



GARY BRINK & ASSOCIATES
ARCHITECTS

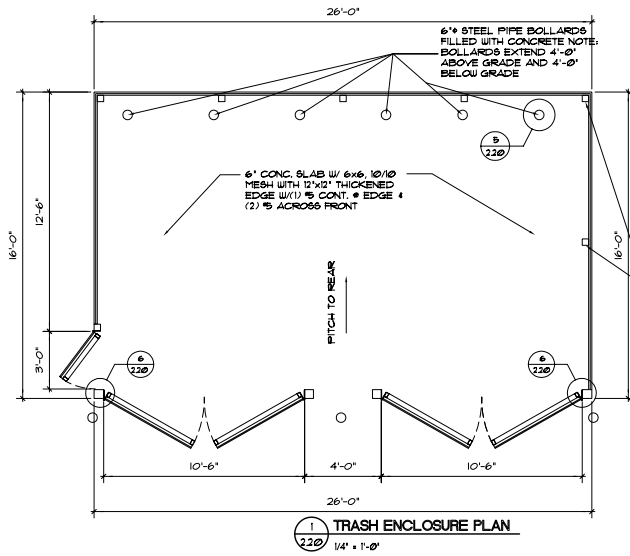
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

PROJECT: **FAIRFIELD INN & SUITES** by Marriott
2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53662

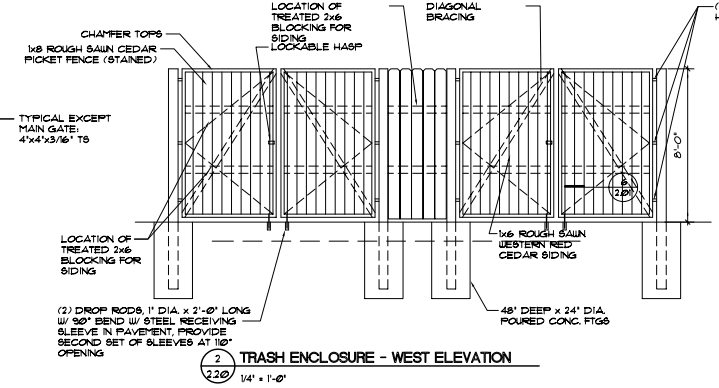
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GARY BRINK & ASSOC.

PROJECT: 200640
CAD FILE: 220-200640
DRAWN BY: DD
DATE: 05/29/08

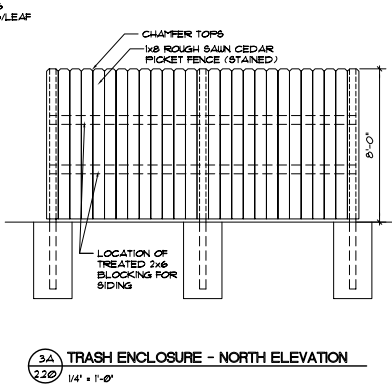
2.20



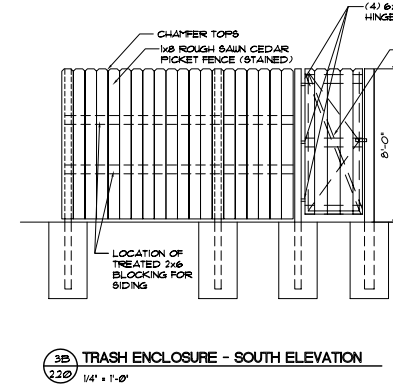
1 TRASH ENCLOSURE PLAN
2/20 1/4" = 1'-0"



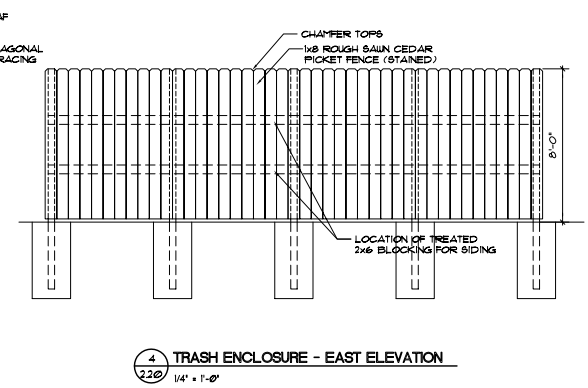
2 TRASH ENCLOSURE - WEST ELEVATION
2/20 1/4" = 1'-0"



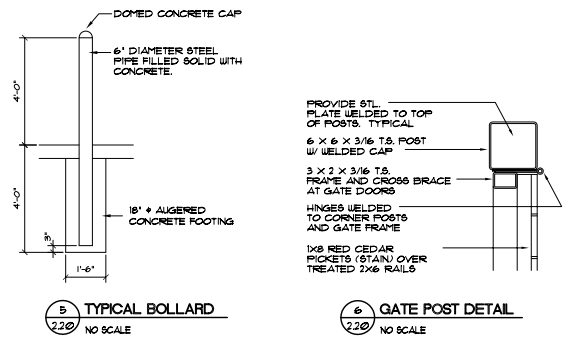
3A TRASH ENCLOSURE - NORTH ELEVATION
2/20 1/4" = 1'-0"



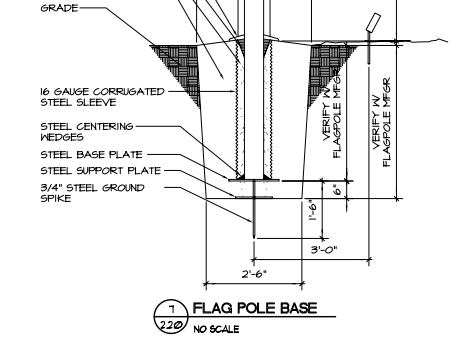
3B TRASH ENCLOSURE - SOUTH ELEVATION
2/20 1/4" = 1'-0"



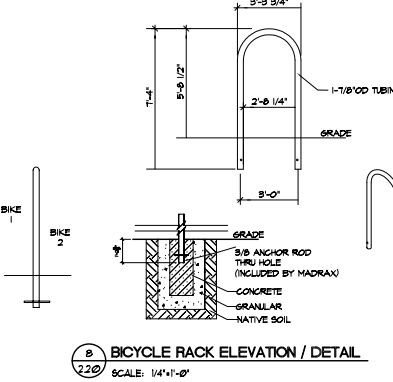
4 TRASH ENCLOSURE - EAST ELEVATION
2/20 1/4" = 1'-0"



