



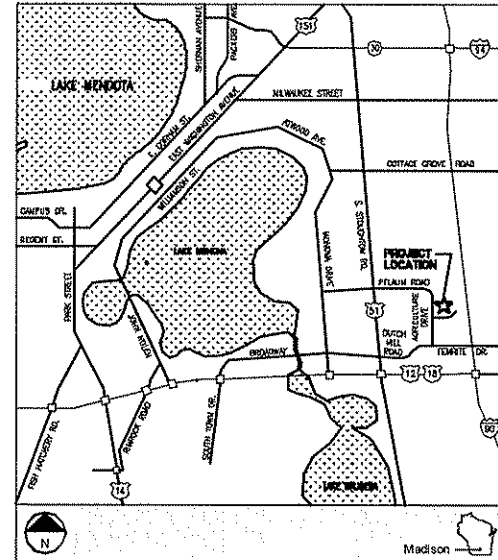
# MIDWEST BIOLINK COMMERCIALIZATION AND BUSINESS CENTER - PUD/SIP SUBMITTAL

5402 World Dairy Drive  
Madison, WI 53716



Project No.: 2009064

Site Location Map



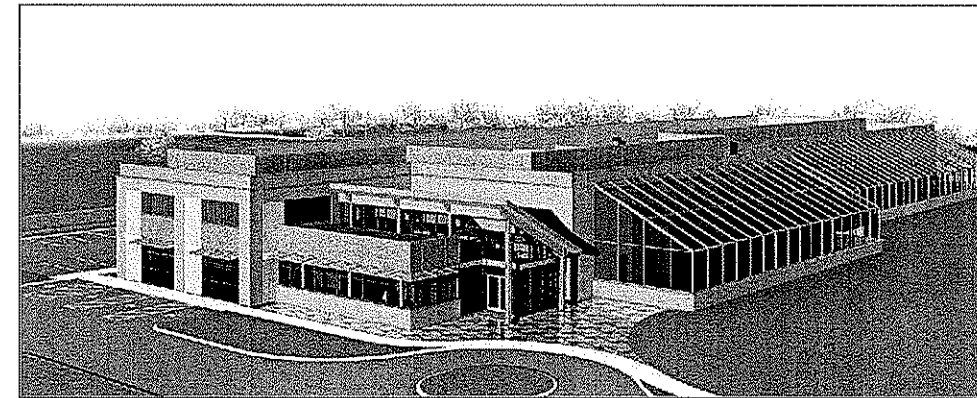
Design Team

Architectural Design  
**STRANG, INC.**

Structural Design  
**ARNOLD & O'SHERIDAN**

Civil Design  
**JSD PROFESSIONAL SERVICES**

Project Image



Sheet Index

<b>GENERAL</b>	
TS01	TITLESHEET
<b>CIVIL / SITE</b>	
C100	SITE PLAN
C200	GRADINGS, EROSION CONTROL & UTILITY PLAN
C201	DETAILED GRADING PLAN
C202	DETAILS
<b>LANDSCAPING</b>	
L100	LANDSCAPE PLAN
<b>ARCHITECTURAL</b>	
A201A	PARTIAL FIRST FLOOR PLAN - WEST
A201B	PARTIAL FIRST FLOOR PLAN - EAST
A202A	PARTIAL SECOND FLOOR PLAN - WEST
A202B	PARTIAL SECOND FLOOR PLAN - EAST
A401	EXTERIOR ELEVATIONS
<b>ELECTRICAL</b>	
E001	SITE LIGHTING PHOTOMETRIC PLAN

ARCHITECTURE  
EXTERIOR DESIGN  
INTERIOR DESIGN

STRANG, INC.  
5412 MONONA POINT ROAD  
MADISON, WI 53705-4302  
P: 608 276 8800  
F: 608 276 2054

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DRAWN Tom Kehnelt, ASA  
CHECKED #00  
DATE 01-05-11  
PROJECT NO. 2009064  
PROJECT TITLE

