

D'ONFRID NOTTKE AND ASSOCIATES, INC.
 7530 Westwood Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

EXISTING TOPOGRAPHY

PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 613

CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE: 1" = 30'
 (PAGE SIZE: 11x17)

DATE: 02-27-23
 REVISED: 05-08-23

DRAWN BY: JMS

FN: 23-05-104

Sheet Number:
 C100

GENERAL NOTES






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7. LOTS/BUILDINGS WITHIN THIS DEVELOPMENT ARE SUBJECT TO IMPACT FEES THAT ARE DUE AND PAYABLE AT THE TIME BUILDING PERMIT(S) ARE ISSUED.
8. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION CORNER.

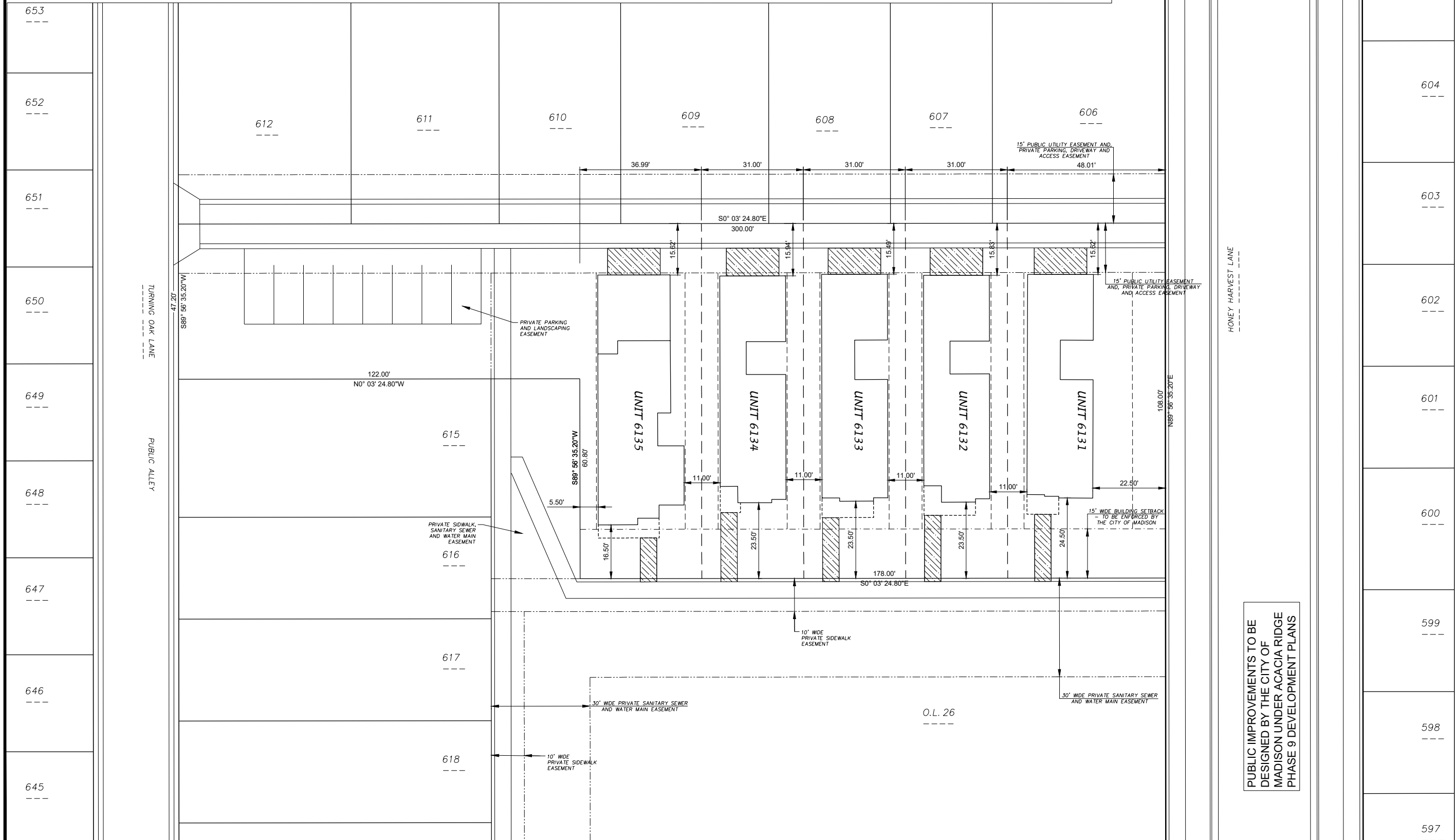
ZONING AND SETBACKS

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LEGEND

-  PROPOSED CONCRETE
-  PROJECT BOUNDARY
-  LOT LINE
-  EASEMENT LINE
-  SETBACK LINE



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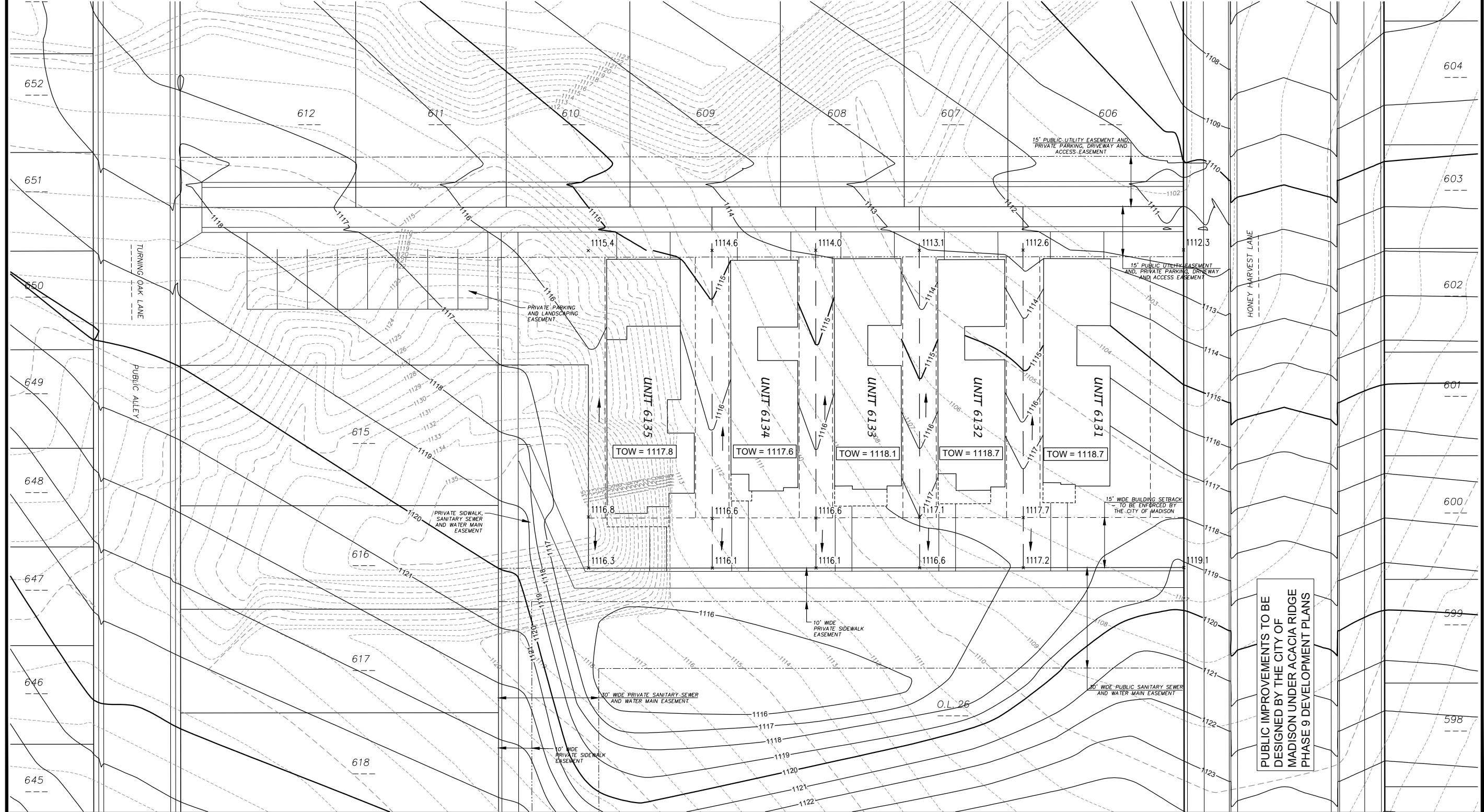
GRADING & EROSION CONTROL NOTES

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- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
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- INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. CONTRACTOR SHALL REMOVE THE TYPE D INLET PROTECTION DURING THE TIME PERIOD BETWEEN NOV. 15 AND MARCH 15, AND INSTALL A FRAME TYPE INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT.

- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1
- SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
- ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
- ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
- PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
- GROUNDWATER DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION ACTIVITIES. SHOULD DEWATERING BECOME NECESSARY, AN APPROPRIATE DEWATERING SYSTEM AND IMPLEMENTATION PLAN SHALL BE PREPARED AND SUBMITTED TO CITY ENGINEERING PRIOR TO A QUALIFIED CONTRACTOR BEGINNING DEWATERING OPERATIONS.

LEGEND

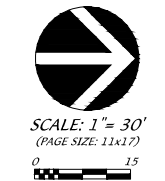
-----	BUILDING ENVELOPE
- - - - -	EASEMENT
x 900.0	FINAL LOT LINE ELEVATION TO BE MET w/RESTORATION OF HOMESITE
TOW = 967.5	TOP OF FOUNDATION WALL ELEV
←	DRAINAGE ARROW



PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS

**PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 613**

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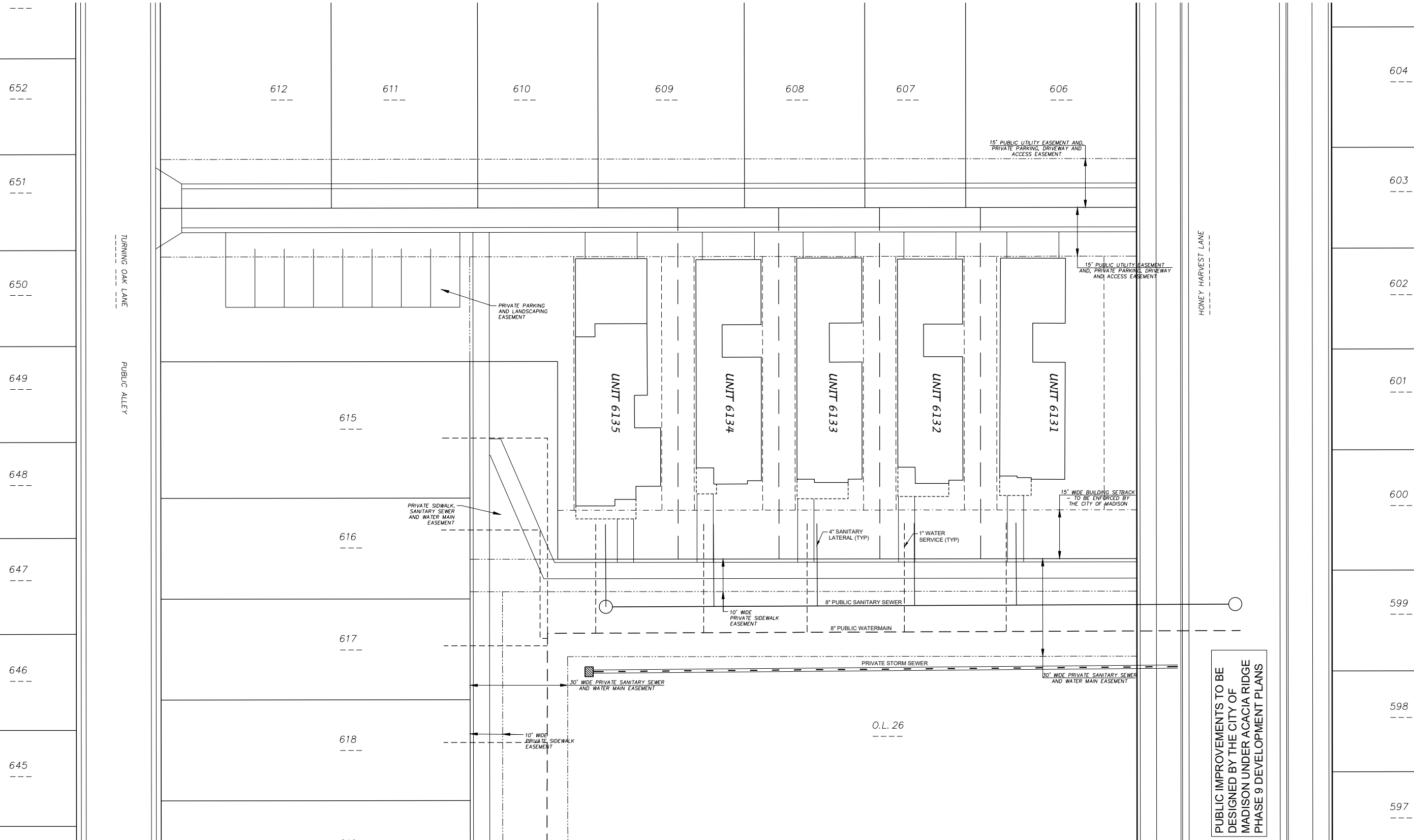
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C300

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. WATER MAIN TO BE 4" C900 WITH 1" POLY SERVICE LINES.
6. FLUSH TYPE HYDRANTS TO BE MUELLER® 2-1/8" FLUSH TYPE FIRE HYDRANT WITH 6.5' BURY.
7. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
8. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
9. INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE UNLESS OTHERWISE NOTED.
10. STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID UNLESS OTHERWISE NOTED.
11. STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12 UNLESS OTHERWISE NOTED..
12. ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.
13. SEWER AND WATER LATERAL LENGTHS SHOWN INTO BUILDINGS INCLUDE A 5 FEET EXTENSION BEYOND OUTSIDE FOUNDATION WALL

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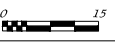
- STORM SEWER
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PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS

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UTILITY PLAN
PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 613
 CITY OF MADISON, DANE COUNTY, WISCONSIN


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 ACACIA RIDGE - LOT 614**

CITY OF MADISON, DANE COUNTY, WISCONSIN



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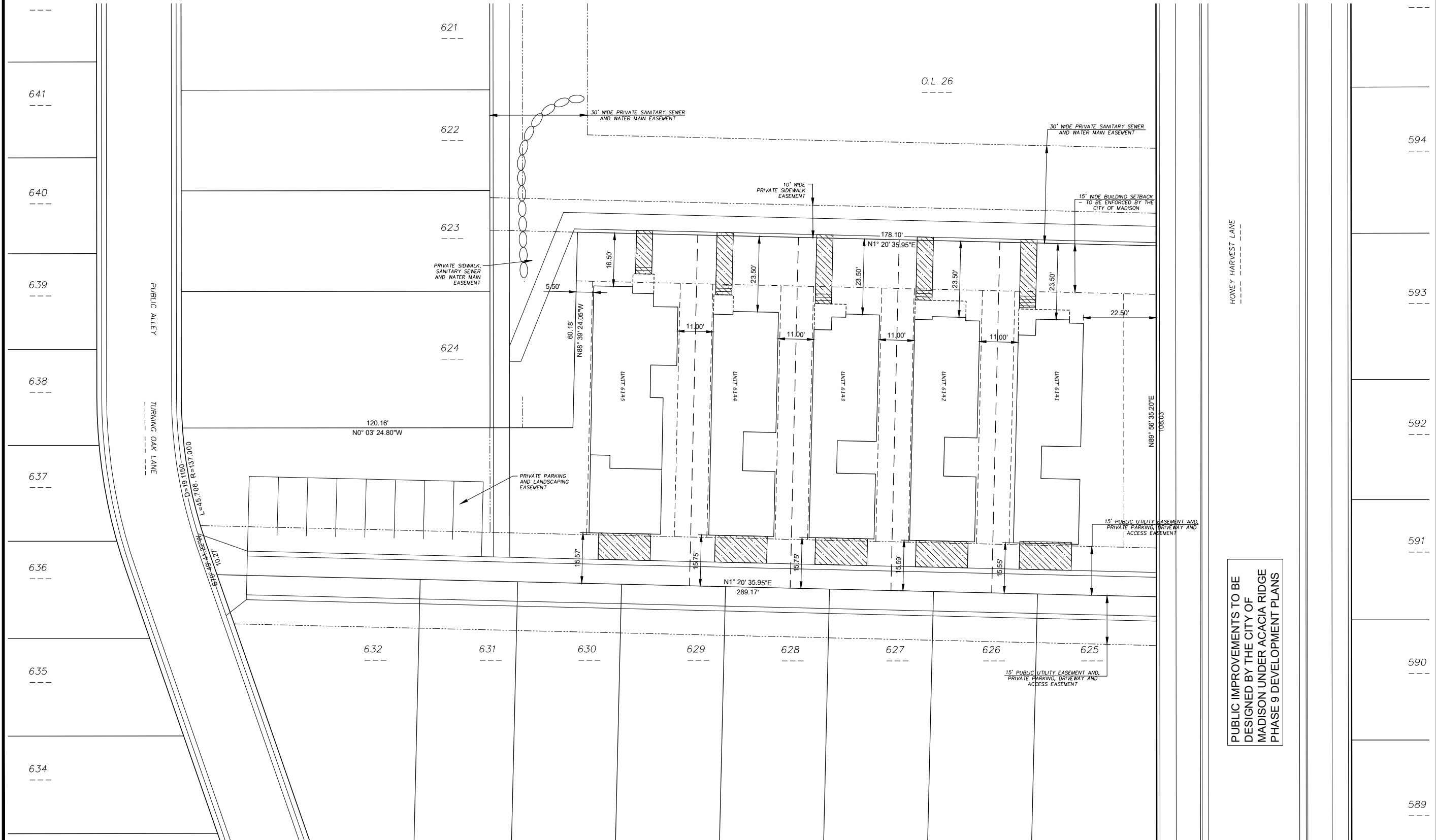
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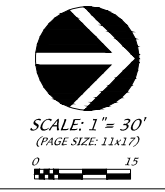
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SITE PLAN
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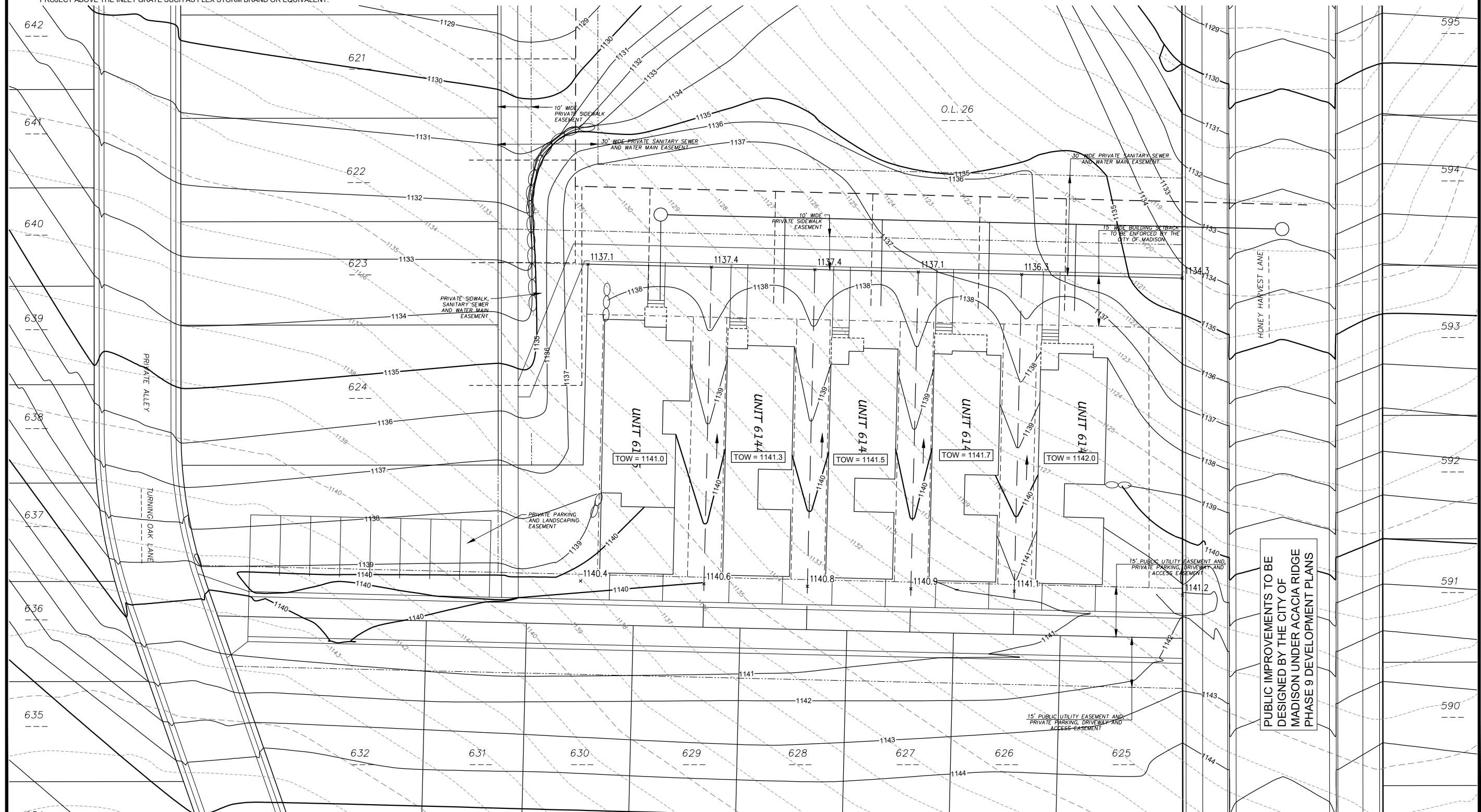
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LEGEND

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- EASEMENT
- x 900.0 FINAL LOT LINE ELEVATION TO BE MET w/RESTORATION OF HOMESITE
- TOW = 967.5 TOP OF FOUNDATION WALL ELEV
- ← DRAINAGE ARROW



PUBLIC IMPROVEMENTS TO BE DESIGNED BY THE CITY OF MADISON UNDER ACACIA RIDGE PHASE 9 DEVELOPMENT PLANS

GRADING PLAN

**PLANNED RESIDENTIAL DEVELOPMENT
ACACIA RIDGE - LOT 614**

CITY OF MADISON, DANE COUNTY, WISCONSIN



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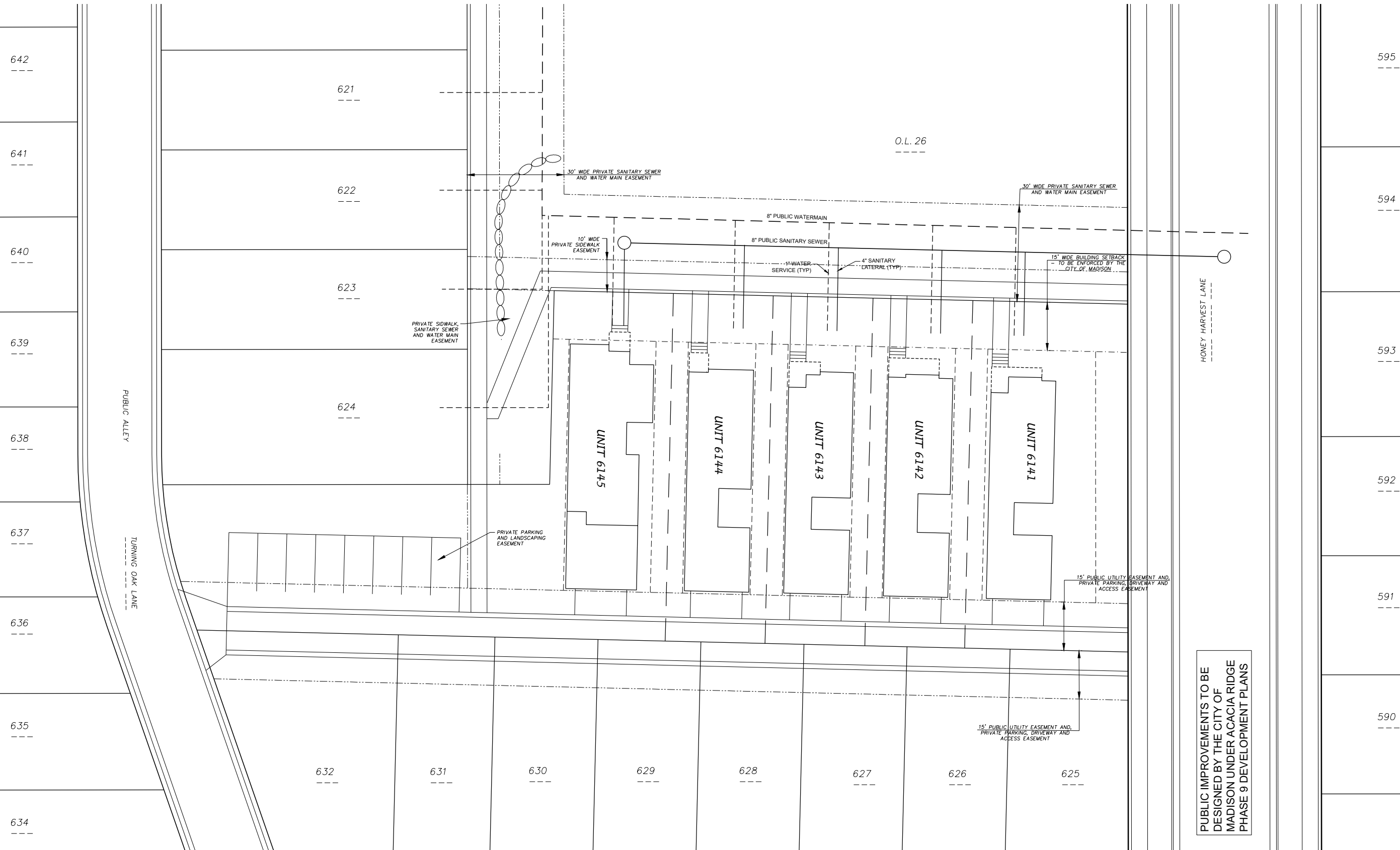
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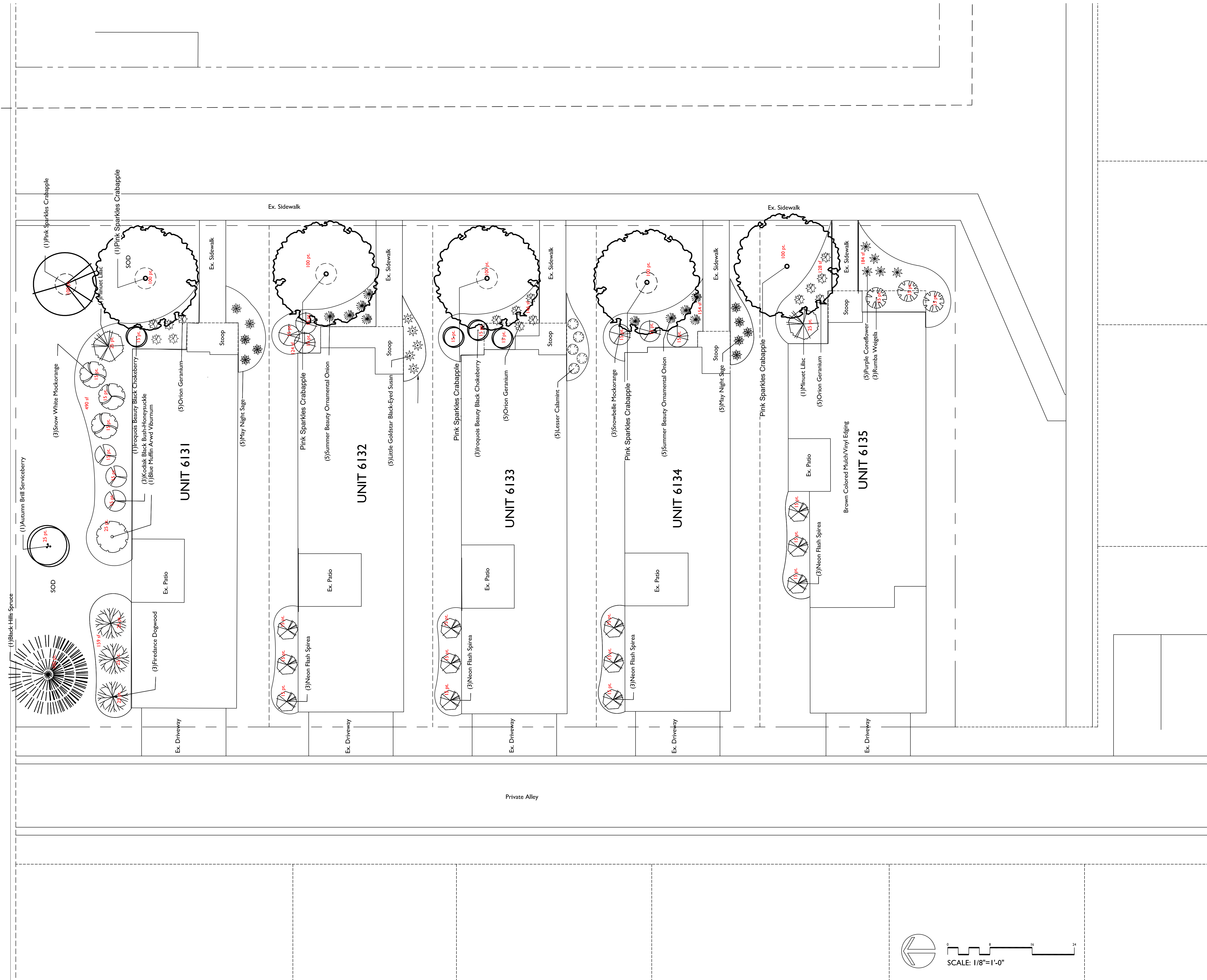
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HONEY HARVEST LANE



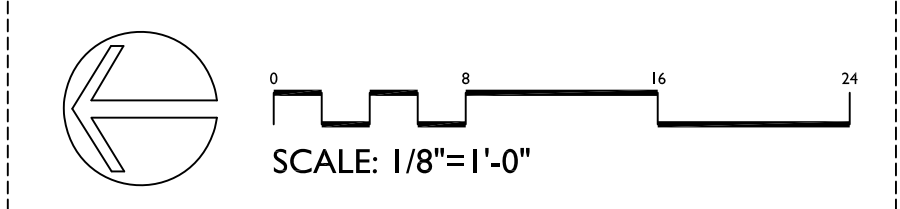
ACACIA RIDGE CONDOS
 Street Address
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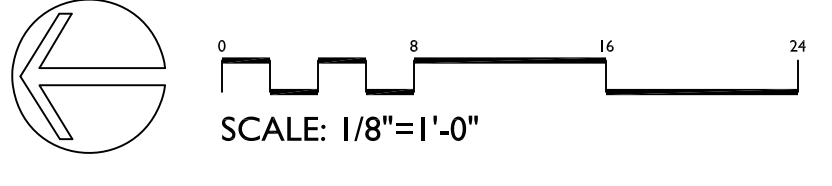
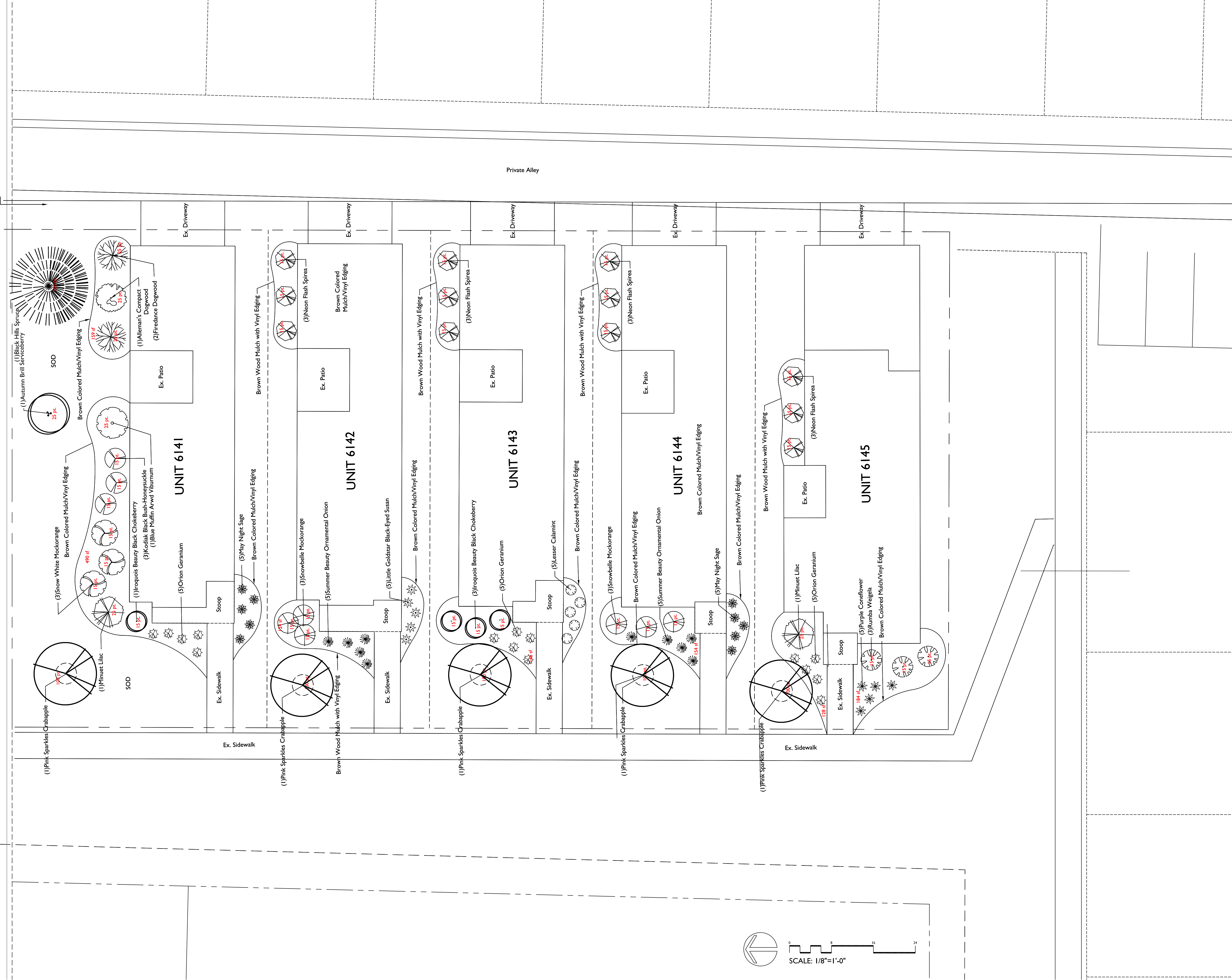
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 Drawn By: CP
 02-23-23

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L1

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ACACIA RIDGE CONDOS
 Street Address
 Madison, WI 00000

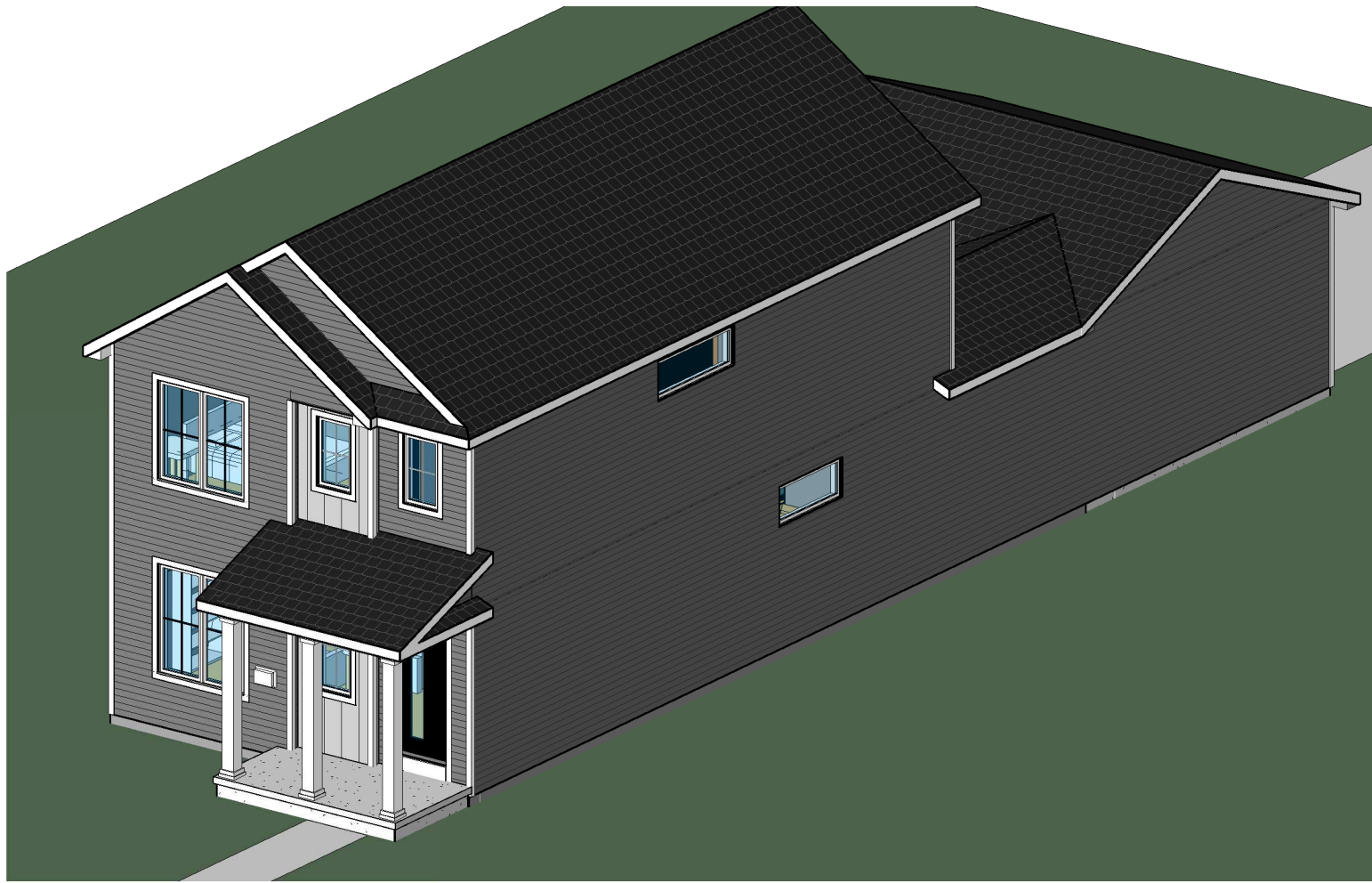
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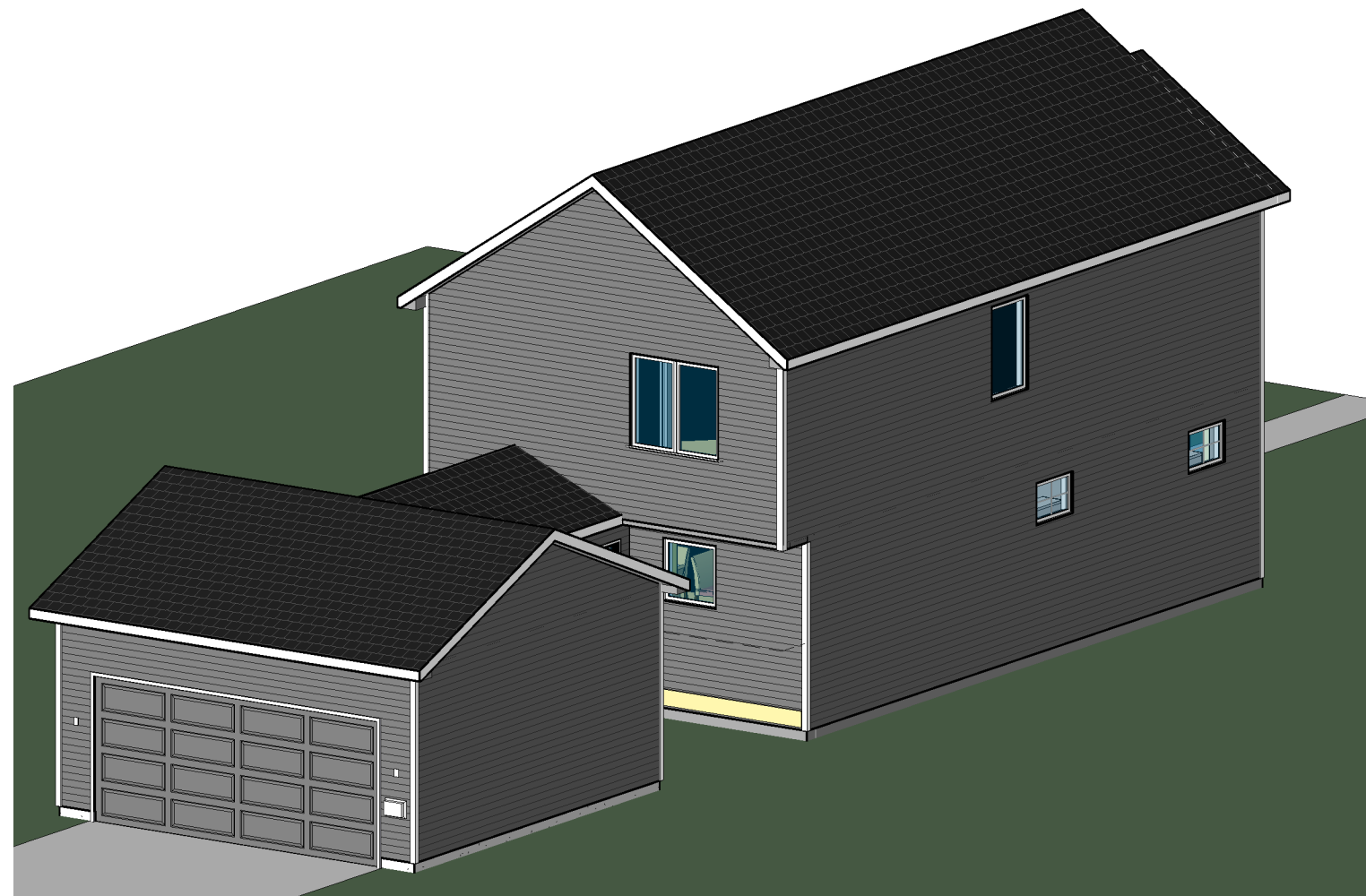
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Unit 6131