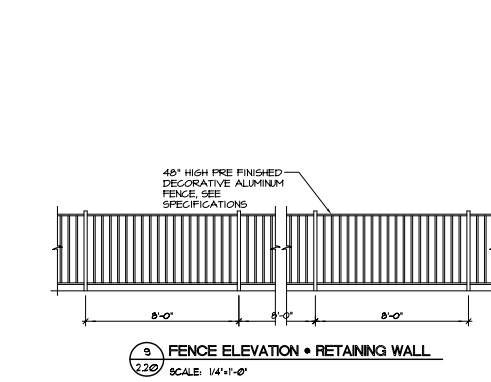
5 TYPICAL BOLLARD
2/20 NO SCALE



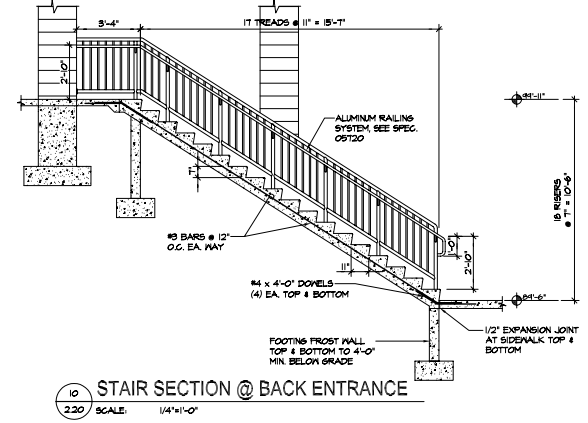
6 GATE POST DETAIL
2/20 NO SCALE



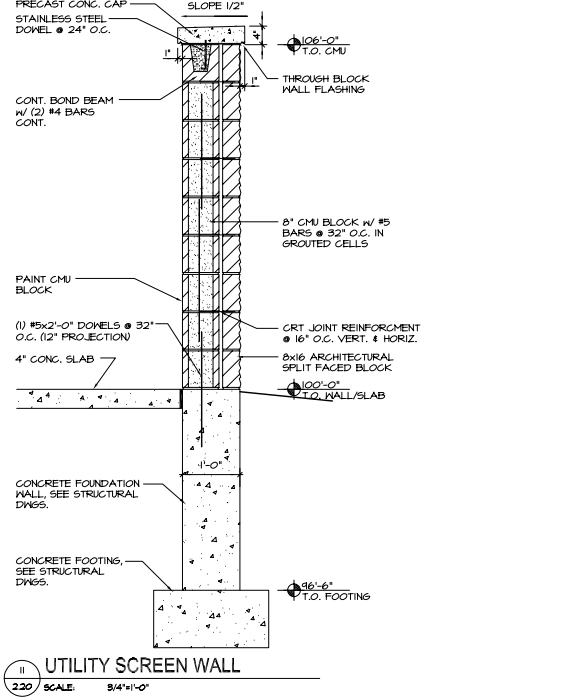
7 FLAG POLE BASE
2/20 NO SCALE



8 BICYCLE RACK ELEVATION / DETAIL
2/20 SCALE: 1/4" = 1'-0"

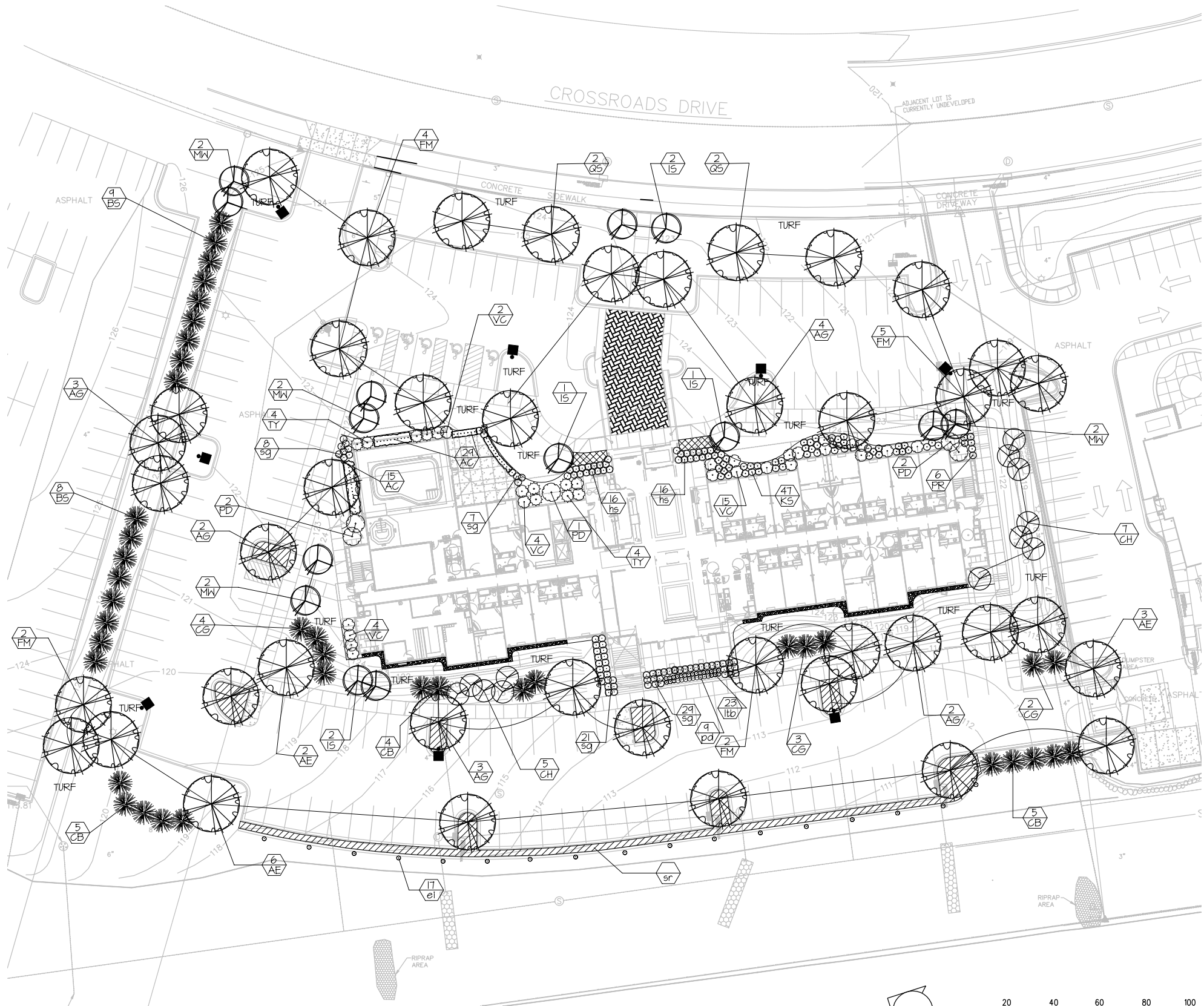





9 FENCE ELEVATION - RETAINING WALL
2/20 SCALE: 1/4" = 1'-0"



10 UTILITY SCREEN WALL
2/20 SCALE: 3/4" = 1'-0"

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-  = Sedum reflexum groundcover
-  = Aluminum edging w/solid weed barrier fabric and washed stone mulch to match foundation.
-  = Annual flowers by owner

Fairfield Inn & Suites REPRESENTATIVE PLANT LIST						
key	botanical name	common name	size	root cond.	quant.	remarks
<i>canopy trees</i>						
FM	<i>Acer x freemanii</i> 'Morgan'	Morgan Maple	2 1/2" Cal.	BB	13	
AG	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2 1/2" Cal.	BB	14	
QS	<i>Quercus x shuettei</i>	Hybrid Oak	2 1/2" Cal.	BB	4	
AE	<i>Ulmus japonica x wilsoniana</i> 'Morton'	Accolade Elm	2 1/2" Cal.	BB	11	
<i>Intermediate ornamental trees</i>						
MW	<i>Carpinus caroliniana</i>	Musclewood	1 1/2" Cal.	BB	8	single trunk
CH	<i>Crataegus crus galli</i>	Cockspur Hawthorn	5' Ht.	BB	12	multi-stemmed
IS	<i>Malus</i> 'Indian Summer'	Indian Summer Crabapple	1 1/2" Cal.	BB	6	single trunk
PD	<i>Cornus altemifolia</i>	Pagoda Dogwood	5' ht.	BB	5	multi-stemmed
<i>evergreen trees</i>						
BS	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	48" Ht.	BB	17	
CG	<i>Picea pungens</i>	Green Colorado Spruce	48" Ht.	BB	9	
CB	<i>Picea pungens glauca</i>	Blue Colorado Spruce	48" Ht.	BB	14	
<i>evergreen and deciduous shrubs</i>						
TY	<i>Taxus x media</i> 'tauntonii'	Tuanton Yew	18-24"	BB	8	
PR	<i>Rhododendron</i> P.J.M.	PJM Rhododendron	24" Ht.	BB	6	
AC	<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	24" Ht.	BB	44	trim as hedge
KS	<i>Symphoricarpos x doorenbosii</i> 'Kordes'	Kordes Amythyst Snowberry	24" Ht.	BB	47	
VC	<i>Viburnum carlesii</i> 'Compactum'	Compact Korean Spice Viburnum	24" Ht.	BB	25	
<i>ground covers / ornamental grass / perennials</i>						
hs	<i>Hosta</i> 'Sagae'	Hosta	1 gal.	cont.	32	
sg	<i>Panicum virgatum</i> 'NorthWind'	Northwind Switch Grass	1 gal.	cont.	65	
ei	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	1 gal.	cont.	17	
lb	<i>Schizachyrium scoparium</i>	Little Blue Stem	1 gal.	cont.	21	no cultivars
sr	<i>Sedum reflexum</i>	Reflexum Stonecrop	24/flat	cont.	2082	
pd	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	cont.	9	no cultivars

City of Madison - Landscape Worksheet		Fairfield Inn & Suites			
Number of Parking Stalls					145
Total Sq. Footage of Storage Area					0
Number of Canopy Shade Trees					11
Required - 2" - 2 1/2" cal.					634
No. of Landscape Points Required					0
Points for Loading Area Required					634
Number of Points Required					
Credits					
Element	Point Value	Quantity	Points Achieved	Quantity	Points
Canopy Tree: 2" - 2 1/2"	35	31	1085		1085
Deciduous Shrub	2	135	270		270
Evergreen Shrub	3	8	24		24
Decorative Wall or Fence (per 10 L.F.)	5	320LF	135		135
Earth Berm (per 10 L.F.)			0		0
Avg. Height 30"	5				
Avg. Height 15"	2				
Evergreen Trees	15	40	600		600
3' height minimum					
Canopy Tree or Small Tree	15	31	465		465
1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)					
		Sub-Totals	2579	Total Points	2579

KEN SAIKI
DESIGN INC
LANDSCAPE CONSULTANTS
303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 951-3600
Fax: 608 951-9330
www.ksd-la.com

PROJECT: **FAIRFIELD INN & SUITES**
 CLIENT: **RAYMOND MANAGEMENT COMPANY**
 CROSSROADS DRIVE, MADISON, WISCONSIN
 8333 GREENWAY BLVD., SUITE 2000, MIDDLETON, WISCONSIN 53562
 by Marriott

LANDSCAPE PLAN

ALTA / ACSM LAND TITLE SURVEY

2618 - 2702 CROSSROADS DRIVE
MADISON, WISCONSIN

LEGAL DESCRIPTION: (PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NCS - 141 - 491 - MAD)

PARCEL I: LOT TWENTY-ONE (21), HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT THAT PART CONVEYED BY DEEDS RECORDED AS DOCUMENT NOS. 2771044 AND 2771045.

PARCEL II: LOT TWENTY-TWO (22), HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT THAT PART CONVEYED TO MIDWEST LODGING PARTNERS XII BY A DEED RECORDED AS DOCUMENT NO. 2678463.

SURVEYOR'S CERTIFICATE:

I, MARK STEVEN GERHARDT, WISCONSIN LAND SURVEYOR, S - 1983, IN AND FOR THE STATE OF WISCONSIN AND LEGALLY DOING BUSINESS IN DANE COUNTY, DO HEREBY CERTIFY TO HIGH CROSSING LIMITED PARTNERSHIP, THEIR SUCCESSORS AND ASSIGNS AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 1999 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEYS AS ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION, AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS AND SPECIFIC CLIENT REQUIREMENTS FROM TABLE 'A' OF THE OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATION INCLUDING ITEMS 1,2,3,4,5,6,8,10,11(A),12,13,14,15 AND 16 PURSUANT TO THE ACCURACY AND PRECISION REQUIREMENTS (AS ADOPTED BY ALTA, ACSM AND NSPS) EXCEPT THE ACCURACY AND PRECISION REQUIREMENTS HAVE BEEN MODIFIED TO MEET THE CURRENT ANGULAR AND LINEAR TOLERANCE OF THIS STATE AND IN EFFECT ON THE DATE OF THIS CERTIFICATION OF AN 'URBAN SURVEY'.

THE PARTIES IN THE FIRST PARAGRAPH OF THIS CERTIFICATE ARE ENTITLED TO RELEY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

THE UNDERSIGNED HAS RECEIVED AND EXAMINED A COPY OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS - 141491 - MAD AND THE LOCATION OF ANY MATTER THEREON, TO THE EXTENT IT CAN BE LOCATED, HAS BEEN SHOWN ON THIS SURVEY WITH THE APPROPRIATE RECORDING REFERENCE.

REGISTRATION NO. S - 1983
WITHIN THE STATE OF WISCONSIN
DATE OF SURVEY: FEBRUARY 17, 2005

MARK STEVEN GERHARDT
WISCONSIN LAND SURVEYOR, S - 1983

LEGAL DESCRIPTION: PARCELS A, B, AND C TO BE CONVEYED AND ACCOUNTED FOR AT A LATER DATE:

PARCEL 'A': LOT TWENTY-ONE (21) AND PART LOTS TWENTY (20) AND TWENTY-TWO (22), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT TWENTY-TWO (22); THENCE N 07°54'49"W ALONG THE WESTERLY LINES OF SAID LOTS TWENTY (20), TWENTY-ONE (21) AND TWENTY-TWO (22); THENCE S 74°01'51"E, 422.16 FEET TO A POINT ON A CURVE AND THE WESTERLY R/W LINE OF CROSSROADS DRIVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET AND A LONG CHORD BEARING S 06°21'01"W A DISTANCE OF 308.97 FEET; THENCE S 78°25'13"W, 310.52 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3.15 ACRES (137, 067 SQ. FT.)