MIDWEST BIOLINK  
COMMERCIALIZATION  
AND BUSINESS  
CENTER

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

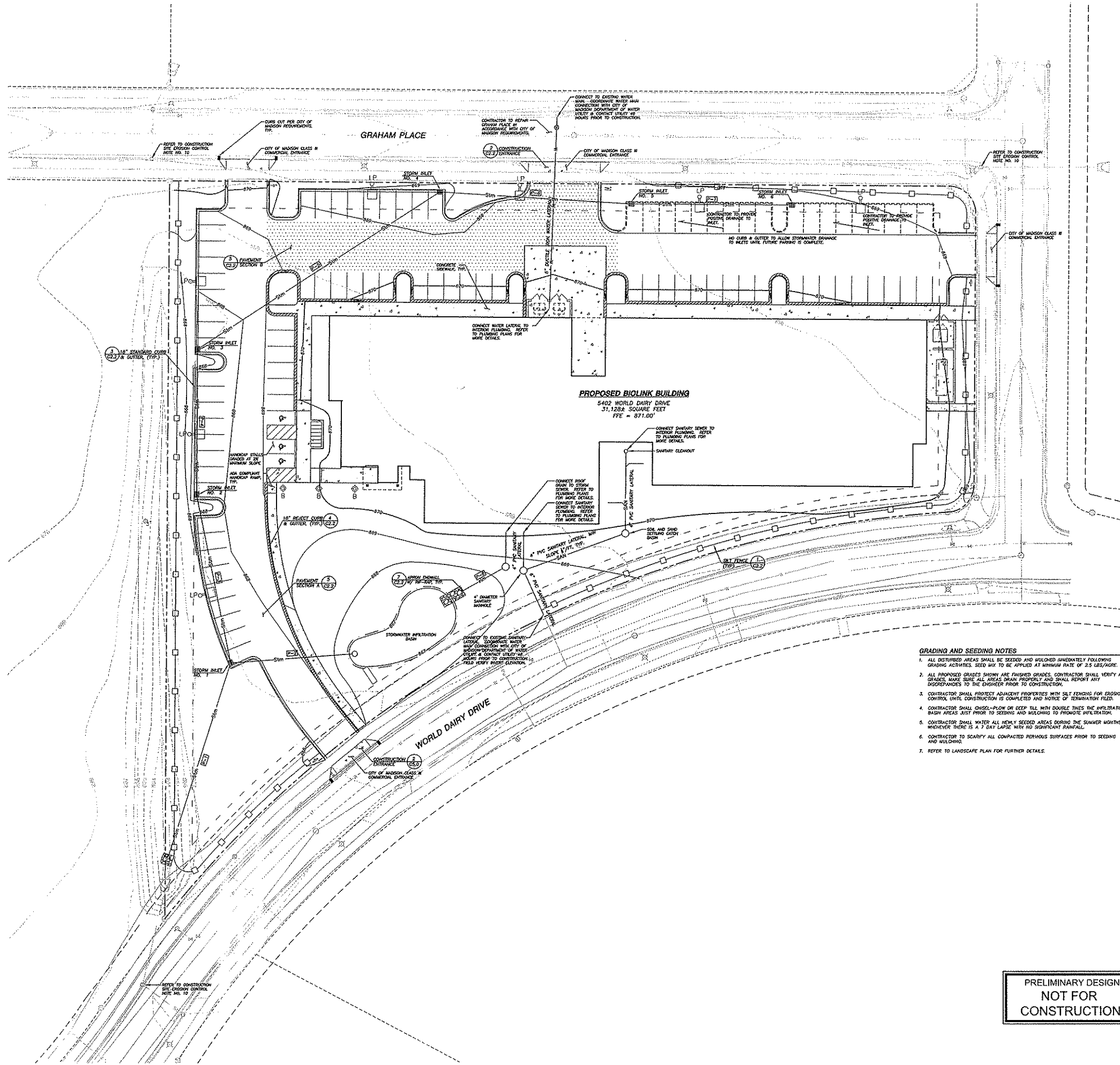
SHEET TITLE

TITLE  
SHEET

SHEET NO.  
TS01

PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION





**LEGEND (PROPOSED)**

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- INFILTRATION/SWALE AREA
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- SILT FENCE
- EDGE OF PAVEMENT
- SLOPE
- 18" STANDARD CURB & GUTTER
- 18" REJECT CURB & GUTTER
- ASPHALT PAVEMENT TYPE A
- ASPHALT PAVEMENT TYPE B
- CONCRETE PAVEMENT

- GENERAL NOTES**
- EXISTING CONVEYANCE SURVEY PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY INFORMATION PRIOR TO CONSTRUCTION.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - EXISTING GRADE DATA ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH MOHR GENERAL POINT APPLICATION ELEVATION STANDARDS.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAINING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - REFER TO GEOTECHNICAL REPORT FOR FURTHER PAVEMENT INFORMATION.

- CONSTRUCTION SITE EROSION CONTROL**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/nr/soil/soilwater/techstand.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR EXCAVATION OF EXISTING SURFACE MATERIAL AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MOHR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 20' LONG AND NO LESS THAN 18" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOOPLES.
  - INSTALL CHECK DAMS WITH DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MOHR TECHNICAL STANDARDS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. BACKFILL AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1001 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TRENCH TO INSURE PROTECTION AROUND ALL STORM SEWER PILES AND CATCH BASINS THAT MAY RECEIVE INFLOW FROM AREAS UNDER CONSTRUCTION, INCLUDING INLETS WITHIN THE STREET. REFER TO WSDOT FOR RESPECTIVE DETAILS.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A MOHR APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH MOHR REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MOHR TECHNICAL STANDARD 1006.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED RATE TO BE APPLIED AT RATE OF 2.5 LB/1000 SQ. FT.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
  - CONTRACTOR SHALL CHECK-PILE OR DEEP TILL WITH DOUBLE TIMES THE INFILTRATION BASIN AREAS JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE GROWER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO SCARIFY ALL COMPACTED PAVED SURFACES PRIOR TO SEEDING AND MULCHING.
  - REFER TO LANDSCAPE PLAN FOR FURTHER DETAILS.

- UTILITY NOTES**
- OWNER'S TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION TO THAT CLARIFICATION OR RESOLUTION MAY OCCUR.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  - ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 5' MINIMUM BURIED.
  - THE CONTRACTOR SHALL INSTALL A PROTECTIVE FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
  - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND MOHR, WISCONSIN, AND MOHR.
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING POINT OF BEGINNING, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
  - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO DOWM 84.30-6.
  - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO DOWM 84.30-7.
  - CONTRACTOR TO PROVIDE A MEANS OF LOCATING ALL PIPES.



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ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
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1/608.278.9000  
1/608.278.9004

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DATE	12-23-10
PROJECT NO.	2009 064
PROJECT TITLE	