3D - Modern G



3D - Modern G Rear

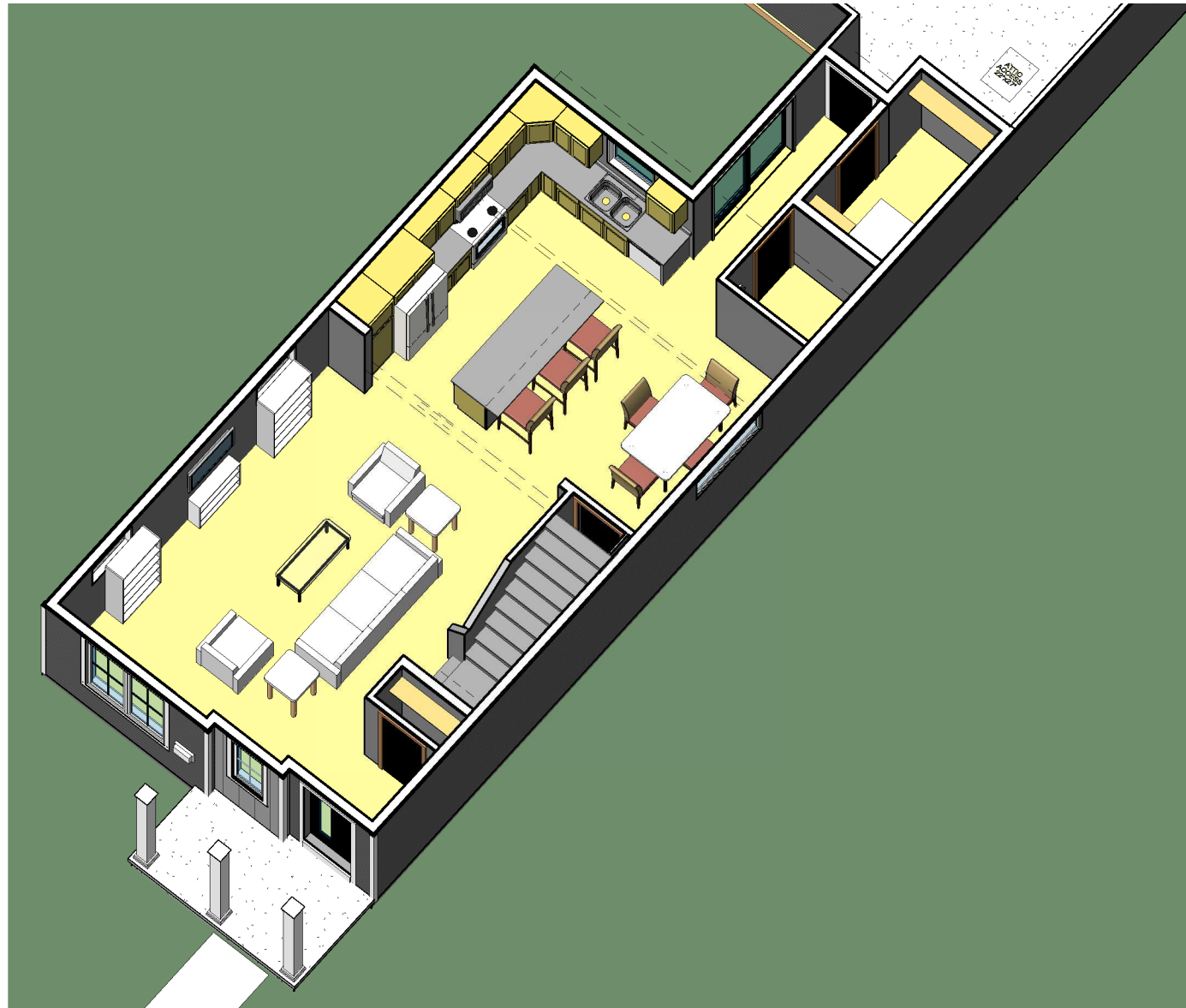
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

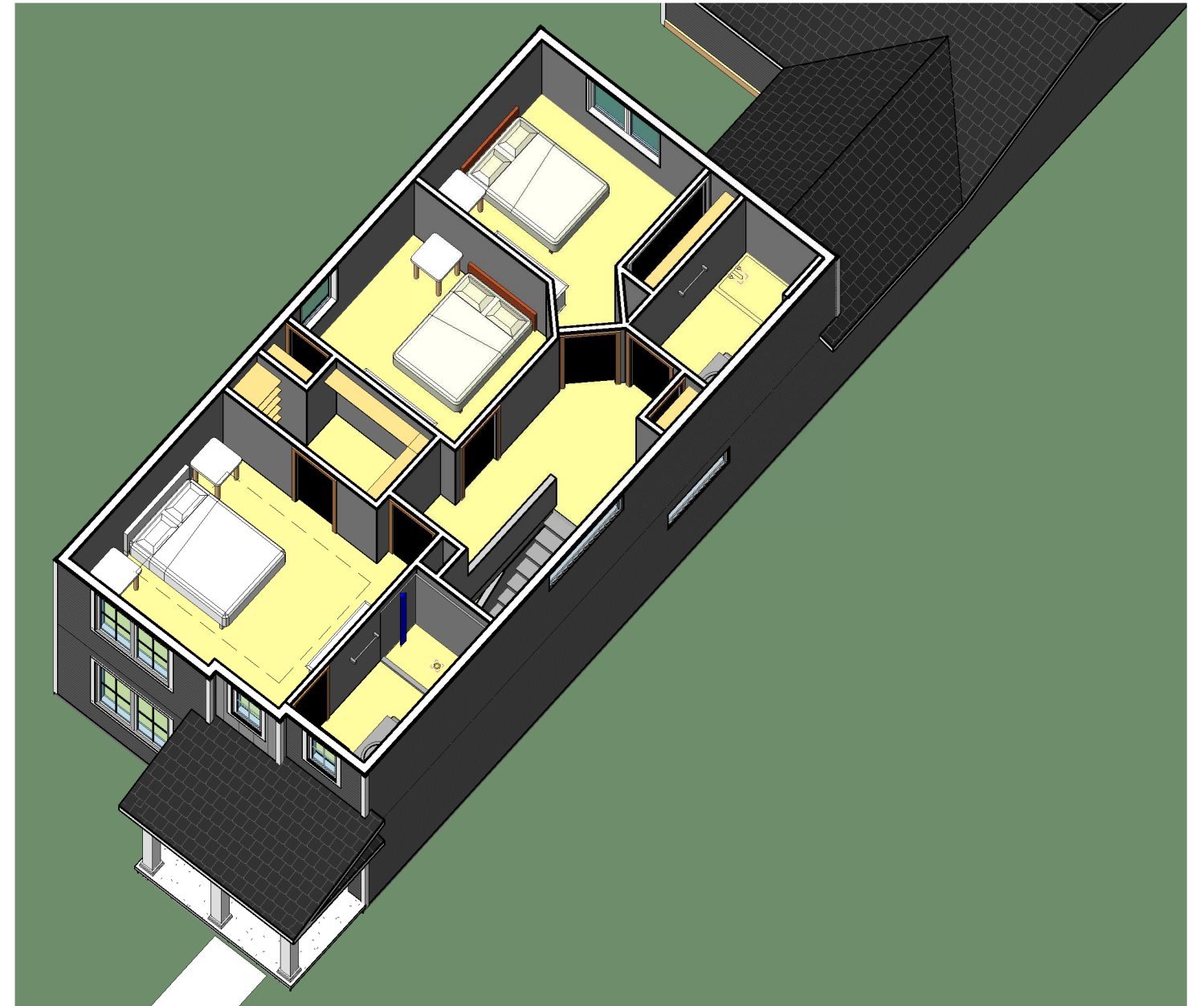
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			Drawn By: Author Date: Issue Date
			Revisions:


**VERIDIAN
HOMES**
 6801 South Towne Drive
 Madison, WI 53713
 Phone 608.226.3100
 Fax 608.226.0600

Custom Designed For:	Owner
Homesite / Neighborhood:	Project Number
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3D - Modern G First Floor



3D - Modern G Second Floor

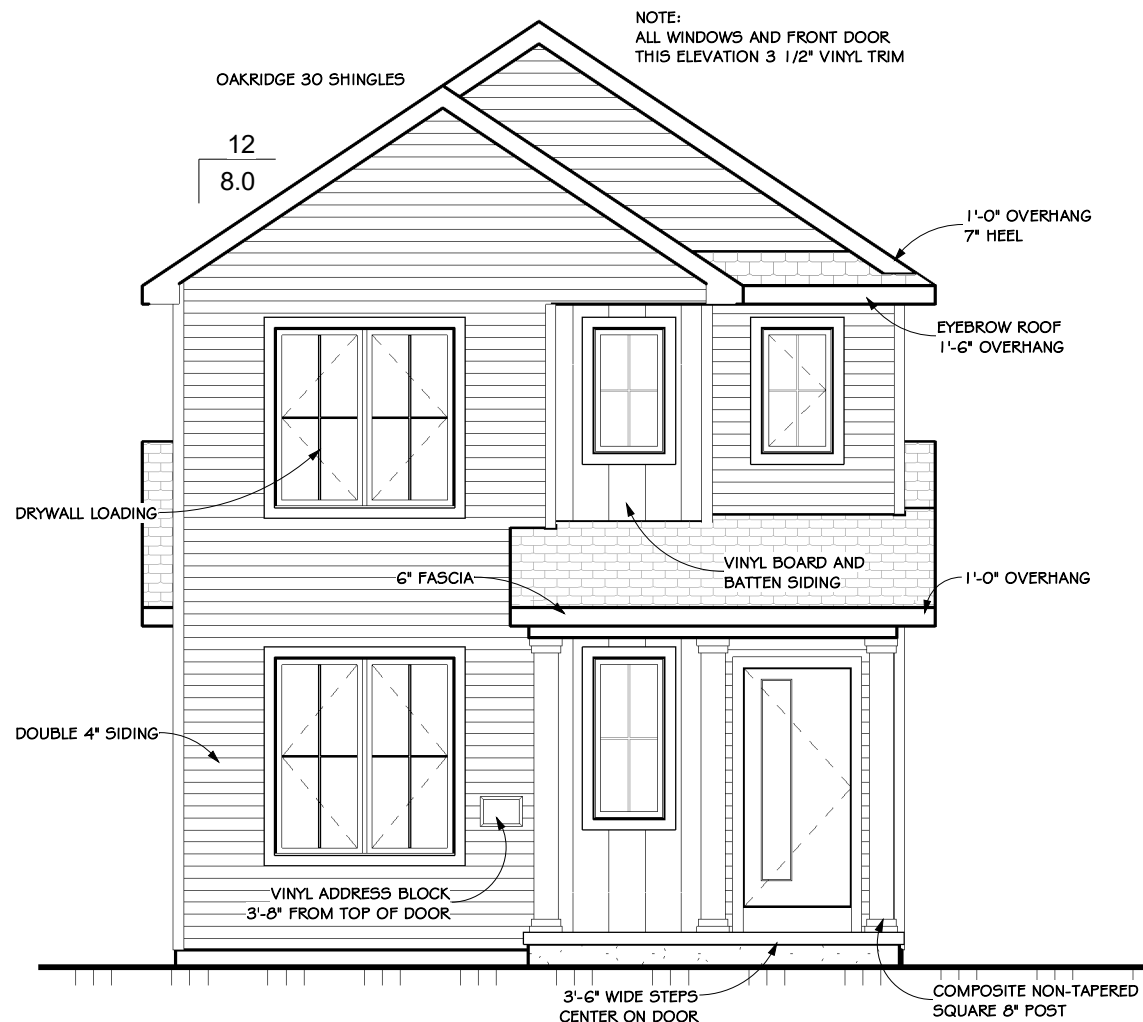
Note: All dimensions are stud to stud **Do Not Scale**

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		Drawn By: Author Date: Issue Date
		Revisions:

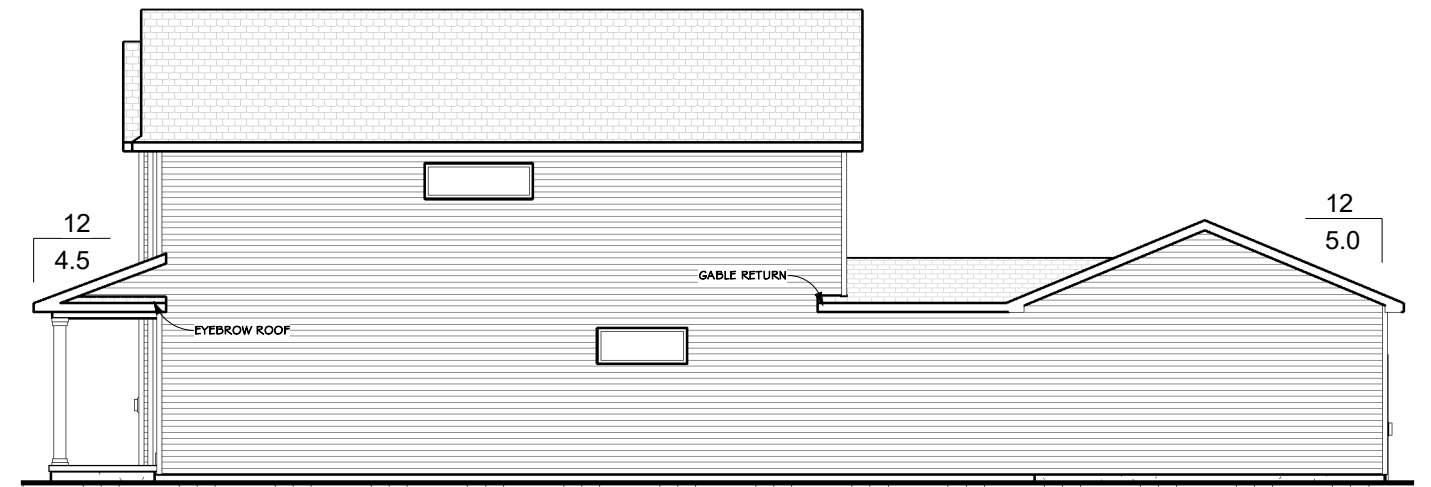

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



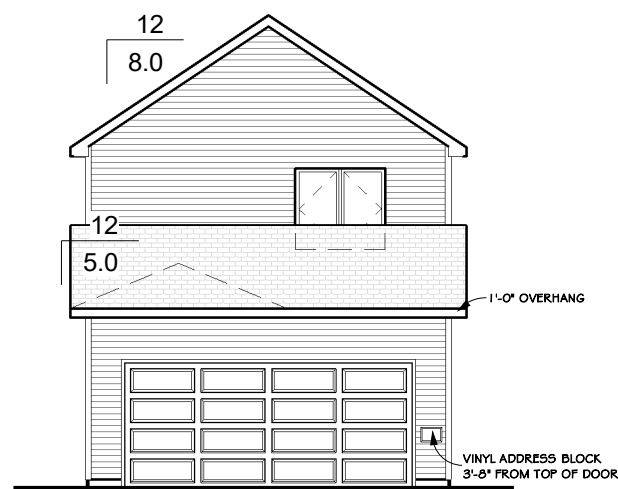
Front Elevation - Modern G
3/16" = 1'-0"



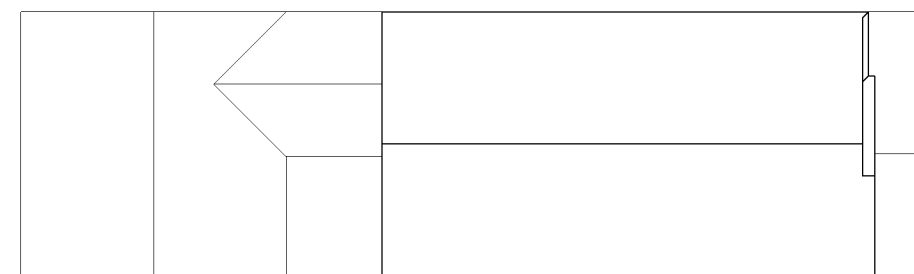
Right Elevation - Modern G
3/32" = 1'-0"



Left Elevation - Modern G
3/32" = 1'-0"



Rear Elevation - Modern G
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION 3 1/2" VINYL TRIM

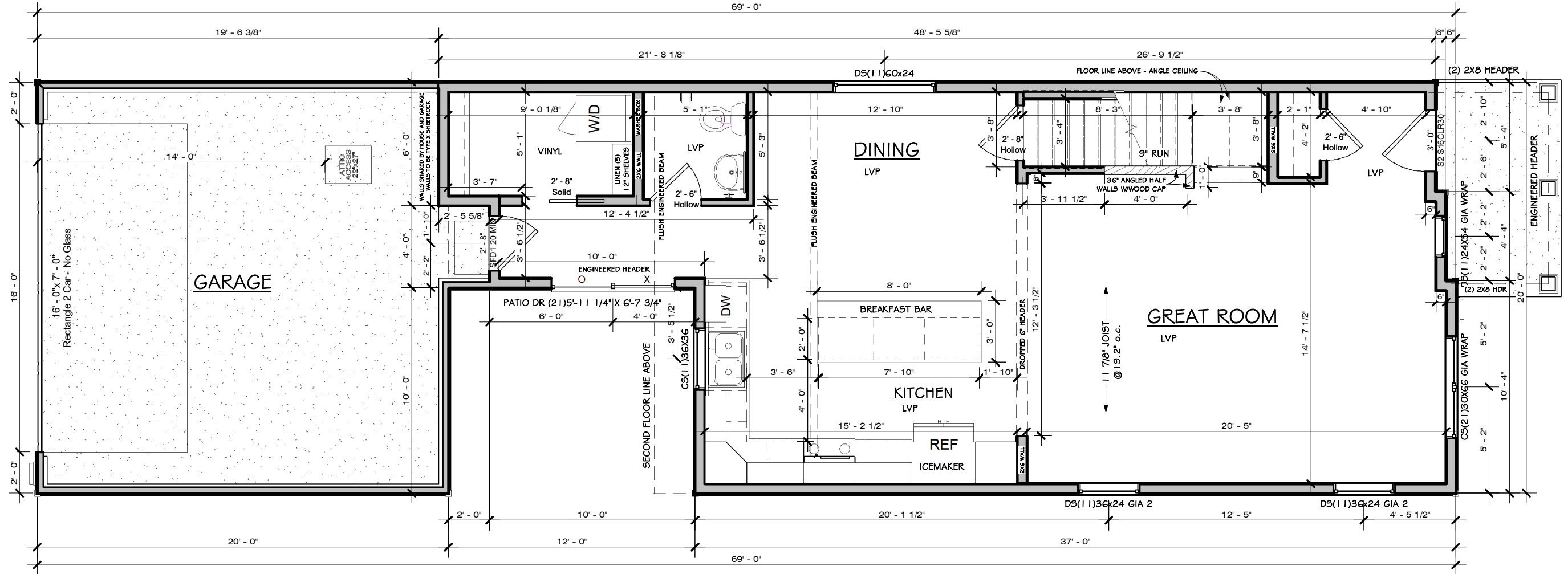
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Drawing No. G2	Print Date	Model: Gramercy
	2/20/2023 4:53:02 PM	Elevation: Modern G
	Drawn By: Author	Date: Issue Date
	Revisions:	

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NOTE:
 9' FIRST FLOOR CEILING NOT AVAILABLE
 NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern G)	
Name	Area
First Floor	847 SF
Second Floor	773 SF
	1620 SF

First Floor - Modern G
 3/16" = 1'-0"

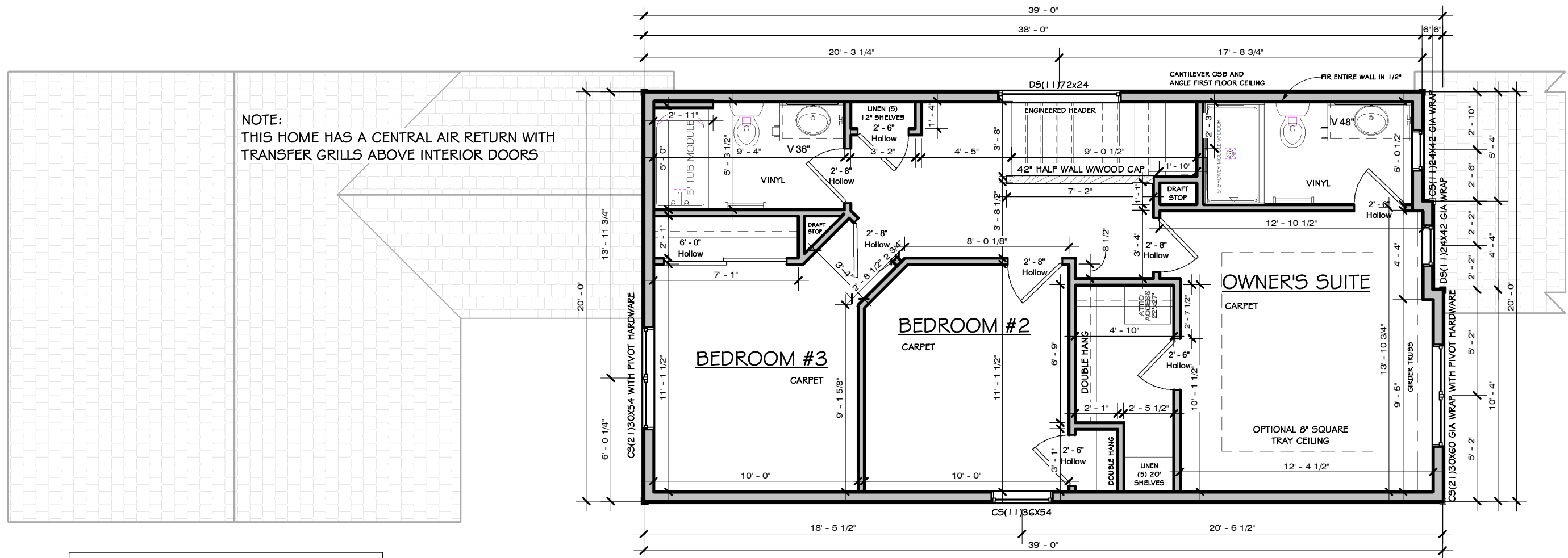
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

G3	Drawing No.	Model: Gramercy
	Print Date	Elevation: Modern G
	2/20/2023 4:53:04 PM	Drawn By: Author Date: Issue Date
		Revisions:


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Area Schedule (Modern G)	
Name	Area
First Floor	847 SF
Second Floor	773 SF
	1620 SF

Second Floor - Modern G
 3/16" = 1'-0"

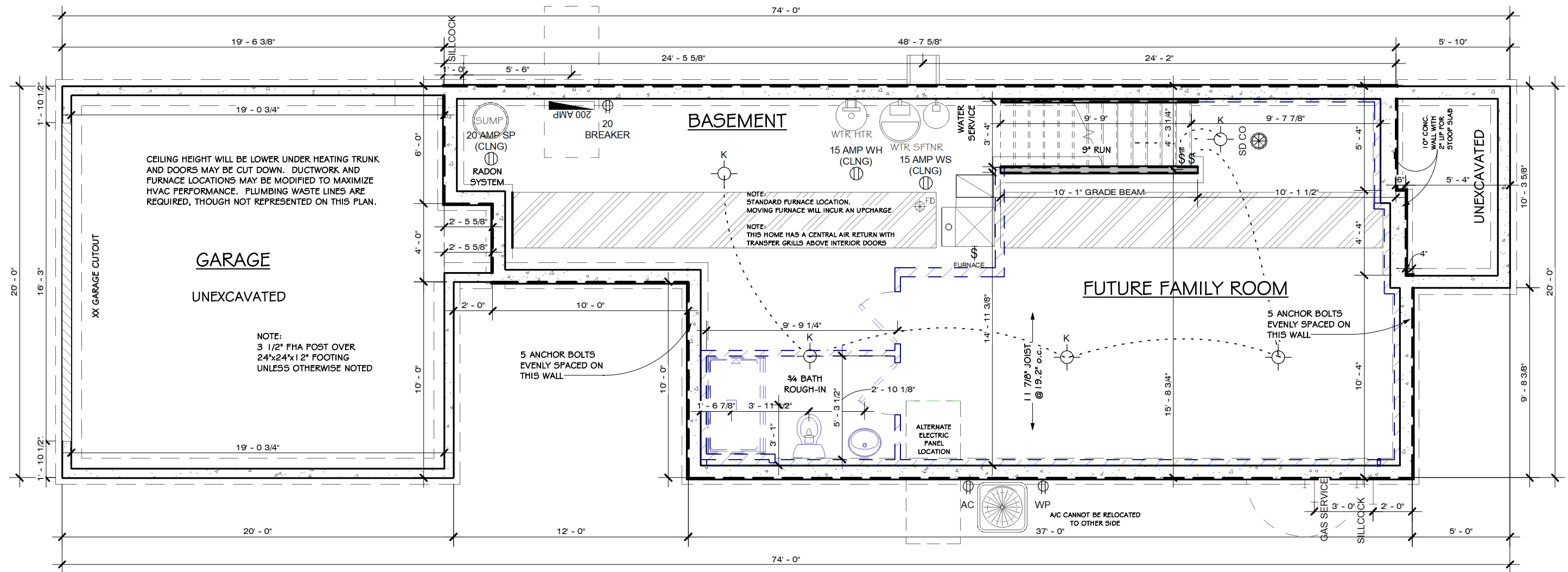
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

G5	Drawing No.	Model: Gramercy
	Print Date	Elevation: Modern G
	2/20/2023 4:53:07 PM	Drawn By: Author Date: Issue Date
		Revisions:


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Foundation Plan
3/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

G7	Drawing No.	Print Date	Model: Gramercy
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			Revisions:

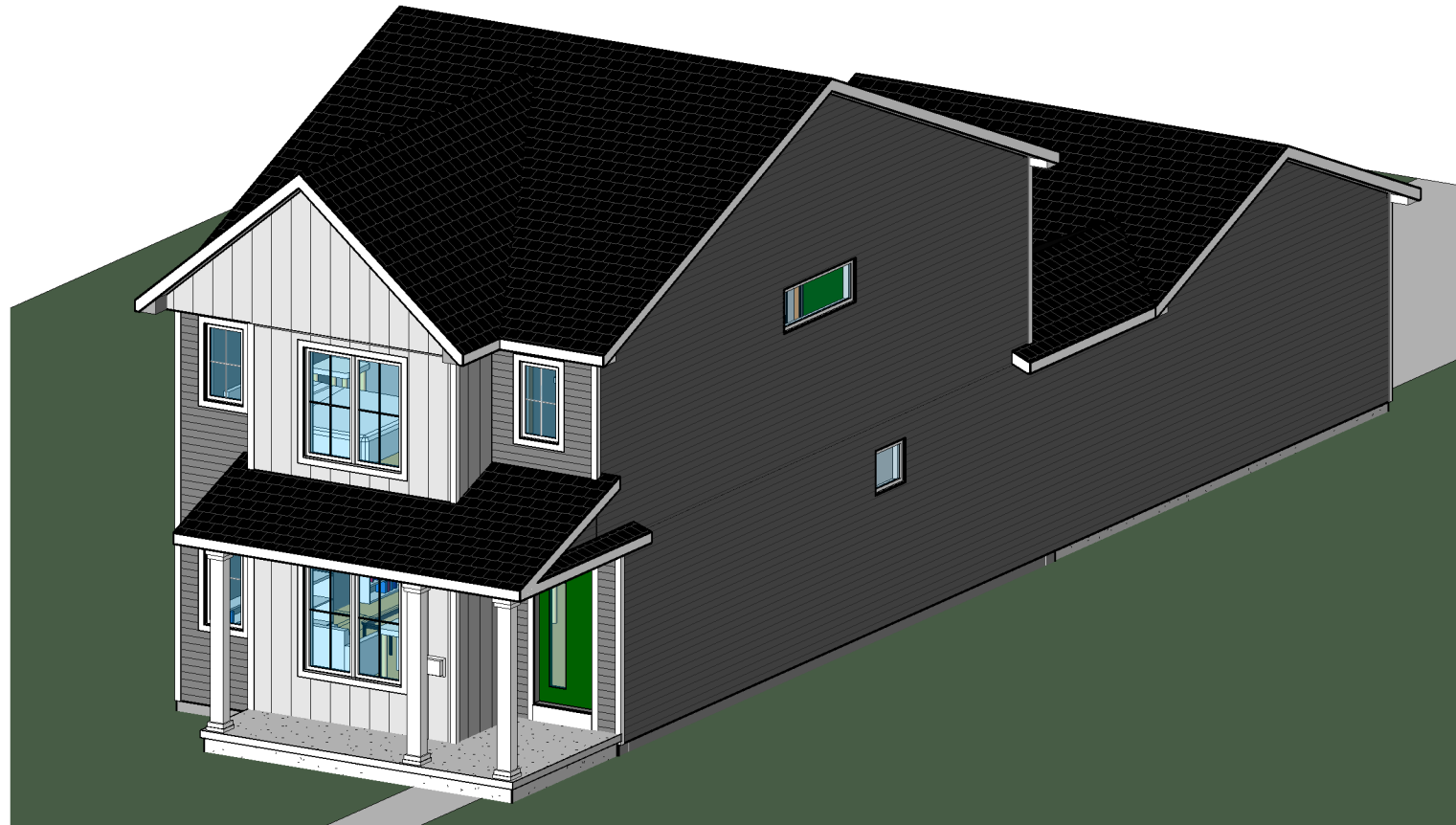
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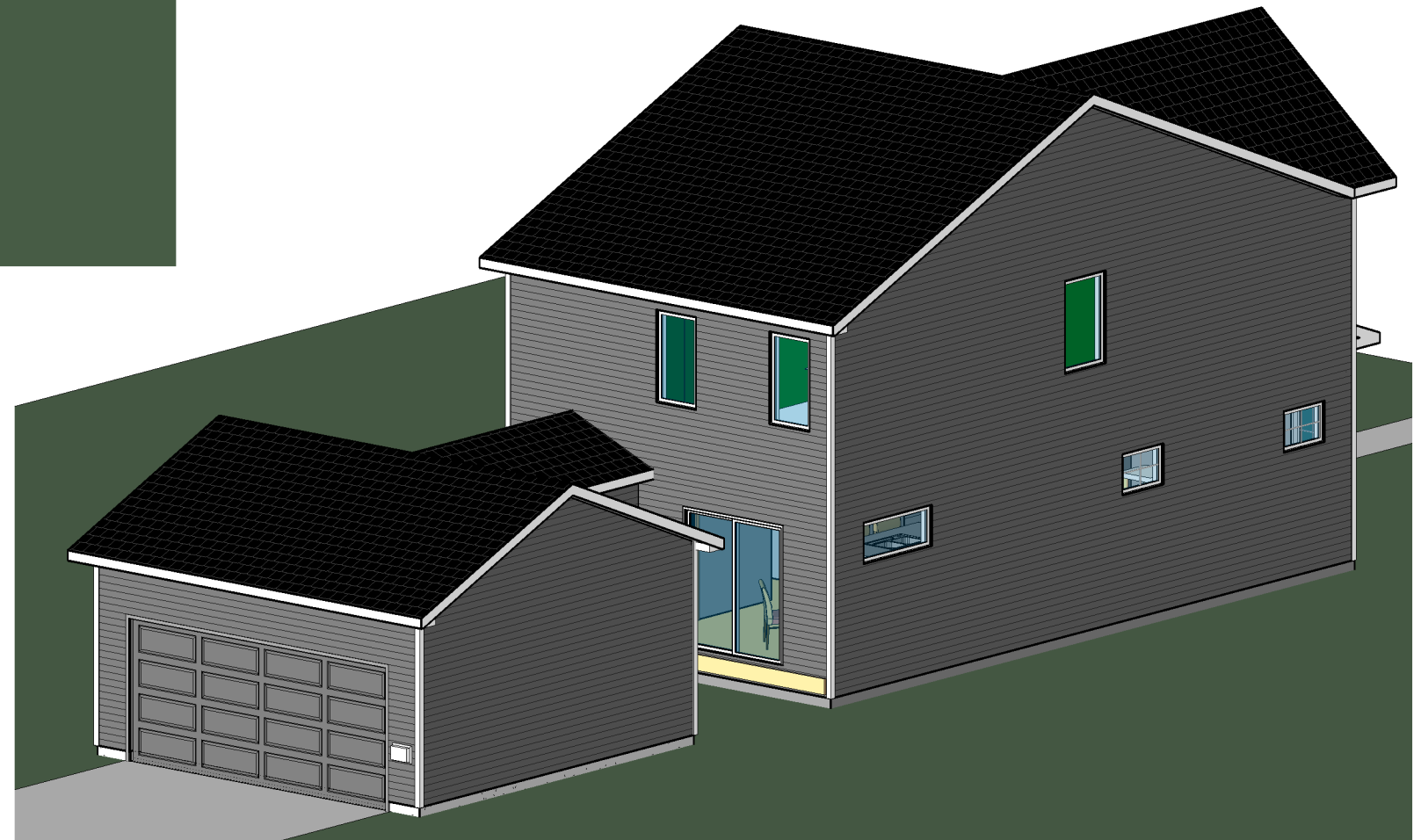
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Unit 6132



3D - Modern D



3D - Modern D Rear

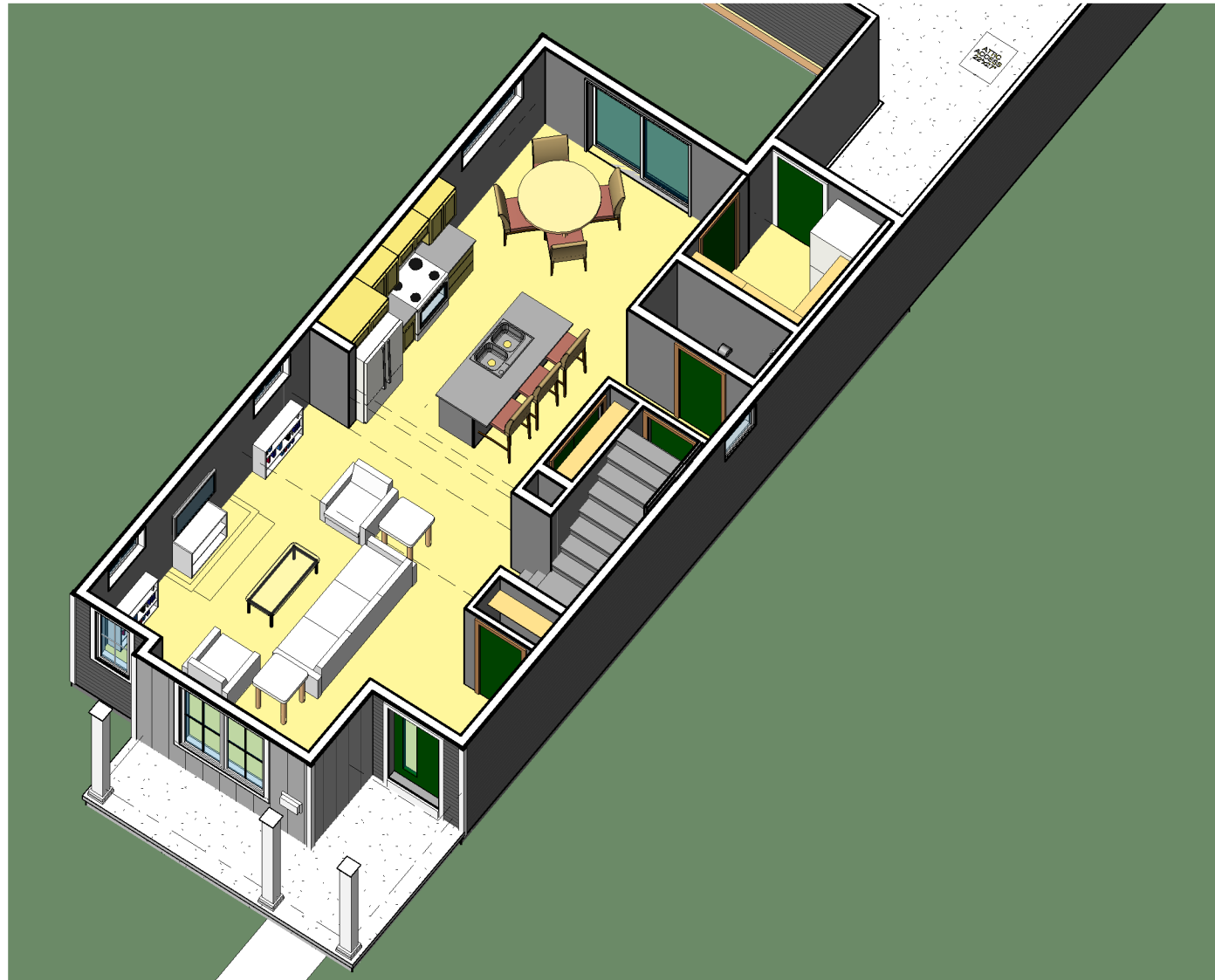
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. DO	Print Date	Model: Tribeca
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		Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D - Modern D First Floor



3D - Modern D Second Floor

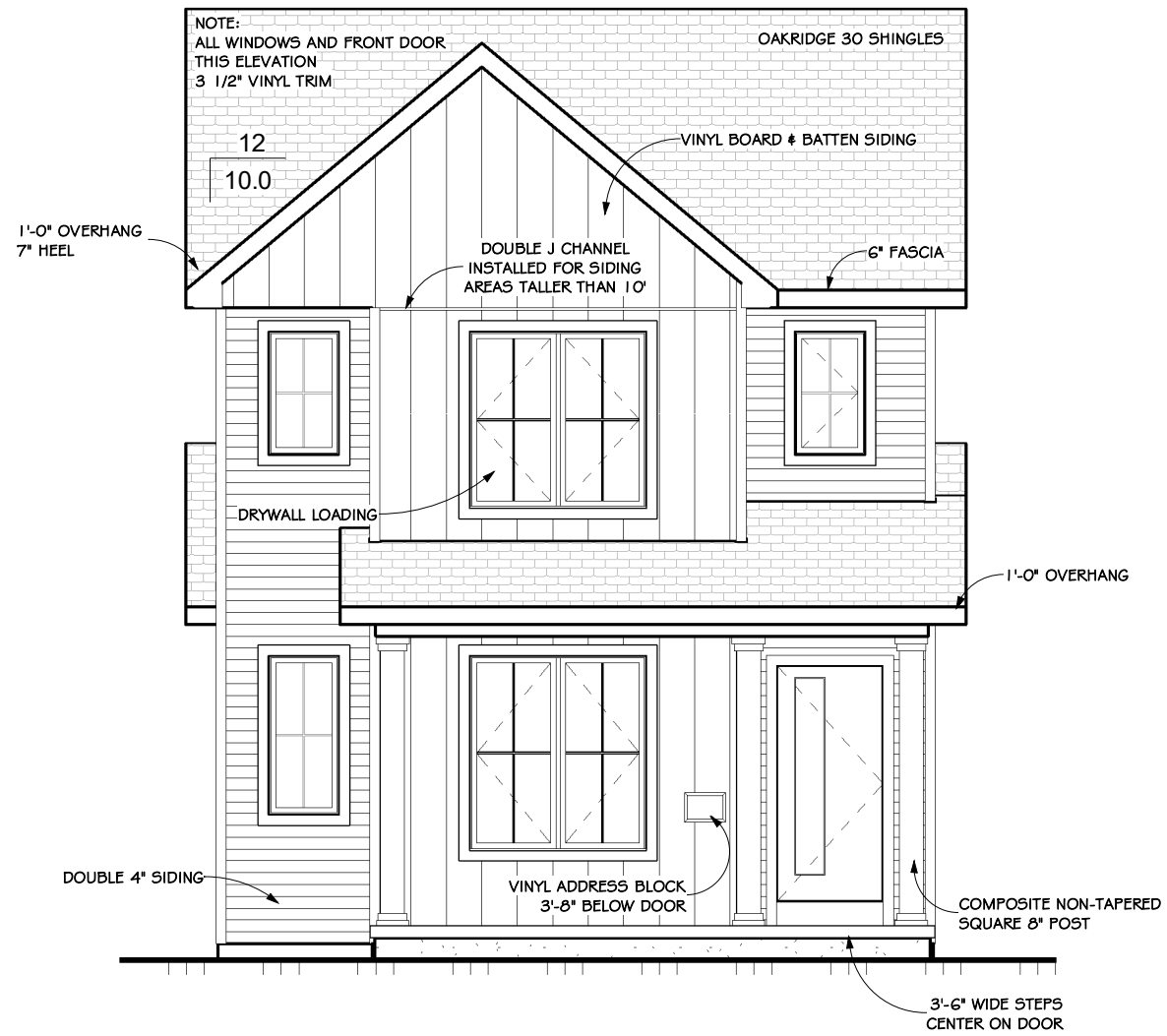
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

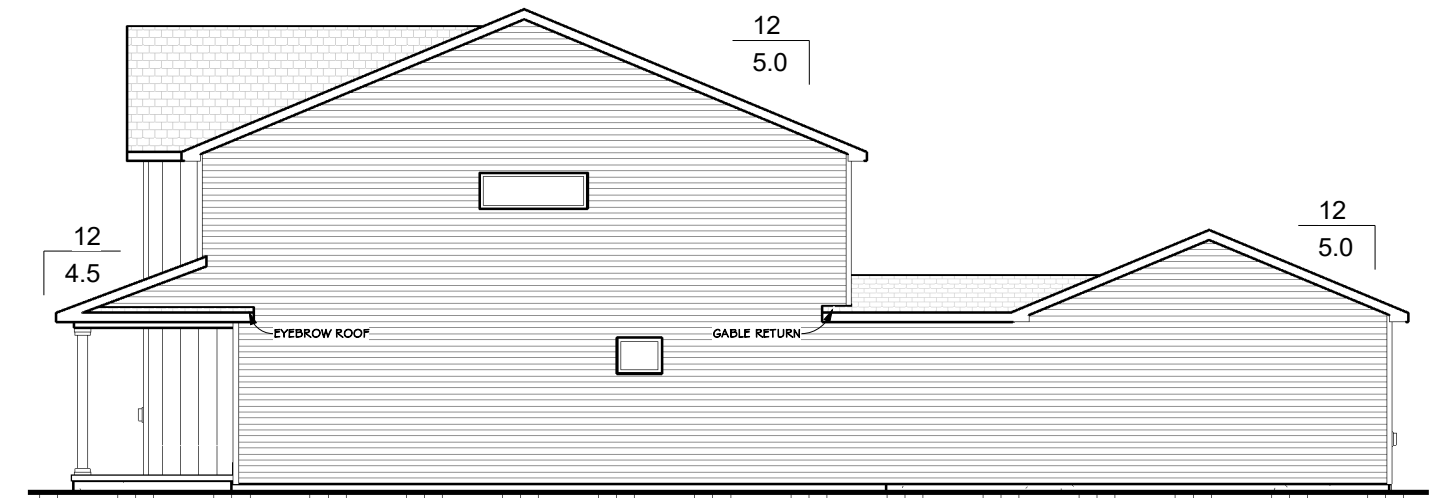
Drawing No. DO.1	Print Date	Model: Tribeca
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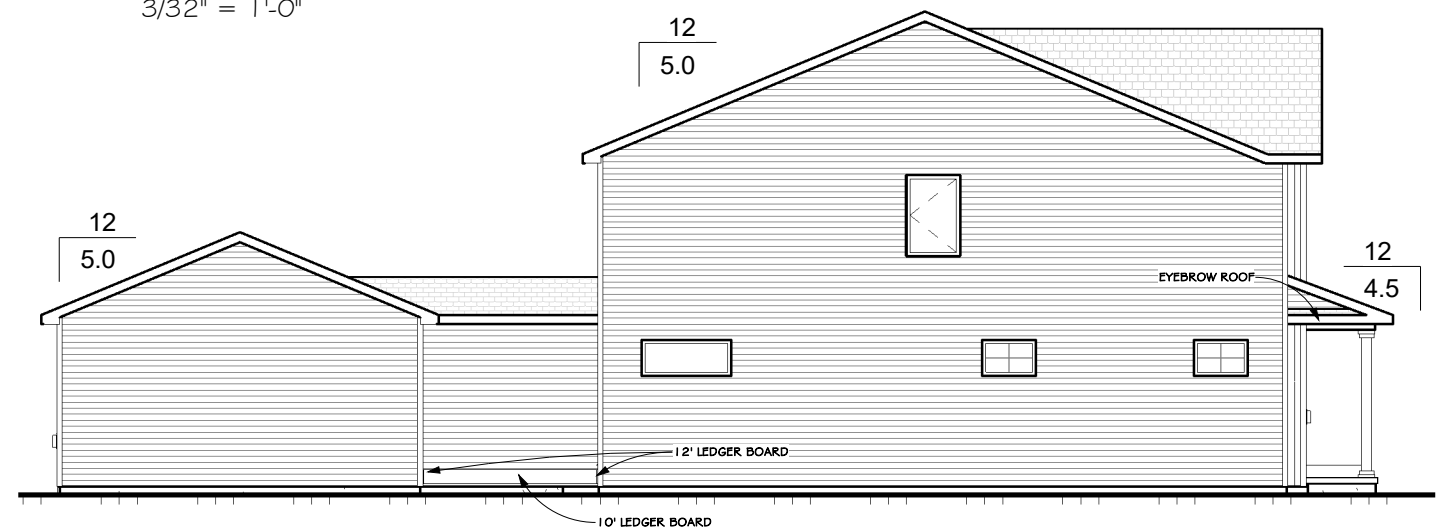
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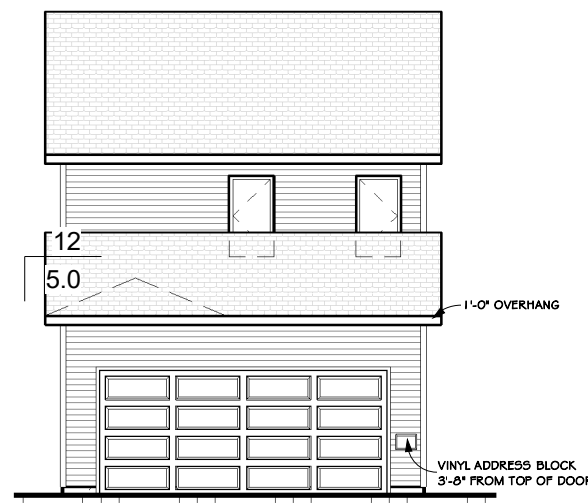
Front Elevation - Modern D
3/16" = 1'-0"