PARCEL 'B': A PART OF LOT TWENTY-ONE (21), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT TWENTY-ONE (21); THENCE S 74°01'51"E ALONG THE NORTHERLY LINE OF SAID LOT 21, 411.15 FEET TO A POINT ON A CURVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET AND A LONG CHORD BEARING S 14°32'34"W A DISTANCE OF 40.01 FEET; THENCE N 74°01'51"W, 394.45 FEET; THENCE N 07°54'49"W, 43.75 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.37 ACRES (16,104 SQ. FT.)

NOTE: PARCEL 'B' ALSO BEING DESCRIBED AS THE NORTHERNMOST FORTY (40) FEET OF LOT 21 OF HIGH CROSSING PLAT RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS IN AND FOR DANE COUNTY, WISCONSIN IN VOLUME 56-118B OF PLATS, PAGES 345, 346, AND 347, AS DOCUMENT NO. 2306075, BEING PART OF SAID LOT 21 DESCRIBED AS LYING NORTHEASTERLY OF A LINE PARALLEL TO AND 40 FEET SOUTHWESTERLY, MEASURED PERPENDICULARLY, FROM THE NORTH-EAST LINE OF SAID LOT 21.

PARCEL 'C': A PART OF LOT TWENTY (20), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT TWENTY (20); THENCE N 07°54'49"W ALONG THE WESTERLY LINE OF SAID LOT TWENTY (20), 26.22 FEET; THENCE S 74°01'51"E, 422.16 FEET TO A POINT ON A CURVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET AND A LONG CHORD BEARING S 16°53'35"W A DISTANCE OF 23.98 FEET; THENCE N 74°01'51"W, 411.16 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 0.23 ACRES (9988 SQ. FT.)

FLOOD ZONE DESIGNATION FOR SUBJECT PROPERTY IS ZONE X

COMMUNITY	NUMBER	PANEL	SUFFIX
DANE COUNTY	550077	0268	F
MADISON, CITY OF	550083	0268	F

CURVE TABLE					
CURVE NO.	RADIUS	CENTRAL ANGLE	LONG CHORD BEARING	DISTANCE	
1 - 2	780.00'	01°45'41"	S 16°53'35"W	23.98'	
2 - 3	780.00'	02°56'21"	S 14°32'34"W	40.01'	
3 - 4	780.00'	18°08'46"	S 04°00'00"W	246.00'	
1 - 4	780.00'	22°50'48"	S 06°21'01"W	308.97'	

NOTES:

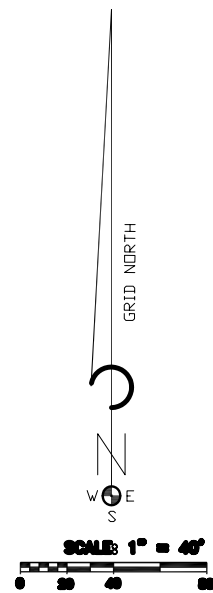
- 1) DRAINAGE SWALE REQUIREMENT AS NOTED ON THE PLAT OF HIGH CROSSING.
- 2) THIS PROPERTY IS SUBJECT TO THE FOLLOWING:
 - a) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DOC. NO. 2309109.
 - b) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DOC. NO. 2370426.
 - c) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DOC. NO. 2464838 AMENDED BY DOC. NO. 2485517 AND RE-RECORDED AS DOC. NO. 2564532.
- 3) SUBJECT PROPERTY IS ZONED RESEARCH PARK SPECIALIZED MANUFACTURING (RSPM) PER THE CITY OF MADISON ZONING DEPARTMENT. FRONT YARD SETBACK = 25 FEET SIDE YARD SETBACK = 15 FEET OR 20 % OF BUILDING HEIGHT REAR YARD SETBACK = 30 FEET OF 45 % OF BUILDING HEIGHT FLOOR AREA RATIO SHALL NOT EXCEED 1 (BLD'G. SQ. FOOTAGE CAN NOT EXCEED 1 TIMES THE LOT AREA)
- 4) UTILITIES ARE SHOWN PER ONSITE OBSERVATION IN ACCORDANCE WITH MAPS PROVIDED BY THE CITY OF MADISON ENGINEERING DEPARTMENT AND MADISON GAS & ELECTRIC COMPANY.

PREPARED FOR:
T. WALL PROPERTIES L.L.C.
ATTN: MR. JEFF LEE
P.O. BOX 7700
MADISON, WISCONSIN 53707 - 7700

BADGER SURVEYING AND MAPPING SERVICE, LLC.
2702 CROSSROADS DRIVE - SUITE 114 - MADISON, WISCONSIN 53704 - (608) 264-6200 - FAX (608) 264-6070

SCALE: 1" = 40' APPROVED BY: M. S. GERHARDT
DATE: FEBRUARY 17, 2005

ALTA / ACSM LAND TITLE SURVEY
ALTA-1 5G - 12



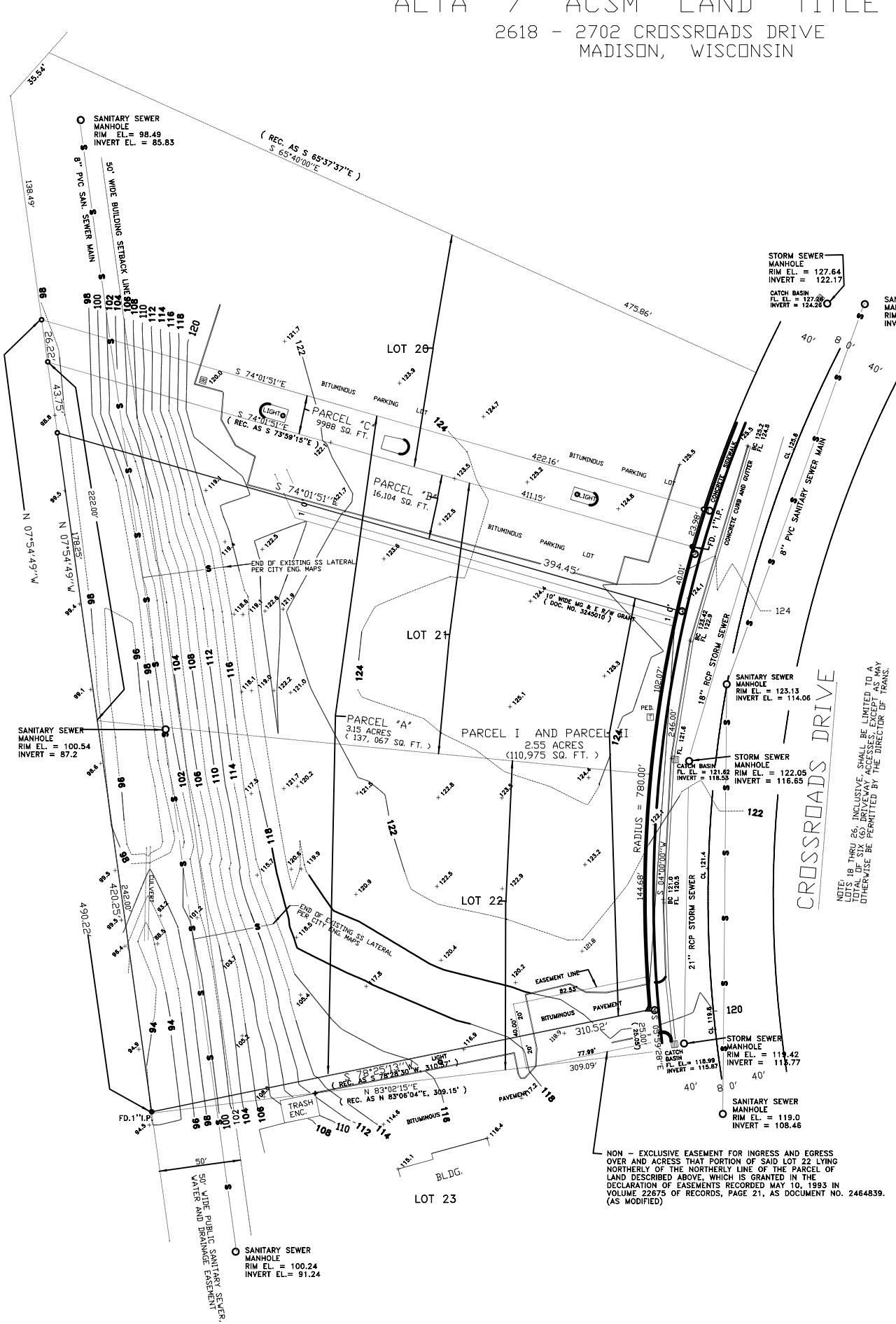
- LEGEND
- FOUND IRON STAKE SIZE AND TYPE AS NOTED
 - SET 3/4" X 24" SOLID ROUND IRON STAKES
 - + SPOT ELEVATIONS
 - ◁ RECORDED AS INFORMATION

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CAUTION !!
CALL DIGGERS HOTLINE
1-800-242-8511
BEFORE ANY CONSTRUCTION !!

VICINITY MAP
(NO SCALE)

INTERSTATE HIGHWAY " 90 & 94 "
(FORMERLY OUTLOT 1, HIGH CROSSING)
(NO VEHICULAR ACCESS)



NON - EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THAT PORTION OF SAID LOT 22 LYING NORTHERLY OF THE NORTHERLY LINE OF THE PARCEL OF LAND DESCRIBED ABOVE, WHICH IS GRANTED IN THE DECLARATION OF EASEMENTS RECORDED MAY 10, 1993 IN VOLUME 22875 OF RECORDS, PAGE 21, AS DOCUMENT NO. 2464839. (AS MODIFIED)

NOTE: LOTS 18 THRU 26, INCLUSIVE, SHALL BE LIMITED TO A TOTAL OF SIX (6) DRIVEWAY ACCESS, EXCEPT AS MAY OTHERWISE BE PERMITTED BY THE DIRECTOR OF TRANSPORTATION.