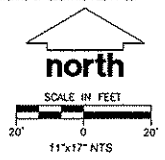
MIDWEST BIOLINK  
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AND BUSINESS  
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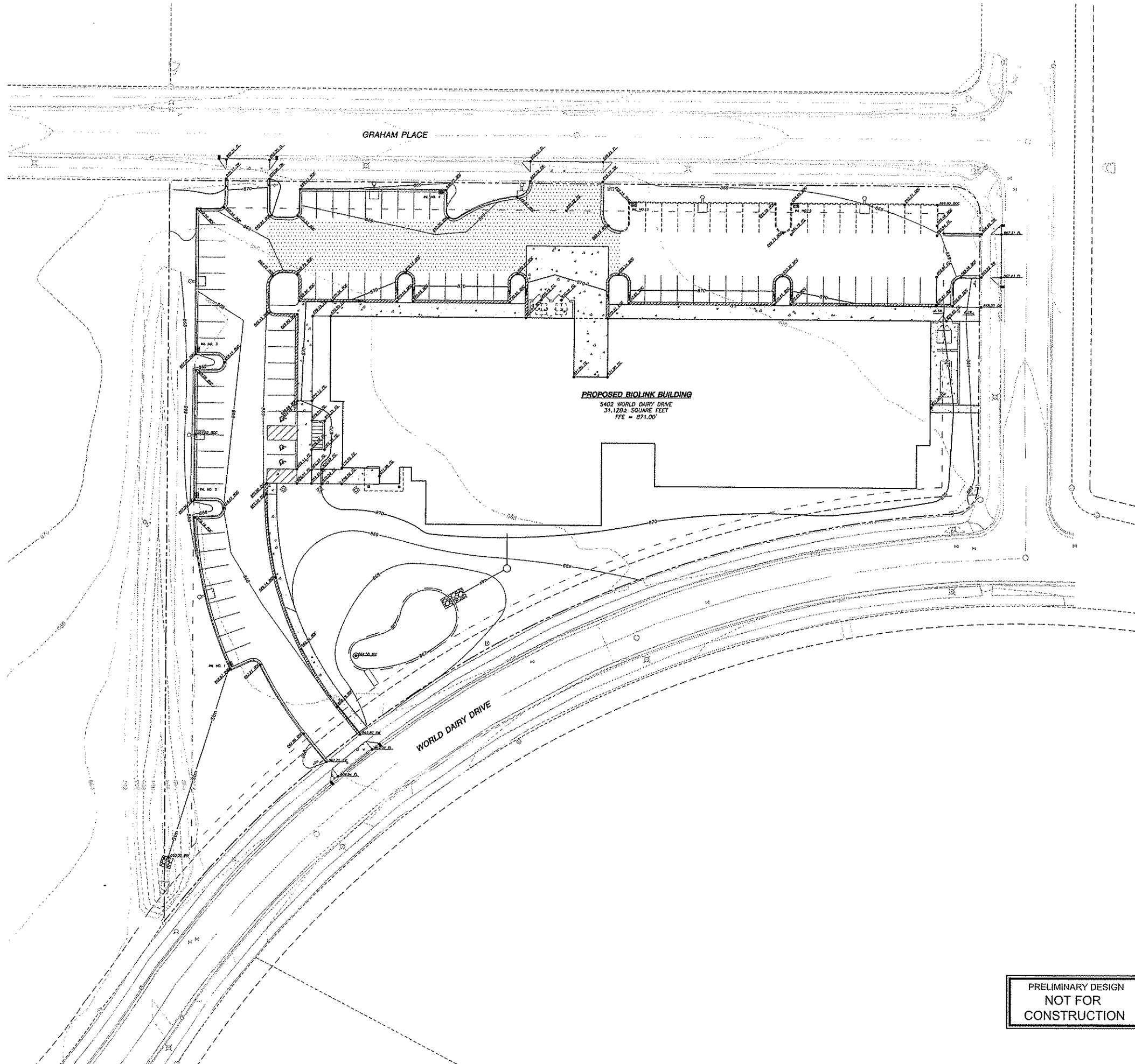
5402 WORLD DAIRY DRIVE  
MADISON, WI 53715

SHEET TITLE  
**GRADING, EROSION  
CONTROL, & UTILITY  
PLAN**

SHEET NO.  
**C200**

PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION





- LEGEND (PROPOSED)**
- PROPERTY LINE
  - - - - PROPOSED 1 FOOT CONTOUR
  - - - - PROPOSED 3 FOOT CONTOUR
  - - - - INFILTRATION/SWALE AREA
  - - - - STORM SEWER
  - - - - EDGE OF PAVEMENT
  - - - - SHOULDER
  - ==== 10" STANDARD CURB & GUTTER
  - ==== 16" REJECT CURB & GUTTER
  - /// ASPHALT PAVEMENT TYPE A
  - /// ASPHALT PAVEMENT TYPE B
  - CONCRETE PAVEMENT
  - SPOT ELEVATION
  - △ FL - FLOW LINE
  - SW - SIDEWALK
  - EQC - BACK OF CURB
  - FG - FINISHED GRADE

- GENERAL NOTES**
1. EXISTING CONDITIONS SURVEY PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY INFORMATION PRIOR TO CONSTRUCTION.
  2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
  4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
  5. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH WORK GENERAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
  6. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN ENFORCEMENT ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  7. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  8. REFER TO GEOTECHNICAL REPORT FOR FURTHER PAVEMENT INFORMATION.

- GRADING NOTES**
1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  2. NO GRADING OUTSIDE OF CONSTRUCTION LIMITS OR BEYOND SILT FENCE LOCATIONS.
  3. ALL HANDICAP PARKING AND ACCESS POINTS MUST COMPLY WITH ADA REQUIREMENTS.



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

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6411 KENNERL POINT ROAD  
MADISON, WI 53706-4356  
17, 608 276 8200  
17, 608 276 8204

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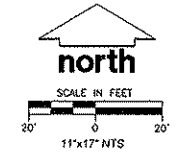
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AND BUSINESS  
CENTER**

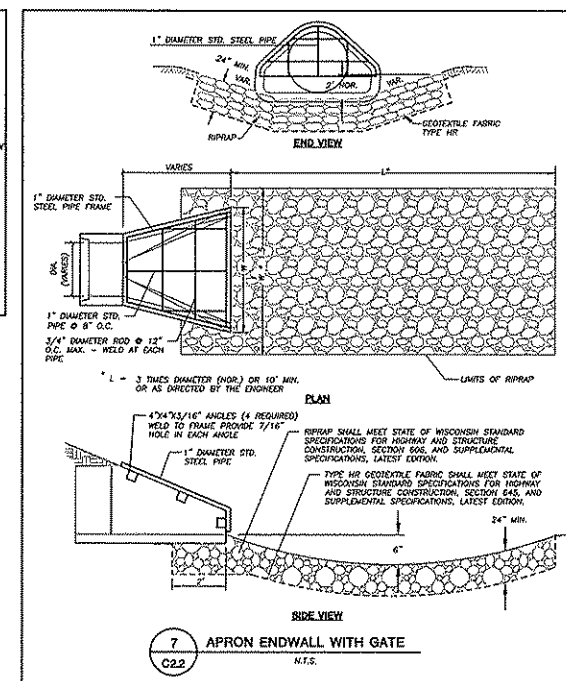
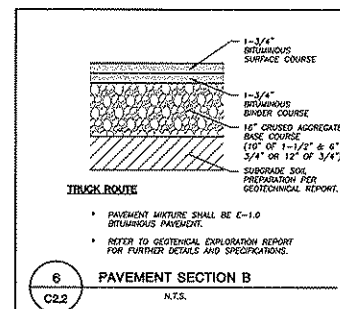
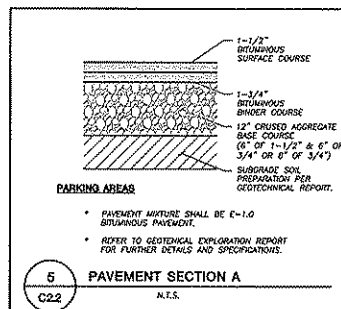
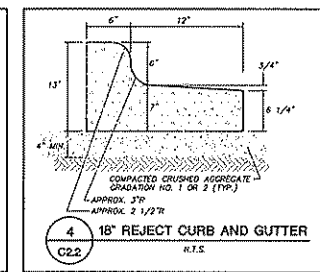
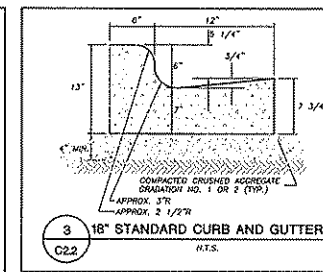
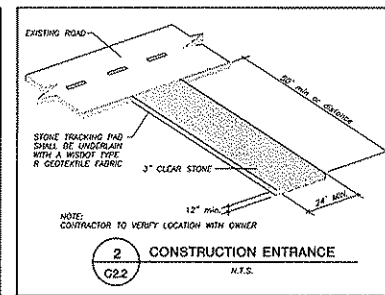
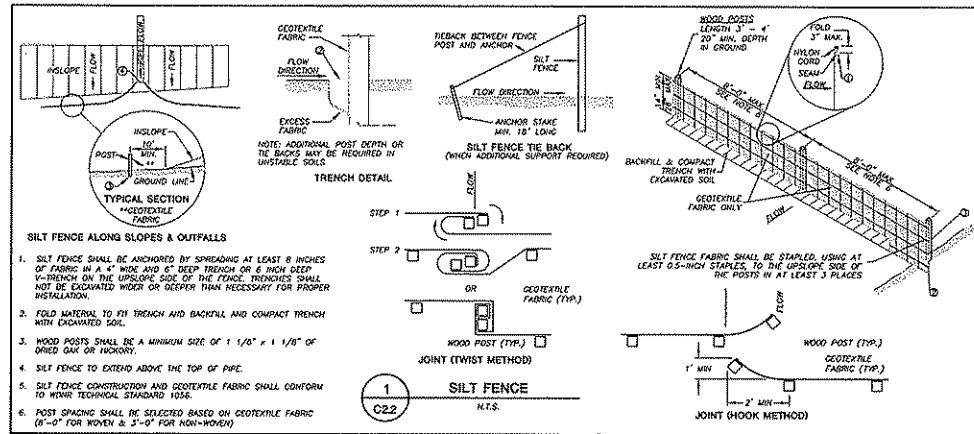
5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