Right Elevation - Modern D
3/32" = 1'-0"

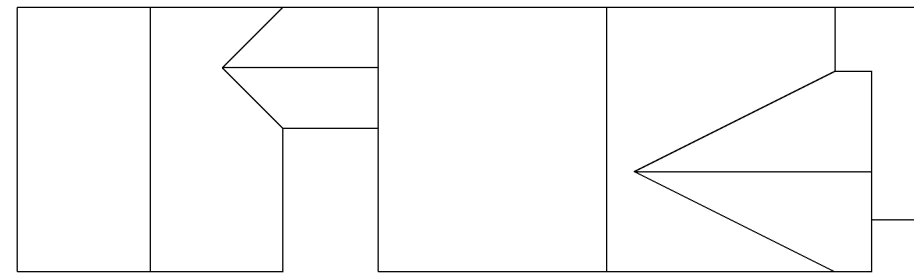


Left Elevation - Modern D
3/32" = 1'-0"



Rear Elevation - Modern D
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



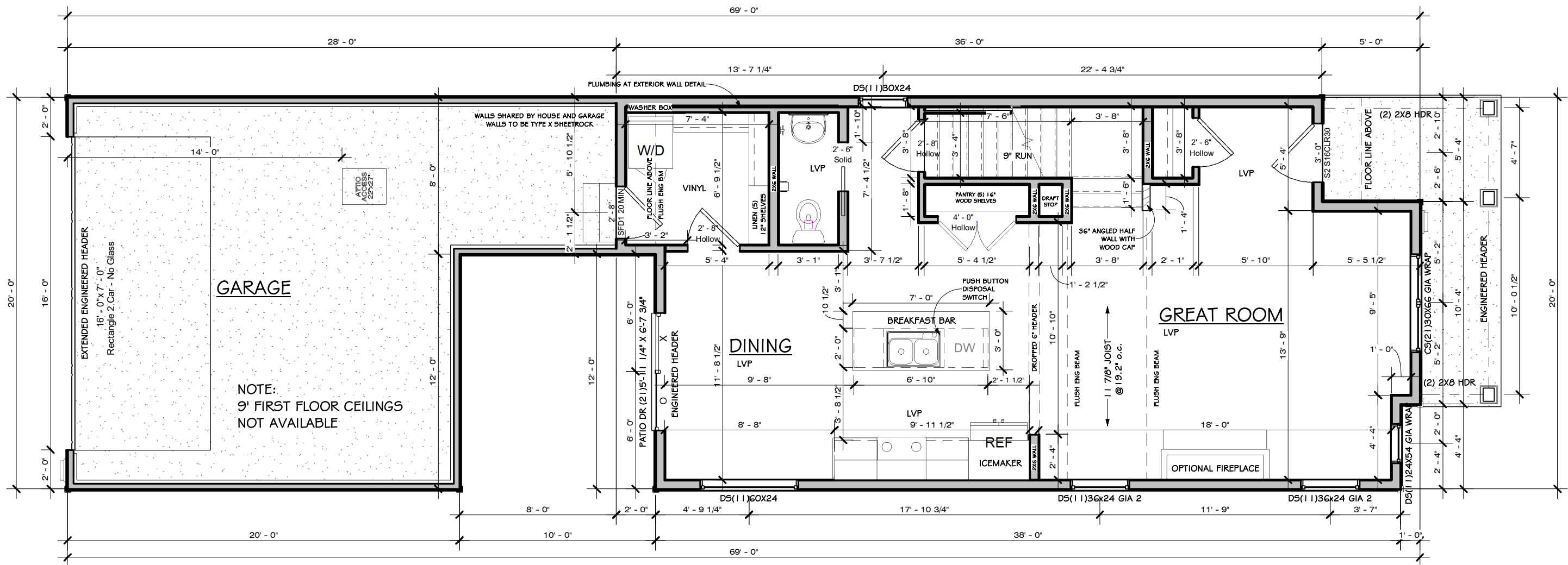
Roof Plan
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

D2	Drawing No.	Model: Tribeca
	Print Date	Elevation: Modern D
	2/17/2023 8:17:40 AM	Drawn By: Author Date: Issue Date
		Revisions:


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First Floor - Modern D

3/16" = 1'-0"

Area Schedule (Modern D)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
	1525 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

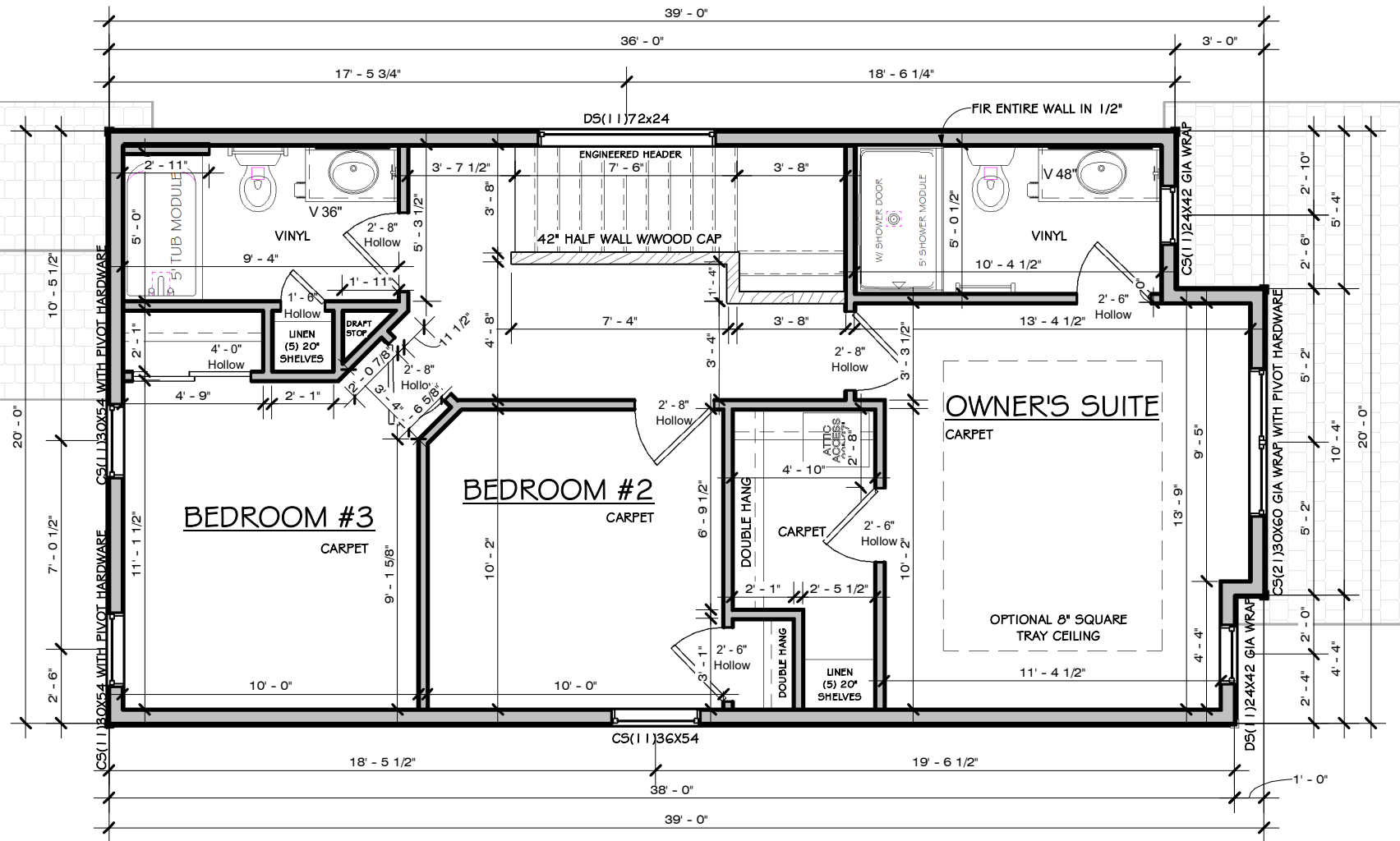
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D3	Drawing No.	Model: Tribeca
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		Revisions:


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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS



Second Floor - Modern D

3/16" = 1'-0"

Area Schedule (Modern D)

Name	Area
------	------

First Floor	765 SF
Second Floor	760 SF
1525 SF	

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

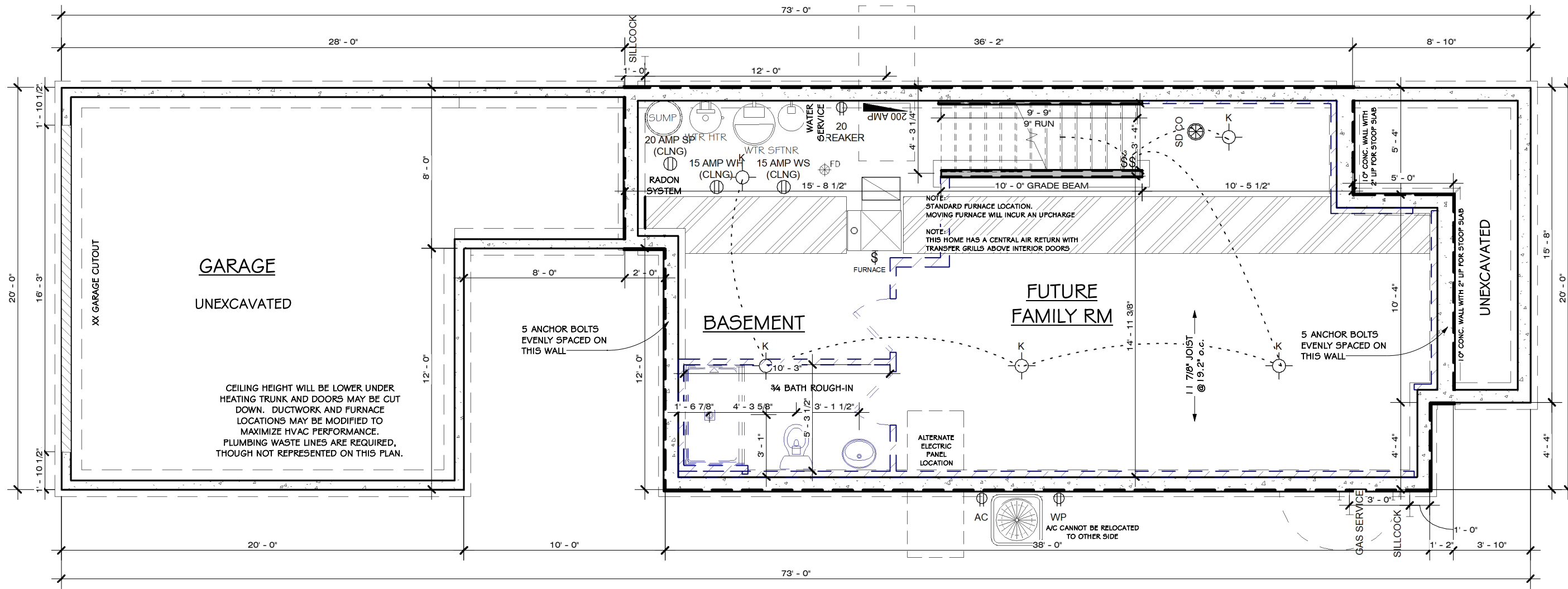
Note: All dimensions are stud to stud **Do Not Scale**

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			Drawn By: Author Date: Issue Date
			Revisions:


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Foundation Plan
3/16" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

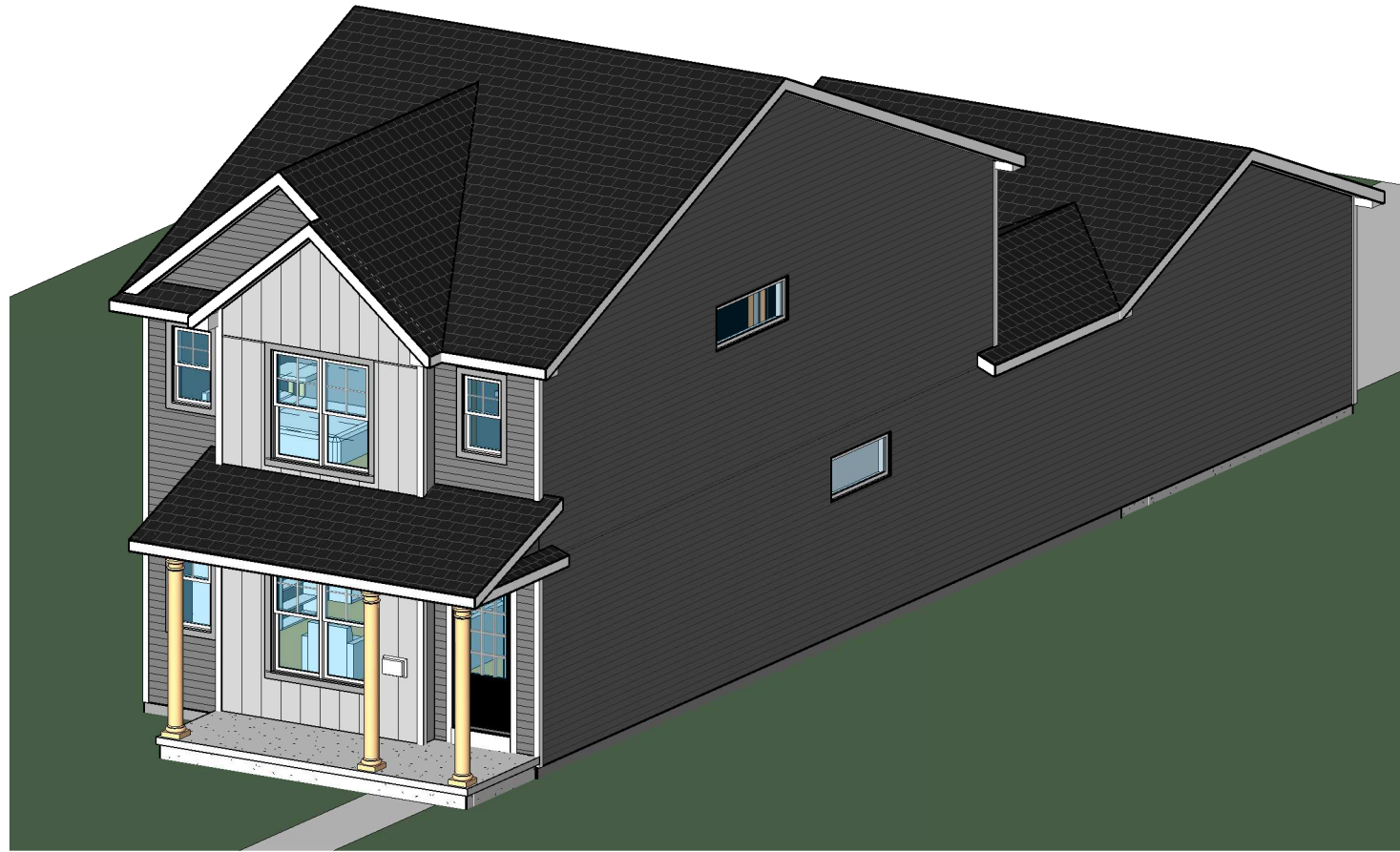
Note: All dimensions are stud to stud **Do Not Scale**

D7	Drawing No.	Model: Tribeca
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		Revisions:

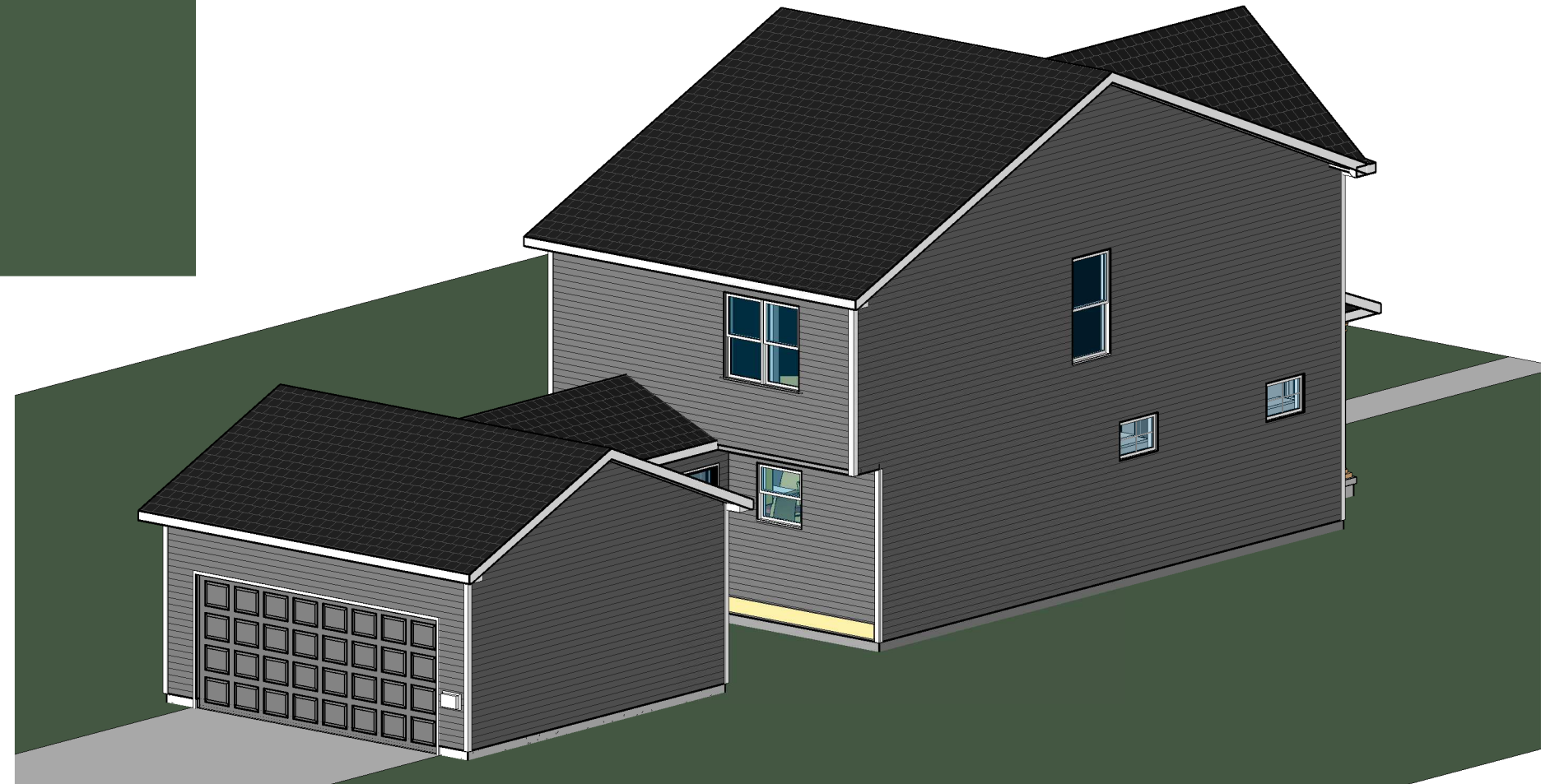

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Unit 6133



3D - Cottage



3D - Cottage Rear

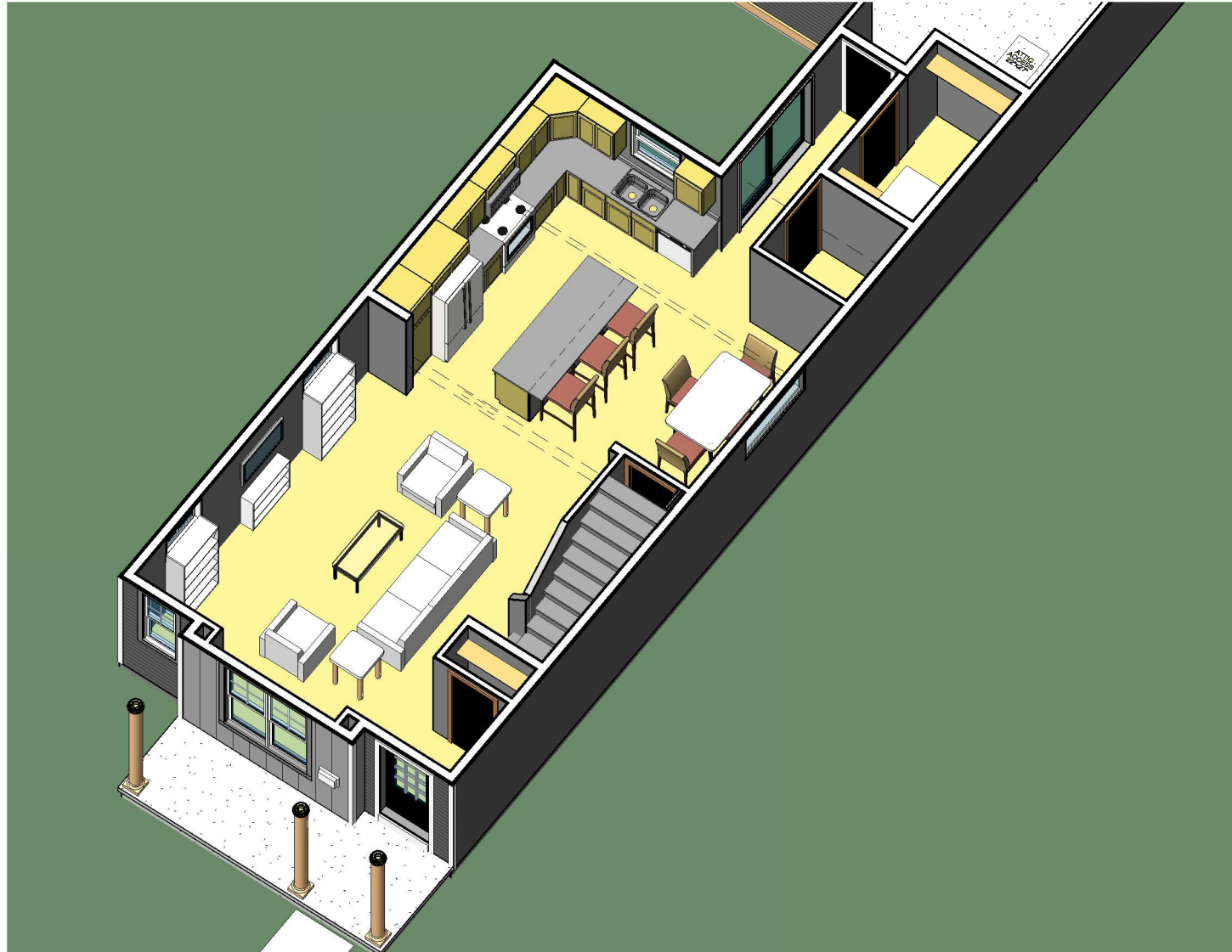
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. COO	Print Date	Model: Gramercy
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		Revisions:

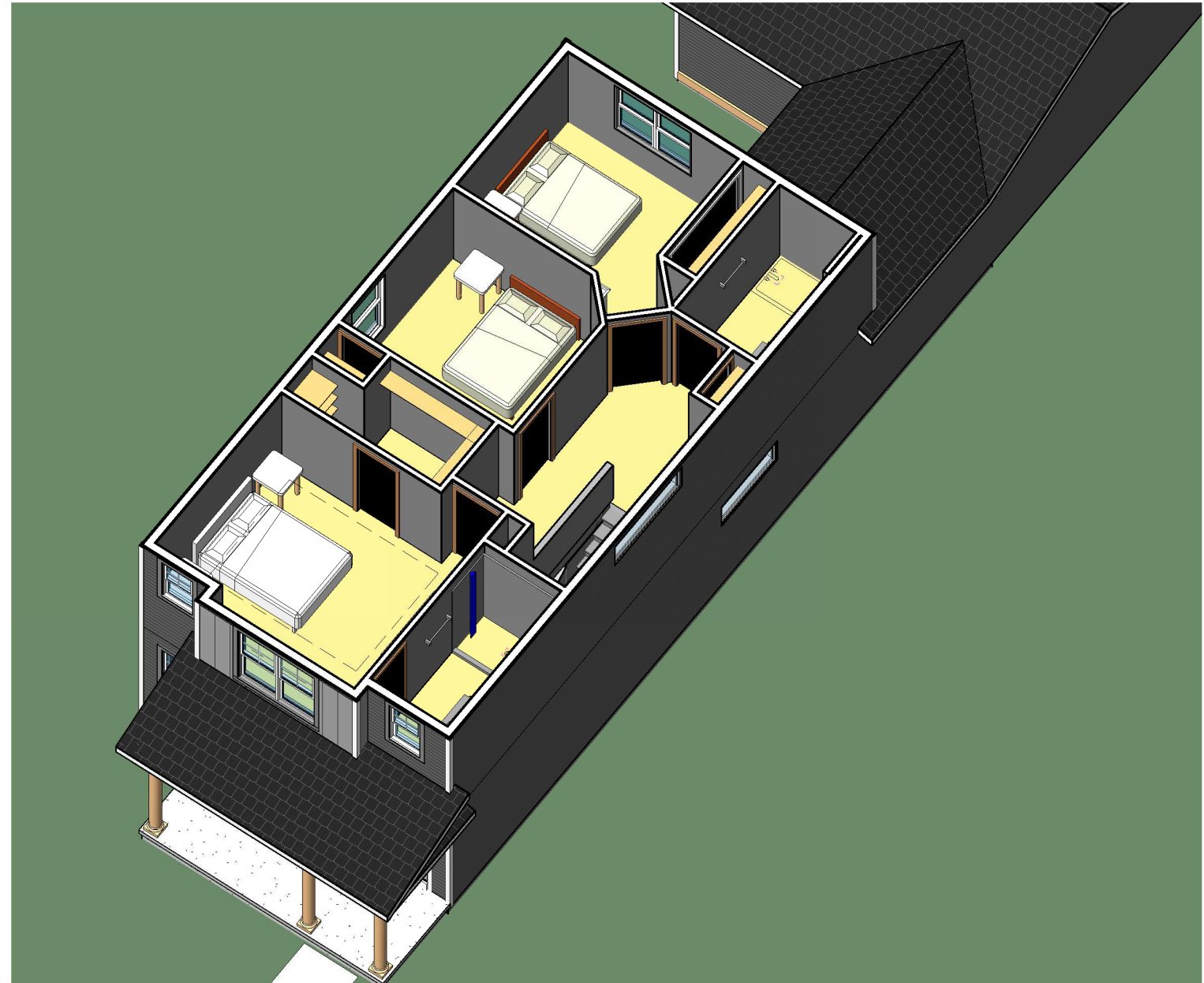

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D - Cottage First Floor



3D - Cottage Second Floor

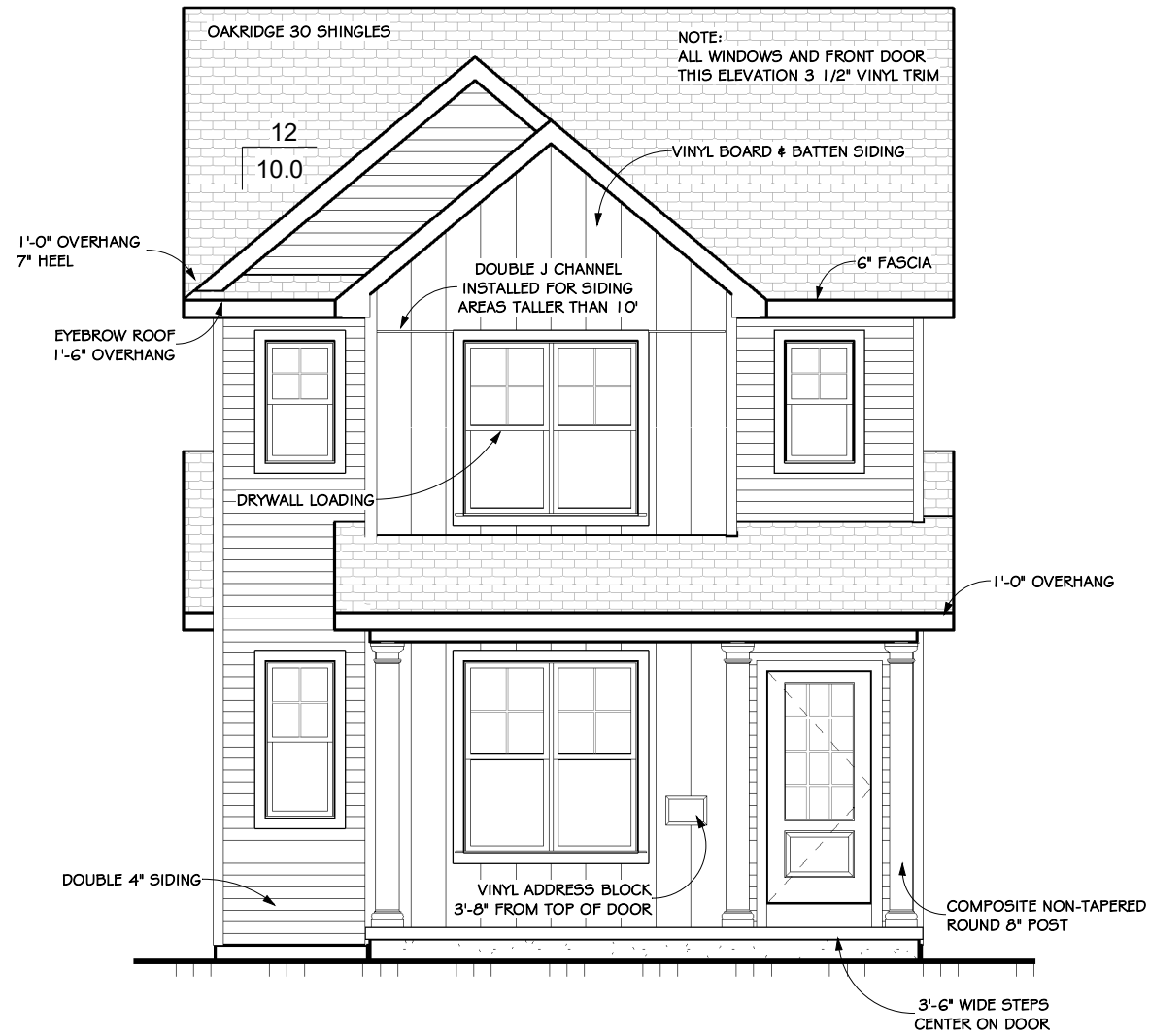
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

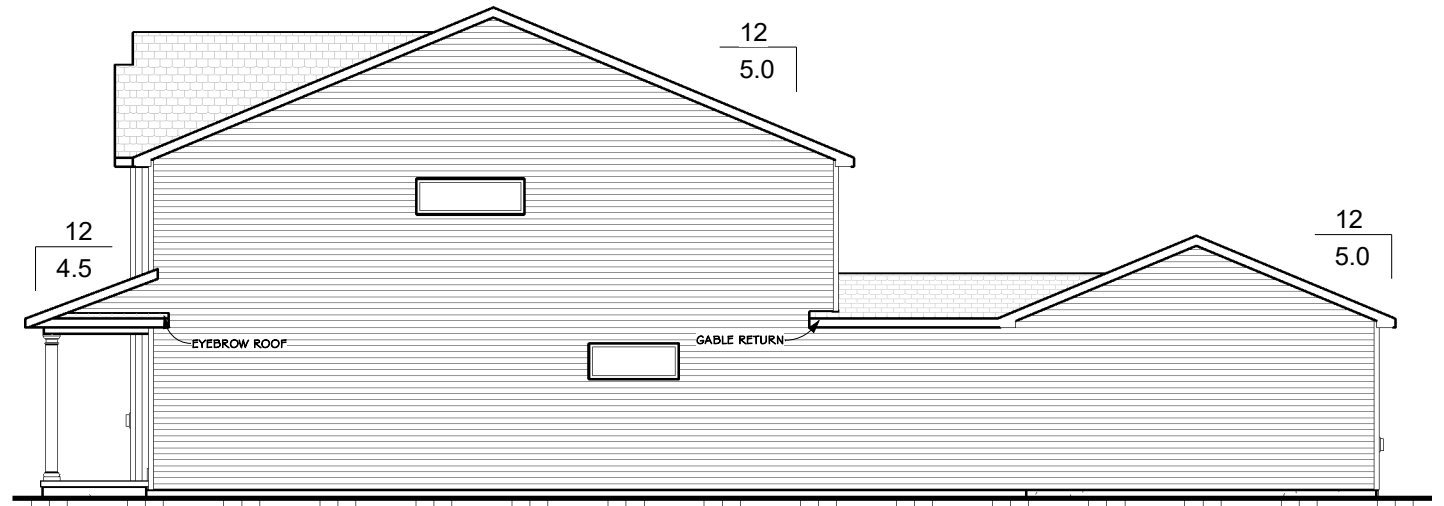
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COO.1	2/20/2023	Elevation: Cottage
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		Revisions:


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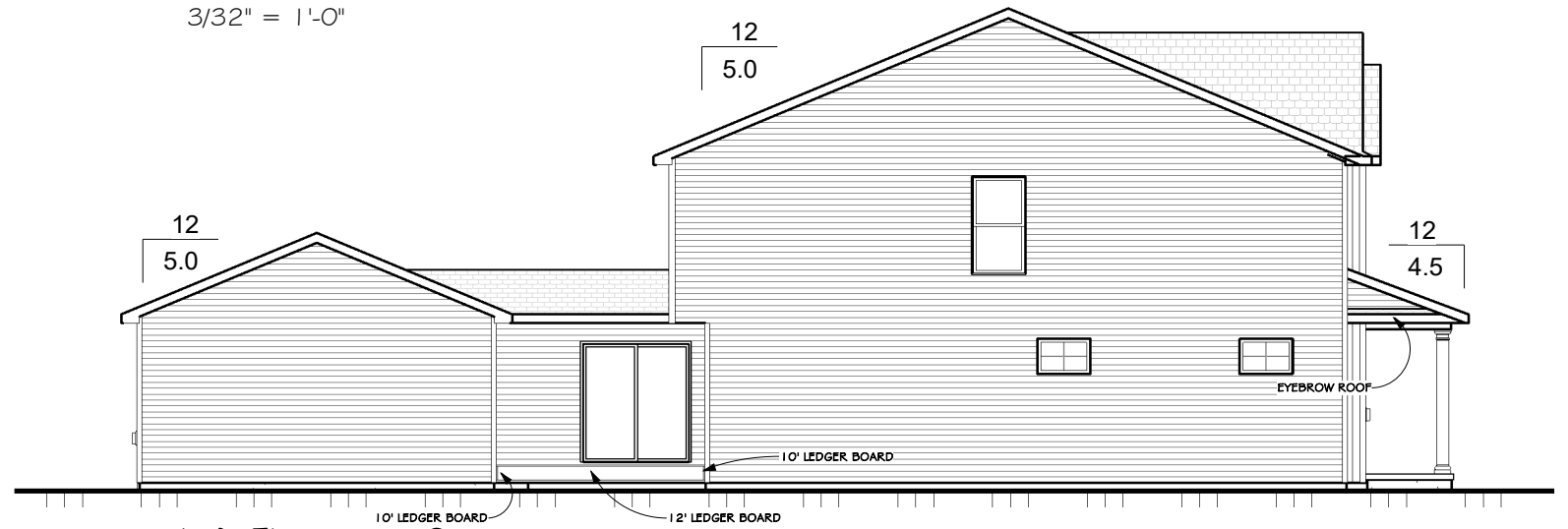
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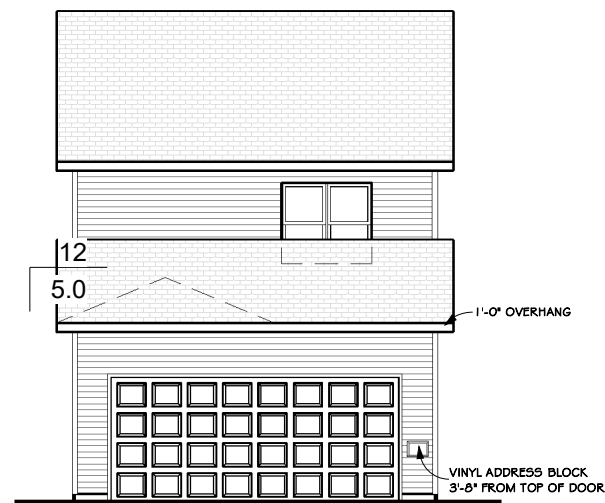
Front Elevation - Cottage
3/16" = 1'-0"



Right Elevation - Cottage
3/32" = 1'-0"

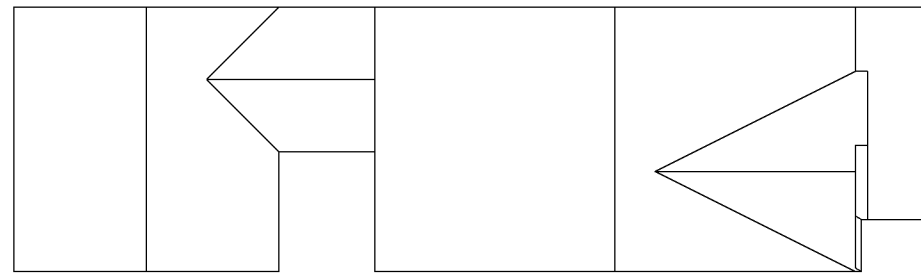


Left Elevation - Cottage
3/32" = 1'-0"



Rear Elevation - Cottage
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



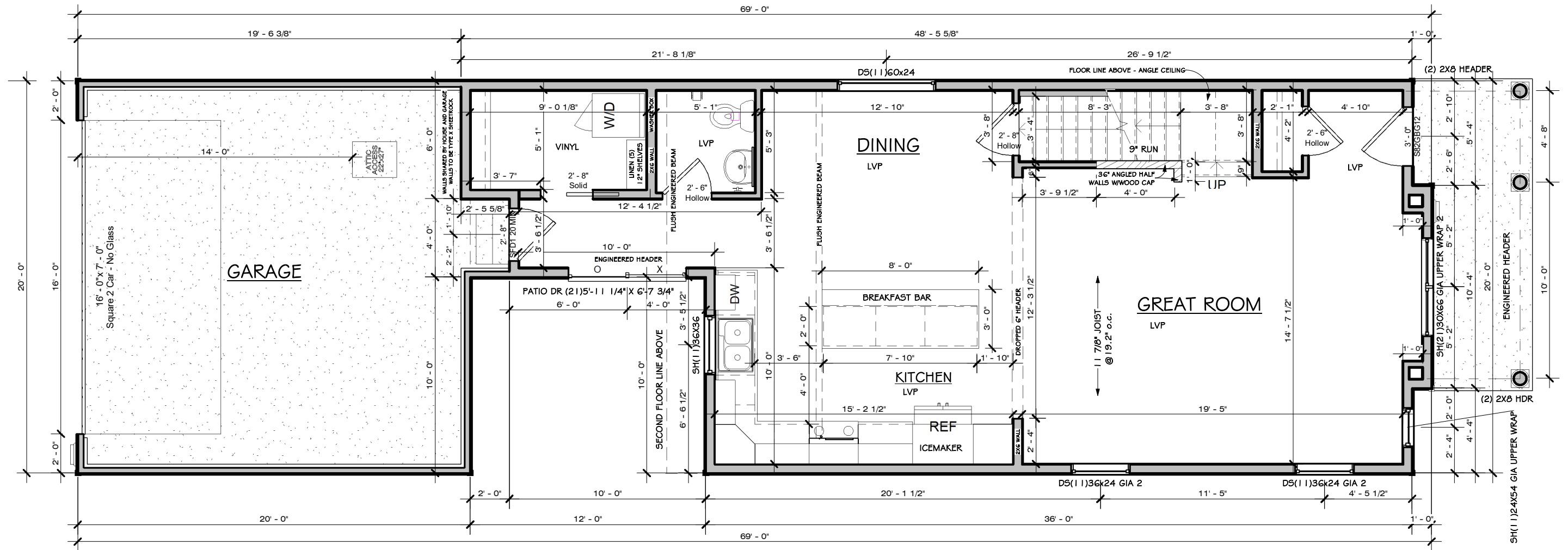
Roof Plan
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: Gramercy
CO2	2/20/2023	Elevation: Cottage
	4:48:45 PM	Drawn By: Author Date: Issue Date
		Revisions:

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NOTE:
 9' FIRST FLOOR CEILING NOT AVAILABLE
 NO STRUCTURAL CHANGES TO FRONT ELEVATION

First Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)