180 WEST VETERANS PARKWAY
MARTINEFIELD, WI 54449
PHONE: (262) 828-8801
FAX: (262) 828-8801
WWW.EXCELENGR.COM

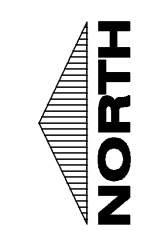
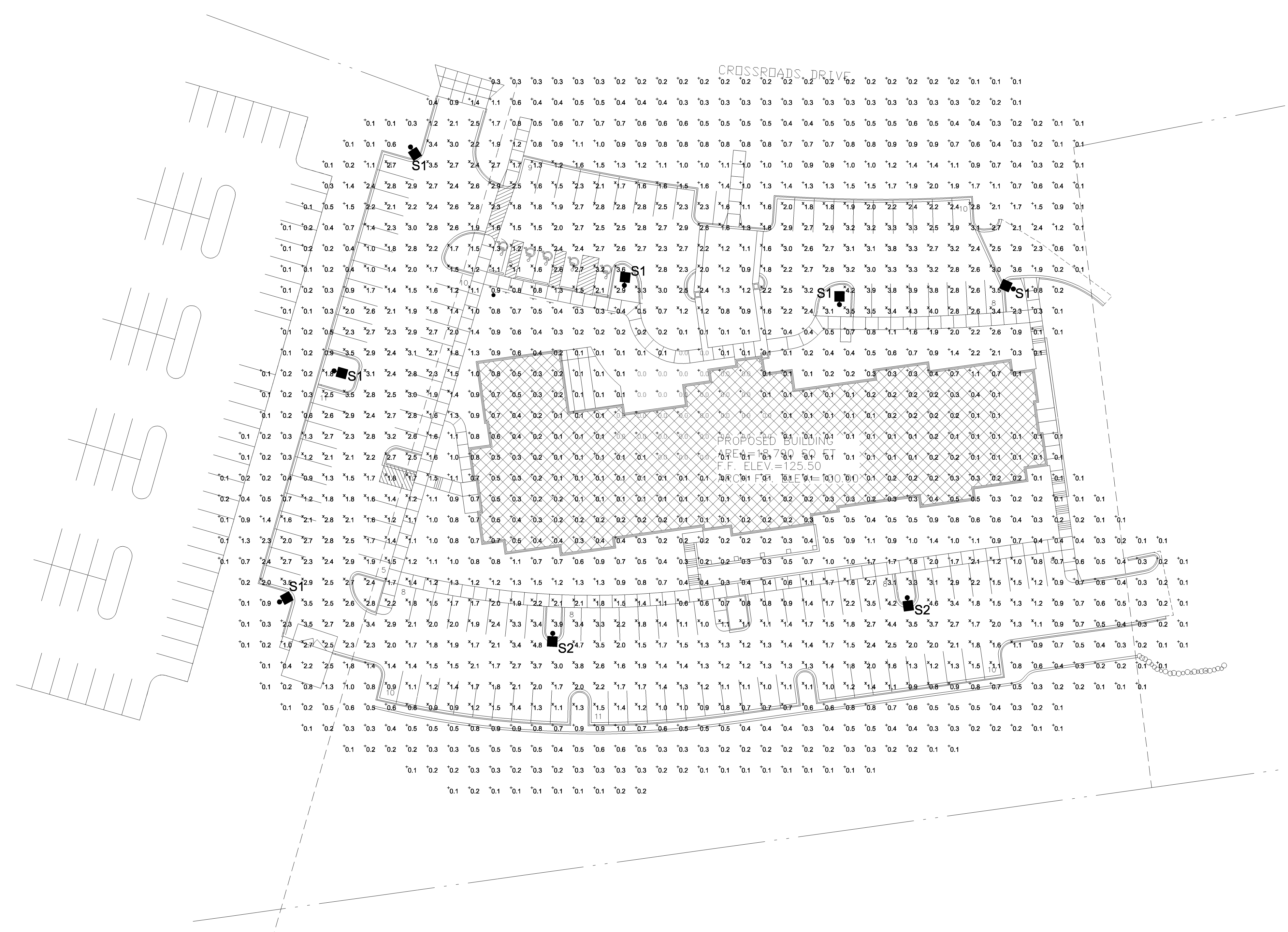
EXCEL TOTAL
ENGINEERING INC. ELECTRIC

185 SANDHURST DRIVE
FOND DU LAC, WI 54635

OWNER:
RAYMOND MANAGEMENT
8333 GREENWAY BLVD.
SUITE 200
MIDDLETON, WI

PROJECT:
FAIRFIELD INN & SUITS
HIGH CROSSING
MADISON, WI

DATE: JANUARY 2, 2007
DESIGN NO.: 712140



PHOTOMETRIC PLAN
SCALE: 1" = 30'

- SITE LIGHTING PHOTOMETRIC CALCULATIONS**
- PARKING FACILITY ACTIVITY LEVEL: MEDIUM(10)
 - FIXTURE MOUNTING HEIGHT: 30FT
 - MINIMUM FC ON PAVEMENT: .5FC
 - AVERAGE FC ON PAVEMENT: 2.1FC
 - UNIFORMITY RATIO: 4.2:1
 - PAVEMENT SQUARE FOOTAGE: 53,309SQFT
 - LIGHTING WATTS (8 X 455): 3640
 - WATTS/SQFT ON PAVEMENT: .068

- FIXTURE SCHEDULE**
- TYPE S1: LITHONIA AS2 400M SR45C TB SPA
 - TYPE S2: LITHONIA AS2 400M SR2 TB SPA

EROSION CONTROL SPECIFICATIONS

EROSION CONTROL SHALL STRICTLY COMPLY WITH THE EROSION CONTROL GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL.

STONE TRACKING PADS SHALL BE PLACED ON SITE AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT, AND SHALL BE A MINIMUM OF 50 FEET LONG.

STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL CATCH BASINS, AND CURB INLETS. TYPE D PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

ALL SILT FENCE SHALL BE PLACED ON SITE AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.

THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.

TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN A PERIOD OF ONE YEAR AND/OR LAND-DISTURBING ACTIVITIES THAT WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 7 DAYS.

PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN CONFORMANCE WITH WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS FOR TEMPORARY AND PERMANENT SEEDING.

ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

IF WATER MUST BE PUMPED FROM THE SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER TO OBTAIN A PUMPING PLAN.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

CONSTRUCTION SEQUENCE

CONSTRUCTION START: 7-1-08
CONSTRUCTION END: 6-1-09

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN. 3. PLACE ALL SILT FENCE. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT TEMPORARY STORMWATER CONVEYANCE SYSTEMS. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. CLEAR AND GRUB TREES AND BRUSH AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE LOCATION. (TOPSOIL PILE LOCATION BY OWNER) 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. CONSTRUCT BIORETENTION BASIN.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

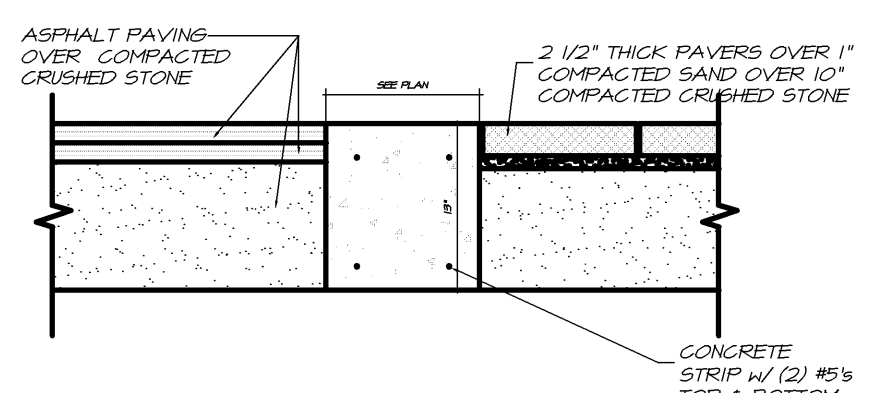
POST CONSTRUCTION OPERATION AND MAINTENANCE PLAN

THE OWNER OF THE PROPERTY AFFECTED SHALL INSPECT AND MAINTAIN THE FOLLOWING STORMWATER MANAGEMENT SYSTEMS FREQUENTLY, ESPECIALLY AFTER HEAVY RAINFALLS, BUT AT LEAST ON AN ANNUAL BASIS UNLESS OTHERWISE SPECIFIED.