SHEET TITLE  
**DETAILED GRADING  
PLAN**

SHEET NO.  
**C201**

PRELIMINARY DESIGN  
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ARCHITECTURE  
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STRANG LLC  
6411 MINERAL POINT ROAD  
MADISON, WI 53705-4395  
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760 276 5204

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MIDWEST BIOLINK  
COMMERCIALIZATION  
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CENTER

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

SHEET TITLE  
**DETAILS**

SHEET NO.  
**C202**

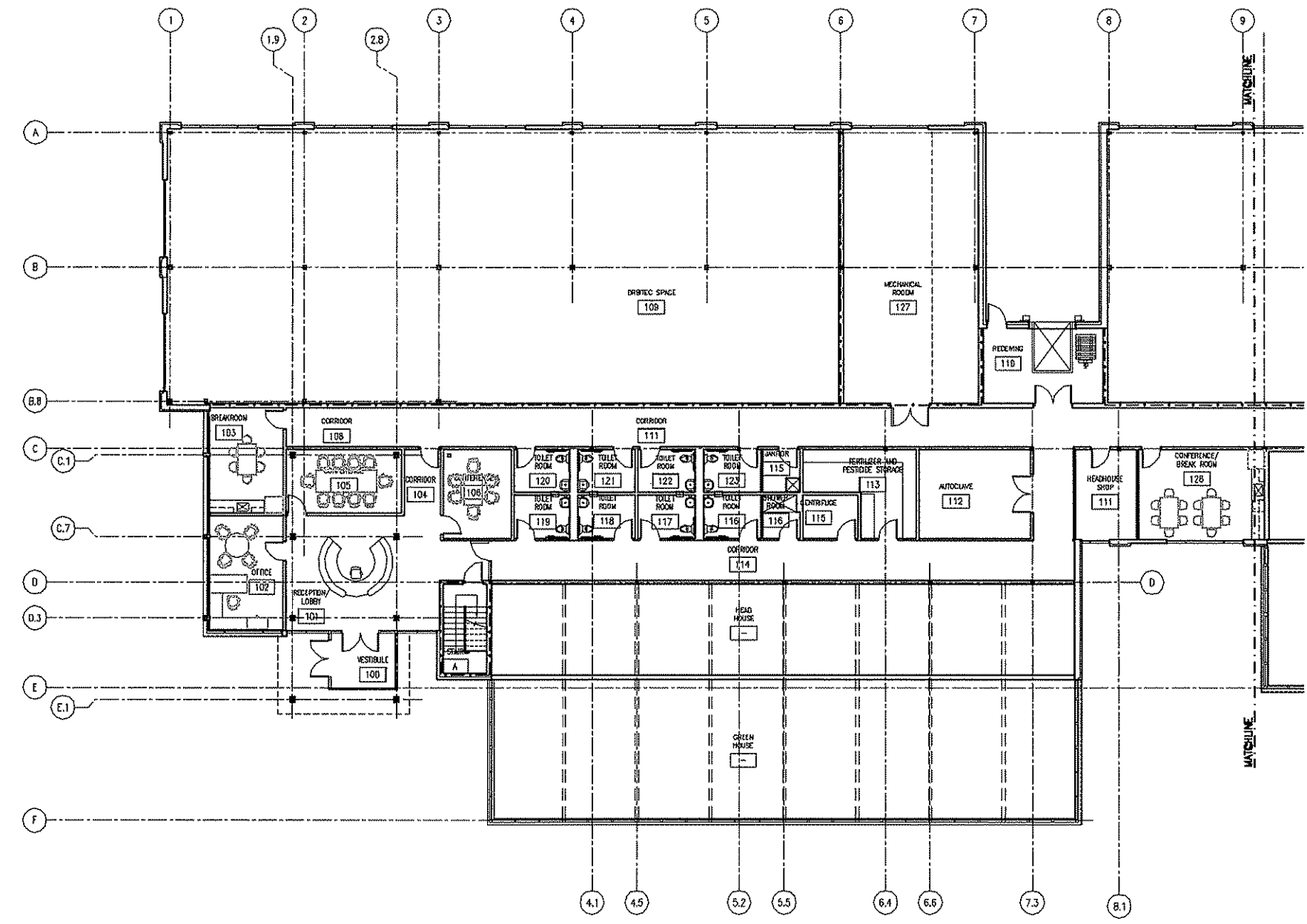
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STRANG, INC.  
5425 WISCONSIN POINT ROAD  
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1/260 278 9200  
F/260 278 9104