Name	Area
FIRST FLOOR	845 SF
SECOND FLOOR	770 SF
	1615 SF

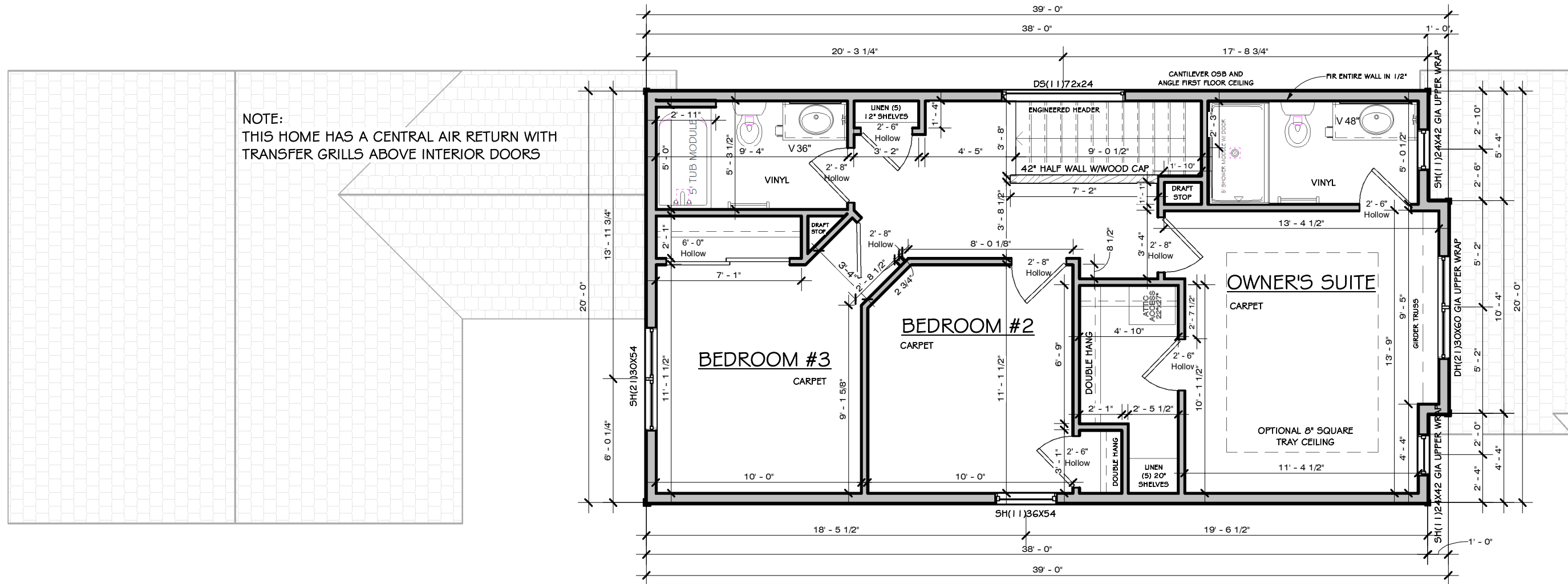
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. CO3	Print Date	Model: Gramercy
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		Revisions:

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Second Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

FIRST FLOOR	845 SF
SECOND FLOOR	770 SF
	1615 SF

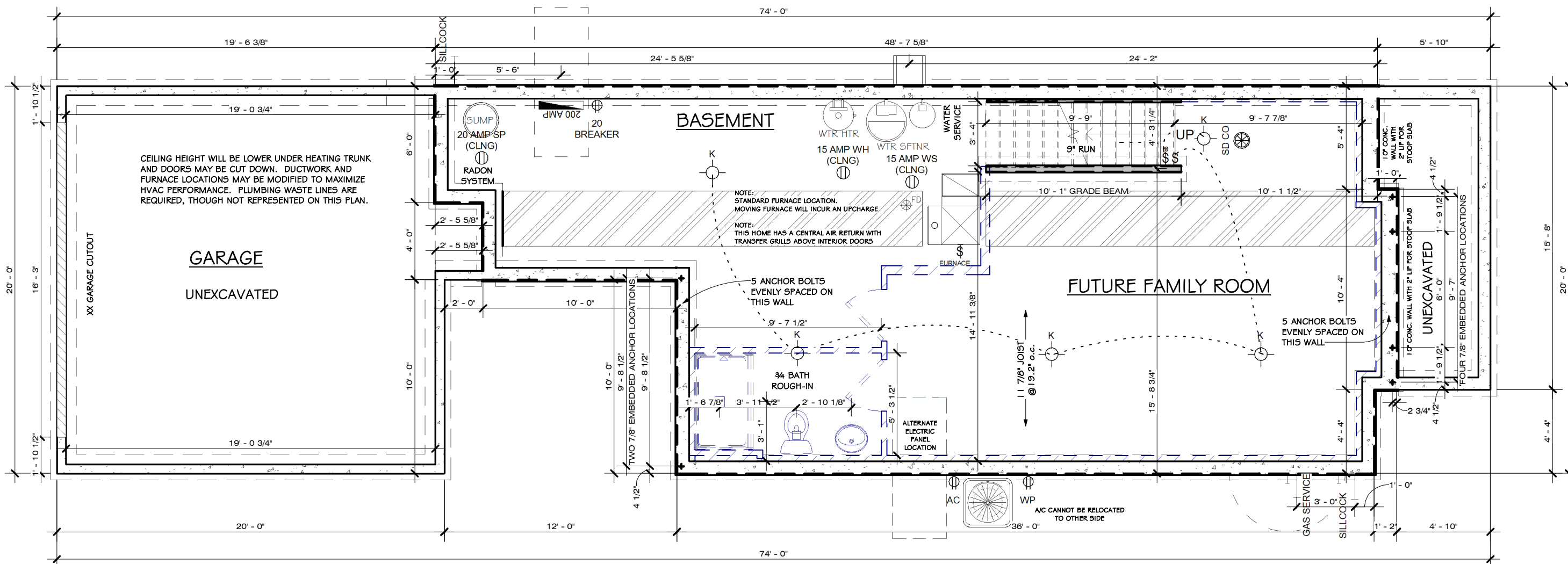
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. CO5	Print Date	Model: Gramercy
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Foundation Plan
 3/16" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

C07	Drawing No.	Print Date	Model: Gramercy
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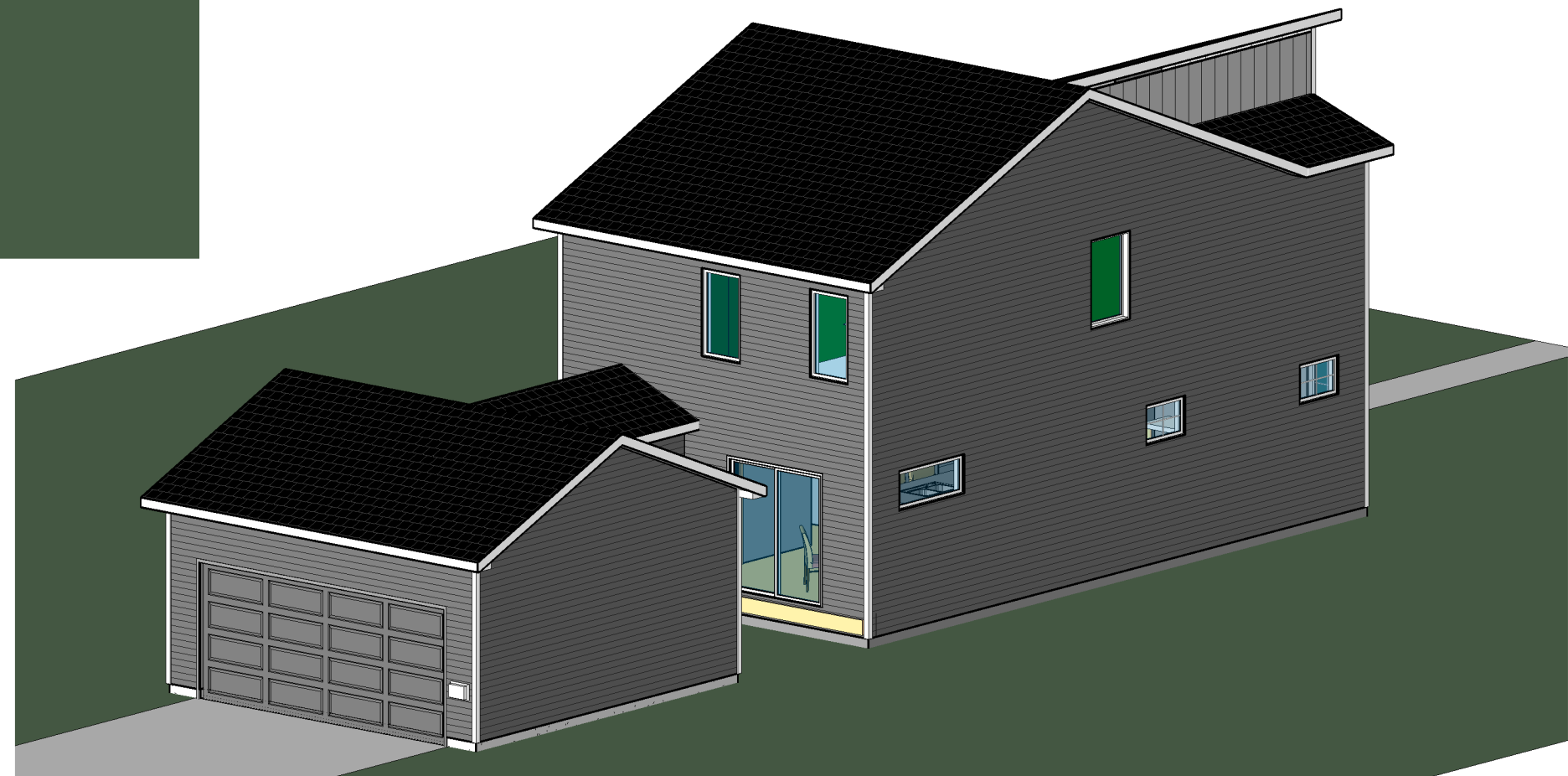

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Unit 6134



3D - Modern C



3D - Modern C Rear

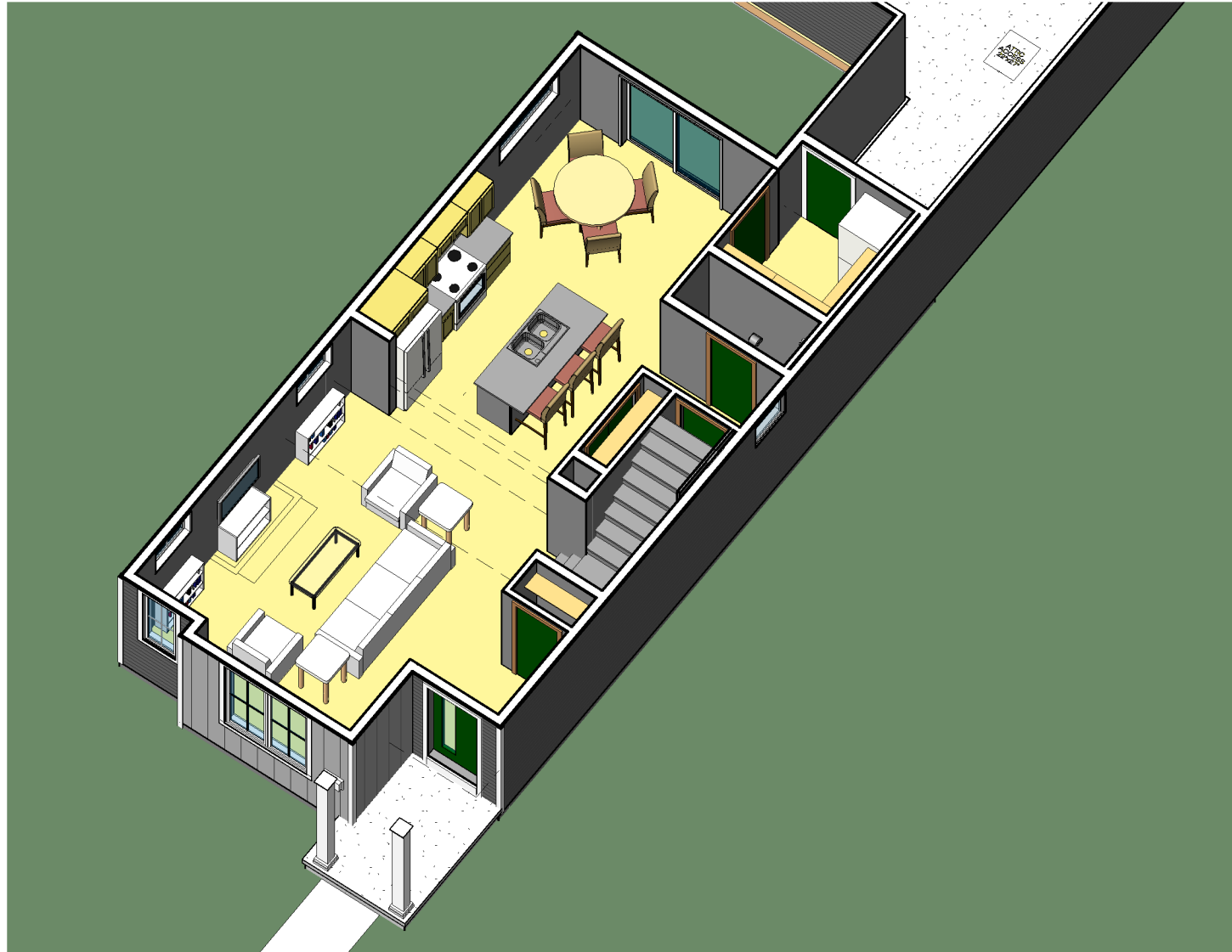
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. CO	Print Date	Model: Tribeca
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3D - Modern C First Floor



3D - Modern C Second Floor

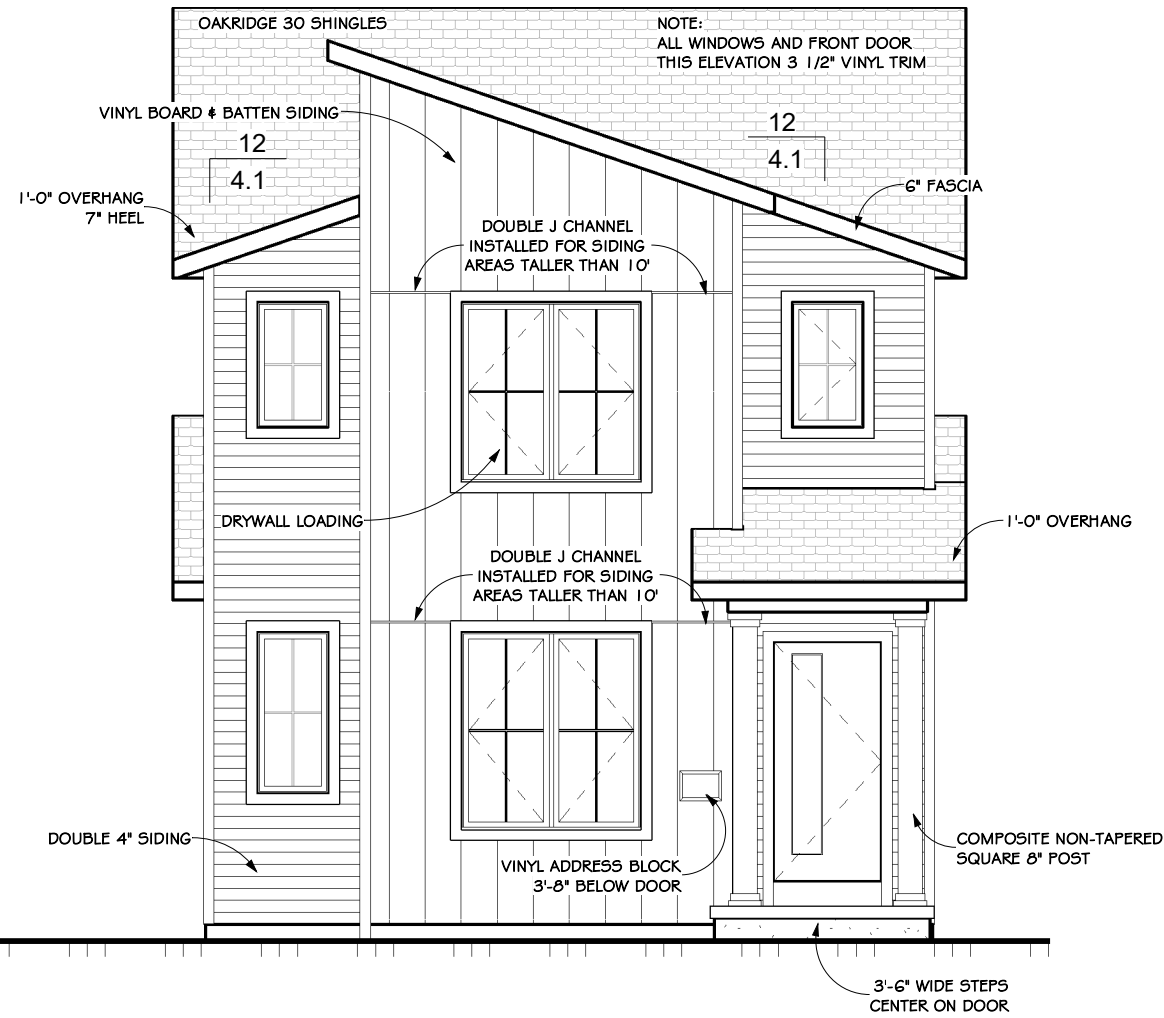
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

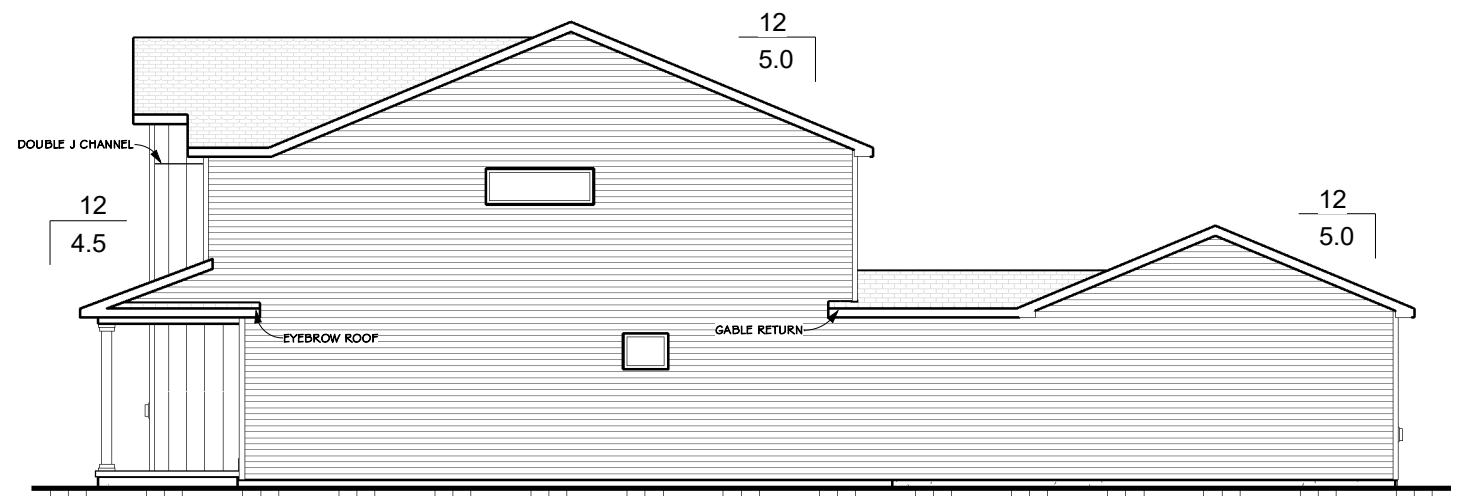
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		Revisions:


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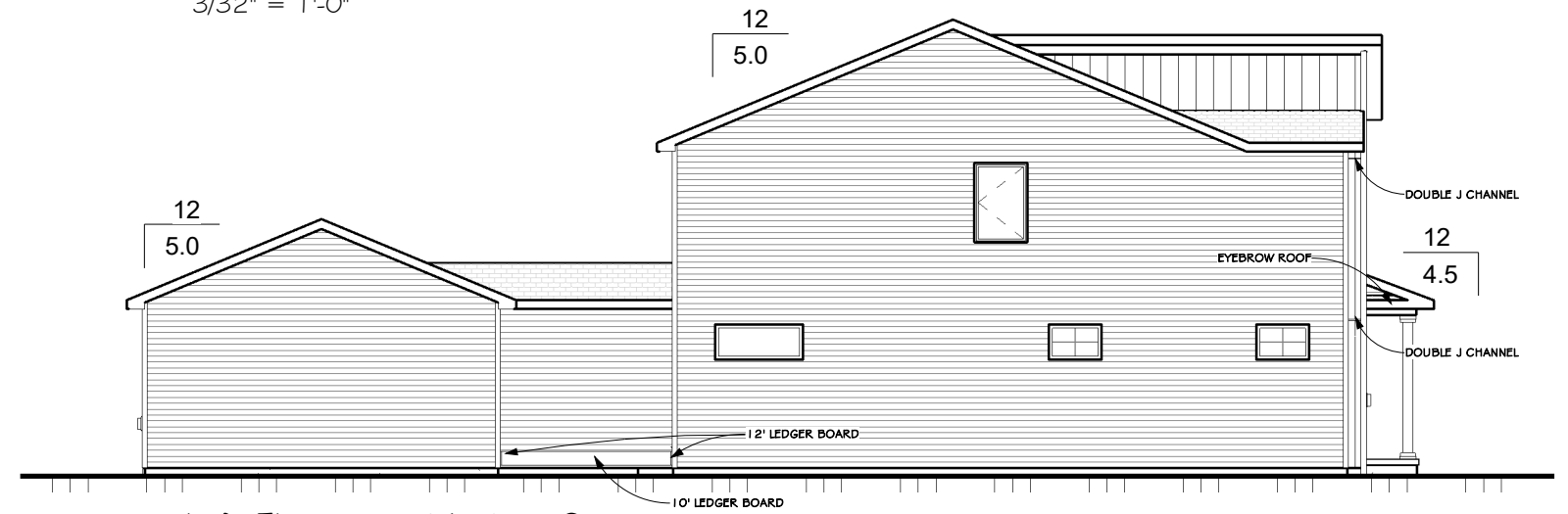
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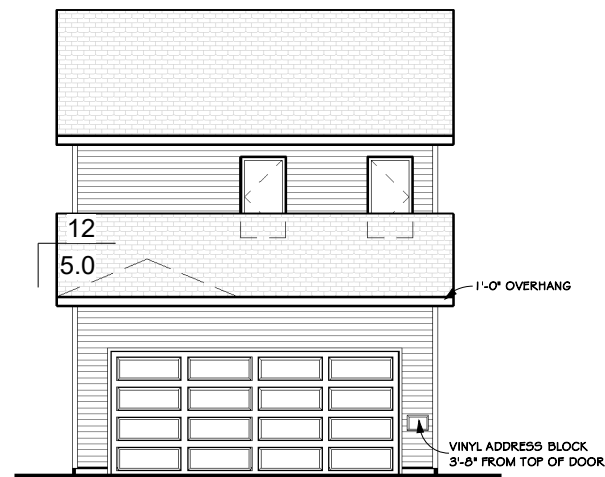
Front Elevation - Modern C
3/16" = 1'-0"



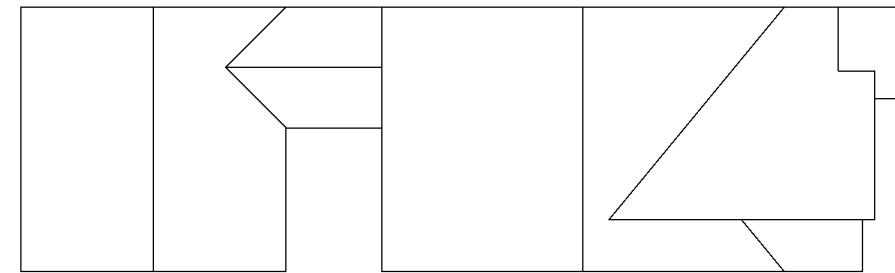
Right Elevation - Modern C
3/32" = 1'-0"



Left Elevation - Modern C
3/32" = 1'-0"



Rear Elevation - Modern C
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

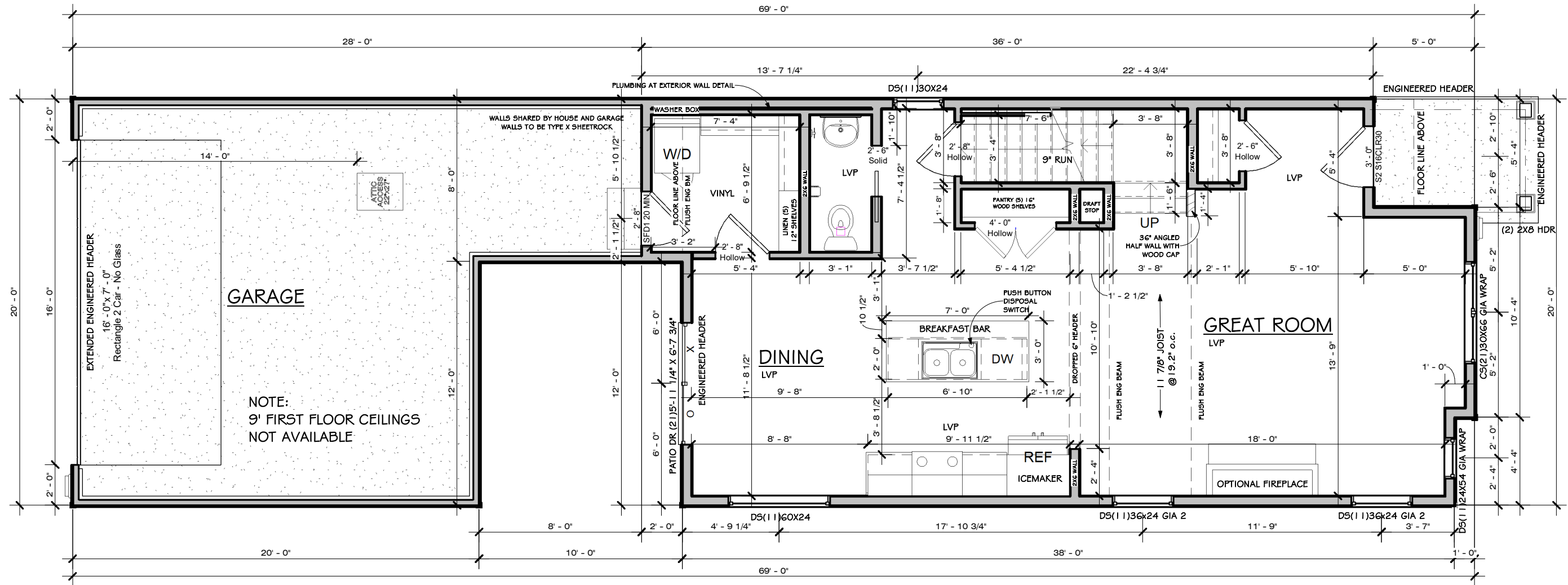
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. C2	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Modern C

3/16" = 1'-0"

Area Schedule (Modern C)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

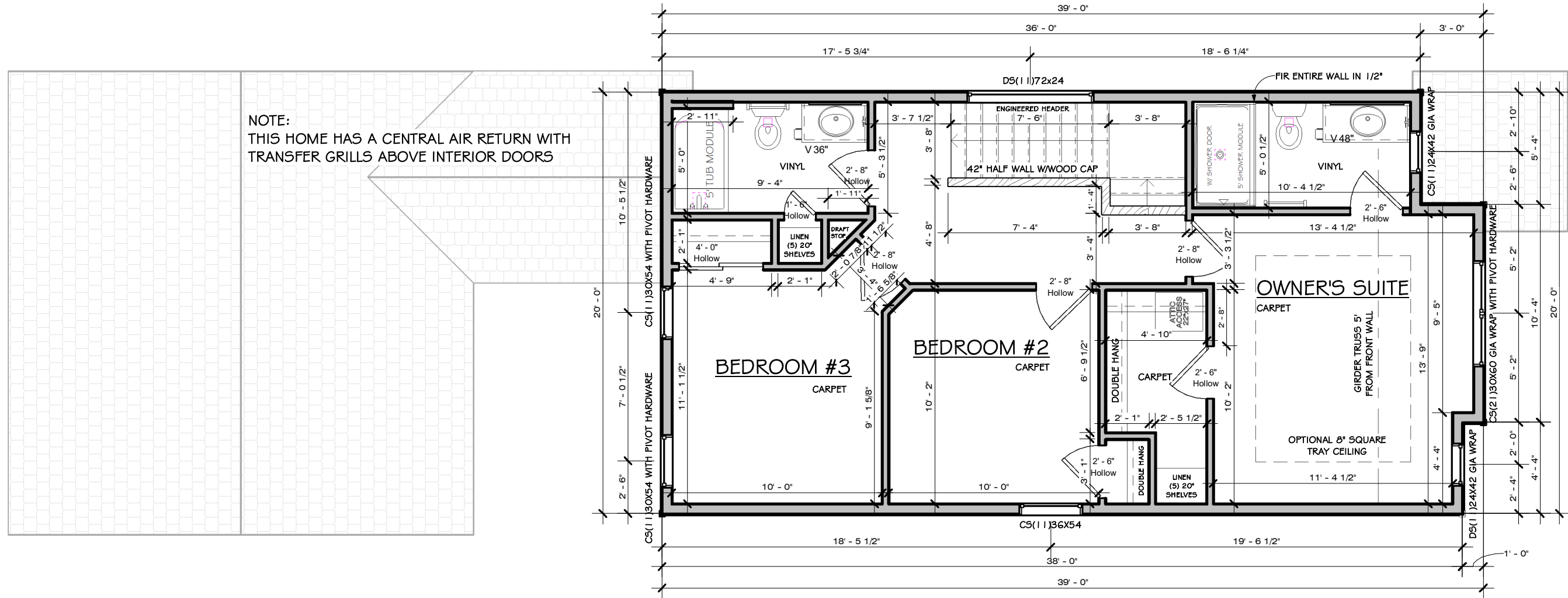
Note: All dimensions are stud to stud **Do Not Scale**

C3	Drawing No.	Model: Tribeca
	Print Date	Elevation: Modern C
	2/17/2023 8:16:27 AM	Drawn By: Author Date: Issue Date
		Revisions:


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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS

Second Floor - Modern C
3/16" = 1'-0"

Area Schedule (Modern C)	
Name	Area
FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

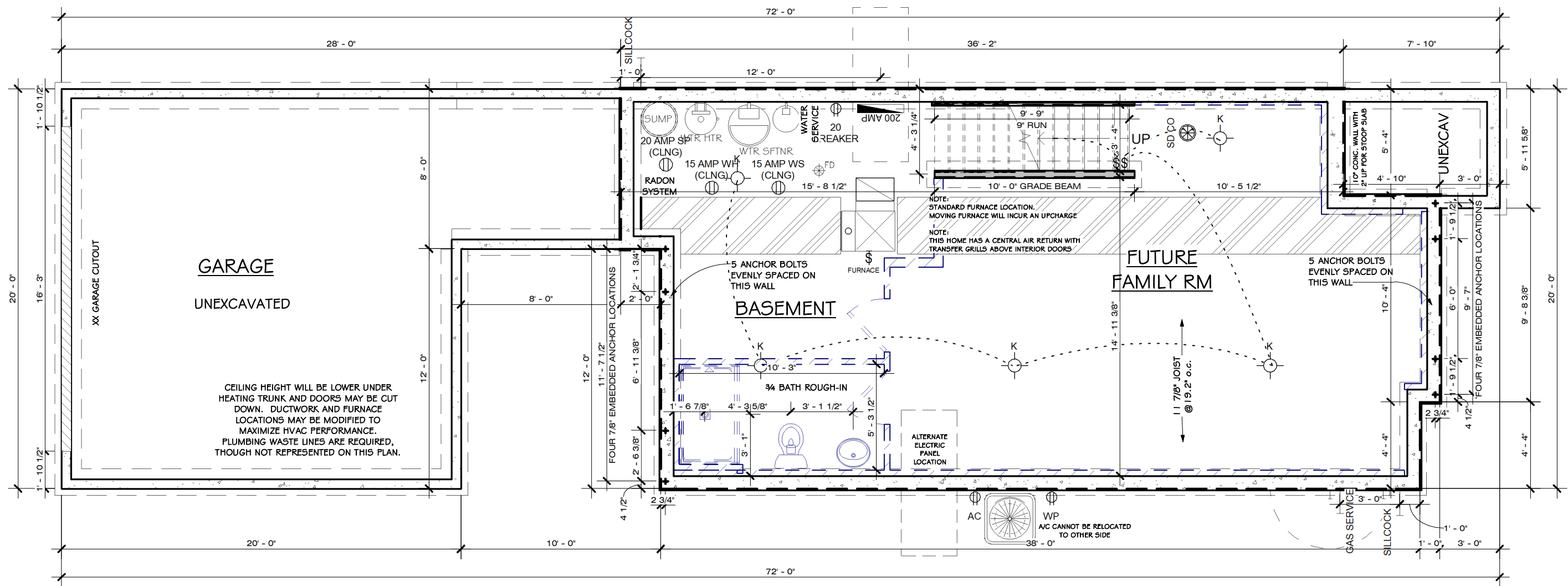
Note: All dimensions are stud to stud **Do Not Scale**

C5	Drawing No.	Model: Tribeca
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		Revisions:


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Foundation Plan
 3/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

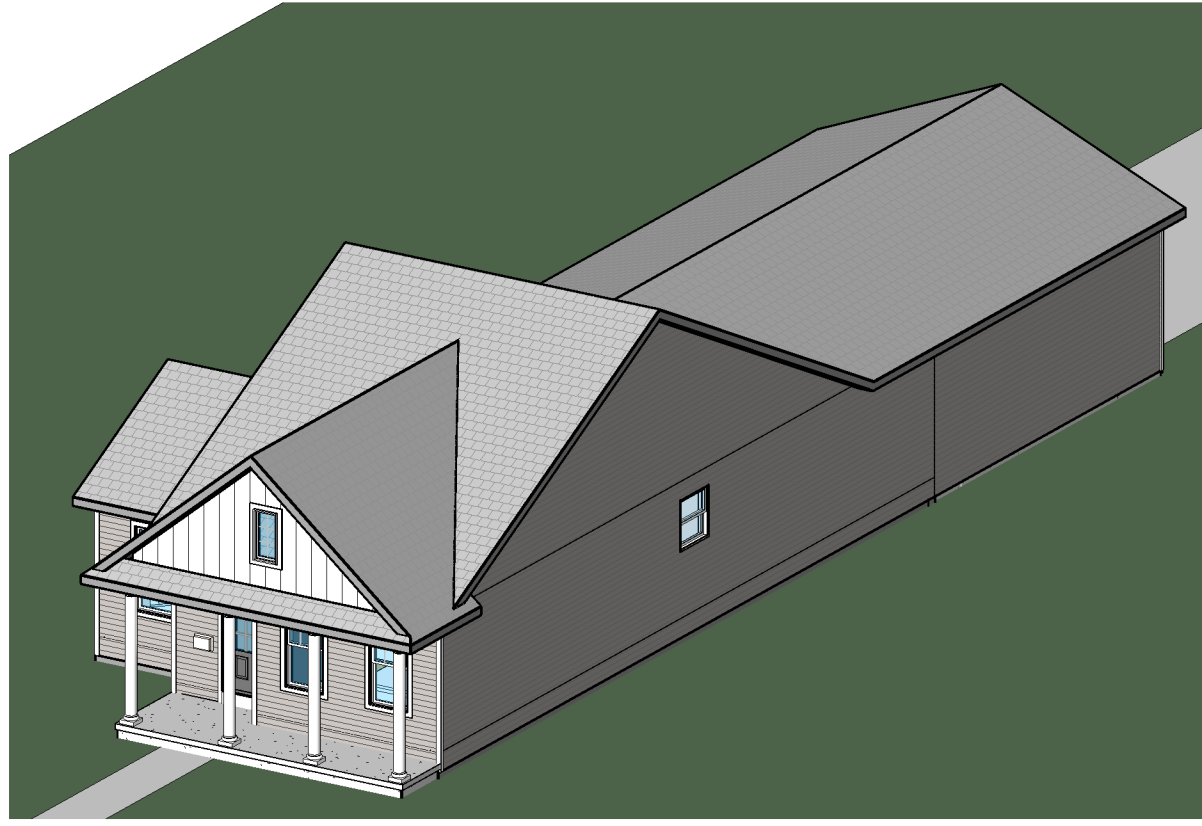
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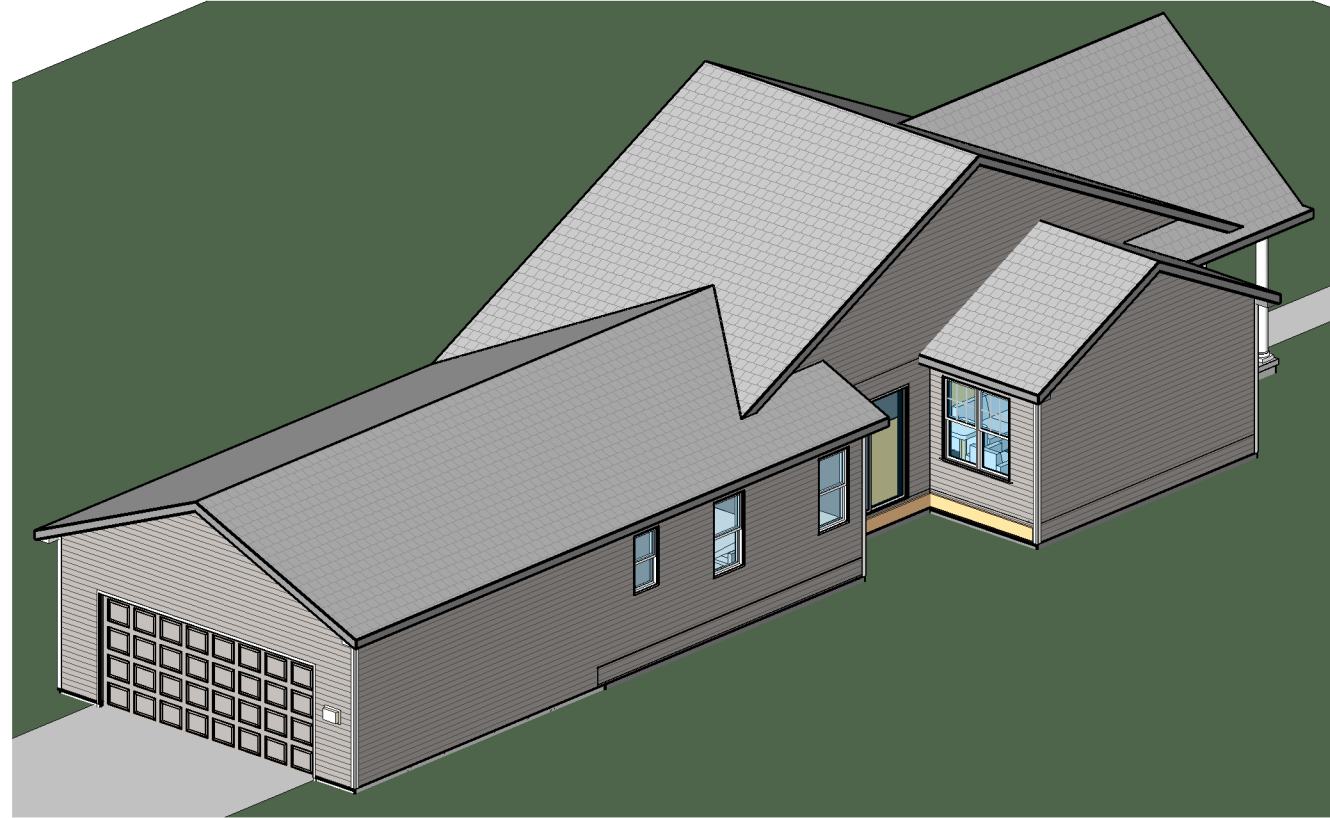
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D - Southern Traditional

Unit 6135



3D - Southern Traditional Rear

Do Not Scale Note: All dimensions are stud to stud
 Actual floor plans & exterior styles may differ from these shown based on
 modifications, options & improvements to the plans by the builder.
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Model: COLLETTE
 Elevation: Southern Traditional
 Drawn By: Author Date: Issue Date

Print Date:
 1/3/2023
 12:35:06 PM

Drawing No.:
STO

Customer Approval:
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3D 1st Floor Southern Traditional

Do Not Scale Note: All dimensions are stud to stud

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Model:	COLLETTE
Elevation:	Southern Traditional
Drawn By:	Author
Date:	Issue Date
Print Date:	1/3/2023 12:35:13 PM
Drawing No.:	STO.2



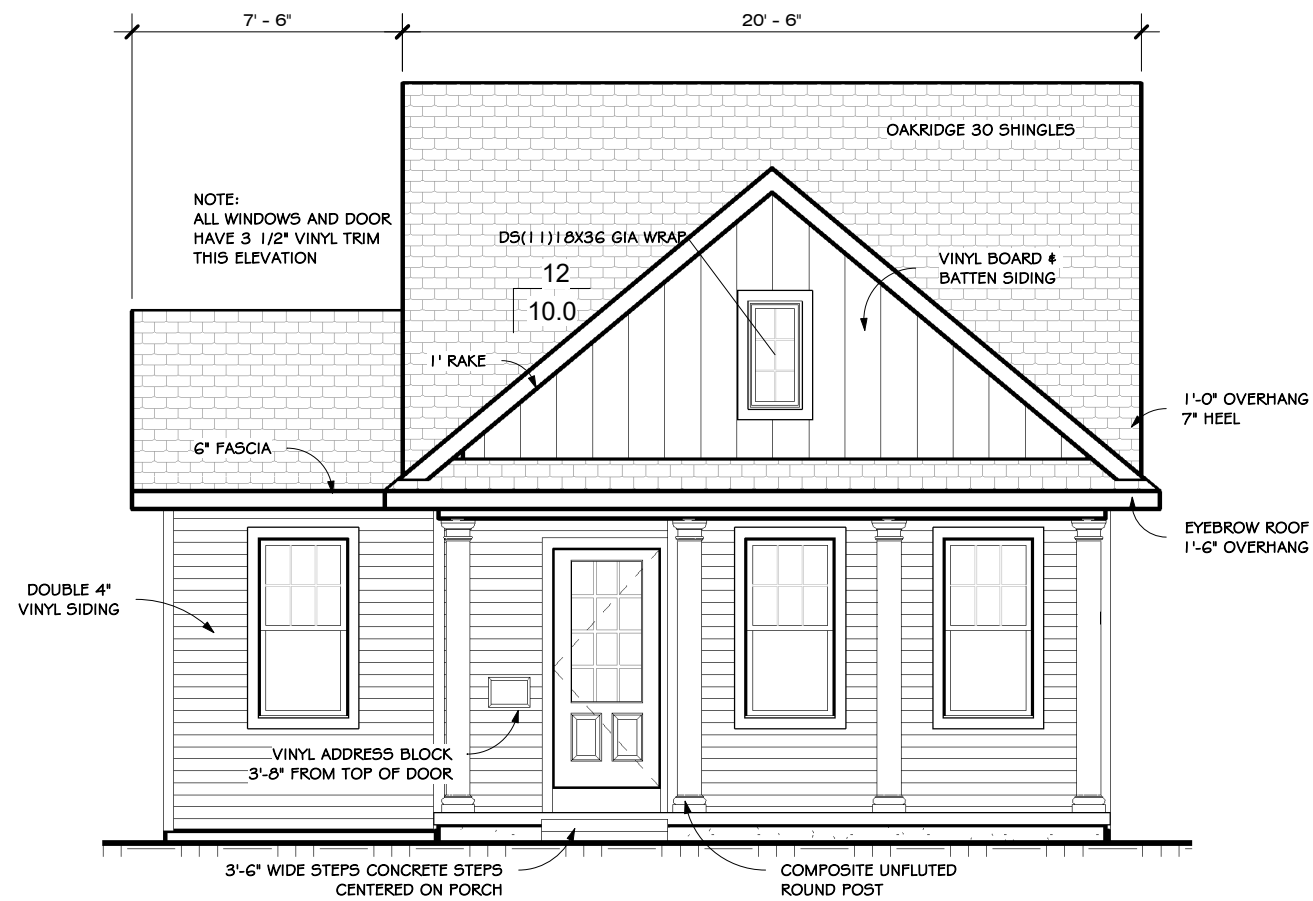
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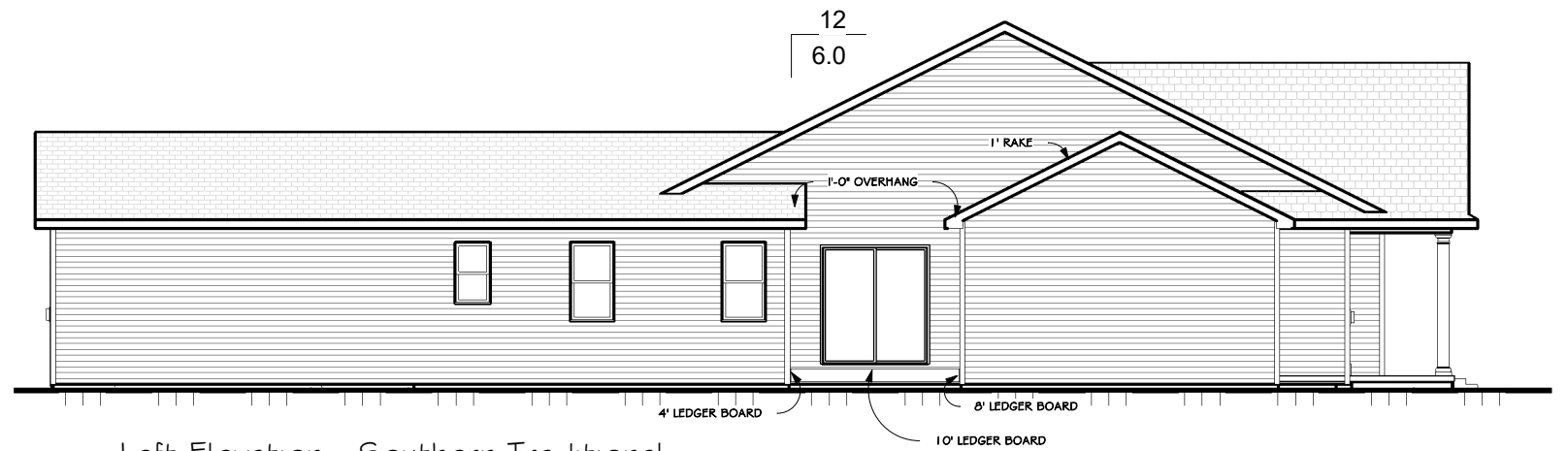
Custom Designed For: Owner
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Customer Approval:

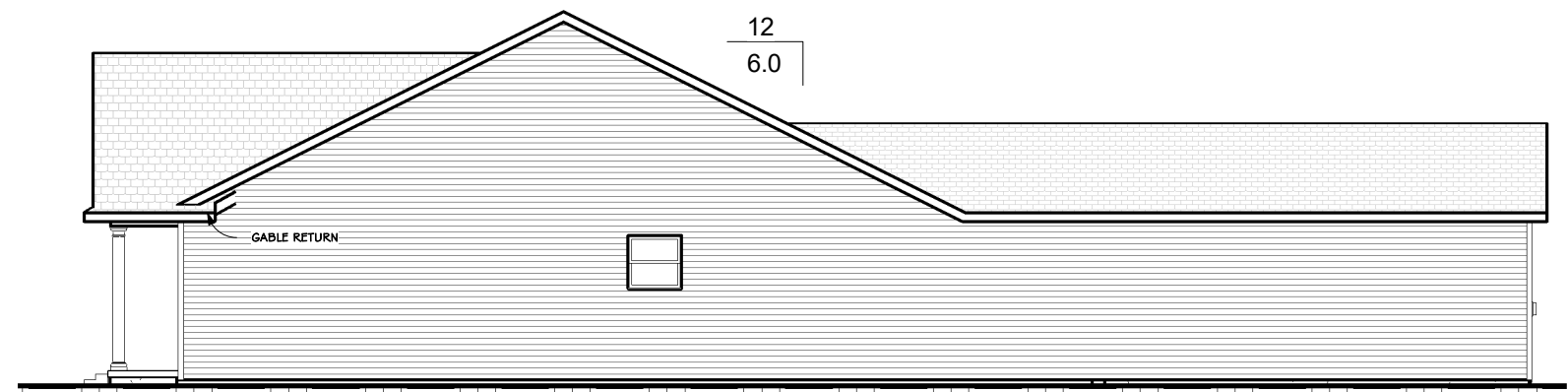
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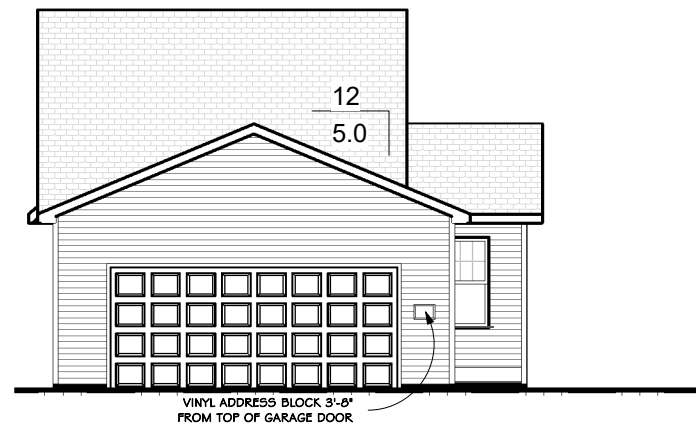
Front Elevation - Southern Traditional
3/16" = 1'-0"



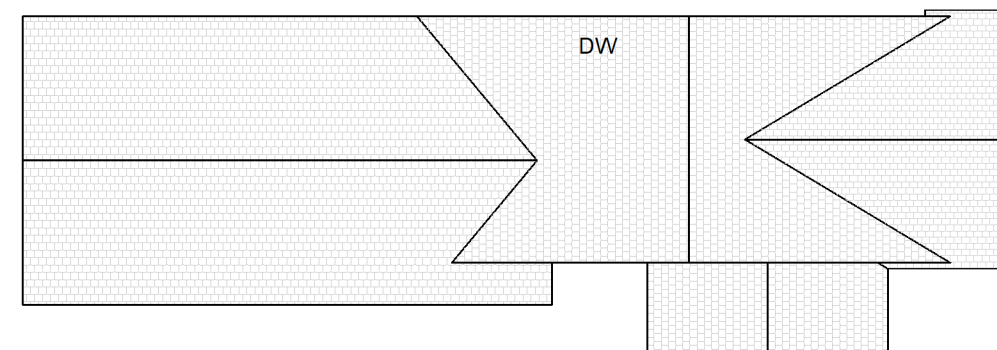
Left Elevation - Southern Traditional
3/32" = 1'-0"



Right Elevation - Southern Traditional
3/32" = 1'-0"



Rear Elevation - Southern Traditional
3/32" = 1'-0"



Roof - Southern Traditional
1/16" = 1'-0"

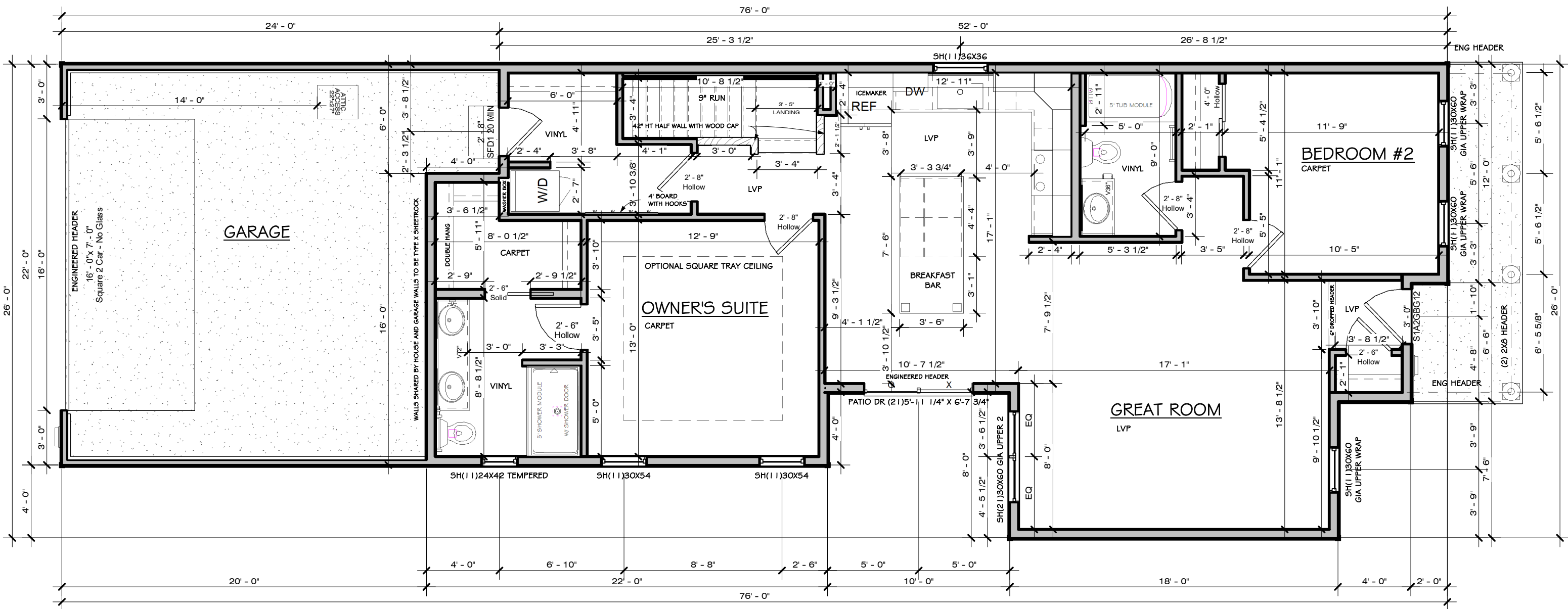
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: COLLETTE
ST2	1/3/2023	Elevation: Southern Traditional
	12:35:17 PM	Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Southern Traditional
 3/16" = 1'-0"

Area Schedule (Southern Traditional)	
Name	Area
FIRST FLOOR	1206 SF
	1206 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

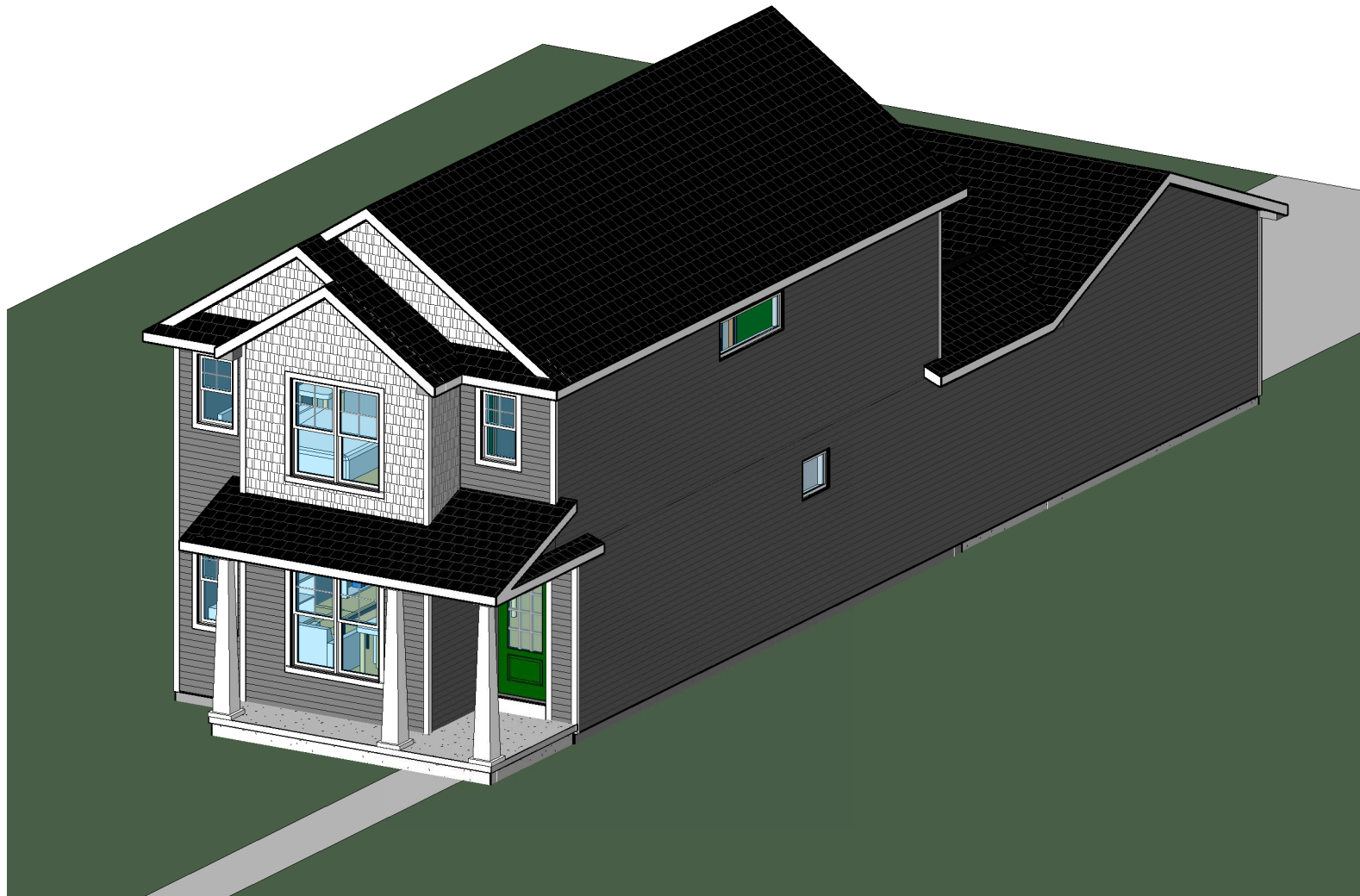
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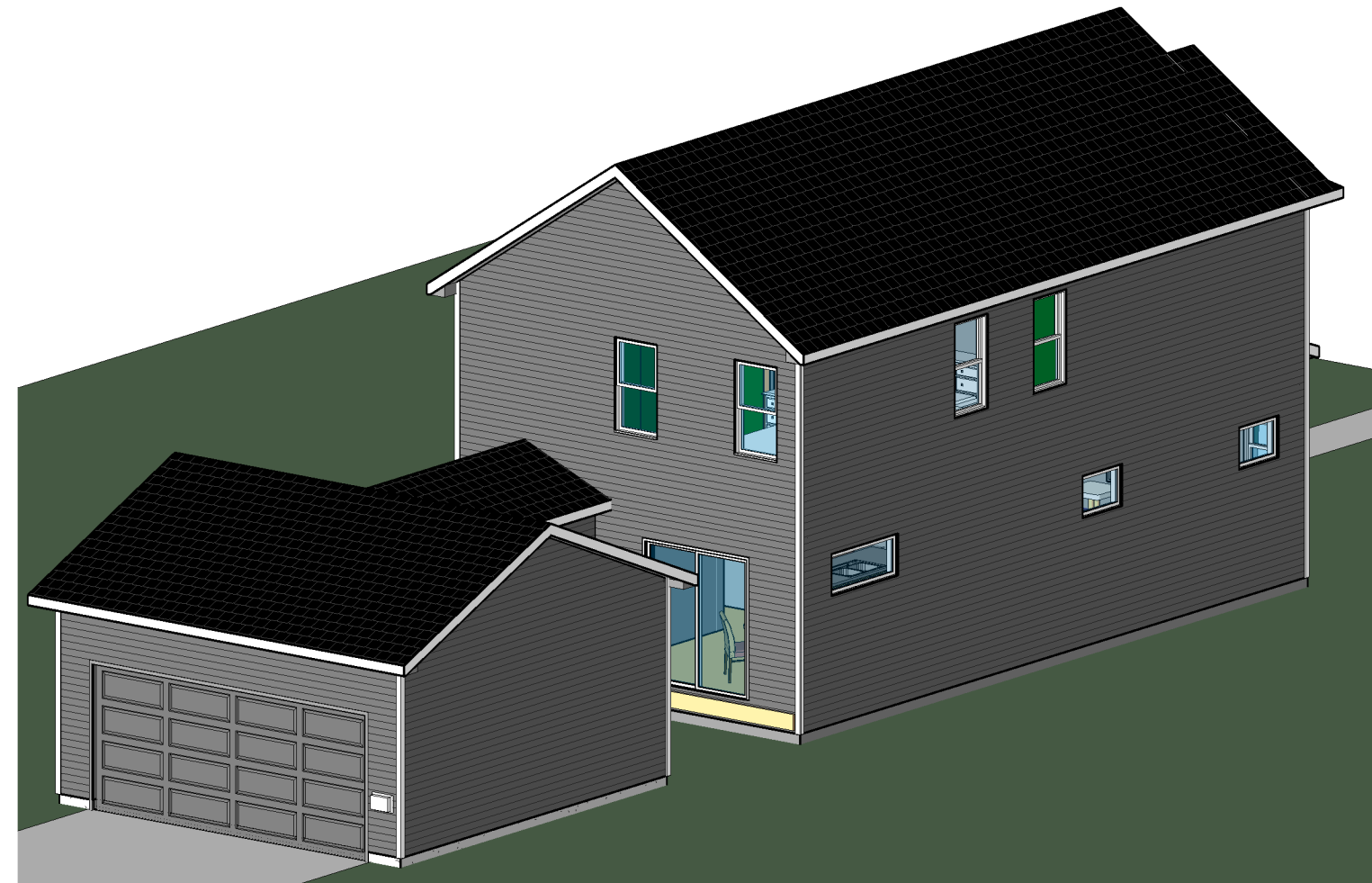
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Unit 6141



3D - Cottage



3D - Cottage Rear

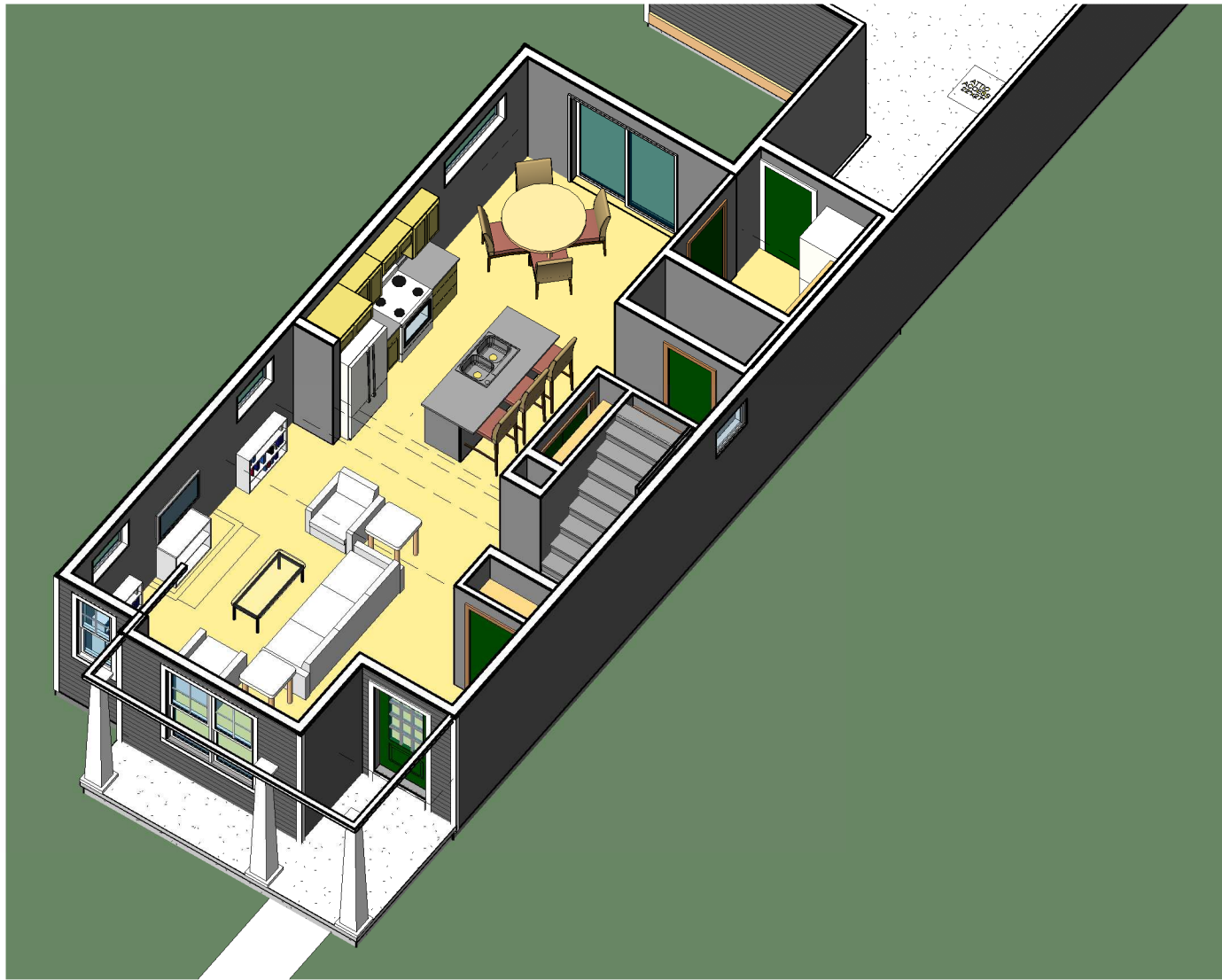
Note: All dimensions are stud to stud **Do Not Scale**

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	Revisions:	

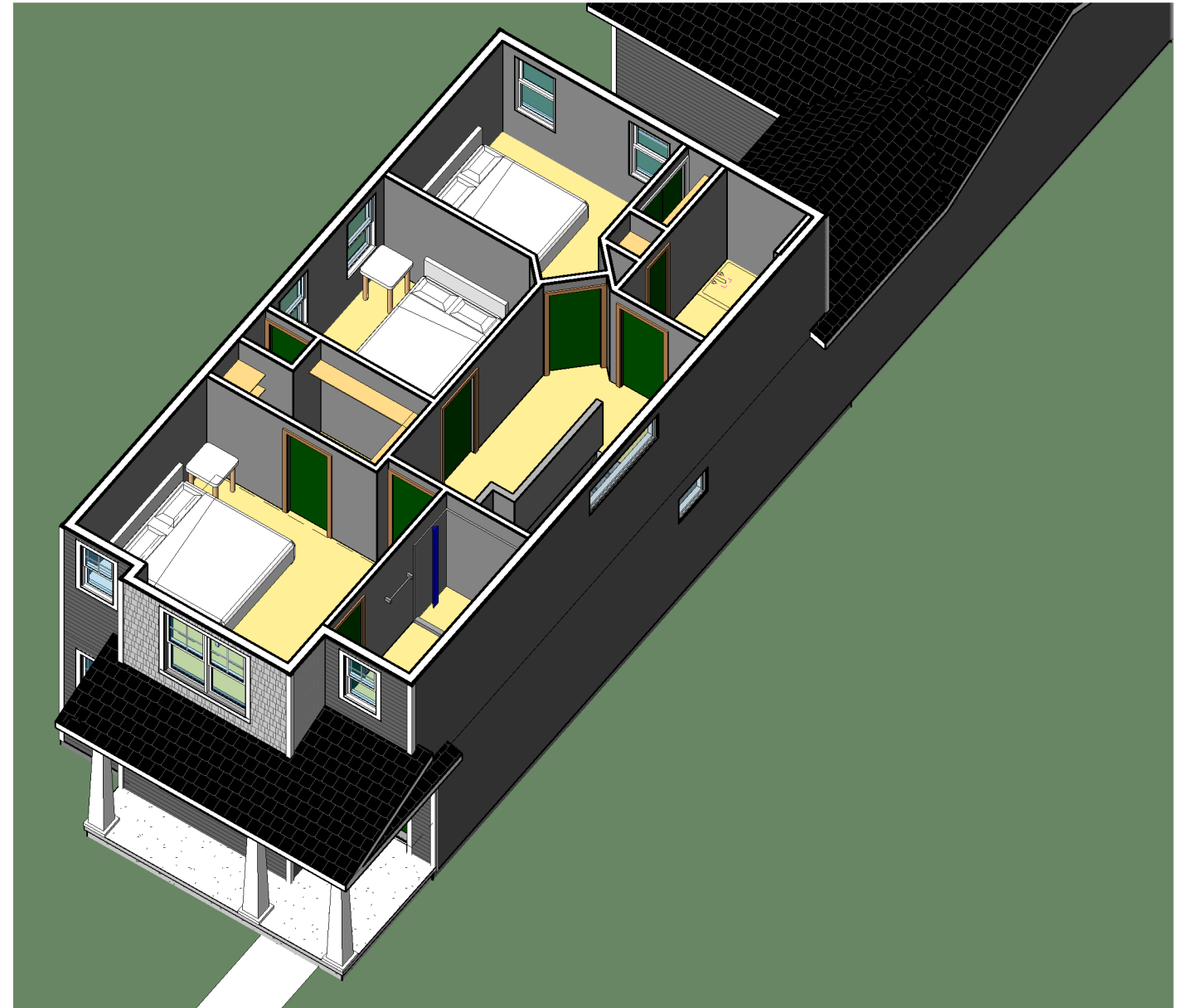

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



3D First Floor - Cottage



3D Second Floor - Cottage

Note: All dimensions are stud to stud **Do Not Scale**

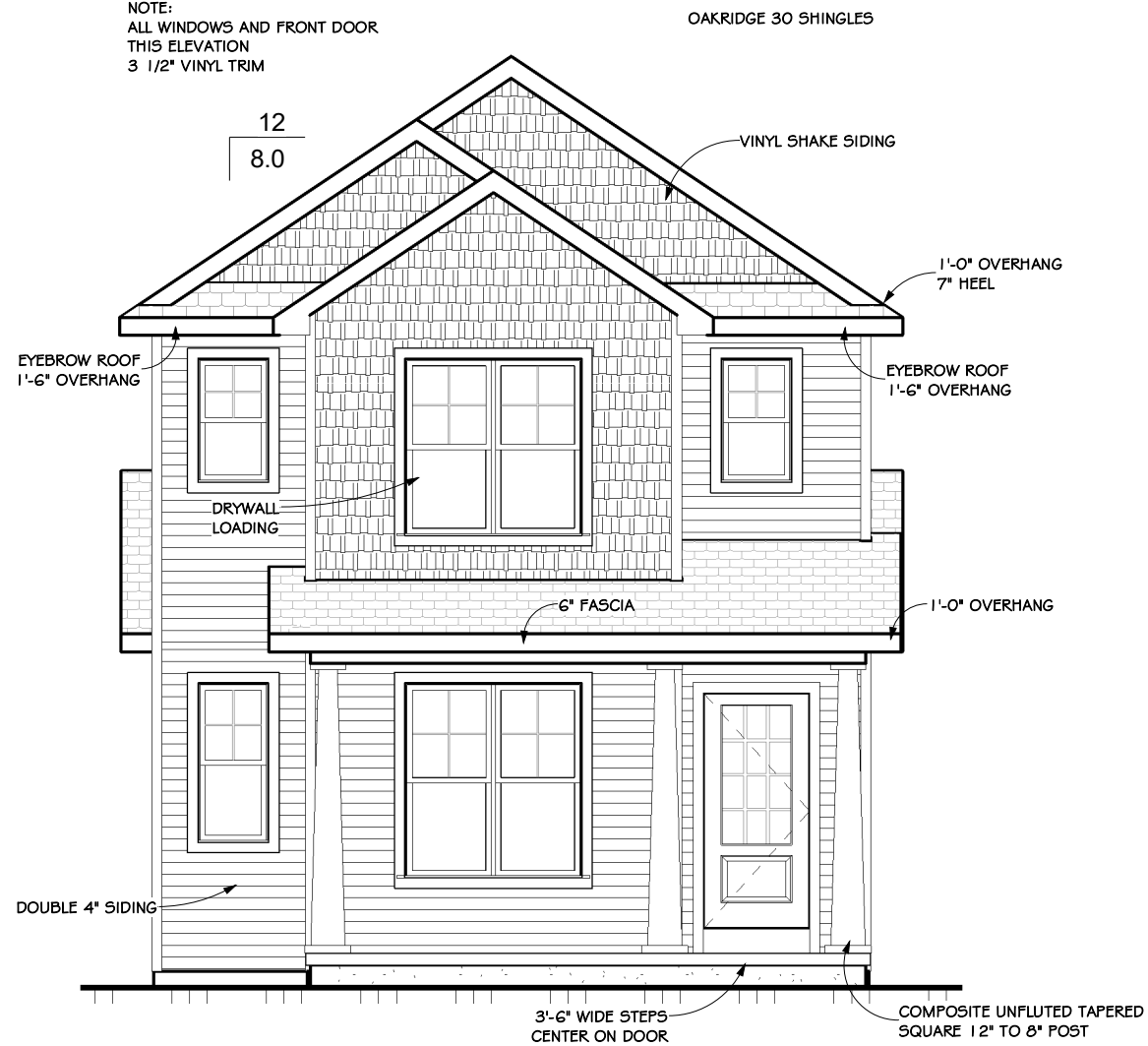
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Drawing No. COO.1	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
		Revisions:


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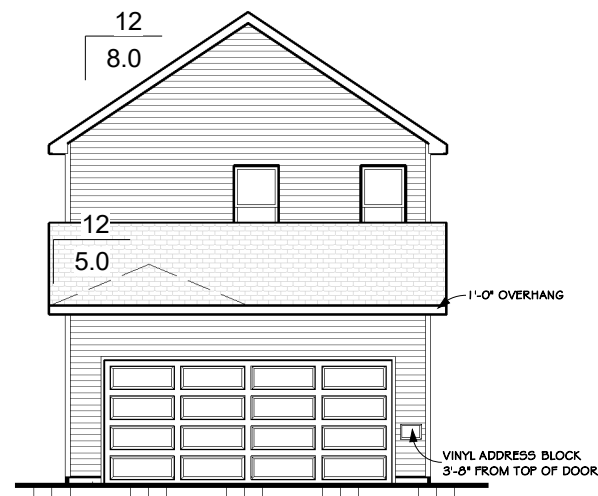
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NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION
3 1/2" VINYL TRIM



Front Elevation - Cottage

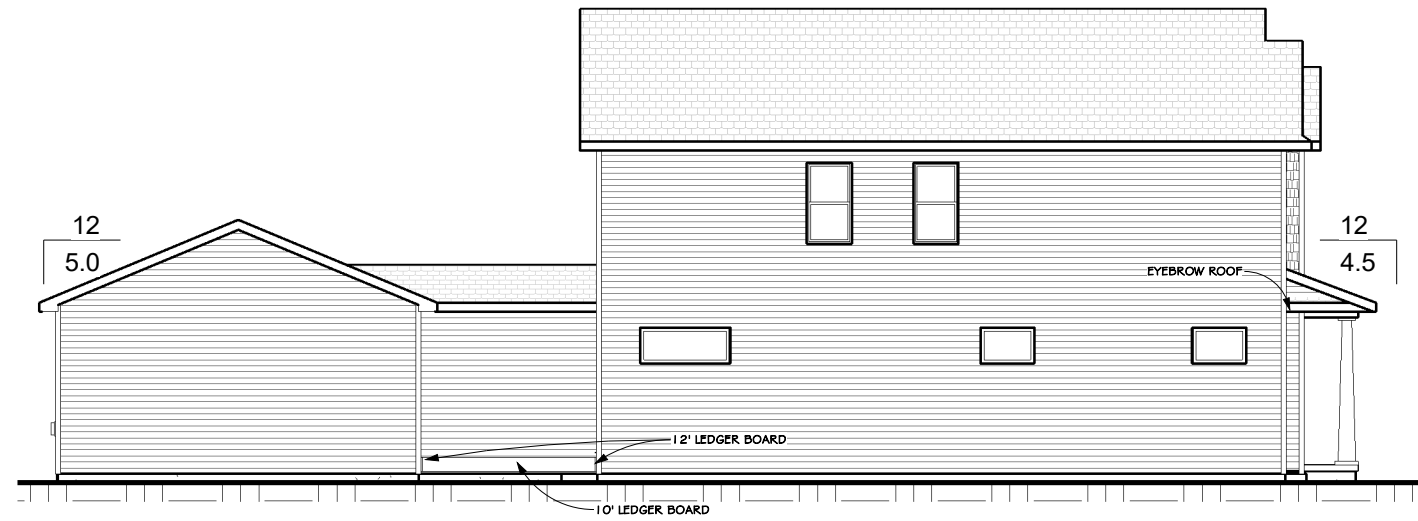
3/16" = 1'-0"



Rear Elevation - Cottage

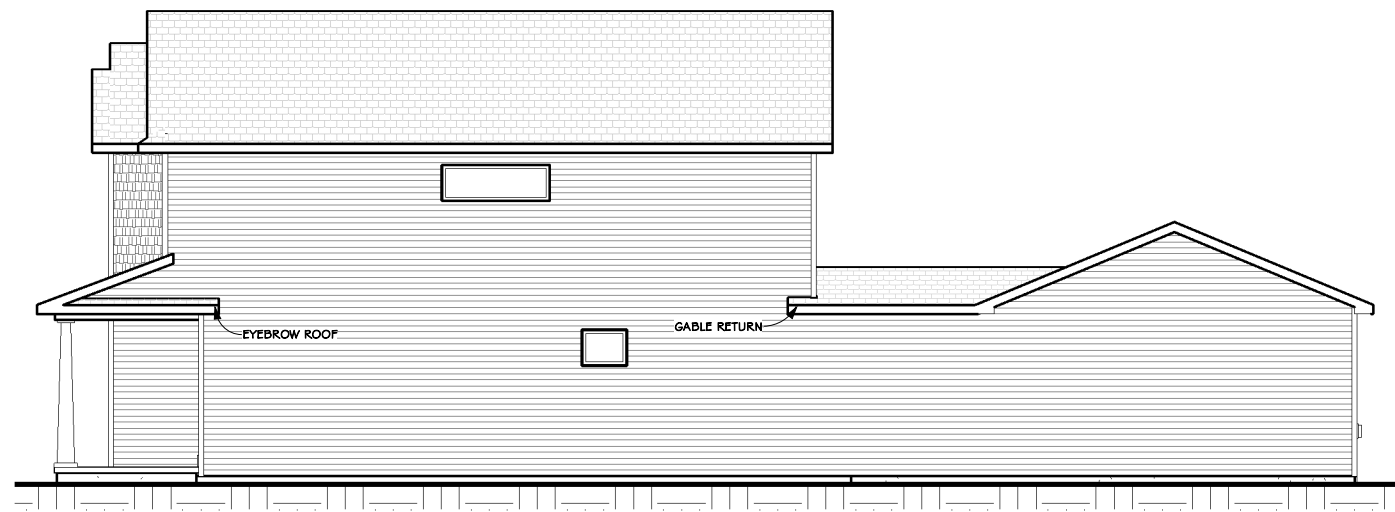
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



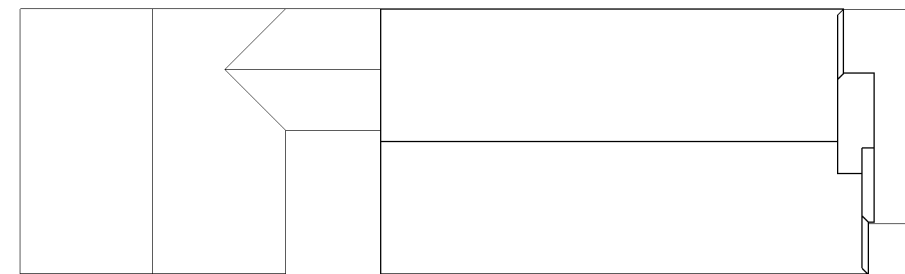
Left Elevation - Cottage

3/32" = 1'-0"



Right Elevation - Cottage

3/32" = 1'-0"



Roof Plan

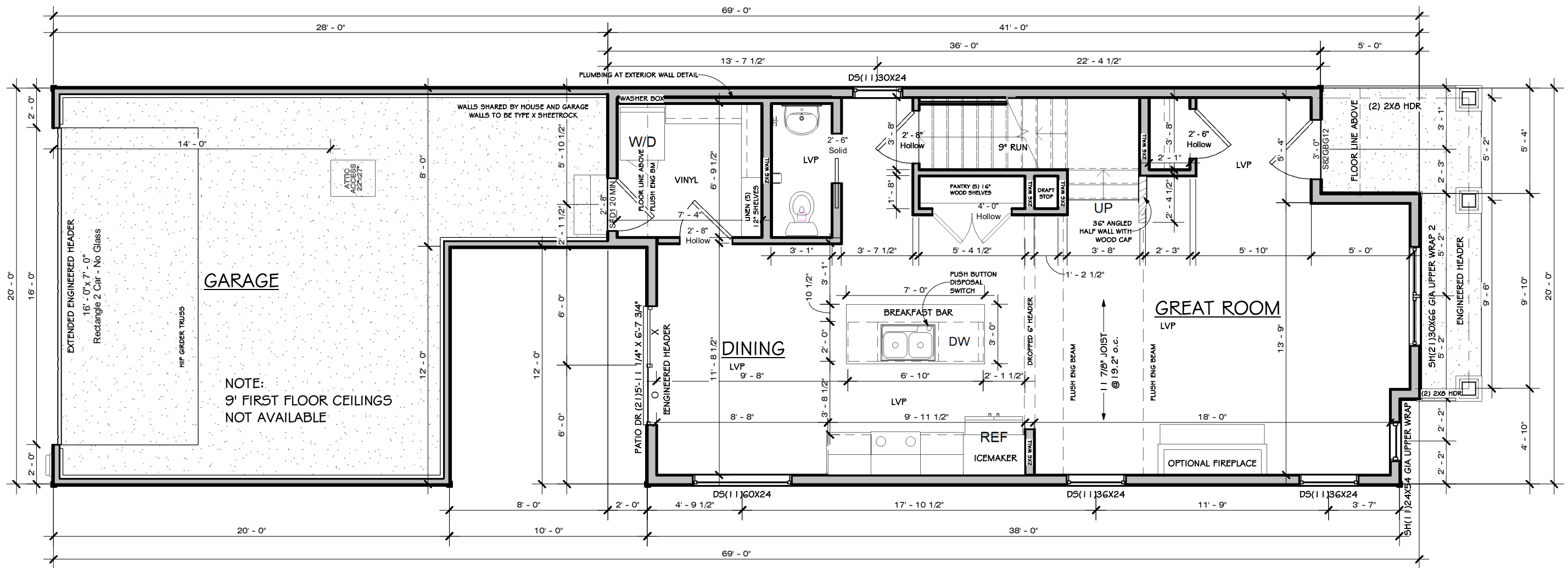
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No.	Print Date	Model: Tribeca
CO2	2/17/2023	Elevation: Cottage
	8:15:11 AM	Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Cottage

3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
	1525 SF

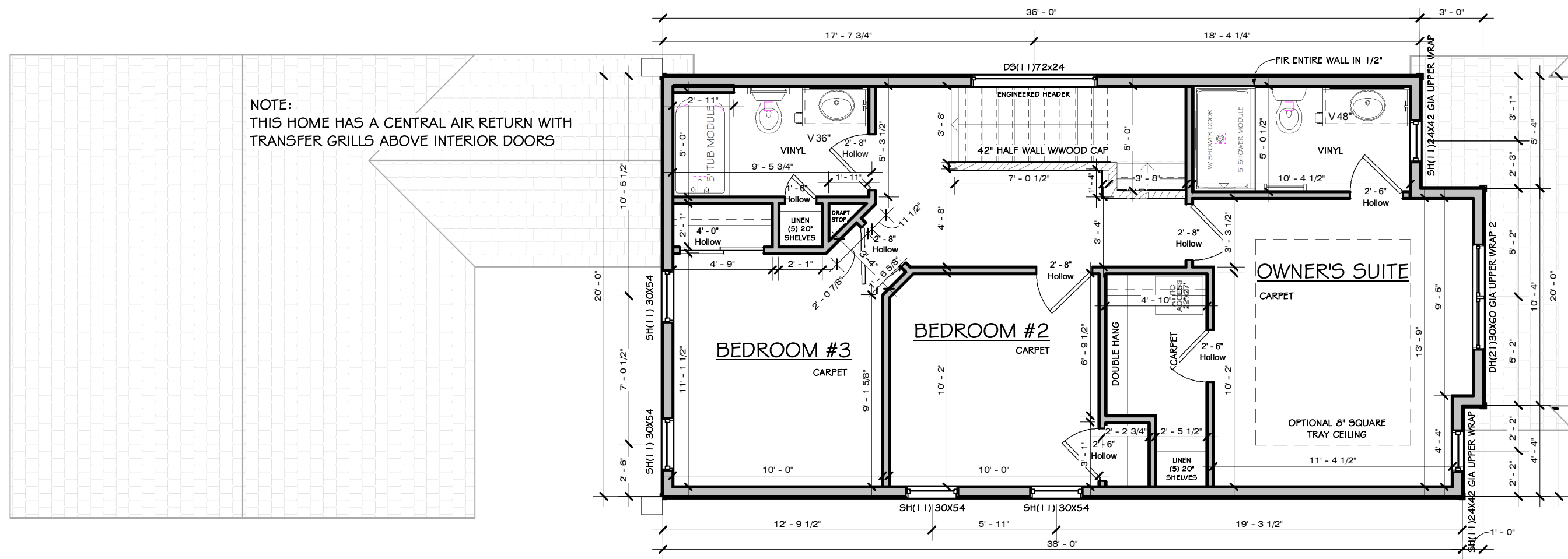
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

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		Drawn By: Author Date: Issue Date
		Revisions:

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NOTE:
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TRANSFER GRILLS ABOVE INTERIOR DOORS

Second Floor - Cottage

3/16" = 1'-0"