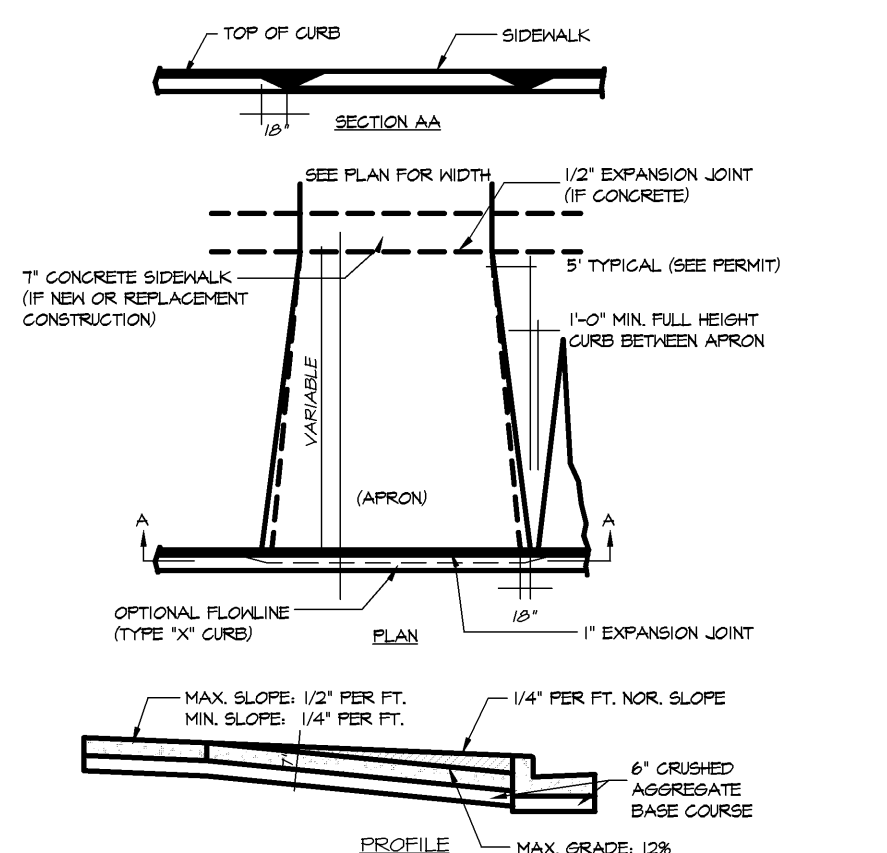
STORMWATER FACILITY	TYPE OF ACTION
1. LAWN AND LANDSCAPED AREAS	ALL LAWN AREAS SHALL BE KEPT CLEAR OF ANY MATERIALS THAT BLOCK THE FLOW OF STORMWATER. RILLS AND SMALL GULLIES SHALL IMMEDIATELY BE FILLED AND SEEDED OR HAVE SOD PLACED IN THEM. THE LAWN SHALL BE KEPT MOWED, TREE SEEDLINGS SHALL BE REMOVED, AND LITTER SHALL BE REMOVED FROM LANDSCAPED AREAS.
2. CATCH BASIN / CURB INLET GRATES	THE GRATE OPENINGS TO THESE STRUCTURES MUST BE CLEARED OF ANY CLOGGING OR THE BLOCKING OF STORMWATER FLOW FROM GETTING INTO THE STORMWATER CONVEYANCE SYSTEM OF ANY KIND.
3. FLO-GARD +PLUS FILTER INSERT	MAINTENANCE SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS GUIDELINES, WHICH AT A MINIMUM SHALL BE 3 INSPECTIONS PER YEAR, 3 CLEANINGS PER YEAR, AND 1 FILTER REPLACEMENT PER YEAR. MORE SPECIFICALLY, DEBRIS SHALL BE REMOVED AND THE FILTER MEDIUM SHALL BE REPLACED ANY TIME THE FILTER MEDIUM APPEARS TO BE SOIL COATED WITH OIL AND GREASE.
4. INFILTRATION TRENCH (UNDERGROUND PIPE)	THE AREA DIRECTLY OVER THE INFILTRATION TRENCH SHALL BE INSPECTED FOR ANY TYPE OF SETTLING THAT MAY TAKE PLACE. THE SURFACE SETTLING DIRECTLY OVER THE INFILTRATION TRENCH IS A SIGN THAT THE FILTER FABRIC AND UNDERGROUND TRENCH INFILTRATION BACKFILL MATERIAL ARE FAILING AND ARE BEING CLOGGED WITH SOIL LEACHING IN FROM ABOVE. THIS FAILED FILTER FABRIC AND TRENCH MATERIAL SHALL BE DUG OUT AND REPLACED WITH NEW. THE SURFACE AREA ABOVE THE TRENCH SHALL BE RESTORED TO THE ORIGINAL PLAN REQUIREMENTS.
5. BIORETENTION BASIN	OWNER SHALL INSPECT THE BIORETENTION PLANTINGS ONCE A WEEK FOR THE FIRST MONTH. PLANTS THAT DO NOT GET ESTABLISHED SHALL BE REPLACED IMMEDIATELY. THE PLANTS SHALL BE WATERED EVERY TWO WEEKS DURING THE FIRST GROWING SEASON AS NEEDED. ALL PLANTS SHOULD BE WATERED AFTER THE FIRST GROWING SEASON AS NEEDED. MULCH SHOULD BE ADDED ONCE PER YEAR TO MAINTAIN THE THREE INCHES OF DEPTH REQUIRED. LITTER AND DEBRIS SHOULD BE REMOVED MONTHLY. INSPECTION OF THE BASIN ITSELF SHOULD ALSO BE DONE MONTHLY. INSPECTIONS SHALL INCLUDE THE SPREADER, OVERFLOW SPILLWAY, AND THE CONDITION OF PLANTINGS. IF STANDING WATER IS OBSERVED OVER 50% OF THE BASIN FLOOR 3 DAYS AFTER RAINFALL, THE BASIN IS CONSIDERED CLOGGED. IF THIS EVER OCCURS, DEEP TILL DOWN TO A DEPTH OF 8 INCHES AND REPLANT THE BASIN AS ORIGINALLY DESIGNED.
6. RECORD OF MAINTENANCE	THE OPERATION AND MAINTENANCE PLAN SHALL REMAIN ONSITE AND BE AVAILABLE FOR INSPECTION WHEN REQUESTED BY WDNR. WHEN REQUESTED THE OWNER SHALL MAKE AVAILABLE FOR INSPECTION ALL MAINTENANCE RECORDS TO THE DEPARTMENT OR AGENT FOR THE LIFE OF THE SYSTEM.

SITE STABILIZATION & SEEDING NOTES

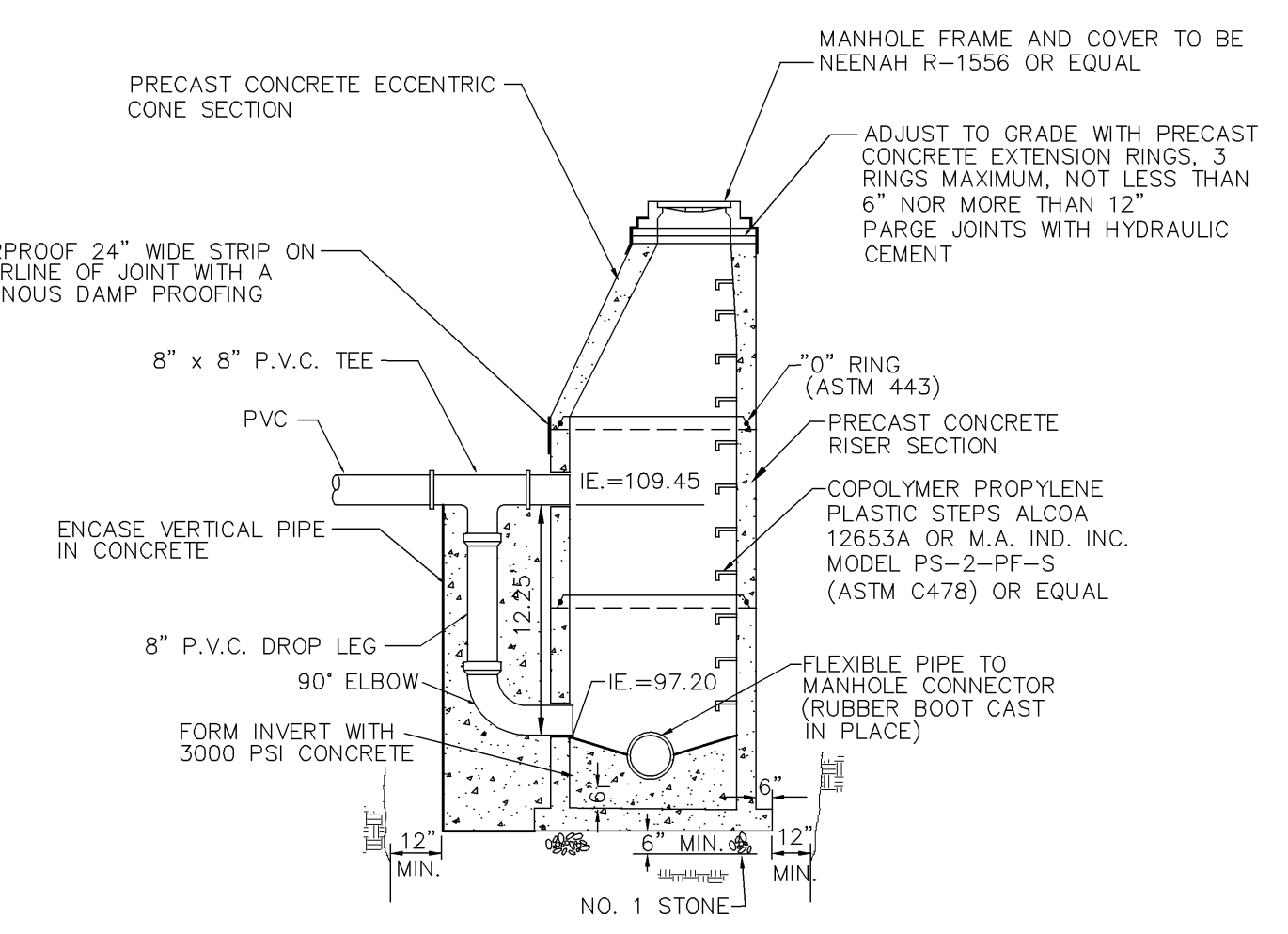
1. PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS.
2. PROVIDE EROSION CONTROL MATTING(NORTH AMERICAN GREEN S150) ON ALL SLOPES THAT ARE 4:1 AND GREATER.
3. ALL STORM WATER CONVEYANCE SWALES SHALL BE SEEDED WITH WISCONSIN DOT MIX # 10 @ 4.0 LBS PER 1,000 S.F. NORTH AMERICAN GREEN C125 OR EQUIVALENT EROSION MATTING SHALL BE PROVIDED.
4. LAWN AREAS SHALL BE SEEDED WITH WISCONSIN DOT MIX # 40 OR EQUIVALENT AT A RATE OF 4 POUNDS PER 1,000 S.F. THESE AREAS SHALL BE MULCHED WITH 90 BALES OF STRAW OR HAY PER ACRE. ALL SEEDED AREAS SHOULD BE FERTILIZED WITH 24-1-12 FERTILIZER AT A RATE OF 4 POUNDS PER 1,000 S.F.