**PARTIAL FIRST FLOOR PLAN - WEST**  
SCALE: N.T.S.

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**MIDWEST BIOLINK  
COMMERCIALIZATION  
AND BUSINESS  
CENTER**

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

SHEET TITLE  
**PARTIAL FIRST  
FLOOR PLAN -  
WEST**

SHEET NO.  
**A201A**

PRELIMINARY DESIGN  
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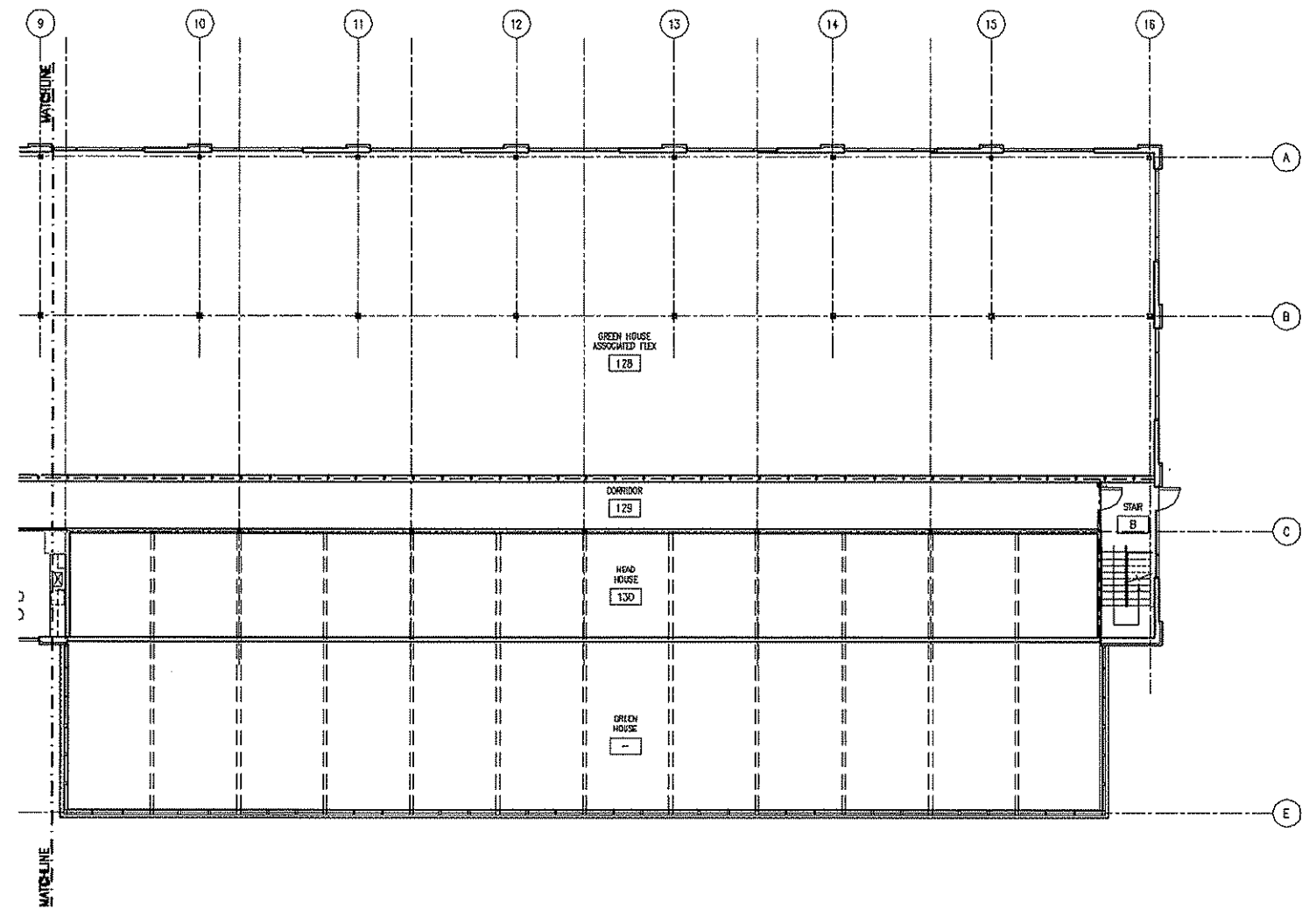
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STRANG INC.  
5422 WILSON ROAD  
MADISON, WI 53719-4204  
1/260 270 2000  
1/260 270 2004



1 PARTIAL FIRST FLOOR PLAN - EAST  
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PROJECT TITLE	

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CENTER

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
PARTIAL FIRST  
FLOOR PLAN -  
EAST

