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FIELD VERIFY ALL EXISTING CONDITIONS/ DIMENSIONS, ETC. INTENT: CENTER NEW AREA WELL WINDOWS ON EXISTING WINDOWS ABOVE. CONCRETE FOR AUGURED PIERS IS 3000psi. CONCRETE FOR AREA WELLS IS 3000psi AIR ENTRAINED. PROVIDE REBAR CAGE FOR AUGURED PIERS: 4- #5 VERT w/ #3 TIES @ 12" OC IN SQUARE LAYOUT PATTERN MAINTAIN 2" CLEAR TO TIES. GENERAL FOUNDATION NOTES





5'-0" S1.0	8" 3"			
8,3	2'-8" CENTER PIER	OF	3 2	EXISTING WINDOW
13'-3" NEW CONCRETE —/ AREA WELL WALL	EXISTING WALL 5		OPENING 2	
)" 3 8" 13-3"	Z'-8"  CENTER PIER		3 2	EXISTING WINDOW
NEW CONCRETE — 5'-0" AREA WELL WALL	3'-0"		OPENING	
\$1.0	2'-8" TW 100-7"		4 CENTERLINE	EXISTING WINDOW
13'-3"				

NEW CONCRETE -AREA WELL WALL

<u>\$1.0</u>	
SCALE: 1/4" = 1'-0"	FOUNDATION PLAN

S1.0 SCALE: 1/4" = 1'-0"	FOUNDATION PLAN

p: 608.826.0532	Madison, WI 53717	999 Fourier Drive, Suite 201	VIERBICHER	
		uite 201	꿈	

PIERCE ENGINEERS, INC.

10 West Mifflin Street, Suite 205

Madison, WI 53703
p. 608.256.7307
Project # 12252

LOWER LEVEL EL 100'-0"

TOP OF WALL EL SEE PLAN

TOP OF WALL EL SEE PLAN

GRATING & SUPPORTS PER ARCH

CHAMFER ALLOUTSIDE CORNERS

NEW STEEL CHANNELS -PER NOTES. FIT SNUG UNDER SLAB

EXISTING 6" TO 6 1/2" —/
THICK CONCRETE SLAB

1'-0"

ANCHORAGE AS PER NOTES

#4 REBAR @ 12" OC EACH WAY IN CENTER OF WALL. CORNER BARS TO MATCH HORIZONTAL WALL STEEL.

1-6

1-6

 $2- \#4 \times 4^{\circ}$ -6" LONG DOWELS TO EMBED 2'-3"

2- #4 x 4'-6" LONG DOWELS TO EMBED 2'-3"

T0

1/4" 3@12

1'-0"

EXISTING 6" TO 6 1/2" — THICK CONCRETE SLAB

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1021 University Avenue Madison, WI 53715 p: 608.258.3165 Luther Memorial Church

East Window Well and Exterior Paving and Drainage Alterations

The Kubala Washatko Architects, Inc. W61 N617 Mequon Avenue Cedarburg, WI 53012 p: 262.377.6039 | f: 262.377.2954

NEW WINDOW OPENING

3'-0"

2'-8" CENTER OF PIER

TW 101'-1"

PLANS & DETAILS

SECTION AT AREA WELL

SECTION AT AREA WELL

CONNECTION @ AREA WELL WALL TO EXISTING

April 10, 2013
PROJECT NUMBE
200112

TNUMBER

EXISTING BASEMENT WALL

BACKER ROD & CAULK

#4 REBAR x 2'-0" @ 1'-0" OC
VERTICALLY IN CENTER OF WALL.
DRILL INTO EXISTING WALL 4" AND
ANCHOR w/ HILTI HY150 OR EQUAL.
PLACE IN CENTER OF WALL

NEW WINDOW WELL WALL