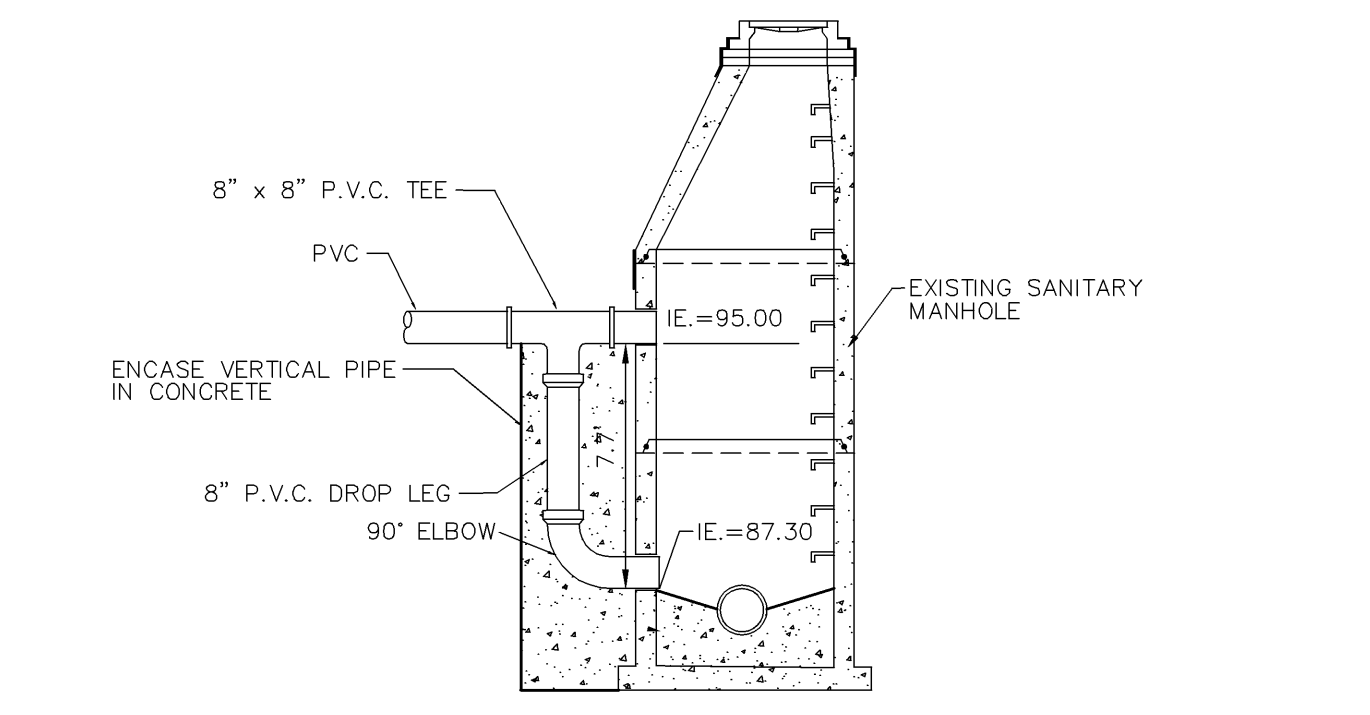
BRICK PAVER TRANSITION AT PORTE COCHRE
NO SCALE



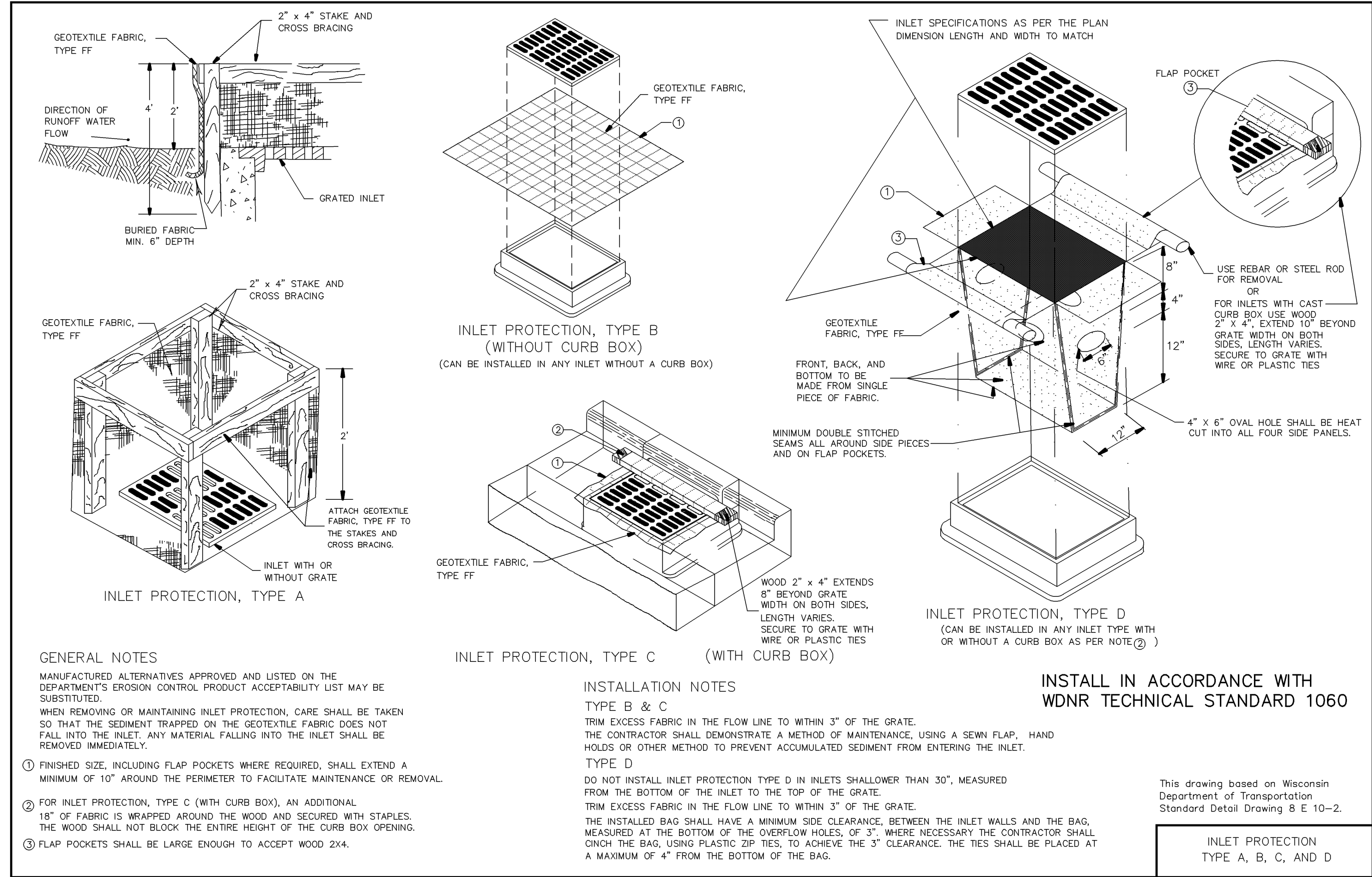
COMMERCIAL DRIVEWAY DETAIL
NO SCALE



OUTSIDE DROP AT SAN MH.
NO SCALE



OUTSIDE DROP AT SAN MH.
NO SCALE



INLET PROTECTION DETAILS
NO SCALE

1807 WEST VETERANS PARKWAY
MADISON, WI 53749
PHONE: (608) 826-3800
FAX: (608) 826-3807

EXCEL TOTAL
ENGINEERING INC.
ELECTRIC

100 SHILOH PARK
FOND DU LAC, WI 54635
PHONE: (920) 826-3800
FAX: (920) 826-3807

OWNER:
RAYMOND MANAGEMENT
8333 GREENWAY BLVD.
SUITE 200
MIDDLETON, WI

PROJECT:
FAIRFIELD INN & SUITS
HIGH CROSSING
MADISON, WI

DATE:
JANUARY 2, 2008
DESIGN NO.:

712140

SHEET

C1.4

STORM SEWER PIPE SCHEDULE

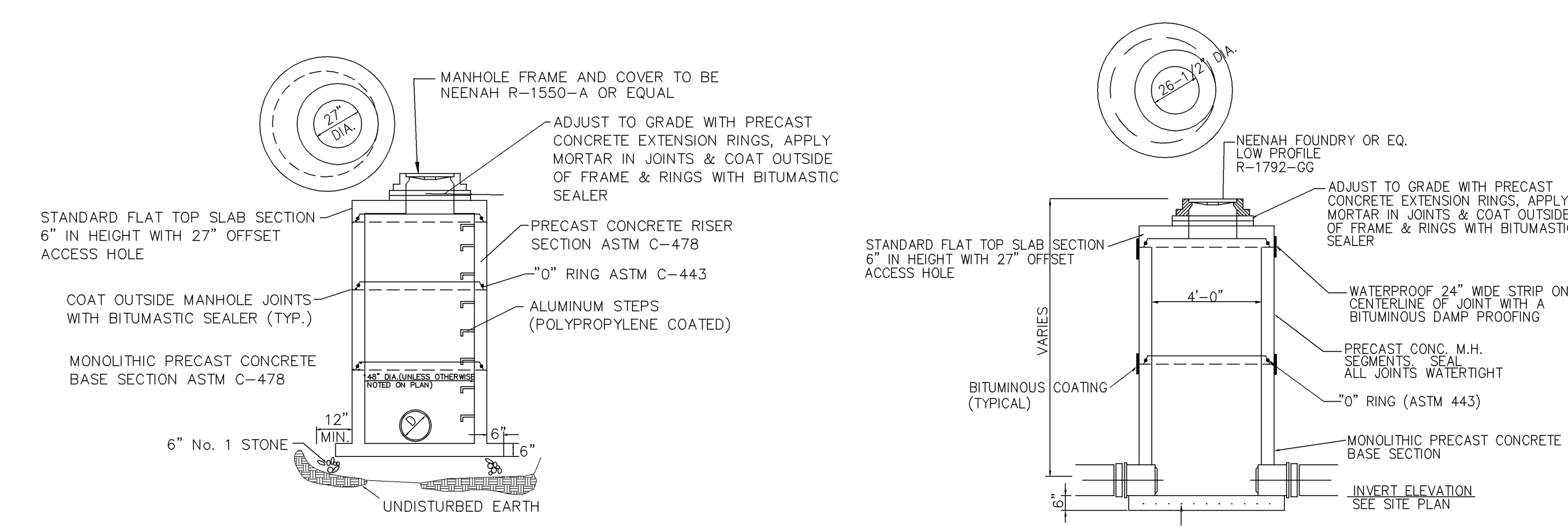
PIPE NO.	LENGTH (FT.)	PIPE SIZE	PIPE MATERIAL	% GRADE
PIPE 1	9	6"	HDPE	2.0%
PIPE 2	280	8"	HDPE	2.0%
PIPE 3	9	6"	HDPE	2.0%
PIPE 4	14	6"	HDPE	2.0%
PIPE 5	12	6"	HDPE	2.0%
PIPE 6	10	6"	HDPE	2.0%
PIPE 7	4	6"	HDPE	2.0%
PIPE 8	8	6"	HDPE	2.0%
PIPE 9	13	6"	HDPE	2.0%
PIPE 10	13	6"	HDPE	2.0%
PIPE 11	10	6"	HDPE	2.0%
PIPE 12	12	6"	HDPE	2.0%
PIPE 13	16	6"	HDPE	2.0%
PIPE 14	17	6"	HDPE	2.0%
PIPE 15	63	8"	HDPE	5.0%
PIPE 16	8	10"	HDPE	5.0%
PIPE 17	66	10"	HDPE	4.0%
PIPE 18	25	10"	CONCRETE	7.0%
PIPE 19	10	8"	HDPE	5.0%
PIPE 20	109	8"	HDPE	5.0%
PIPE 21	6	6"	HDPE	2.0%
PIPE 22	12	6"	HDPE	2.0%
PIPE 23	9	6"	HDPE	2.0%
PIPE 24	19	8"	HDPE	2.0%
PIPE 25	49	8"	HDPE	2.0%
PIPE 26	178	8"	HDPE	5.0%
PIPE 27	13	6"	HDPE	2.0%
PIPE 28	17	10"	CONCRETE	2.0%
PIPE 29	7	6"	HDPE	2.0%
PIPE 30	3	6"	HDPE	2.0%
PIPE 31	16	6"	HDPE	2.0%
PIPE 32	16	6"	HDPE	2.0%
PIPE 33	17	6"	HDPE	2.0%
PIPE 34	104	8"	HDPE	5.0%
PIPE 35	81	8"	HDPE	4.0%
PIPE 36	13	10"	HDPE	5.0%
PIPE 37	17	10"	CONCRETE	5.0%
PIPE 38	17	10"	HDPE	1.0%
PIPE 39	36	10"	CONCRETE	7.0%