SHEET NO.  
A201B

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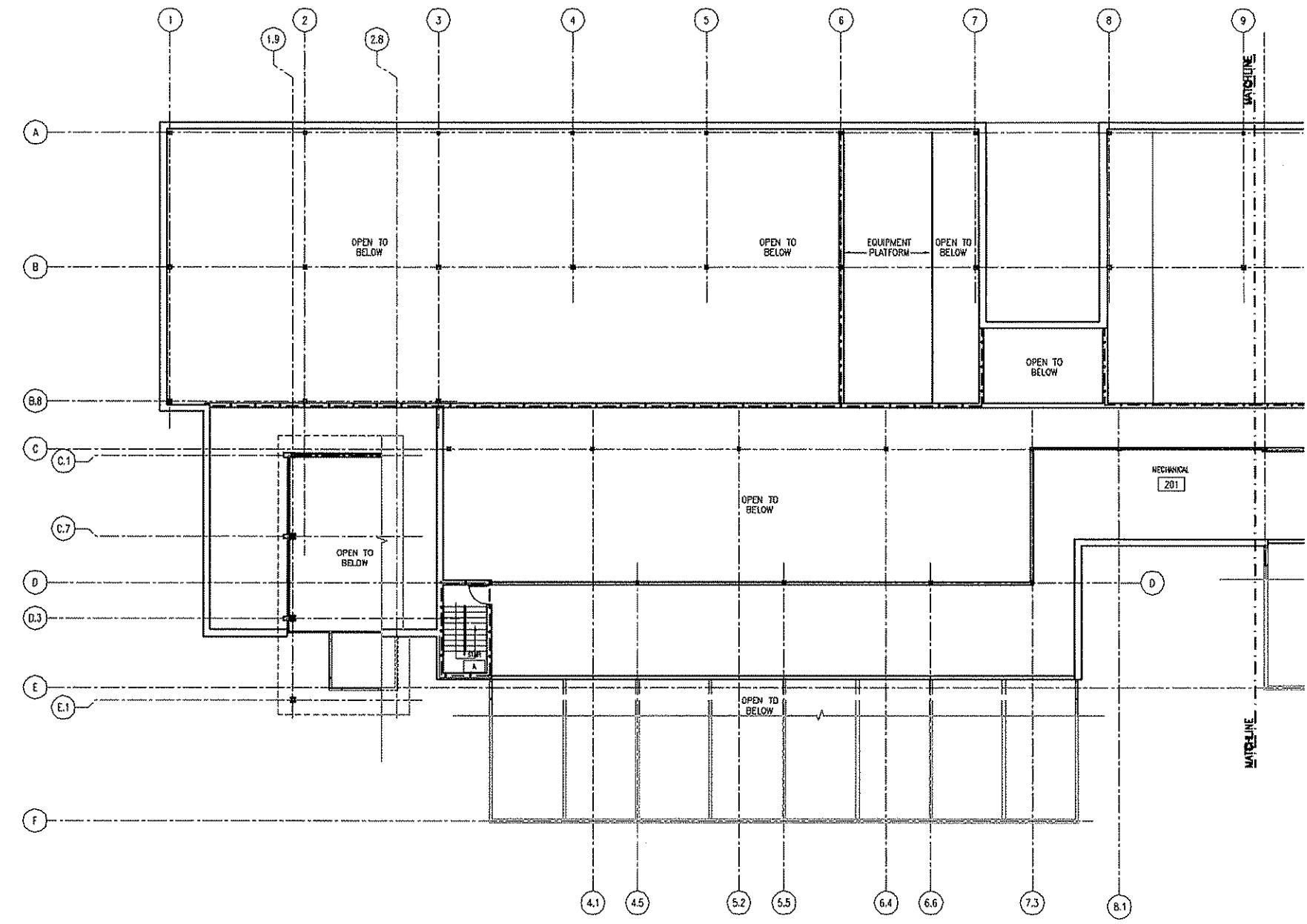
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**1** PARTIAL SECOND FLOOR PLAN - WEST  
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AND BUSINESS  
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PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
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WEST  
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**A202A**

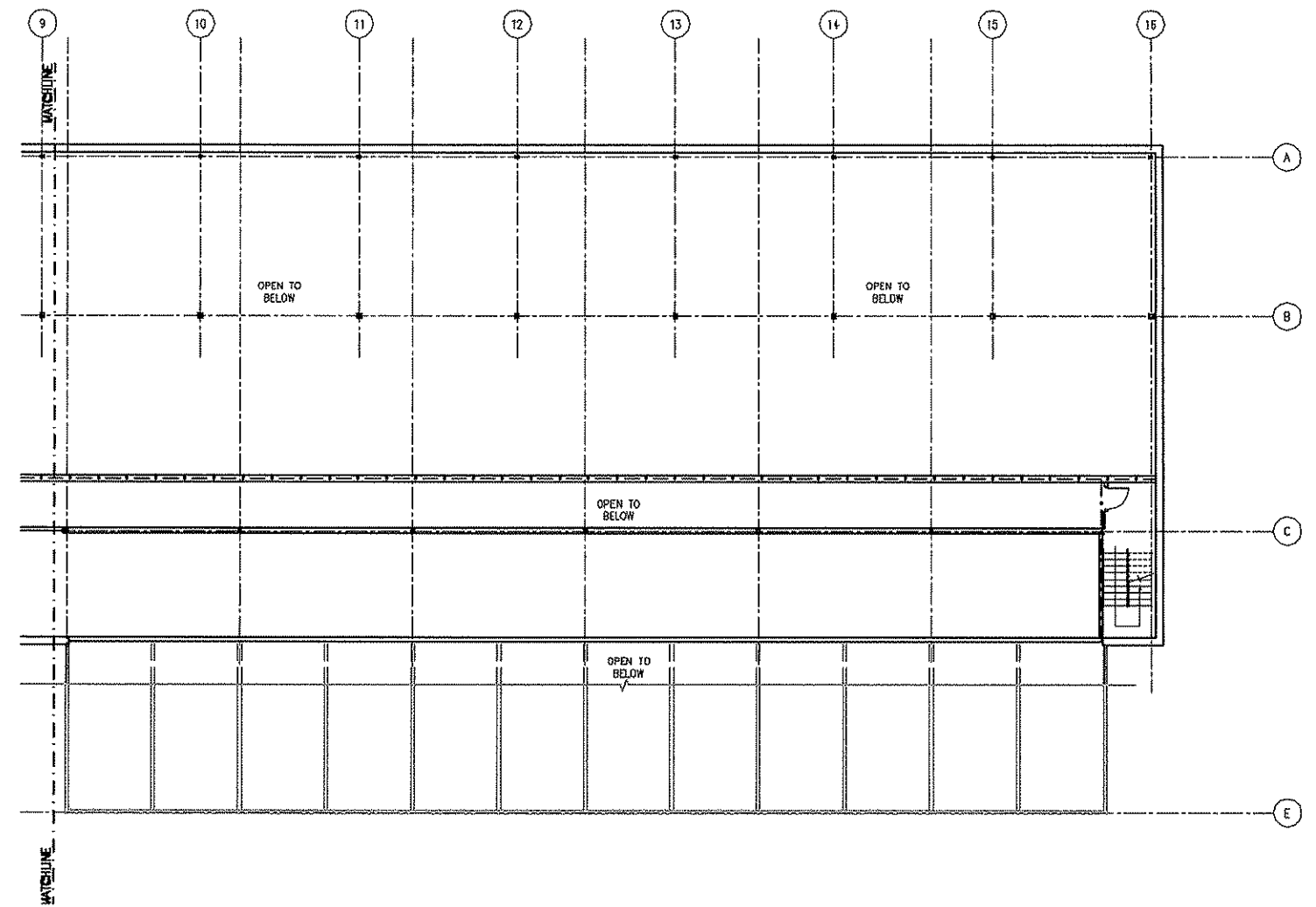
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ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