Area Schedule (Cottage)	
Name	Area

First Floor	765 SF
Second Floor	760 SF
	1525 SF

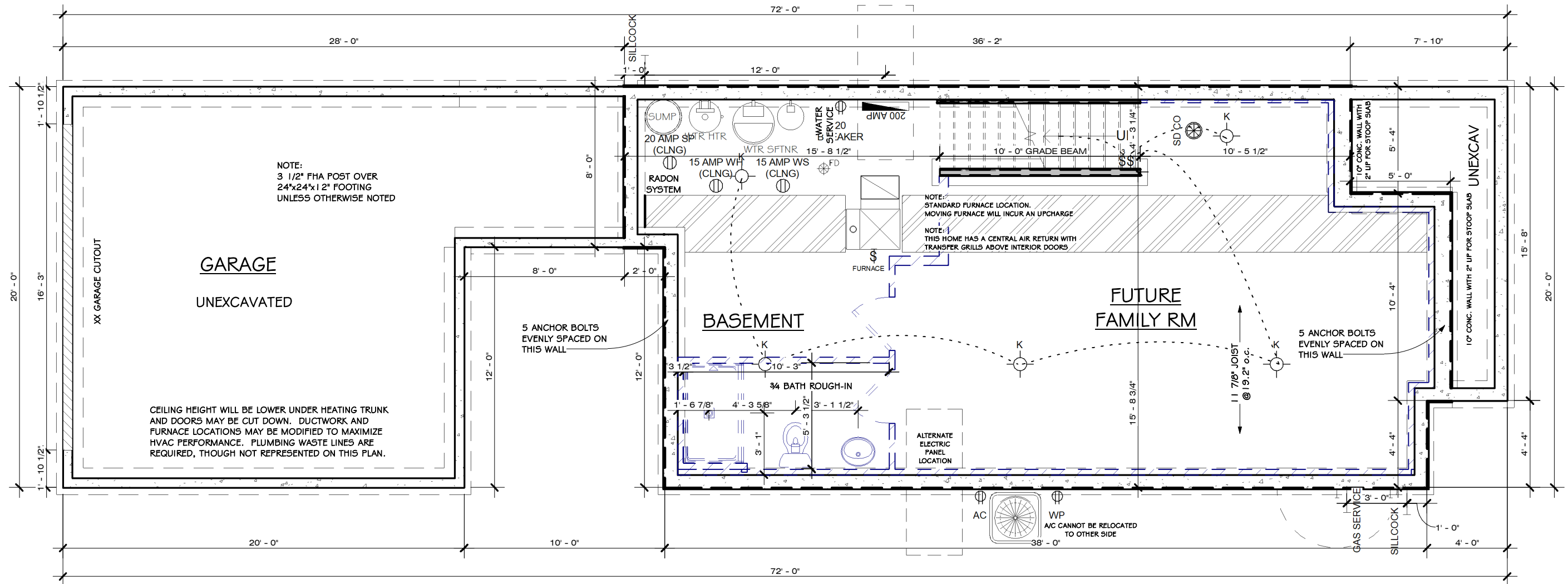
Note: All dimensions are stud to stud **Do Not Scale**

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		Revisions:

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



Foundation Plan

3/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

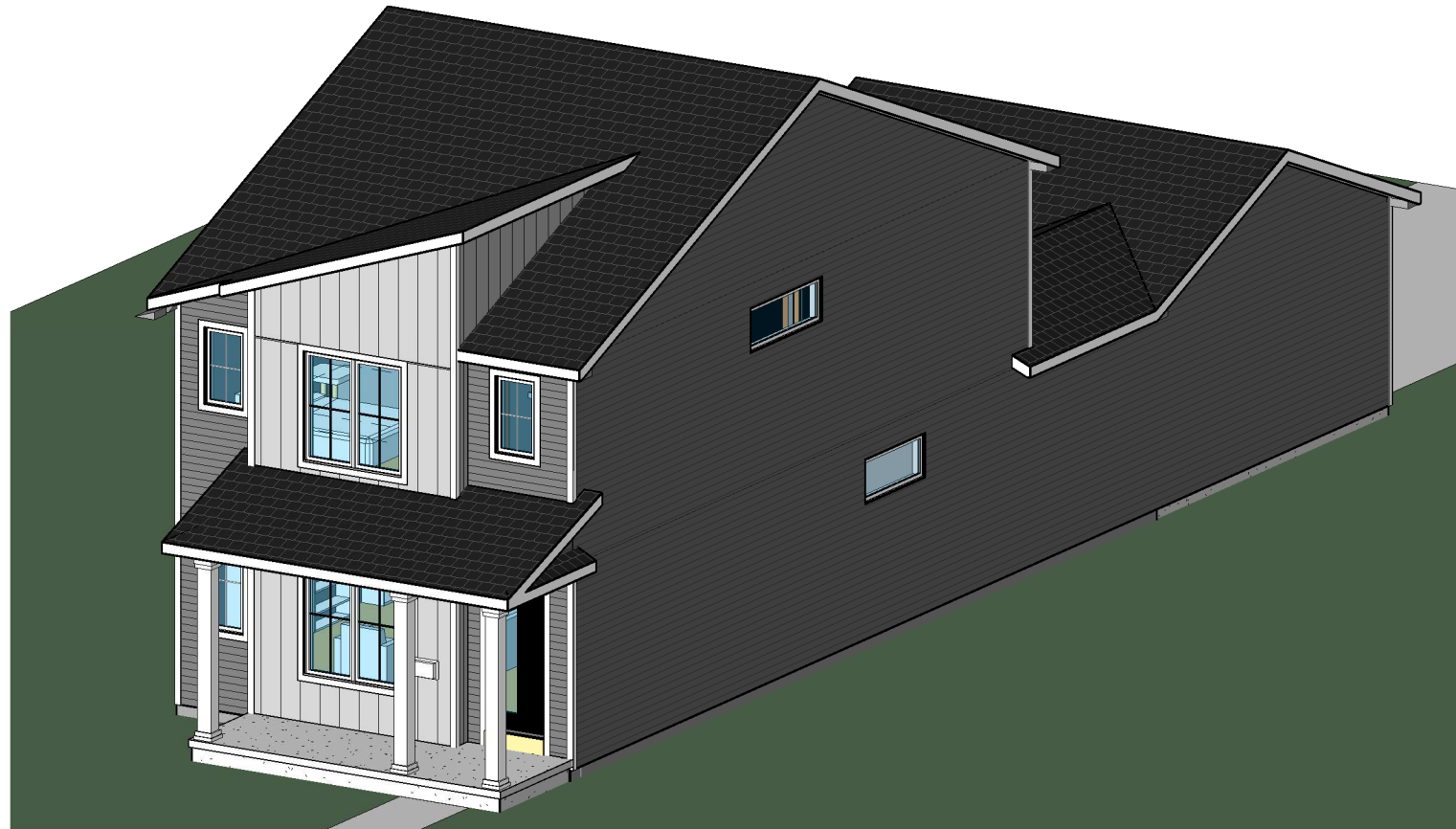
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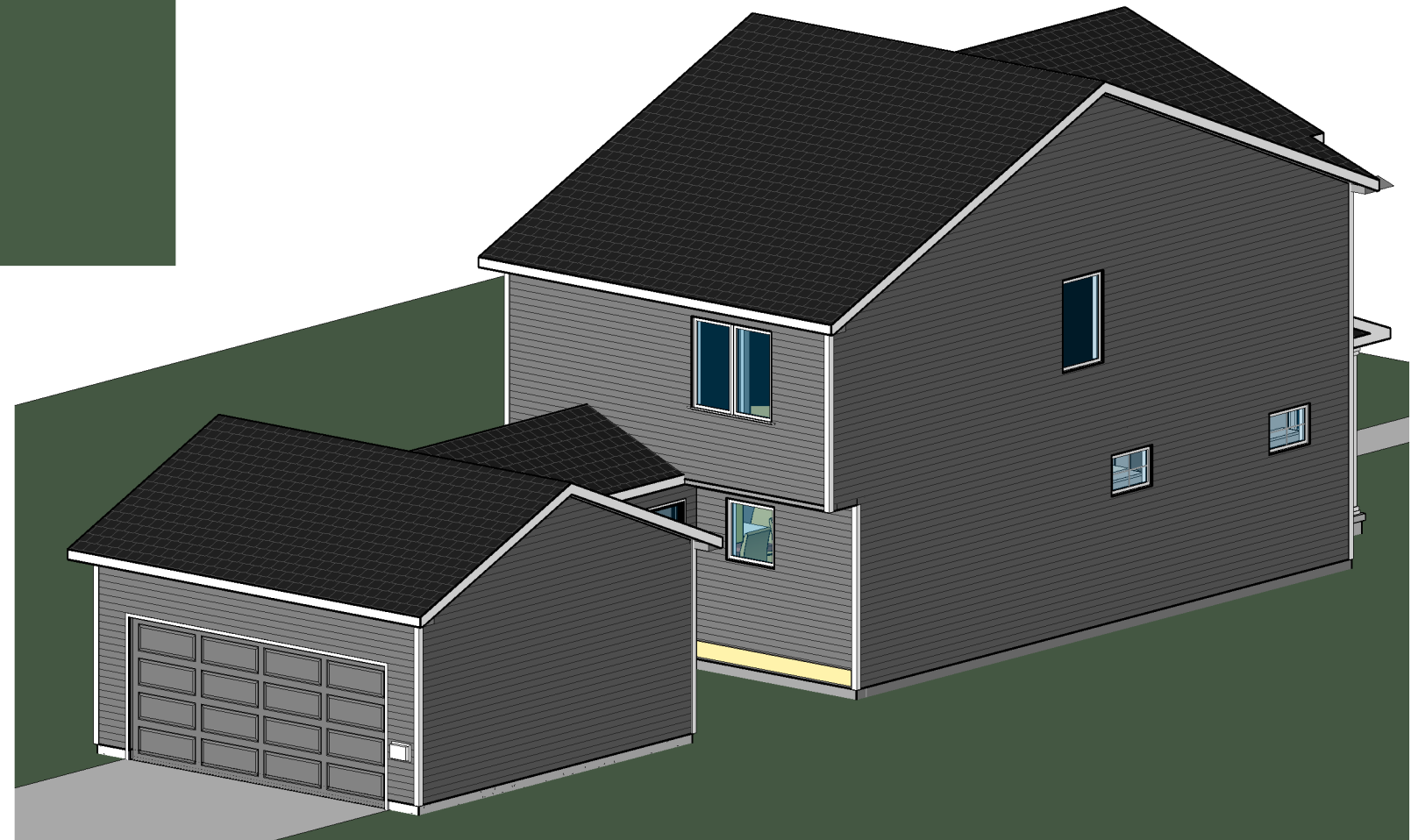
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Unit 6142



3D - Modern B



3D - Modern B Rear

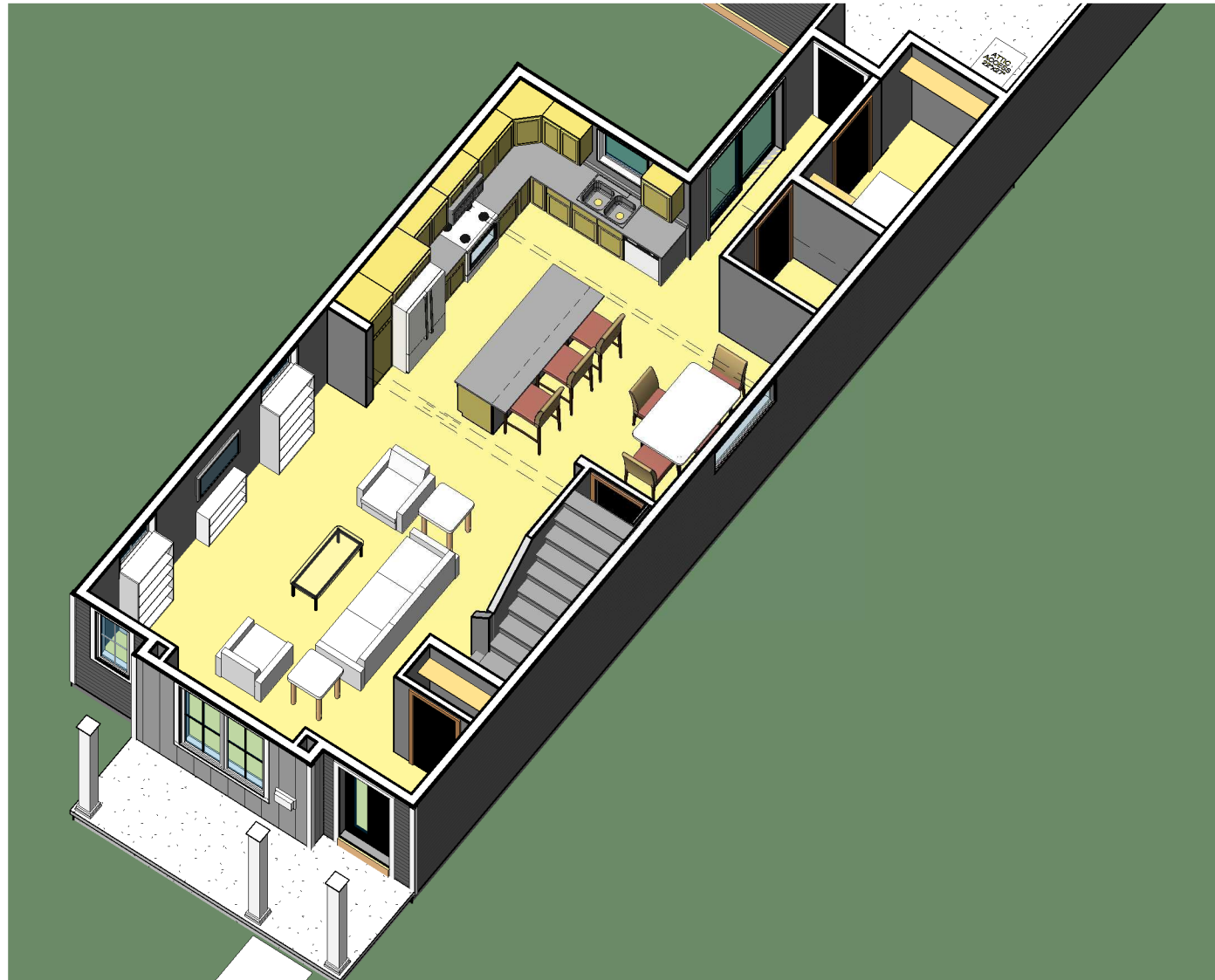
Note: All dimensions are stud to stud **Do Not Scale**

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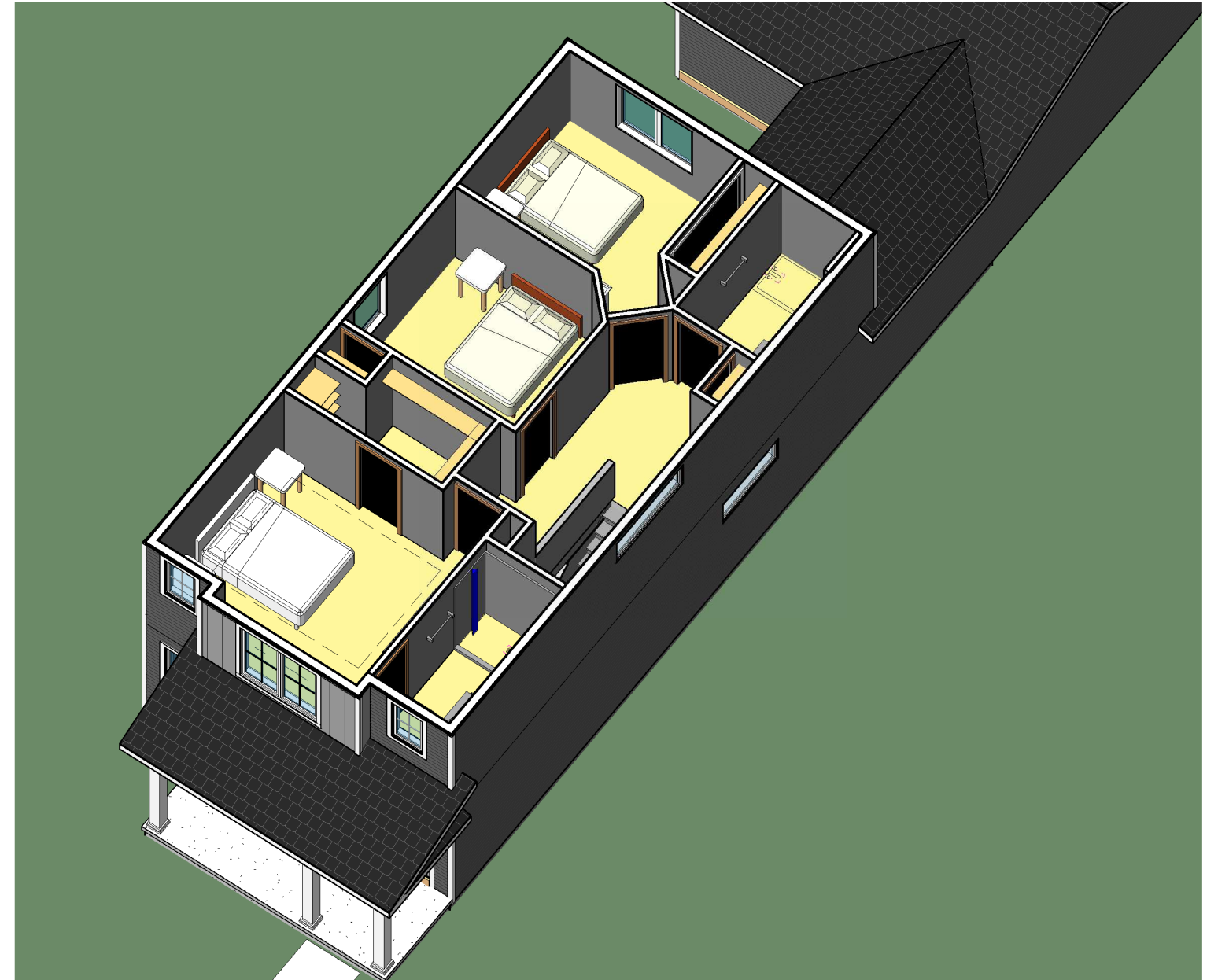

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3D - Modern B First Floor



3D - Modern B Second Floor

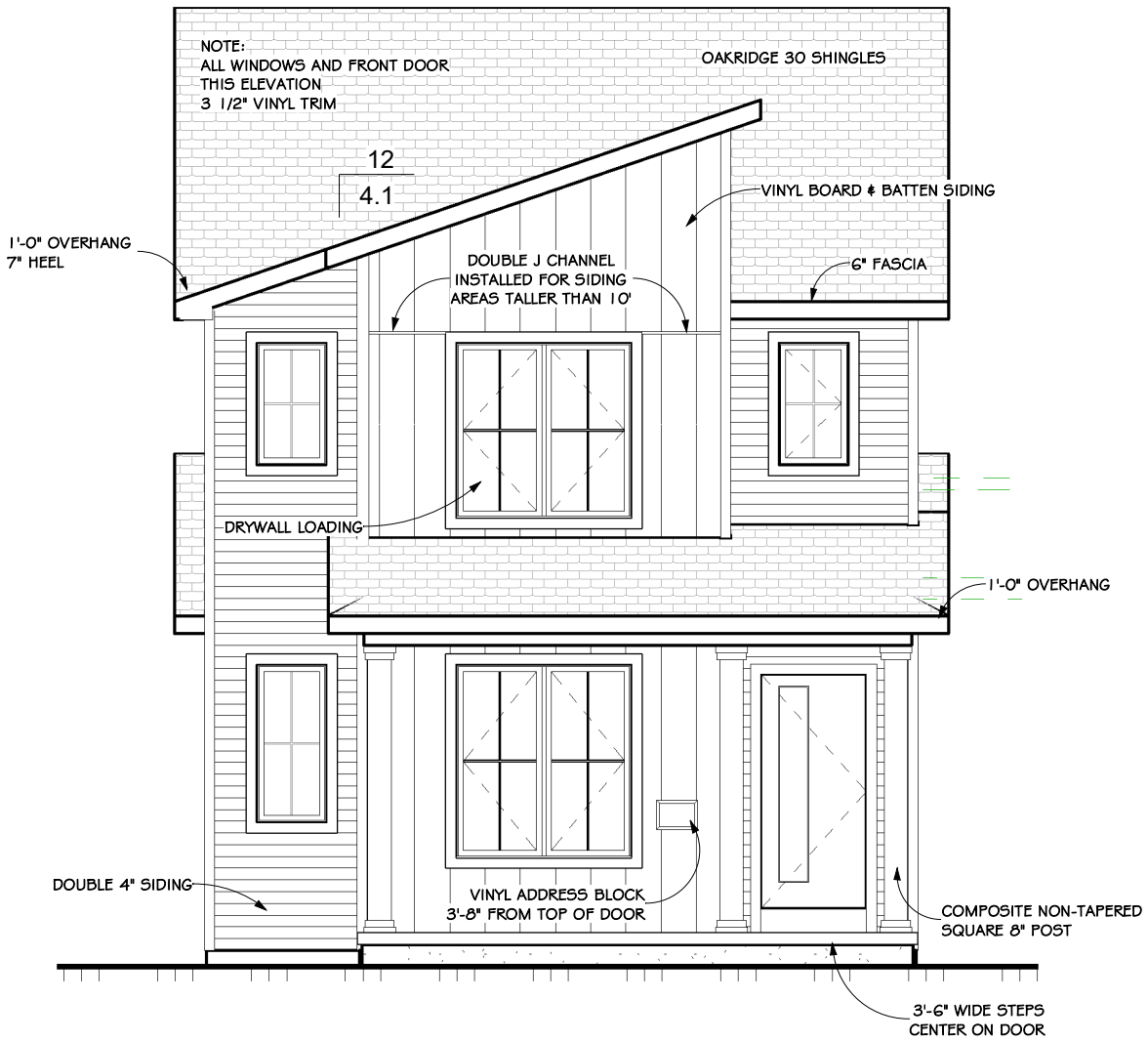
Note: All dimensions are stud to stud **Do Not Scale**

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		Drawn By: Author Date: Issue Date
		Revisions:

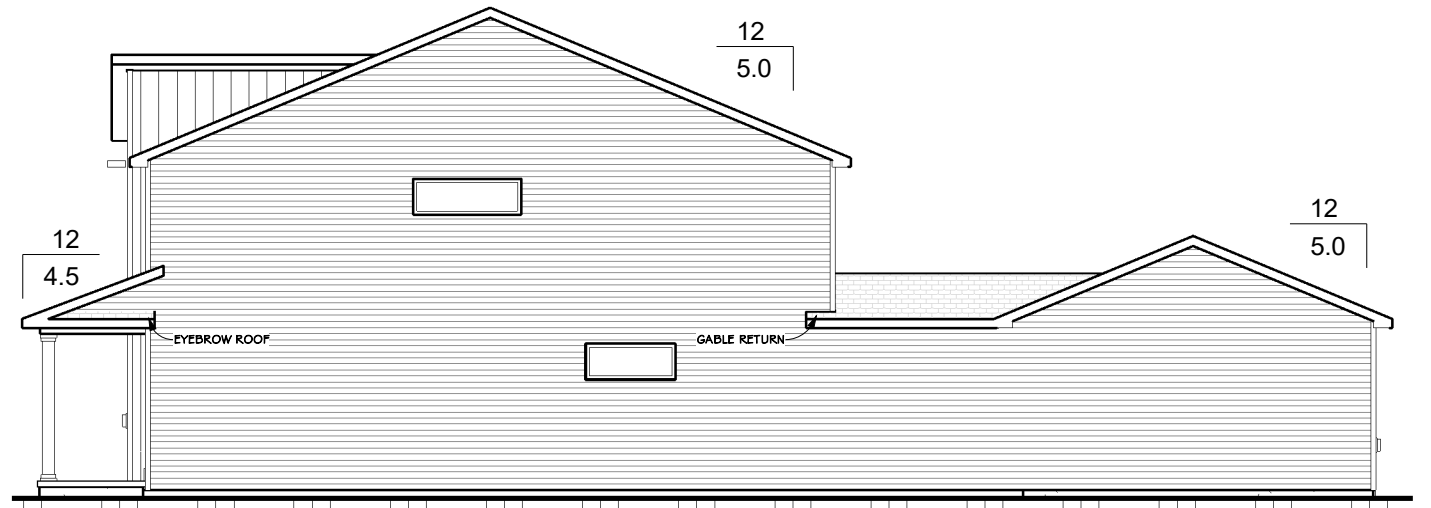

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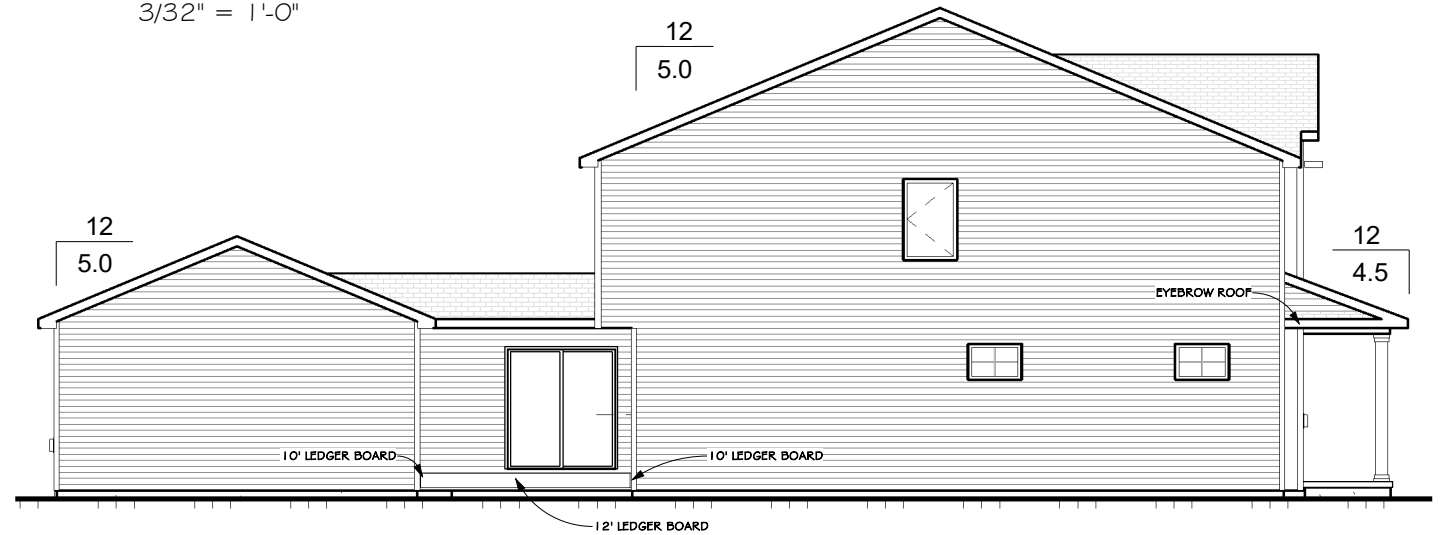
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



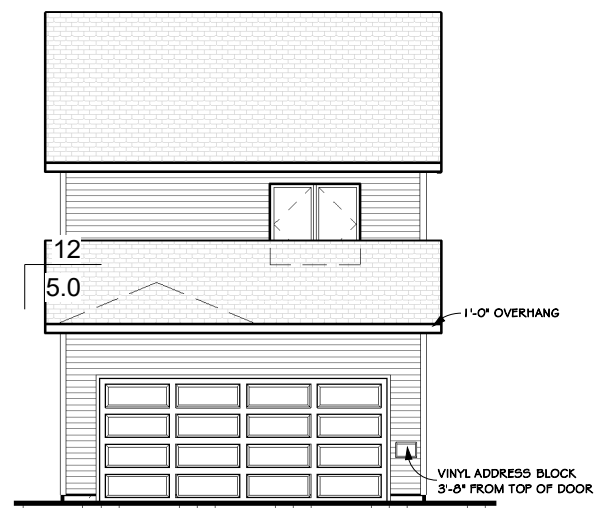
Front Elevation - Modern B
3/16" = 1'-0"



Right Elevation - Modern B
3/32" = 1'-0"

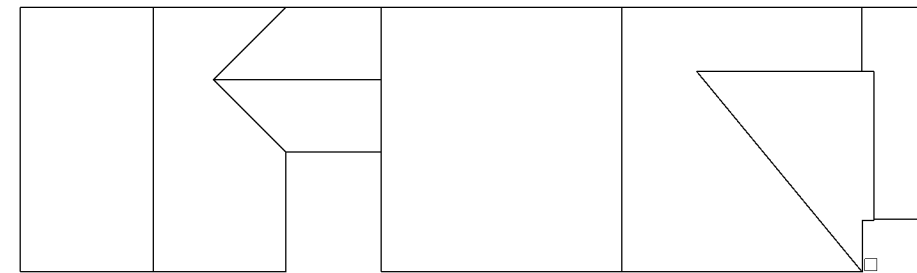


Left Elevation - Modern B
3/32" = 1'-0"



Rear Elevation - Modern B
3/32" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



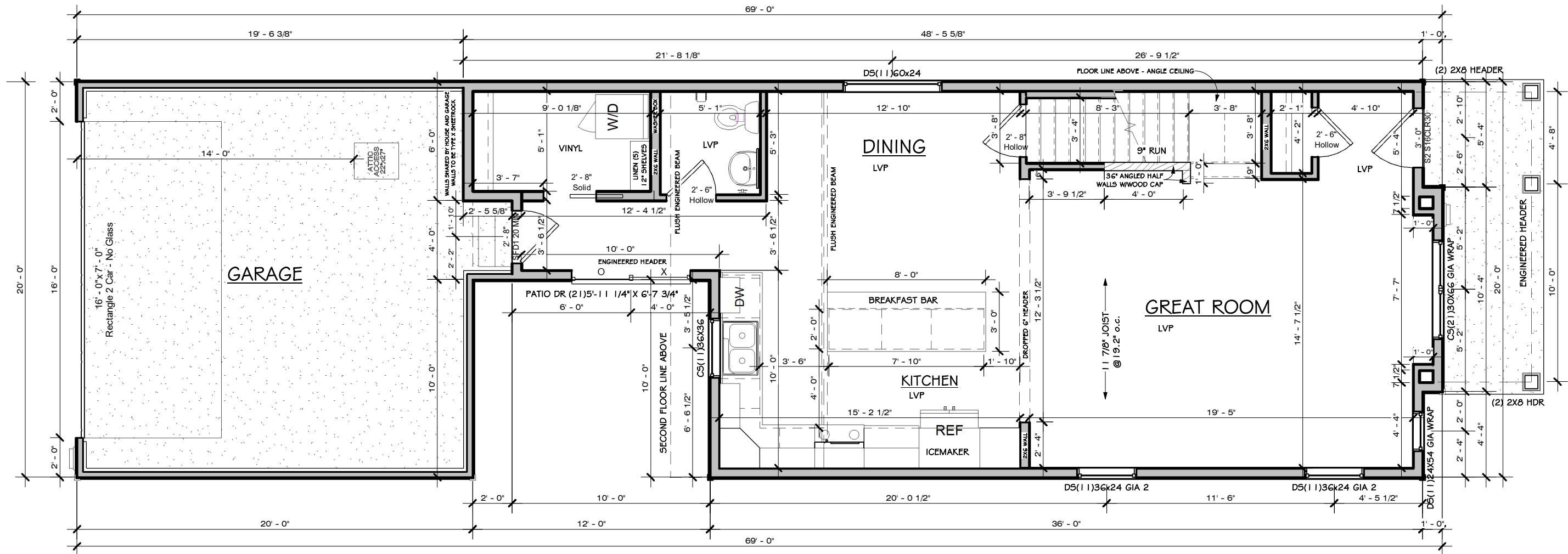
Roof Plan
1/16" = 1'-0"

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. B2	Print Date	Model: Gramercy
	2/20/2023 4:51:00 PM	Elevation: Modern B
		Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Modern B

3/16" = 1'-0"

NOTE:
9' FIRST FLOOR CEILING NOT AVAILABLE
NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern B)	
Name	Area

First Floor	845 SF
Second Floor	770 SF
	1615 SF

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

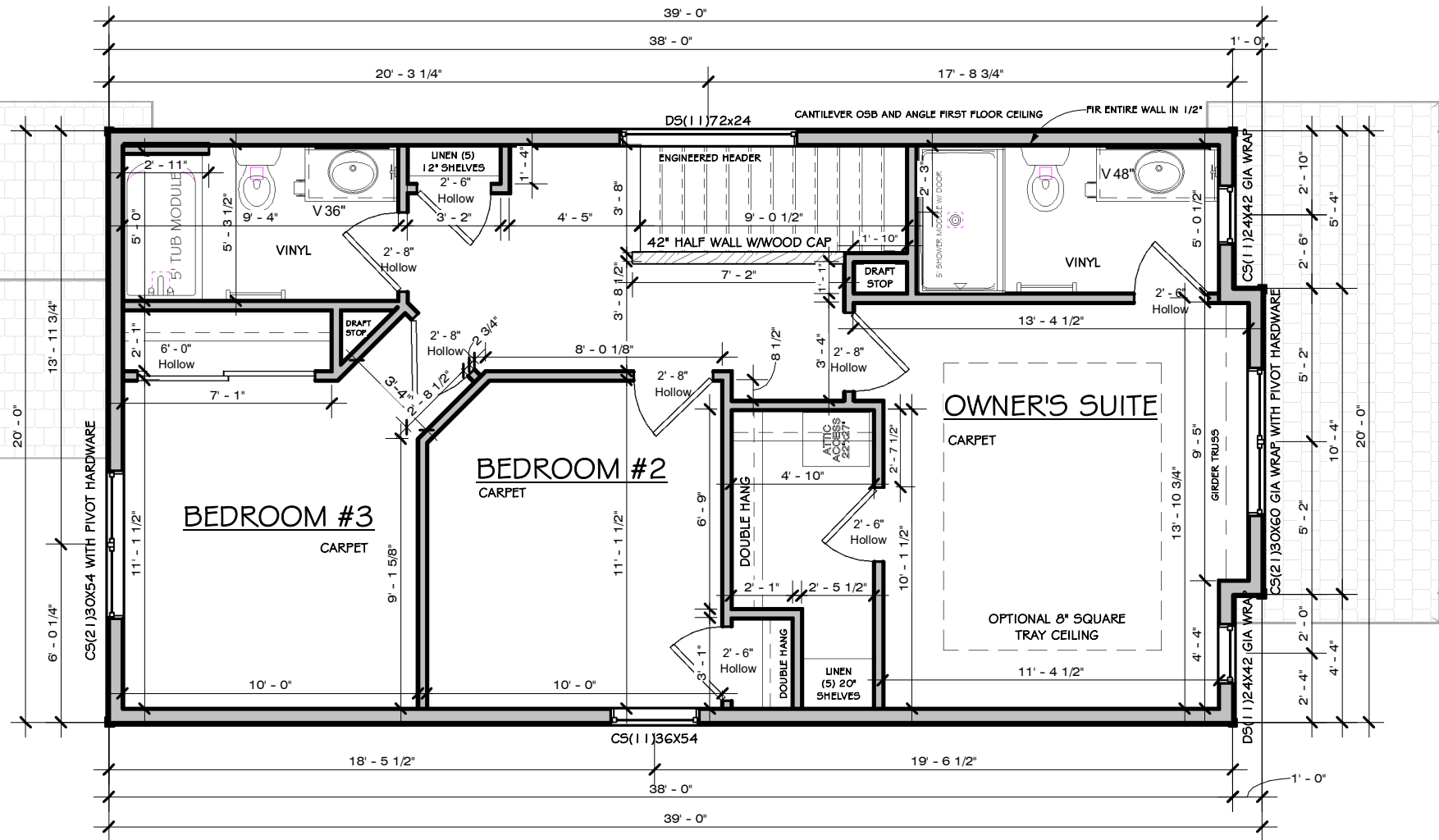
Note: All dimensions are stud to stud **Do Not Scale**

B3	Drawing No.	Print Date	Model: Gramercy
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			Revisions:


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NOTE:
THIS HOME HAS A CENTRAL AIR RETURN WITH
TRANSFER GRILLS ABOVE INTERIOR DOORS



Second Floor - Modern B

3/16" = 1'-0"

Area Schedule (Modern B)	
Name	Area

First Floor	845 SF
Second Floor	770 SF
1615 SF	

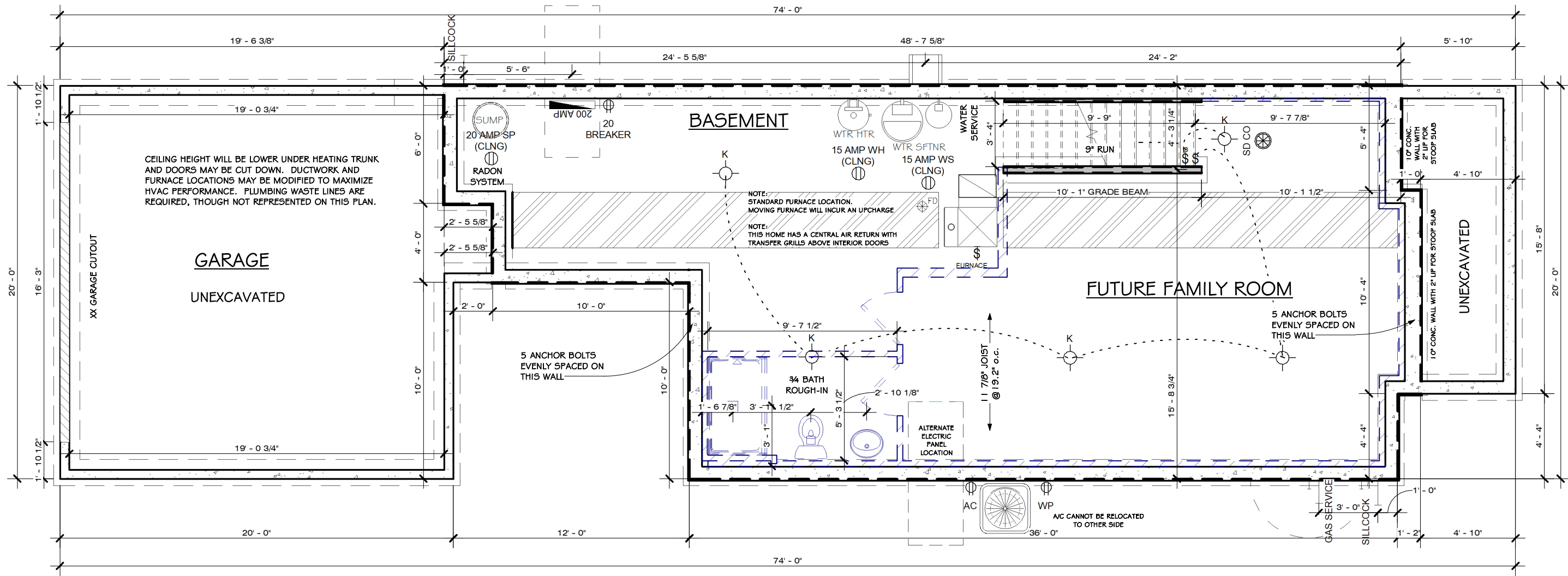
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

B5	Drawing No.	Print Date	Model: Gramercy
		2/20/2023 4:51:03 PM	Elevation: Modern B
			Drawn By: Author Date: Issue Date
			Revisions:


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Foundation Plan
 3/16" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

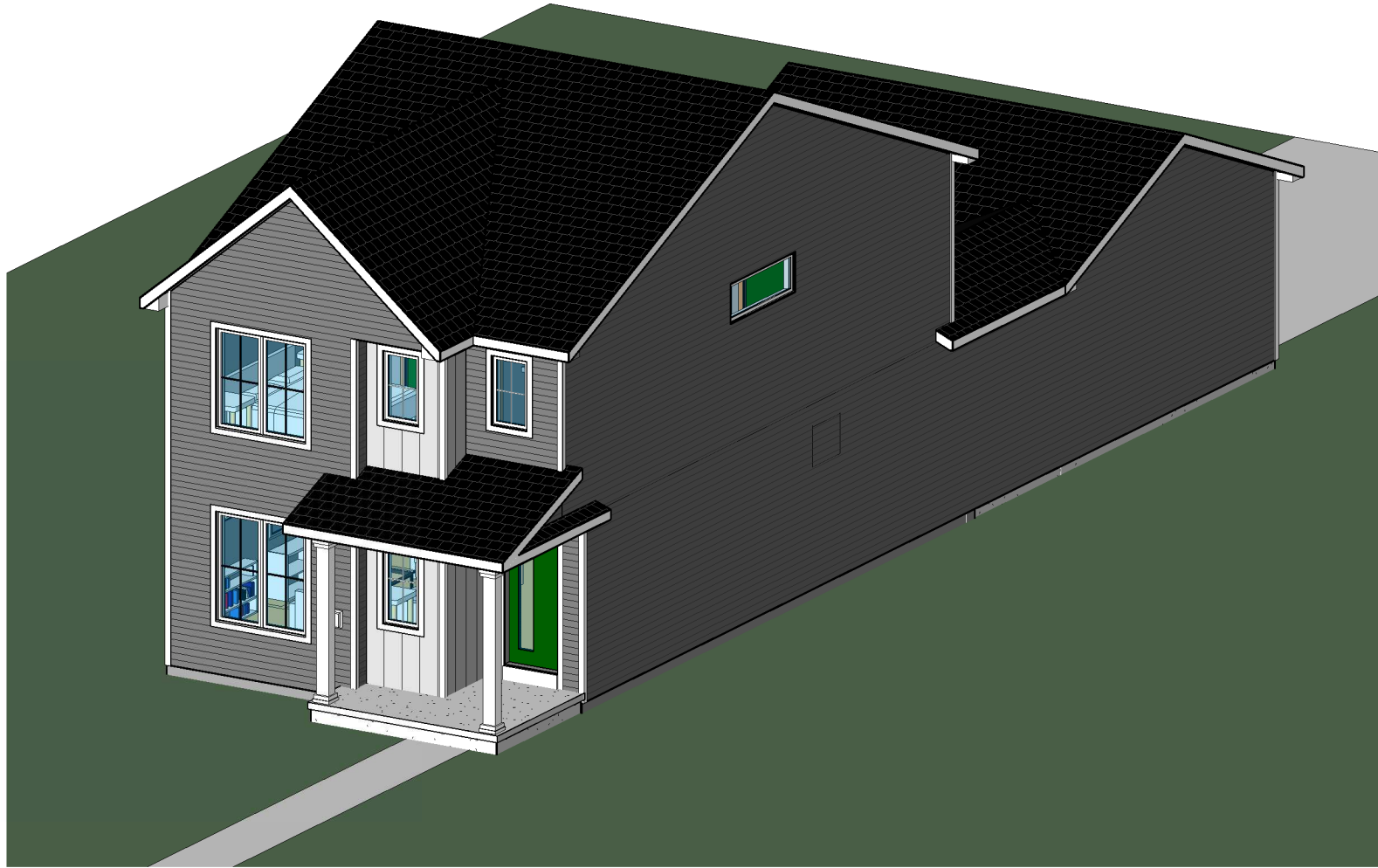
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		Revisions:

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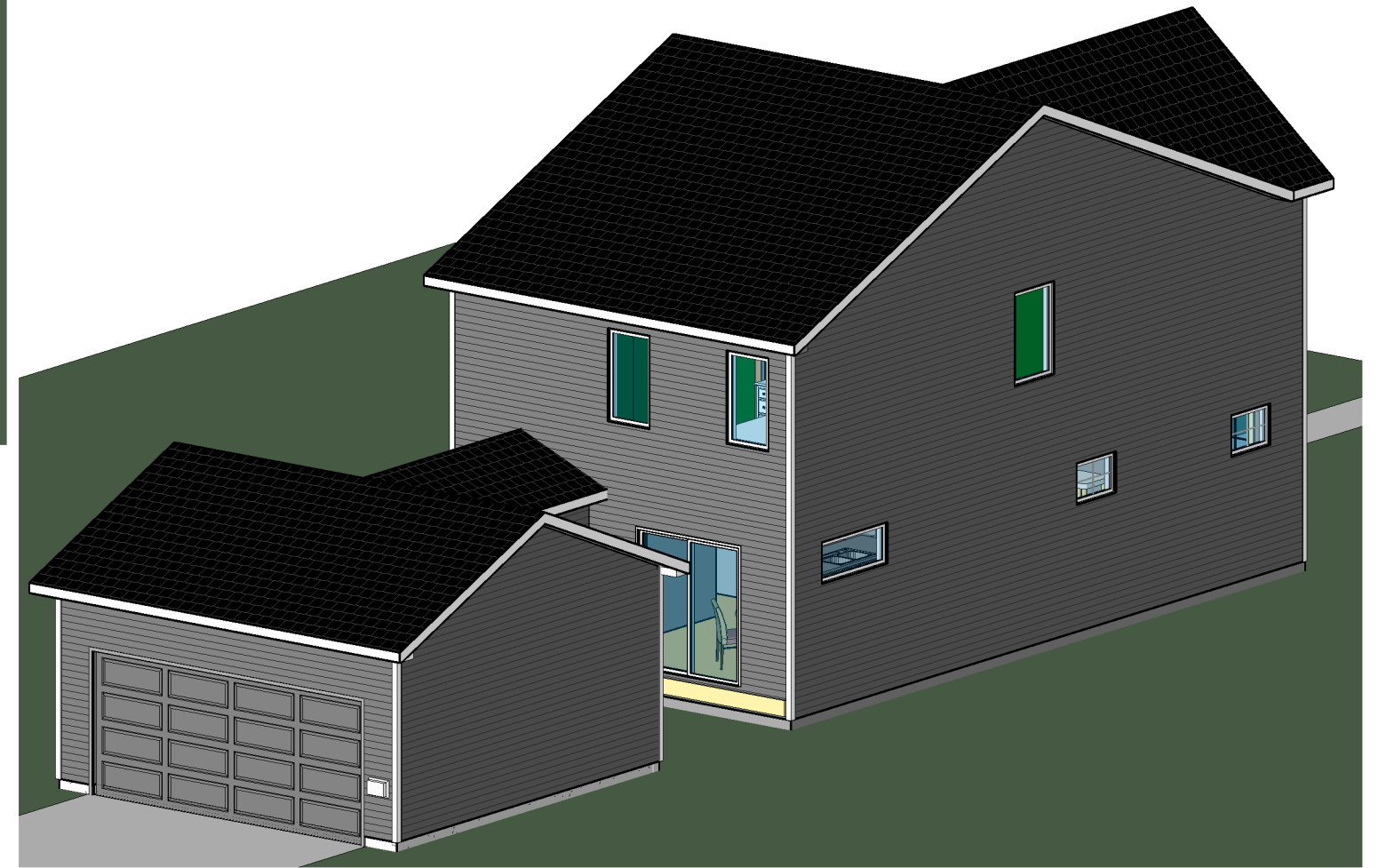
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Unit 6143



3D - Modern F



3D - Modern F Rear

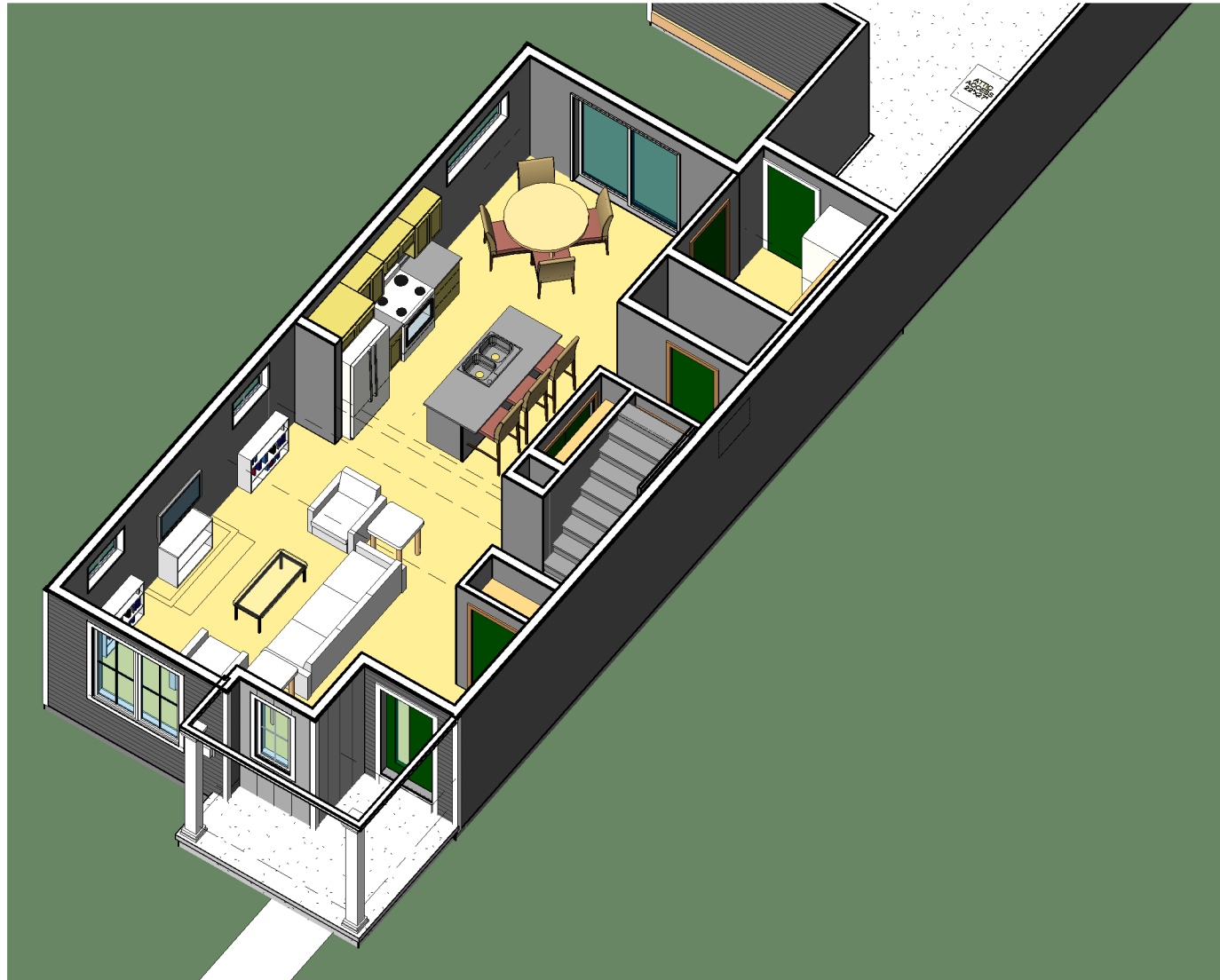
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. FO	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
		Revisions:


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3D First Floor - Modern F



3D Second Floor - Modern F

Note: All dimensions are stud to stud **Do Not Scale**

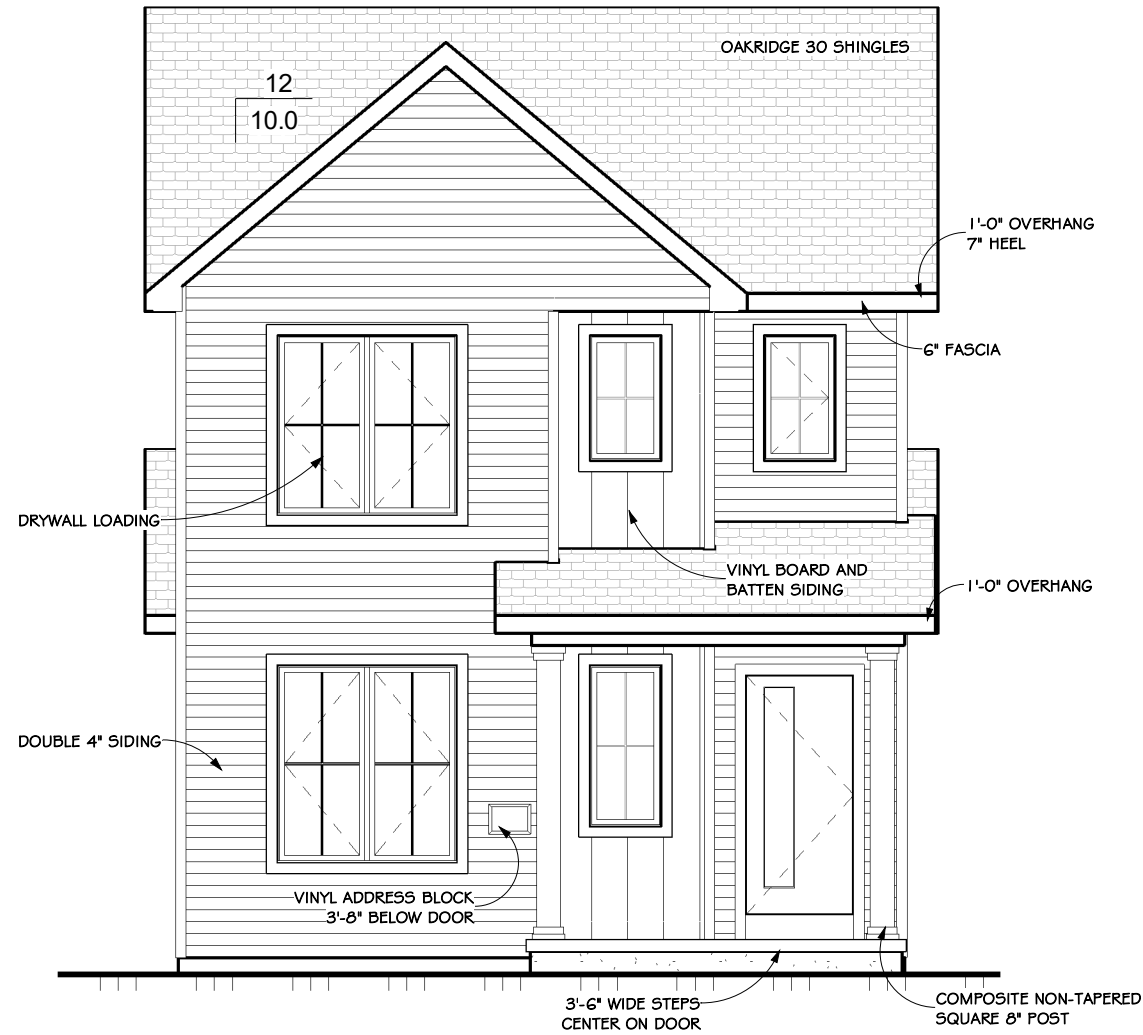
Drawing No. FO.1	Print Date	Model: Tribeca
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		Drawn By: Author Date: Issue Date
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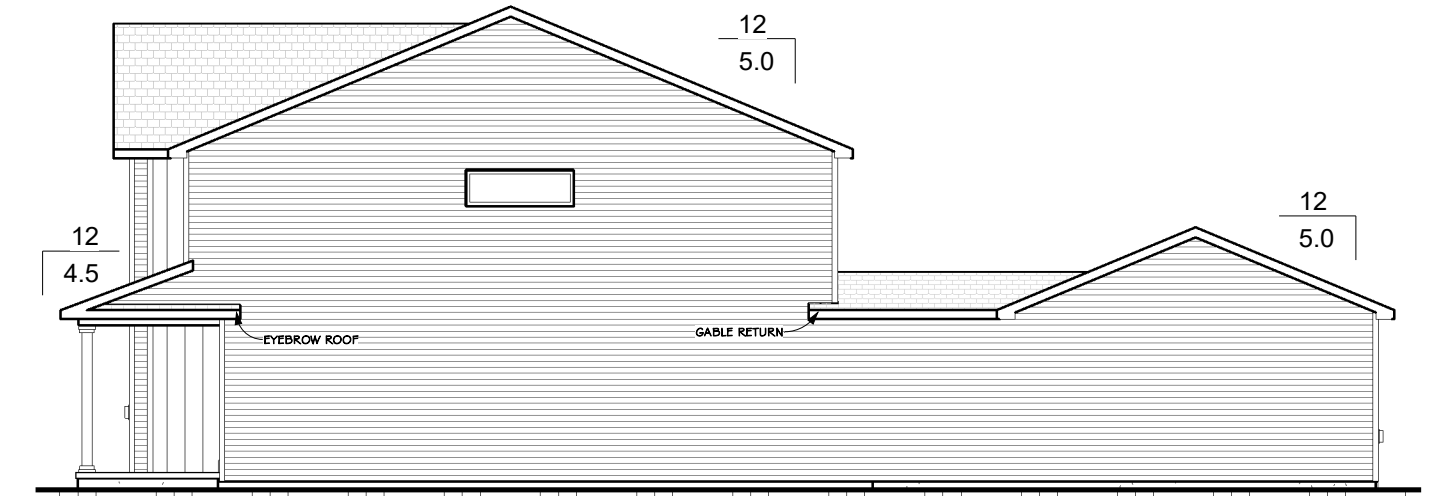
Custom Designed For:	Owner
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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

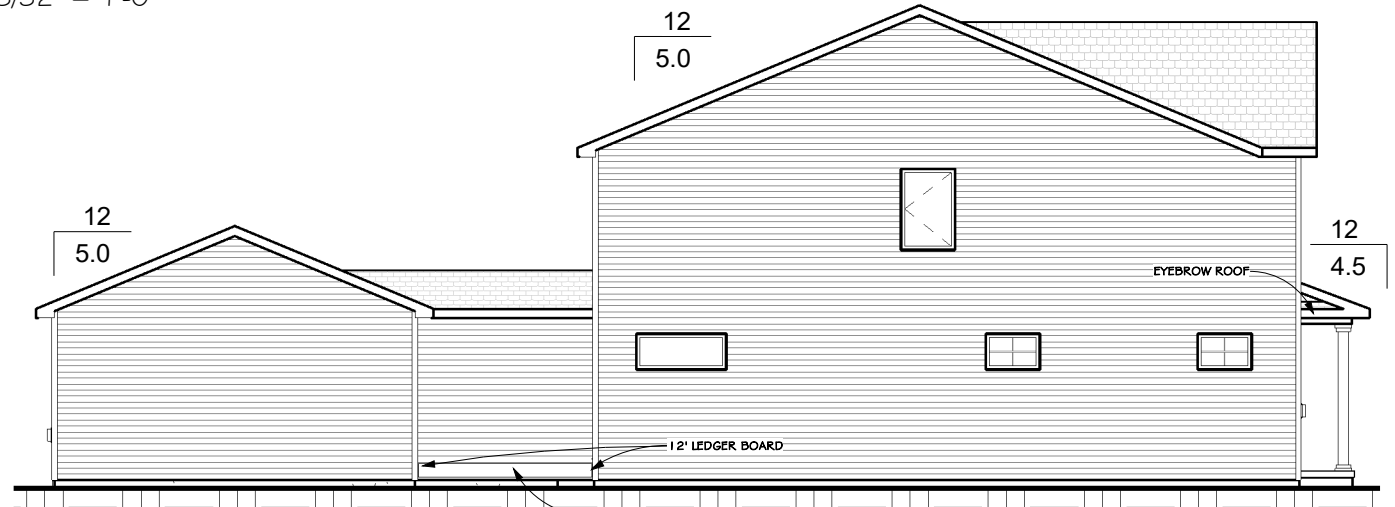
NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION
3 1/2" VINYL TRIM



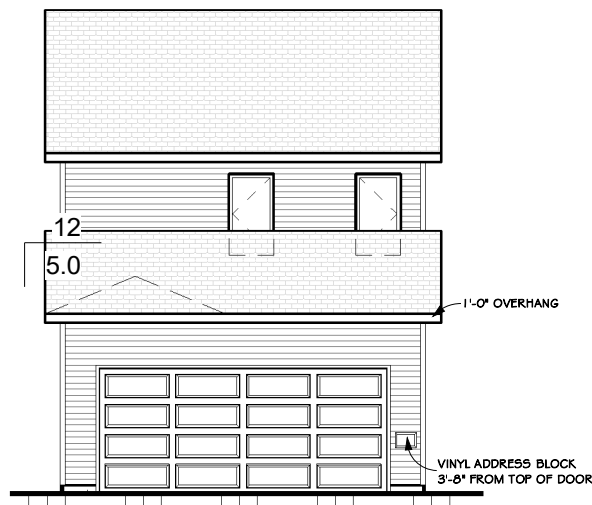
Front Elevation - Modern F
3/16" = 1'-0"



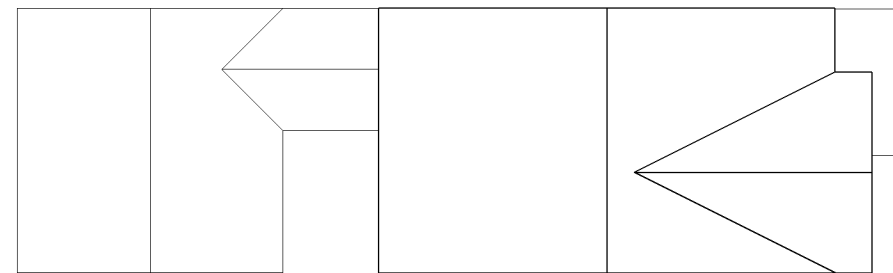
Right Elevation - Modern F
3/32" = 1'-0"



Left Elevation - Modern F
3/32" = 1'-0"



Rear Elevation - Modern F
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

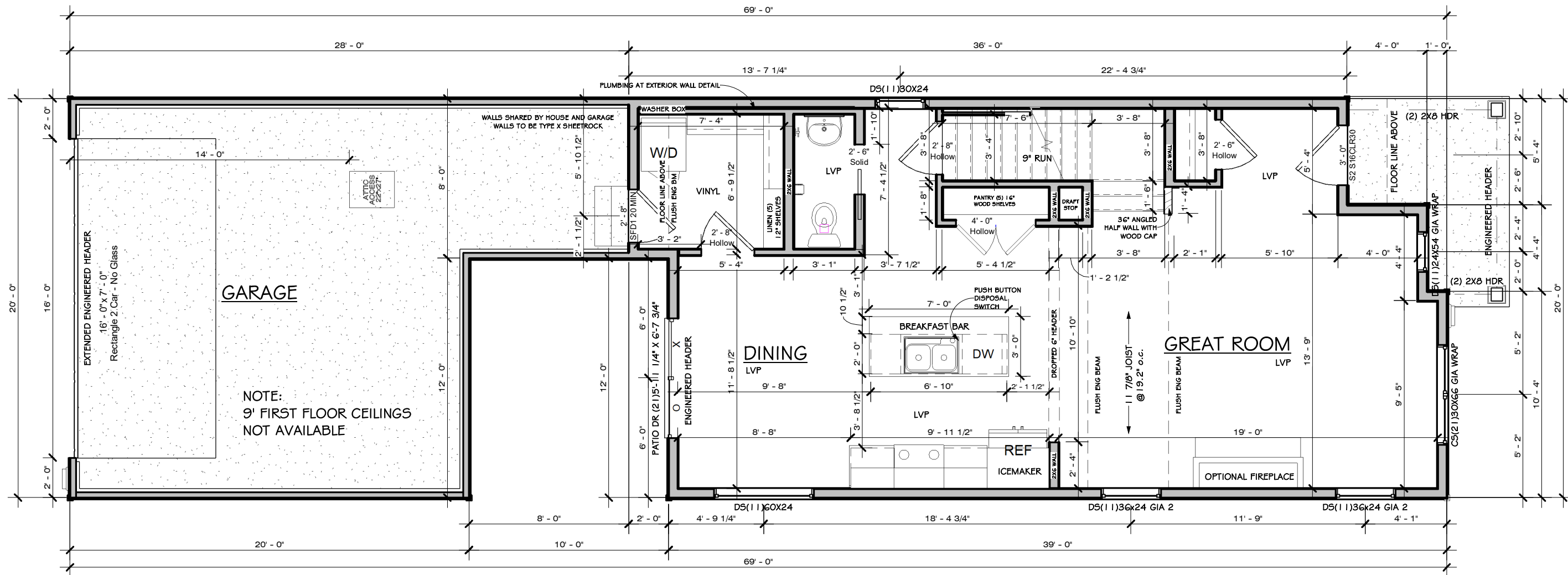
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Drawing No. F2	Print Date	Model: Tribeca
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	Drawn By: Author Date: Issue Date	
	Revisions:	

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First Floor - Modern F

3/16" = 1'-0"

Area Schedule (Modern F)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

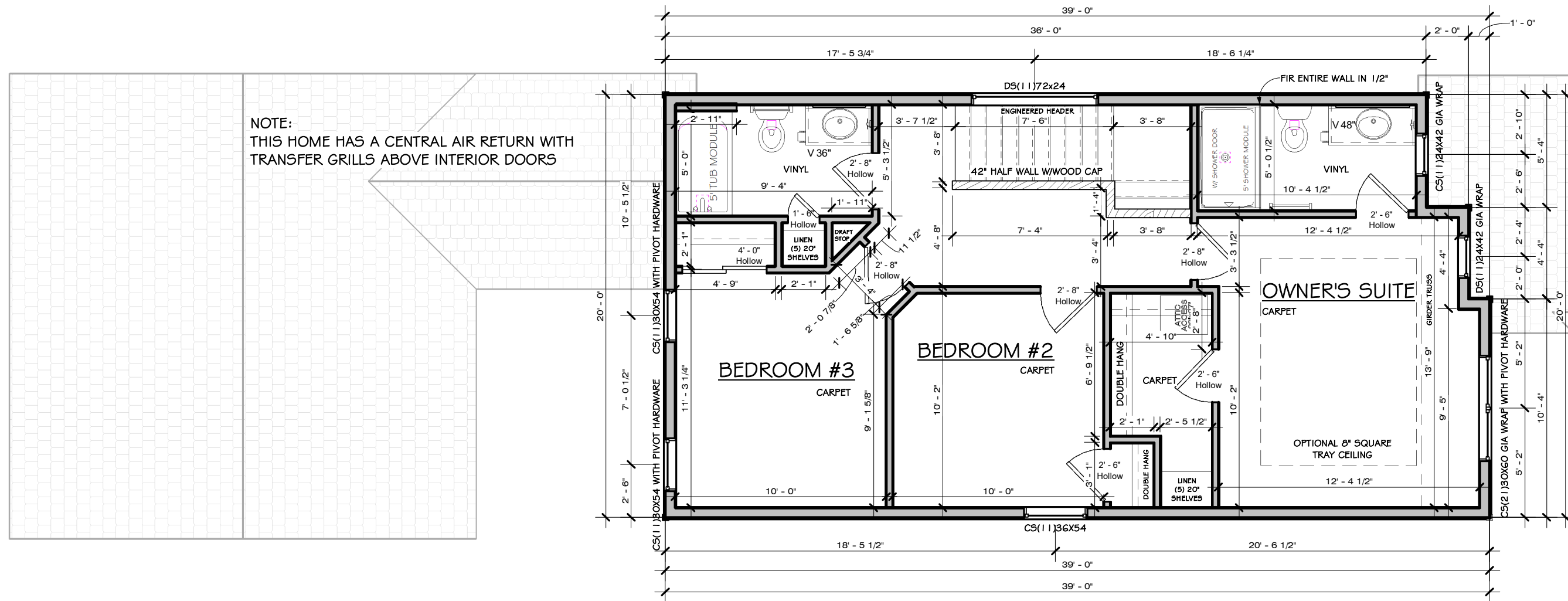
Note: All dimensions are stud to stud **Do Not Scale**

F3	Drawing No.	Model: Tribeca
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	2/17/2023 8:18:43 AM	Drawn By: Author Date: Issue Date
		Revisions:


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Second Floor - Modern F
 3/16" = 1'-0"

Area Schedule (Modern F)	
Name	Area

FIRST FLOOR	765 SF
SECOND FLOOR	760 SF
	1525 SF

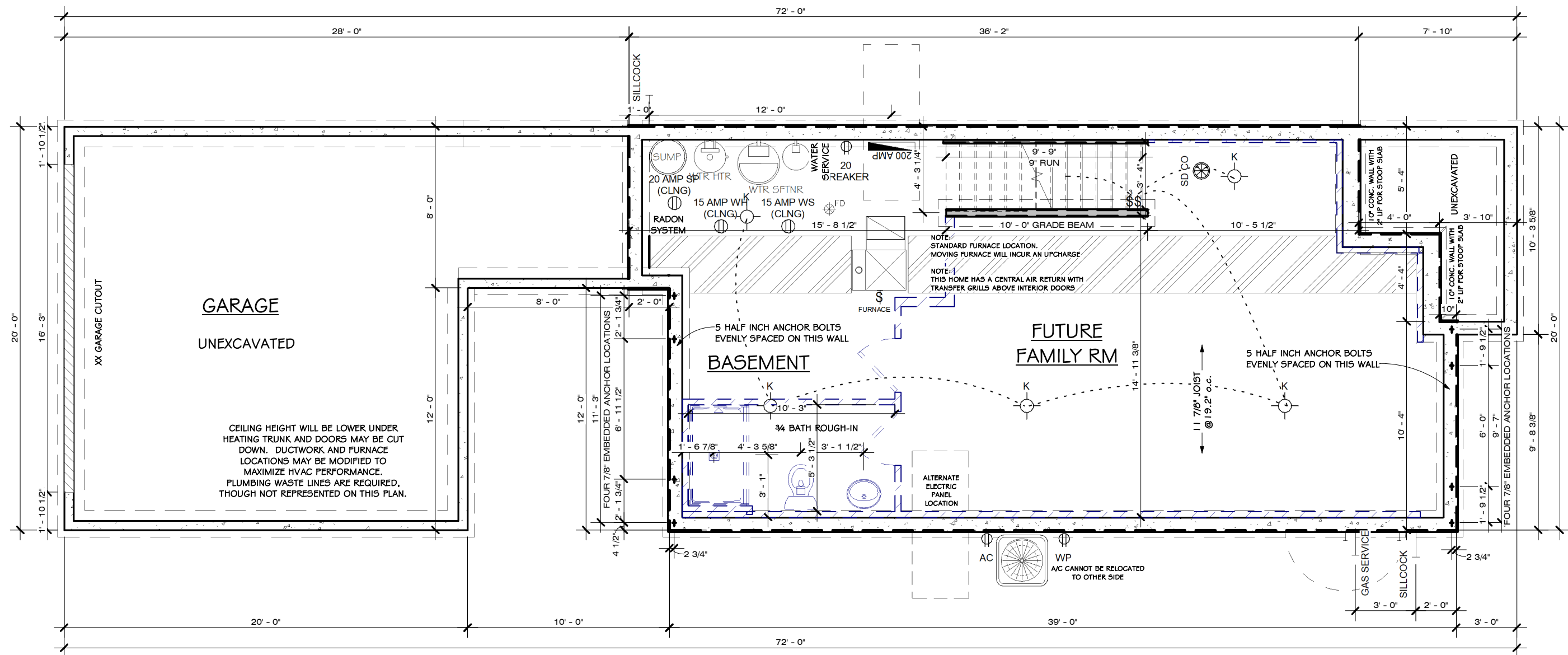
Note: All dimensions are stud to stud **Do Not Scale**

F5	Drawing No.	Model: Tribeca
	Print Date	Elevation: Modern F
	2/17/2023 8:18:45 AM	Drawn By: Author Date: Issue Date
		Revisions:


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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.



Foundation Plan
3/16" = 1'-0"

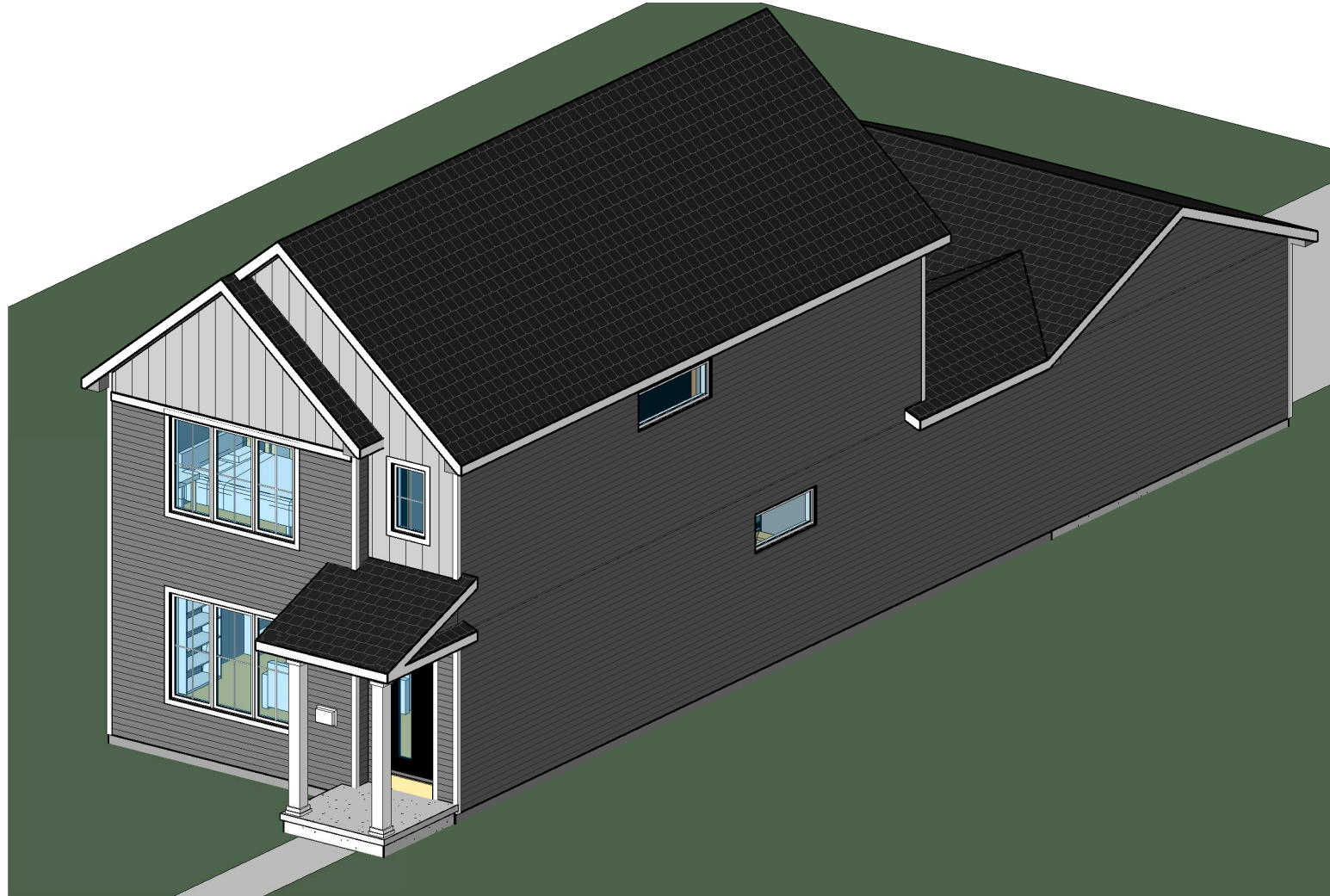
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. F7	Print Date	Model: Tribeca
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	Drawn By: Author	Date: Issue Date
	Revisions:	

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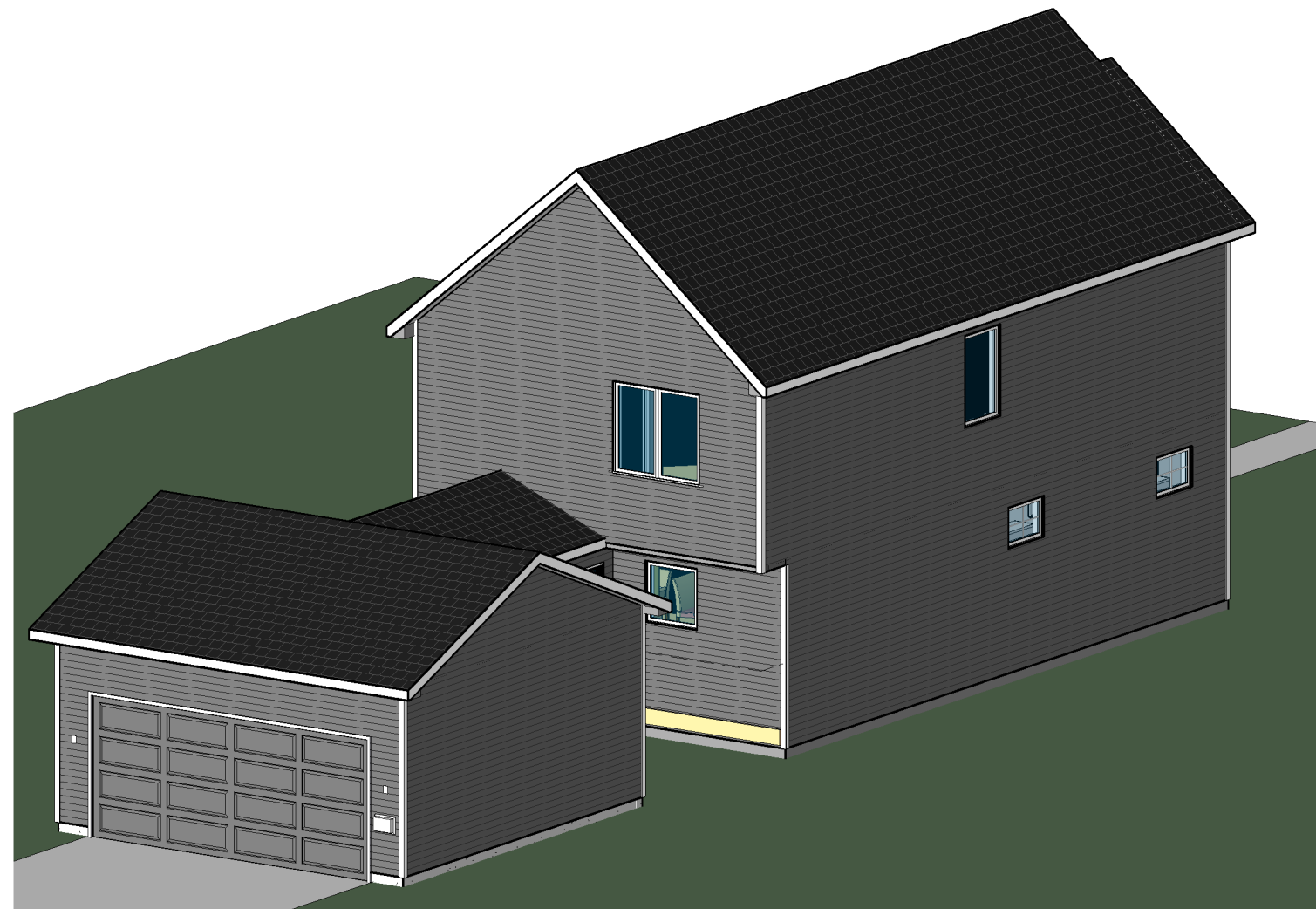
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3D - Modern H

Unit 6144



3D - Rear Modern H

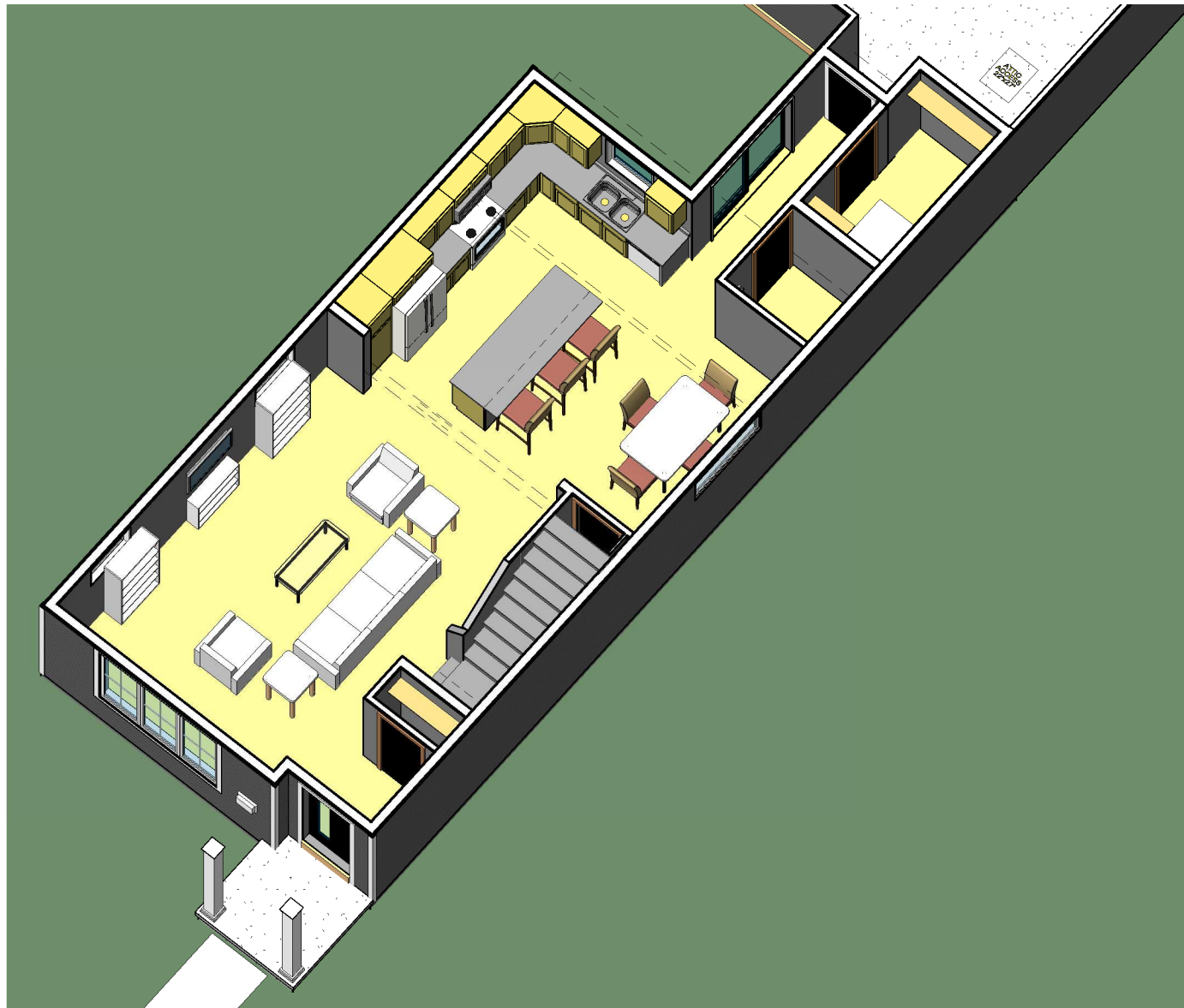
Note: All dimensions are stud to stud **Do Not Scale**

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

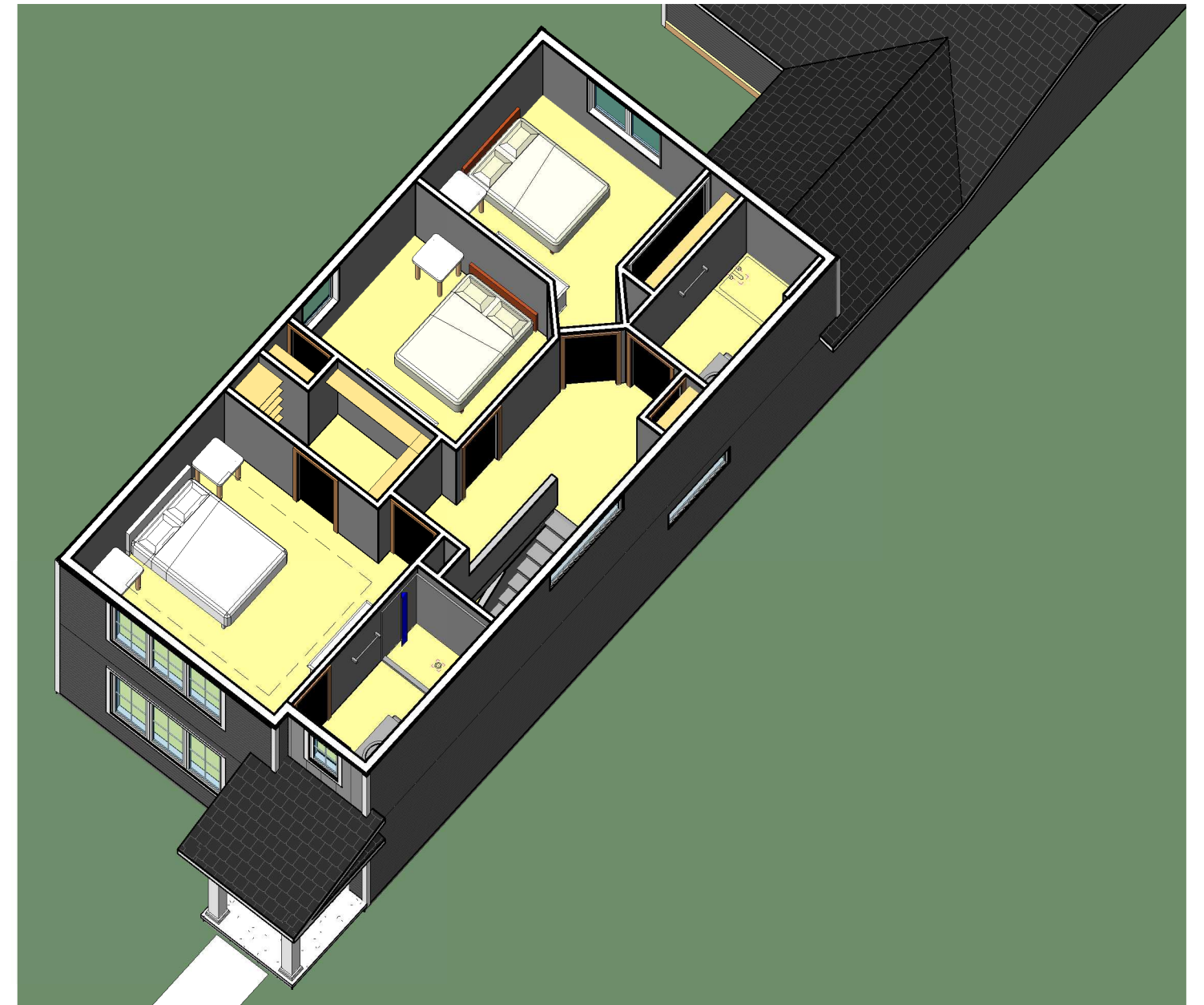
Drawing No. HO	Print Date	Model: Gramercy
	2/20/2023 4:53:51 PM	Elevation: Modern H
		Drawn By: Author Date: Issue Date
		Revisions:


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3D - First Floor Modern H



3D - Second Floor Modern H

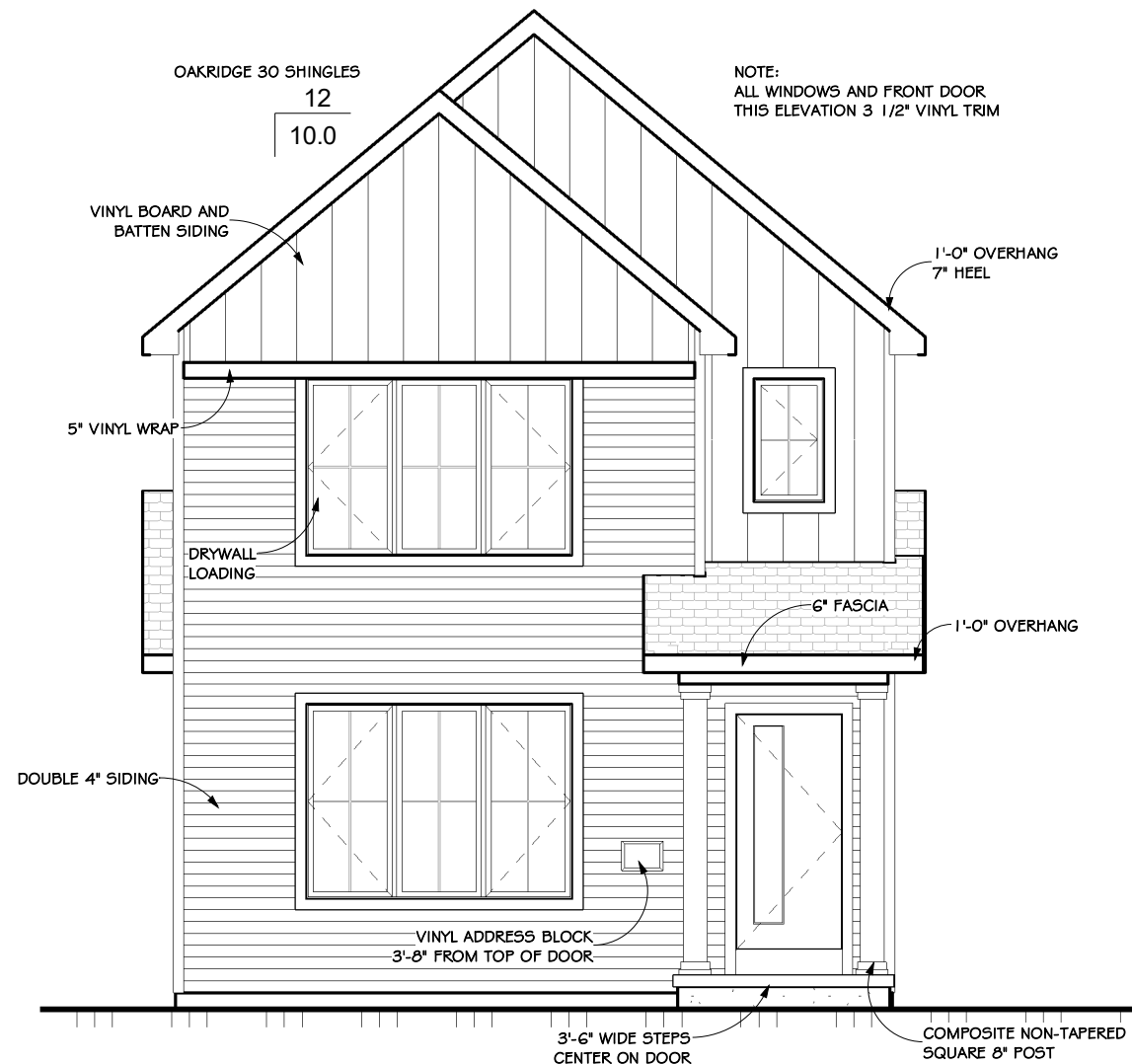
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. HO. 1	Print Date	Model: Gramercy
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		Revisions:

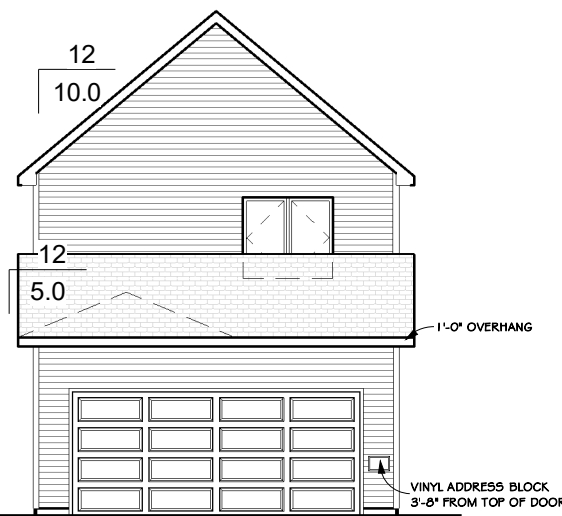

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Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

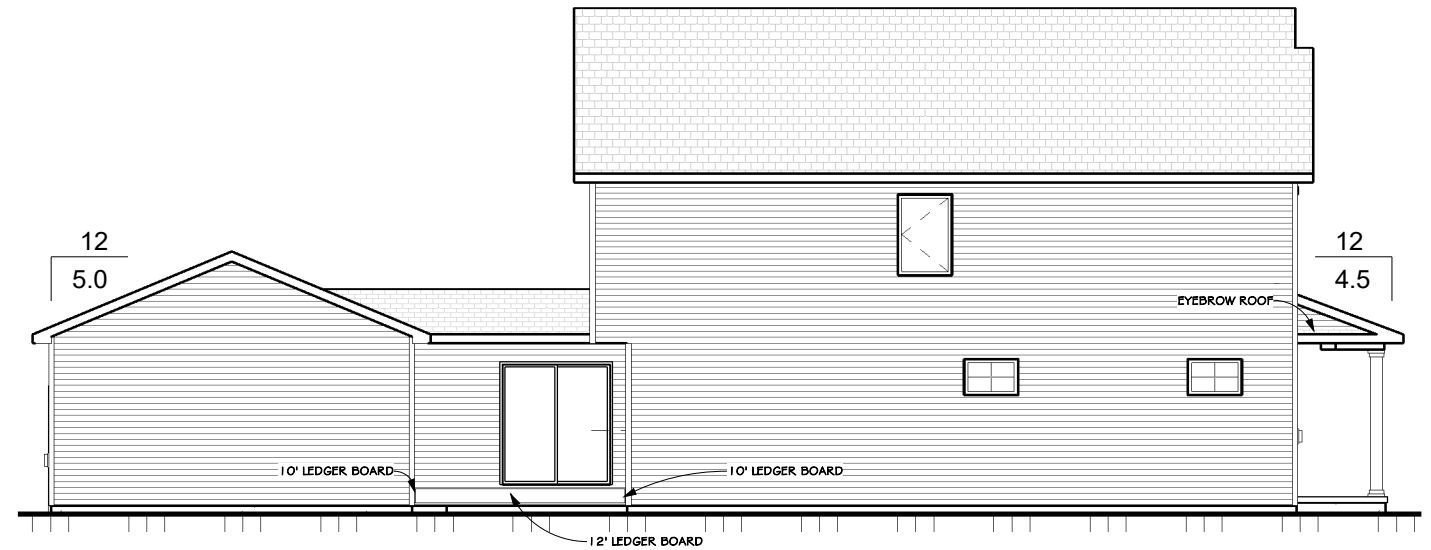


Front Elevation - Modern H
3/16" = 1'-0"

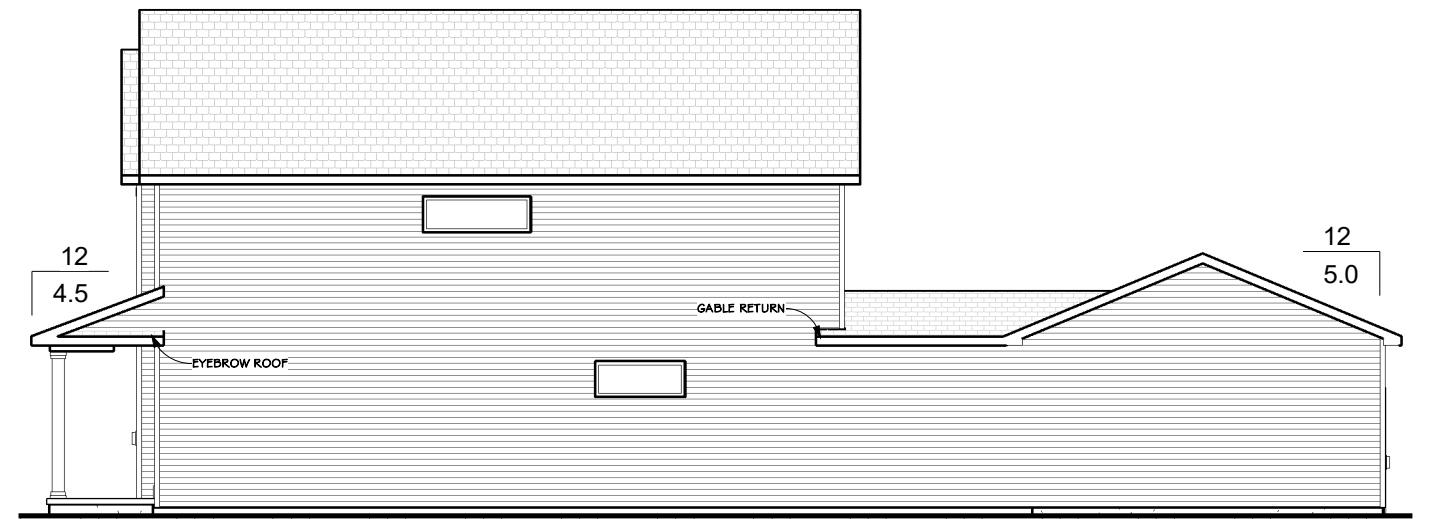


Rear Elevation - Modern H
3/32" = 1'-0"

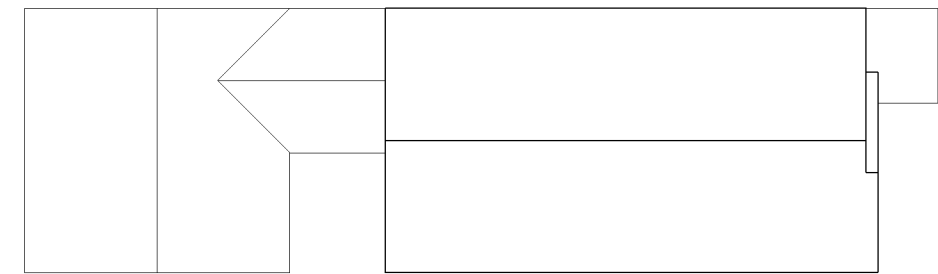
NOTE:
ALL WINDOWS AND FRONT DOOR
THIS ELEVATION 3 1/2" VINYL TRIM



Left Elevation - Modern H
3/32" = 1'-0"



Right Elevation - Modern H
3/32" = 1'-0"



Roof Plan
1/16" = 1'-0"

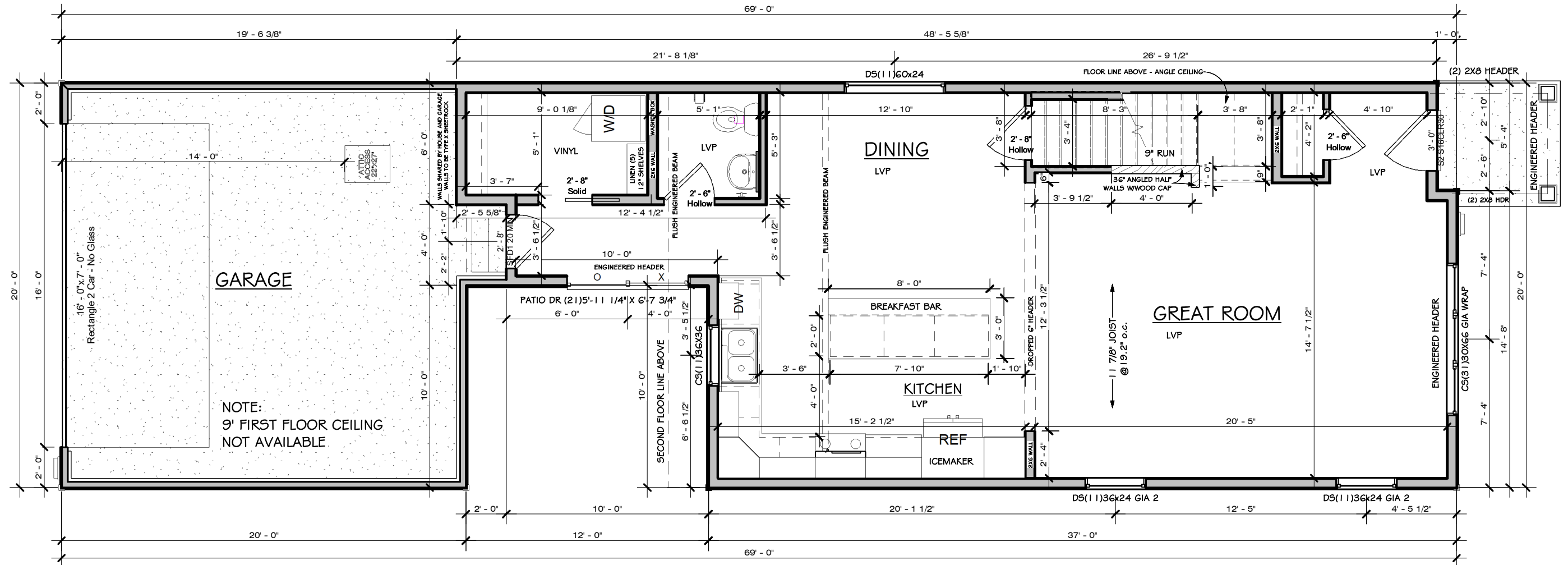
Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. H2	Print Date	Model: Gramercy
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		Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Modern H
 3/16" = 1'-0"

NOTE:
 9' FIRST FLOOR CEILING NOT AVAILABLE
 NO STRUCTURAL CHANGES TO FRONT ELEVATION

Area Schedule (Modern H)	
Name	Area

First Floor	849 SF
Second Floor	775 SF
	1624 SF

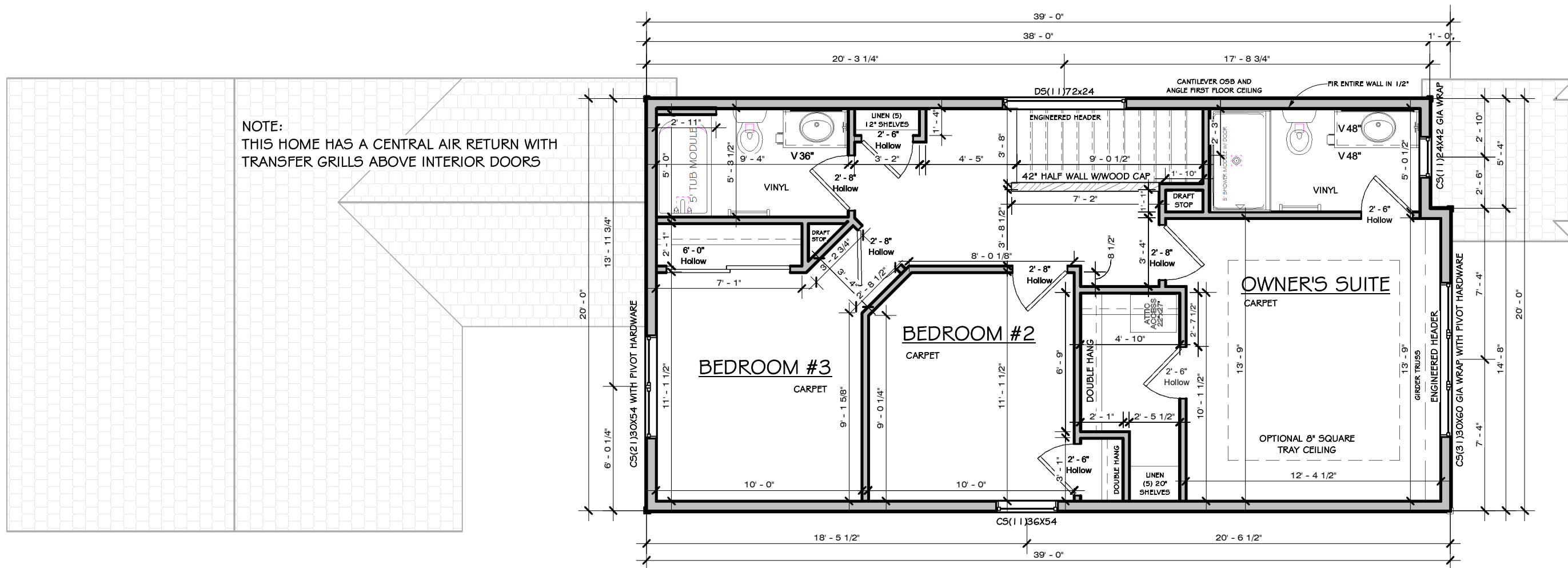
Note: All dimensions are stud to stud **Do Not Scale**

H3	Drawing No.	Print Date	Model: Gramercy
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			Drawn By: Author Date: Issue Date
			Revisions:


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Second Floor - Modern H
3/16" = 1'-0"

Area Schedule (Modern H)	
Name	Area
First Floor	849 SF
Second Floor	775 SF
	1624 SF

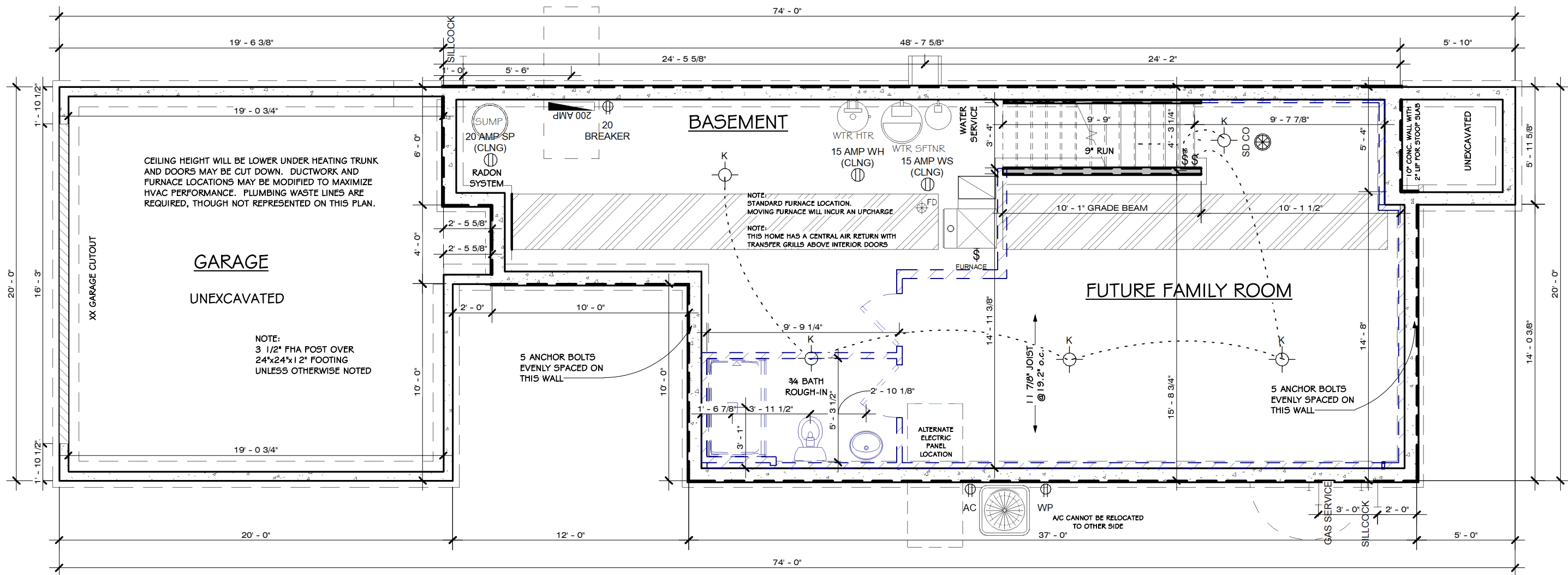
Note: All dimensions are stud to stud **Do Not Scale**

H5	Drawing No.	Print Date	Model: Gramercy
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			Drawn By: Author Date: Issue Date
			Revisions:


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Foundation Plan
3/16" = 1'-0"

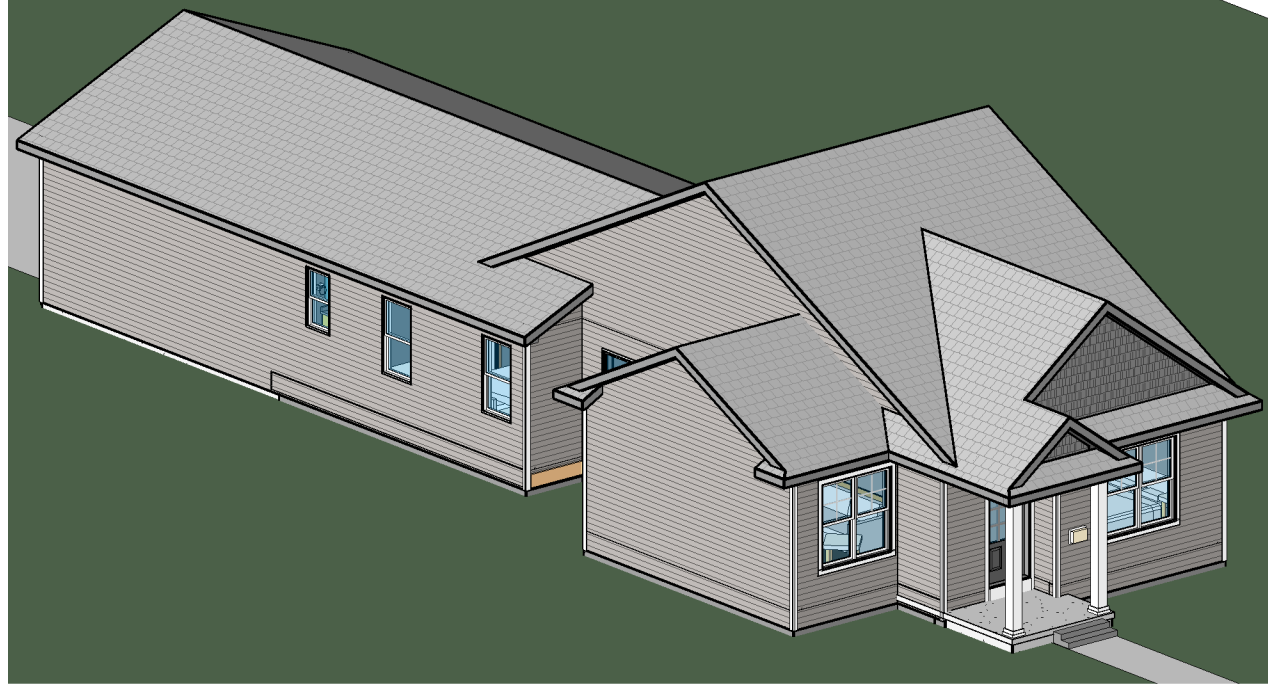
Note: All dimensions are stud to stud **Do Not Scale**

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	Drawn By: Author	Date: Issue Date
	Revisions:	

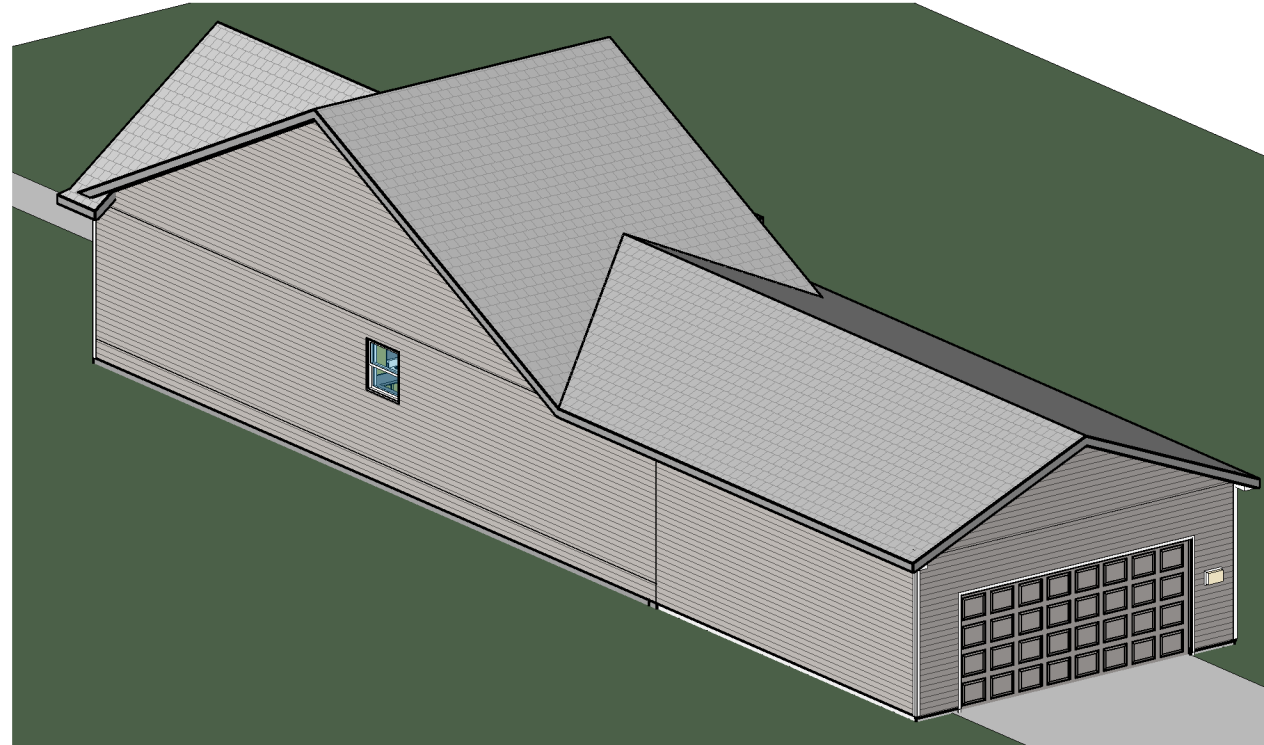
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3D - Cottage



3D - Cottage Rear

Unit 6145

Do Not Scale Note: All dimensions are stud to stud
 Actual floor plans & exterior styles may differ from these shown based on
 modifications, options & improvements to the plans by the builder.
 Room dimensions, features & actual square footage vary by exterior style and options.

Model:	COLLETTE
Elevation:	Cottage
Drawn By:	Author
Date:	Issue Date
Print Date:	1/23/2022 4:06:00 PM
Drawing No.:	CO

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3D - First Floor Cottage

Do Not Scale Note: All dimensions are stud to stud

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 Room dimensions, features & actual square footage vary by exterior style and options.

Print Date:
 12/30/2022
 4:06:03 PM

Drawing No.:
CO.2

Model: COLLETTE
 Elevation: Cottage
 Drawn By: Author Date: Issue Date



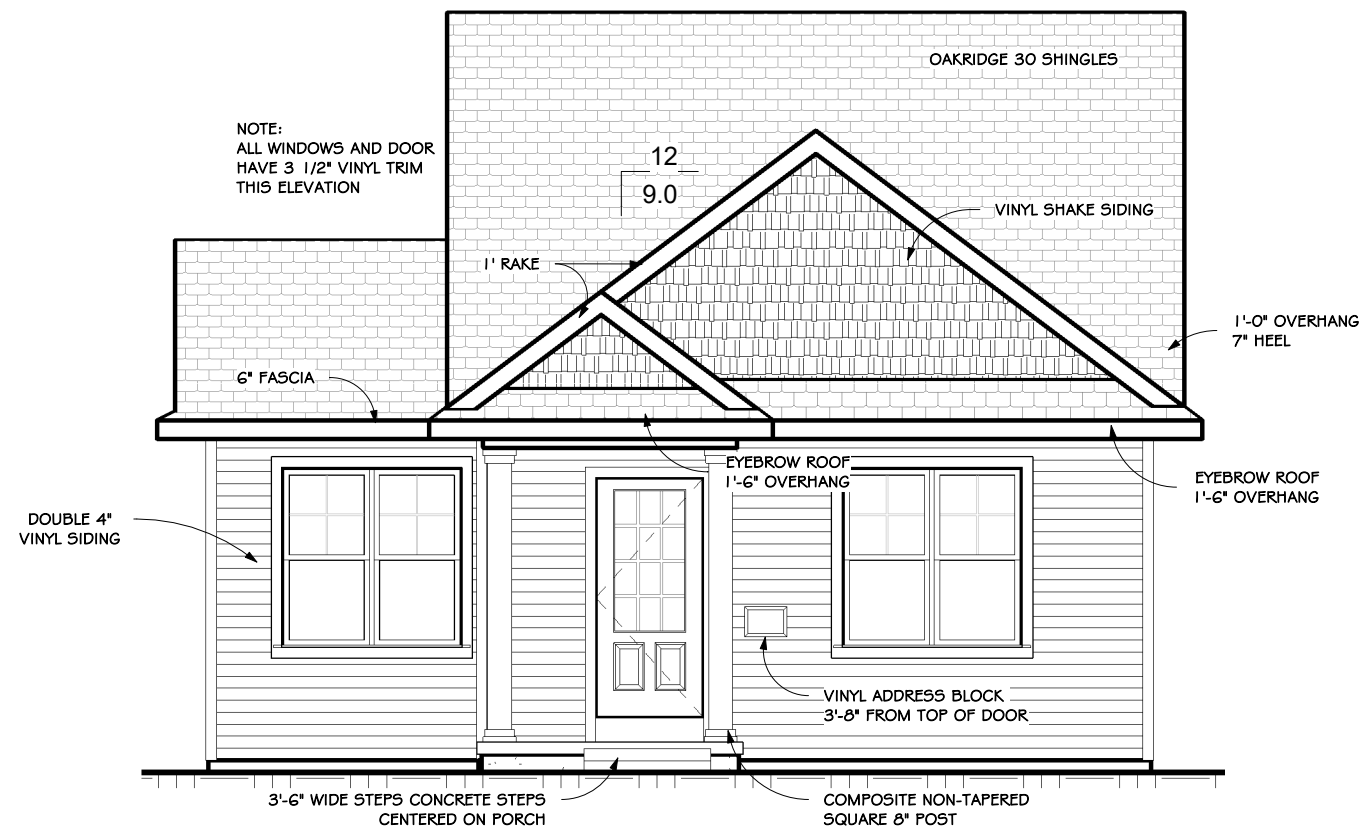
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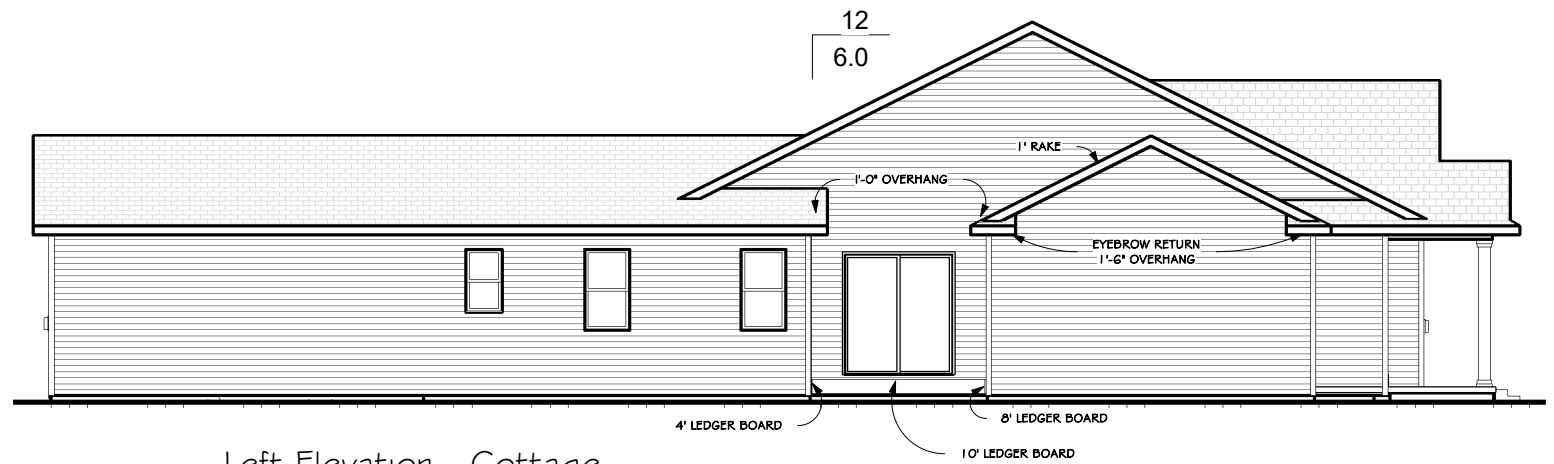
Customer
 Approval:

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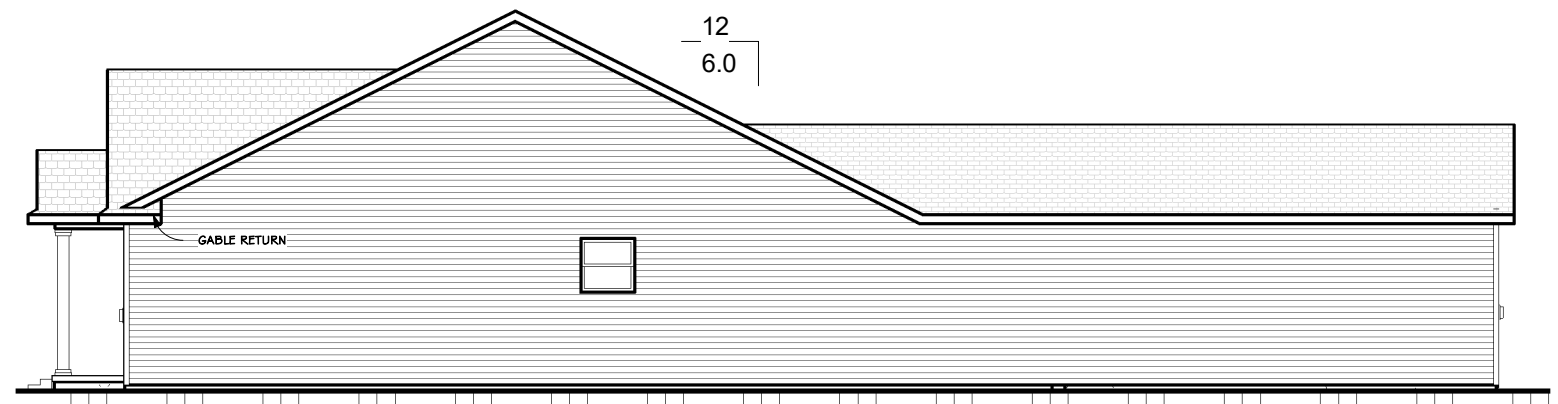
Front Elevation - Cottage

3/16" = 1'-0"



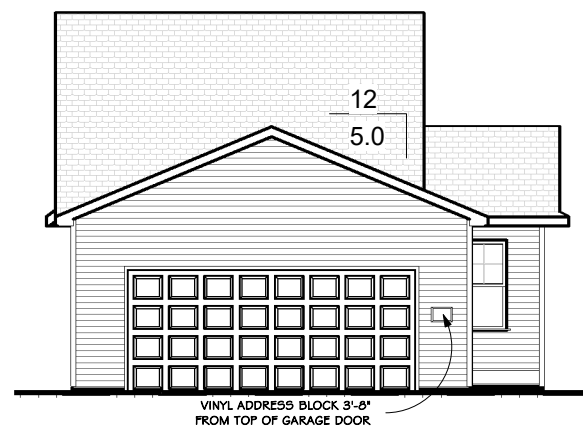
Left Elevation - Cottage

3/32" = 1'-0"



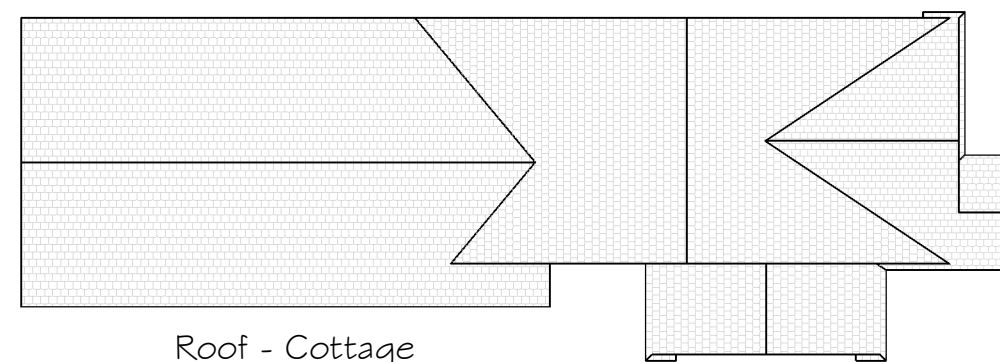
Right Elevation - Cottage

3/32" = 1'-0"



Rear Elevation - Cottage

3/32" = 1'-0"



Roof - Cottage

1/16" = 1'-0"

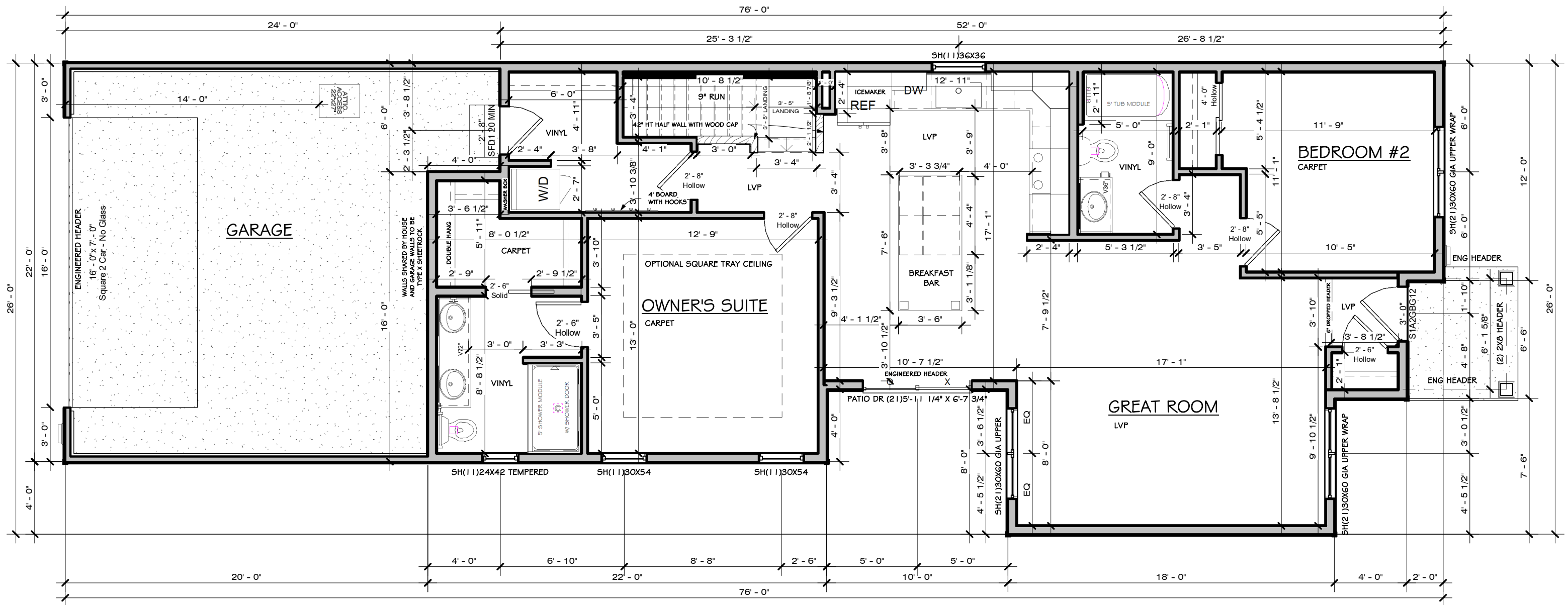
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. C2	Print Date	Model: COLLETTE
	12/30/2022 4:06:07 PM	Elevation: Cottage
		Drawn By: Author Date: Issue Date
		Revisions:

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First Floor - Cottage
 3/16" = 1'-0"

Area Schedule (Cottage)

Name	Area
------	------

First Floor	1206 SF
-------------	---------

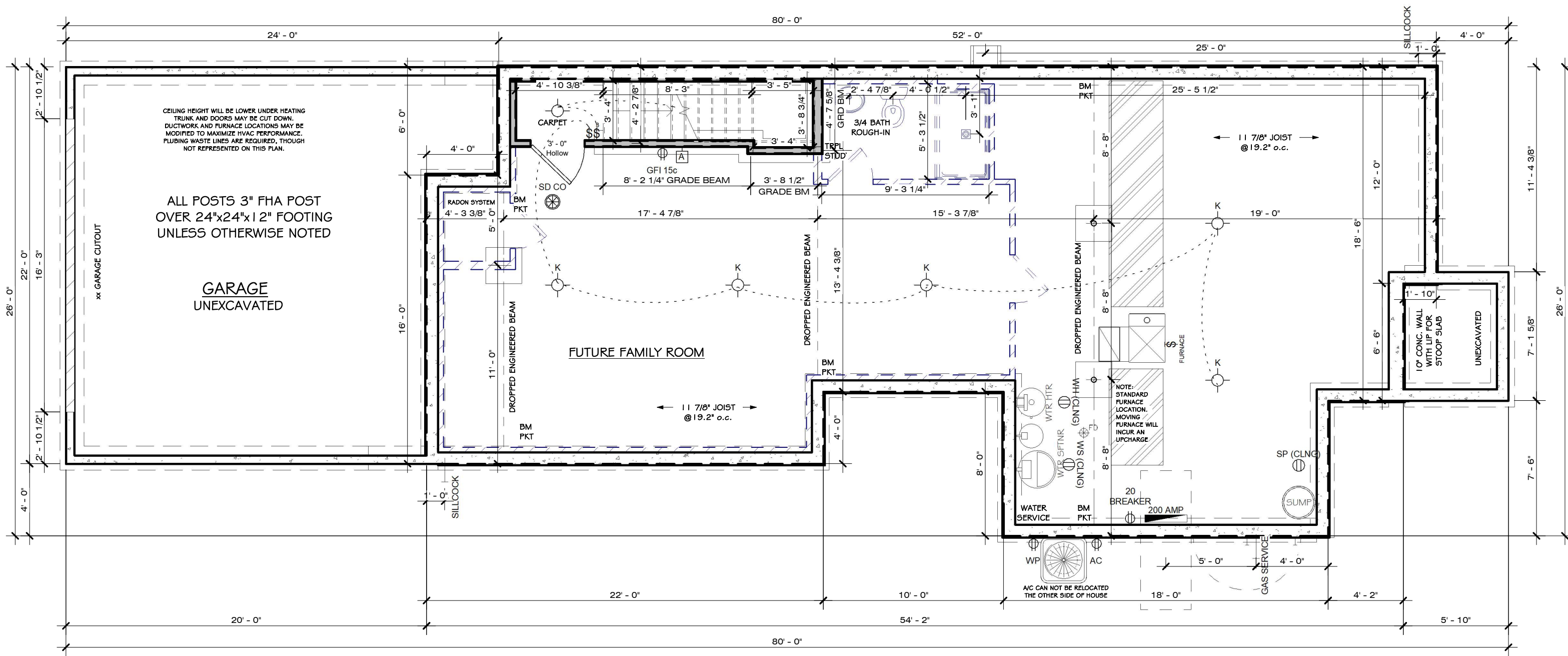
Note: All dimensions are stud to stud **Do Not Scale**

Drawing No. C3	Print Date	Model: COLLETTE
	12/30/2022	Elevation: Cottage
	4:06:10 PM	Drawn By: Author Date: Issue Date
		Revisions:

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Foundation Plan
 3/16" = 1'-0"

Actual floor plans & exterior styles may differ from these shown based on modifications, options & improvements to the plans by the builder. Room dimensions, features & actual square footage vary by exterior style and options.

Note: All dimensions are stud to stud **Do Not Scale**

C5	Drawing No.	Print Date	Model: COLLETTE
		2/9/2023 1:33:03 PM	Elevation: Cottage
			Drawn By: Author Date: Issue Date
			Revisions:

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