NOTE: THE LENGTH OF PIPES 18, 28, 37, 39 INCLUDE THE ENDWALL.

STORM SEWER STRUCTURE SCHEDULE

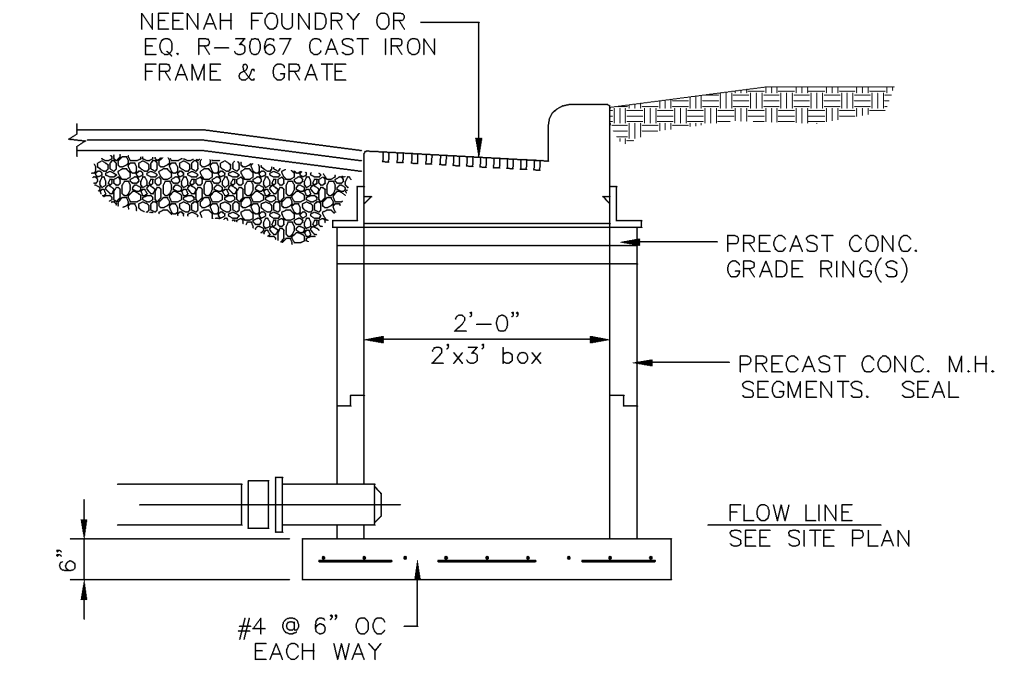
STRUCTURE NO.	RIM ELEV.	INFLOW INVERT(S)	OUTFLOW INVERT	SEE DETAIL	MH DIA.
MANHOLE #1	115.30	IE. (S) 10"(HDPE)=107.60 IE. (S) 12"(HDPE)=107.00	IE. (W) 10"(CONC)=104.75	1/C1.3	5'
INLET #2	114.95	IE. (E) 10"(HDPE)=111.00 IE. (S) 12"(HDPE)=107.00	IE. (N) 10"(HDPE)=108.00	2/C1.3	N/A
INLET #3	119.55		IE. (W) 8"(HDPE)=116.71	2/C1.3	N/A
INLET #4	119.35	IE. (E) 8"(HDPE)=115.73	IE. (W) 8"(HDPE)=115.73	2/C1.3	N/A
MANHOLE #5	111.55	IE. (N) 10"(HDPE)=107.35	IE. (W) 10"(CONC)=104.35	1/C1.3	5'
INLET #6	110.50	IE. (E) 8"(HDPE)=106.50	IE. (W) 10"(CONC)=104.34	2/C1.3	N/A
INLET #7	111.50	IE. (N) 12"(HDPE)=107.00 IE. (E) 8"(HDPE)=108.00	IE. (S) 10"(HDPE)=108.00	2/C1.3	N/A
INLET #8	122.00		IE. (SW) 15"(CONC)=112.60	2/C1.3	N/A
INLET #9	118.95		IE. (W) 10"(HDPE)=115.17	2/C1.3	N/A
CATCH BASIN #10	115.50		IE. (SW) 10"(CONC)=110.52	5/C1.3	4'

NOTE: FLO-GARD PLUS OIL/GREASE SEPARATOR INSERTS SHALL BE PROVIDED FOR ALL CURB INLETS.