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5811 WINDMILL POINT ROAD  
MADISON, WI 53705-4286  
1/2008 278 9000  
67 500 278 7254



1 PARTIAL SECOND FLOOR PLAN - EAST  
SCALE: N.T.S.

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FILE NAME	200804282006
REVISIONS	
DRAWN	#00
CHECKED	#00
DATE	01-05-11
PROJECT NO.	2009064
PROJECT TITLE	

MIDWEST BIOLINK  
COMMERCIALIZATION  
AND BUSINESS  
CENTER

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
PARTIAL SECOND  
FLOOR PLAN -  
EAST

SHEET NO.  
A202B

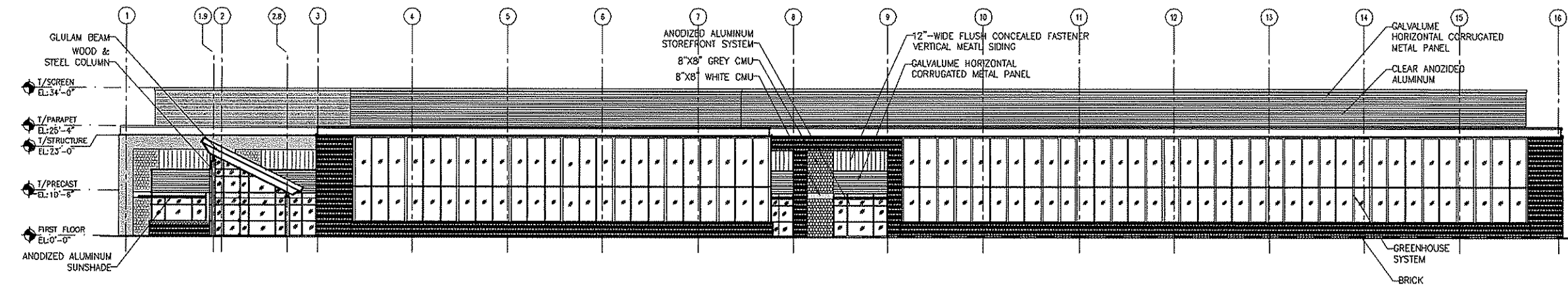
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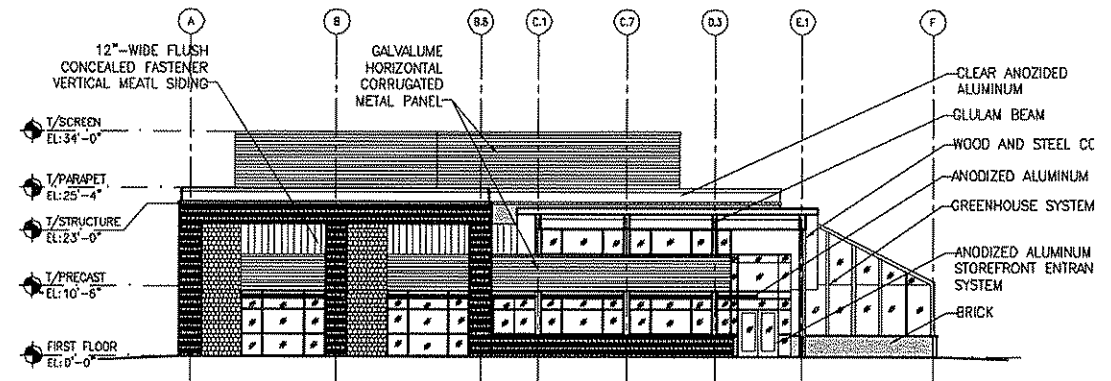


ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

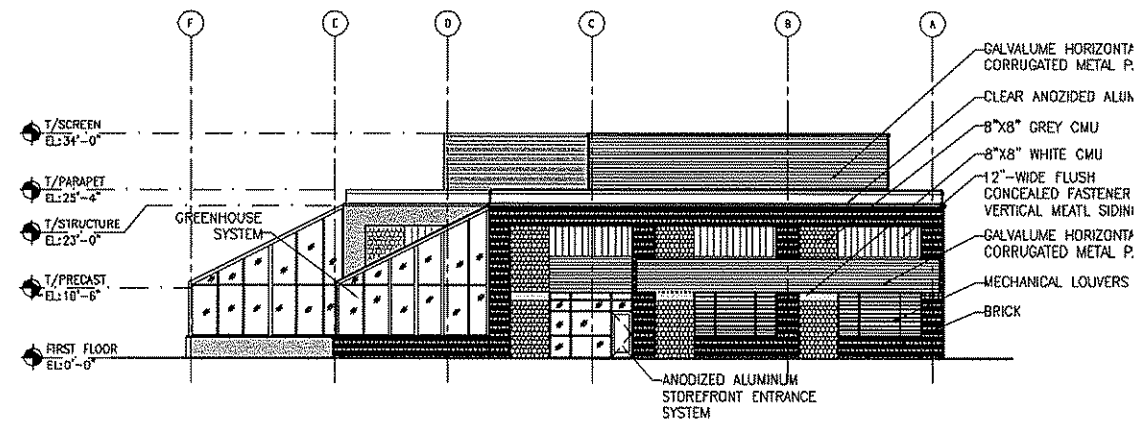
STRANG INC.  
8412 WISCONSIN PIKE ROAD  
MADISON, WI 53715-4395  
TEL: 608 778 9200  
FAX: 608 778 9204



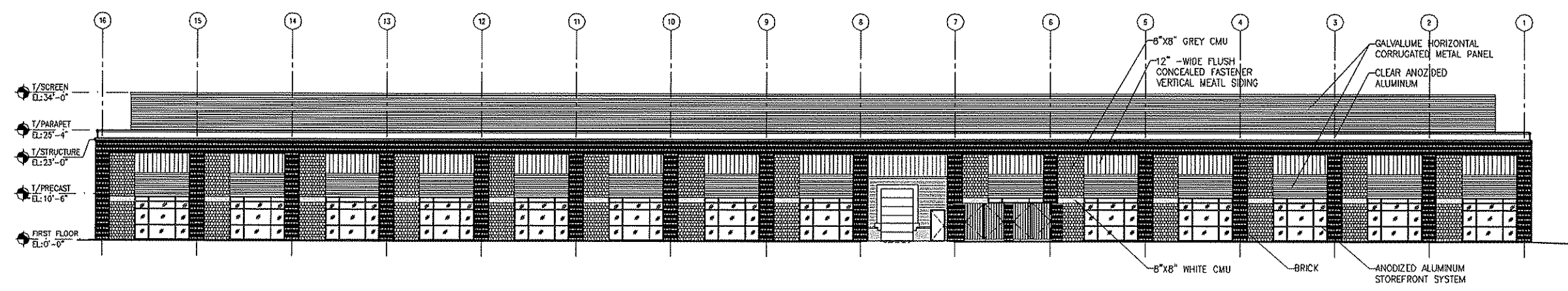
1 SOUTH ELEVATION  
SCALE: 1/8\"/>



2 WEST ELEVATION  
SCALE: N.T.S.



3 EAST ELEVATION  
SCALE: N.T.S.



4 NORTH ELEVATION  
SCALE: N.T.S.

PRELIMINARY DESIGN  
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FILE NAME	20090414101 EDP010
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DRAWN	RFW
CHECKED	RFW
DATE	01-05-11
PROJECT NO.	2009054
PROJECT TITLE	

MIDWEST BIOLINK  
COMMERCIALIZATION  
AND BUSINESS  
CENTER

5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

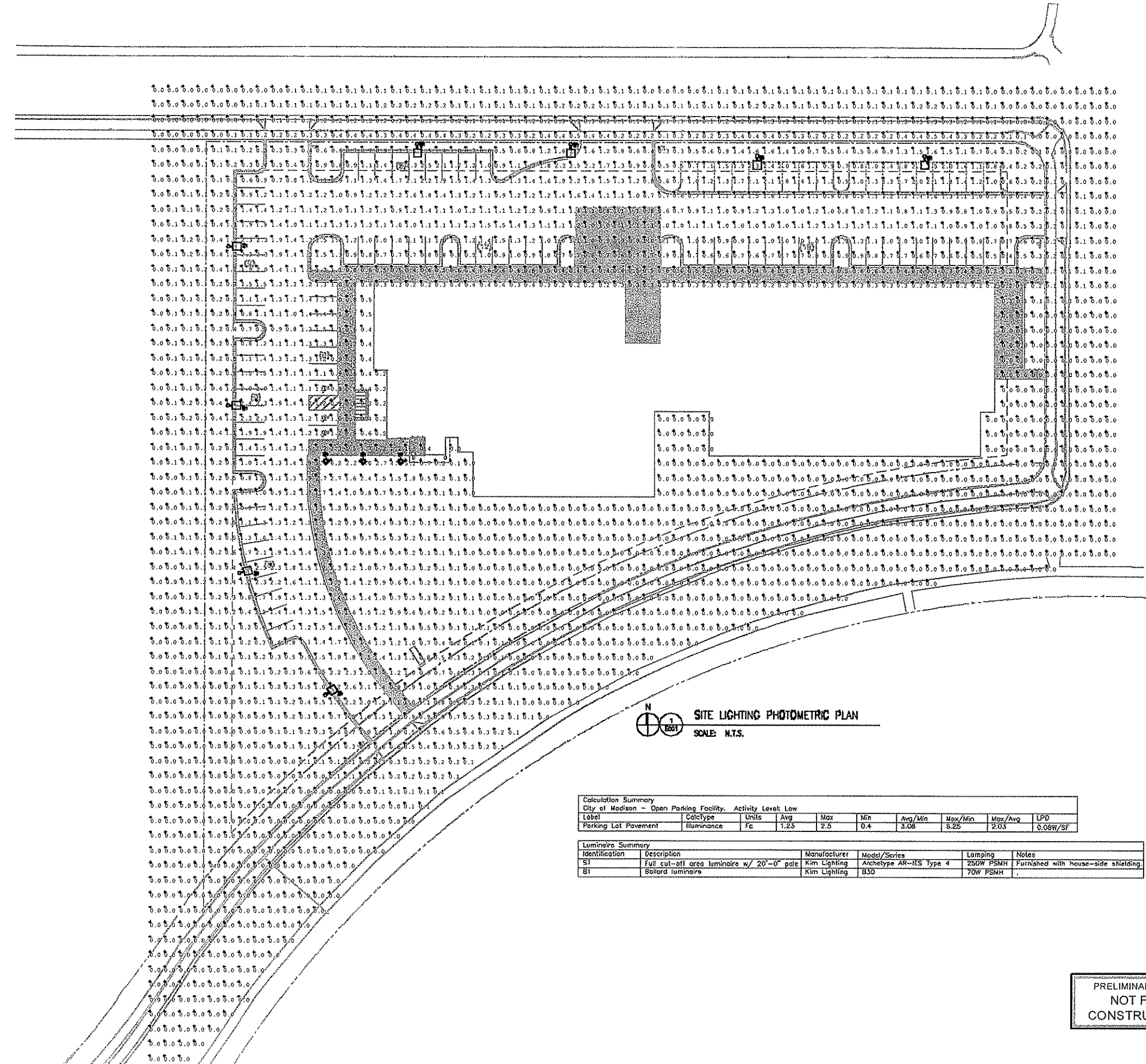
SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NO.  
A401



ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN

STRANG INC.  
5442 WORLD DAIRY DRIVE  
MADISON, WI 53719-4394  
1/ 608 278 8200  
F/ 608 278 1004



**SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: N.T.S.

Calculation Summary									
City of Madison - Open Parking Facility, Activity Level: Low									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	LPD
Parking Lot Pavement	Illuminance	Fc	1.23	2.5	0.4	3.06	5.25	2.03	0.08W/SF

Luminaire Summary					
Identification	Description	Manufacturer	Model/Series	Lamping	Notes
S1	Full cut-off area luminaire w/ 20'-0" pole	Kim Lighting	Archetype AR-IES Type 4	250W PSMH	Furnished with house-side shielding.
B1	Bollard luminaire	Kim Lighting	B30	70W PSMH	

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FILE NAME	200904.E0000
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DRAWN	BB
CHECKED	BB
DATE	01-05-11
PROJECT NO.	200904
PROJECT TITLE	

**MIDWEST BIOLINK  
COMMERCIALIZATION  
AND BUSINESS  
CENTER**  
5402 WORLD DAIRY DRIVE  
MADISON, WI 53716

PRELIMINARY DESIGN  
NOT FOR  
CONSTRUCTION

SHEET TITLE  
**SITE LIGHTING  
PHOTOMETRIC PLAN**

SHEET NO.  
**E001**

CONSTRUCTION 200904.E0000