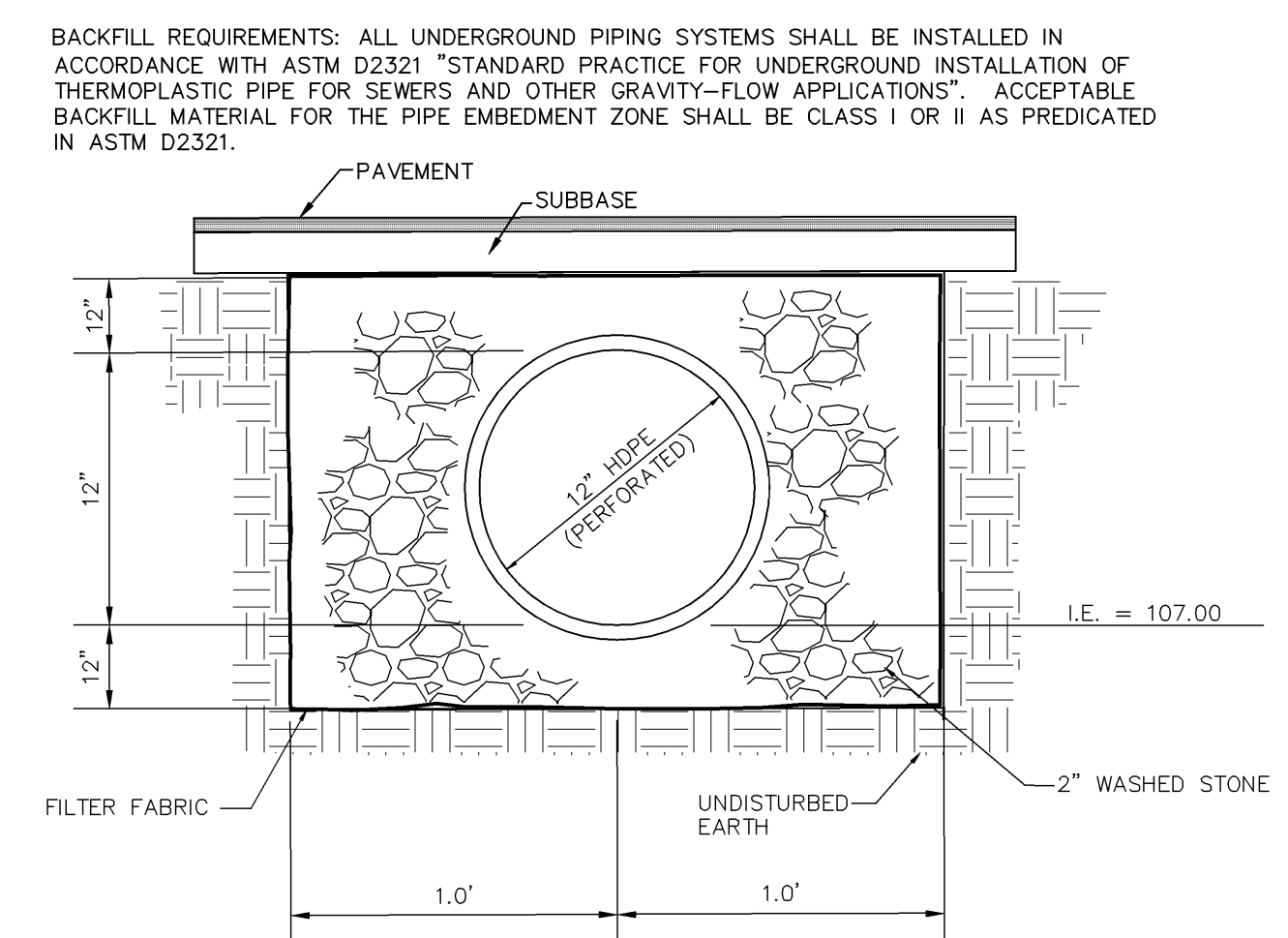


1 STORM MANHOLE DETAIL
C1.3 NO SCALE

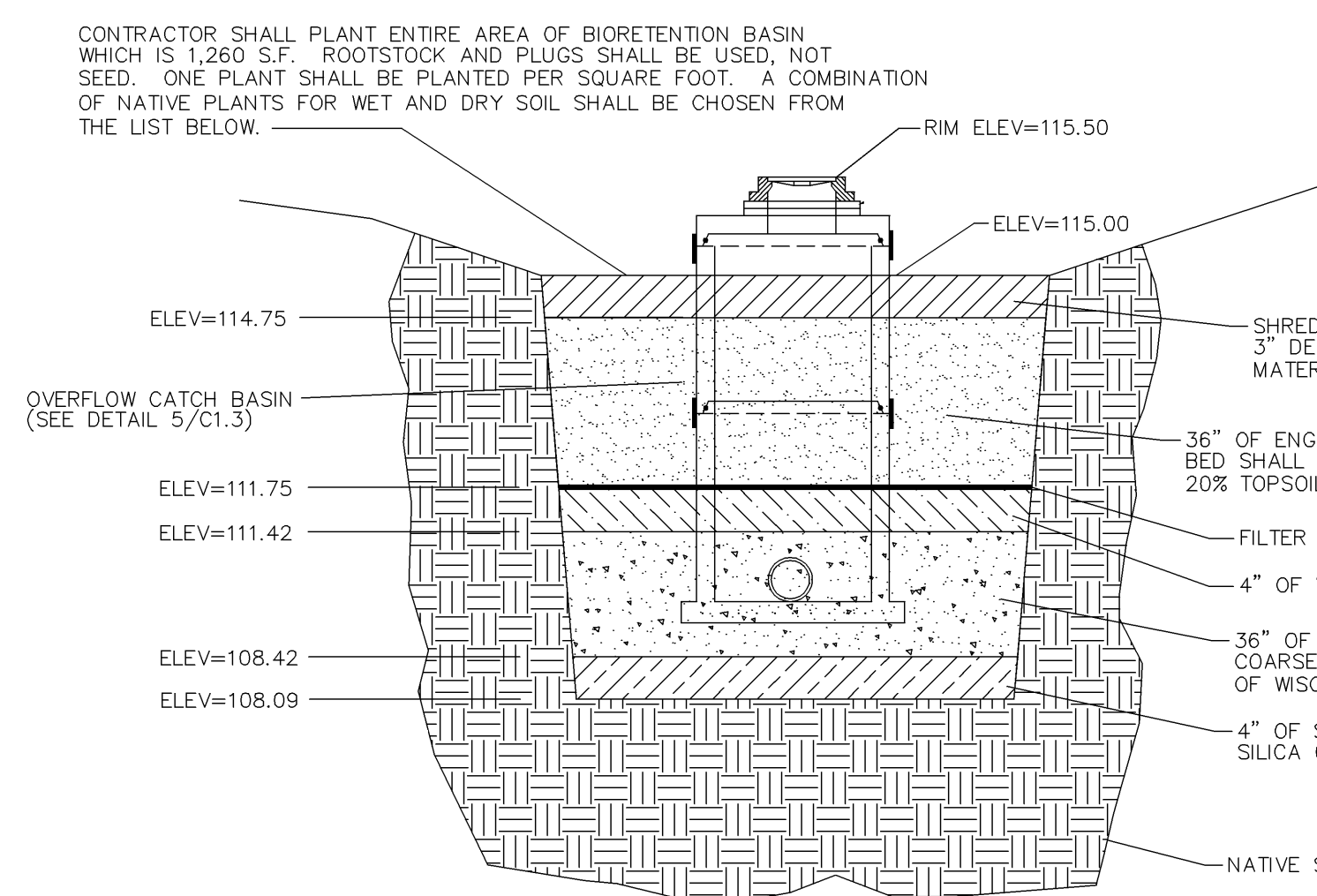
5 CATCH BASIN DETAIL
C1.3 NO SCALE



2 CURB INLET
C1.3 NO SCALE



3 CROSS SECTION OF INFILTRATION AREA
C1.3 NO SCALE



PLANT LIST
 DRY SOIL - BUTTERFLY FLOWER, PURPLE PRAIRIE CLOVER, BEE BALM, LITTLE BLUESTEM, SPIDERWORT, WHITE FALSE INDIGO, VIRGINIA WATERLEAF, SWEET BLACK-EYED SUSAN, GAFFEAHER, BIG BLUESTEM, CUP PLANT, COMMON IRONWEED.
 WET SOIL - GIANT HISSOP, CANADA ANEMONE, MARSH MILKWEED, NEW ENGLAND ASTER, TURTLEHEAD, JOE-PYE WEED, BONESET, BLUEFLAG IRIS, GREAT BLUE LOBELIA, SWITCHGRASS, OBEDIENT PLANT, MOUNTAIN MINT, TALL MEADOW RUE, CULVER'S ROOT, GOLDEN ALEXANDER.

4 BIORETENTION BASIN
C1.3 NO SCALE

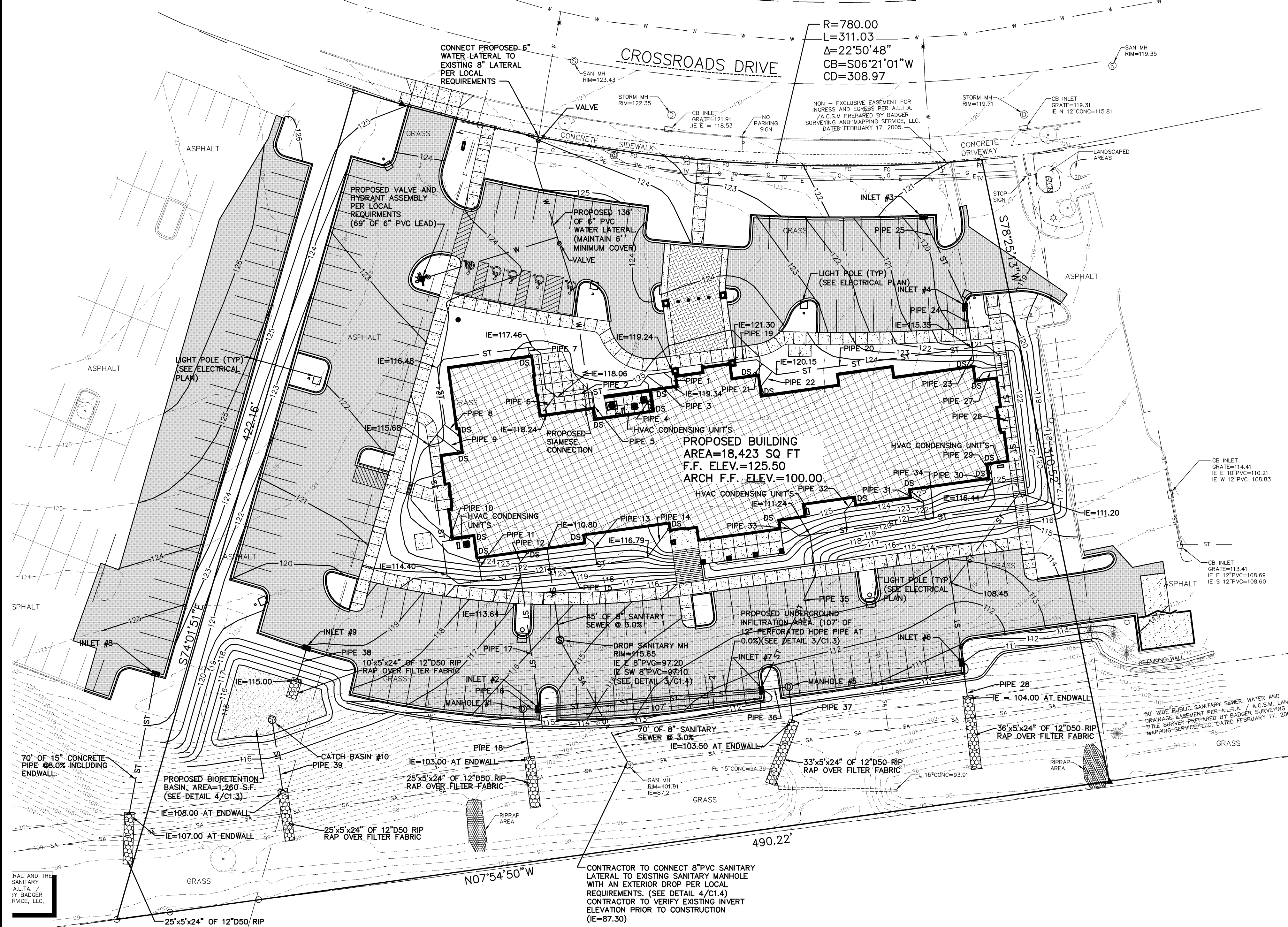
NOTE: CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

NOTE: ALL PROPOSED SANITARY PIPE SHALL BE SDR-35 PVC. ALL PROPOSED WATER PIPE SHALL BE C900 PVC FOR PIPE DIAMETERS OF 6" OR GREATER AND C906 PE FOR PIPE DIAMETERS OF 4" OR LESS.

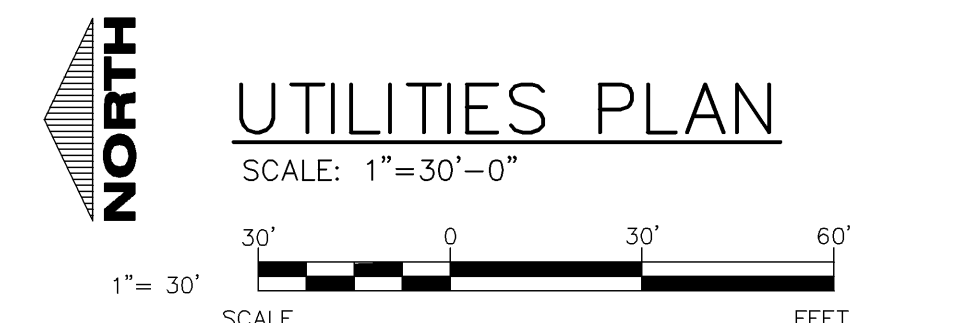
NOTE: SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM EXTERIOR WALL OF FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION.

NOTE: ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, TRACER TAPE OR COPPER COATED STEEL WIRE). TRACER WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

LOCATION OF WATERMAIN SHOWN ON THIS EXISTING CONDITIONS SURVEY HAS BEEN SHOWN PER PLANS PROVIDED BY MADISON WATER UTILITY DEPARTMENT ON JANUARY 9, 2008



CONTRACTOR TO CONNECT 8" PVC SANITARY LATERAL TO EXISTING SANITARY MANHOLE WITH AN EXTERIOR DROP PER LOCAL REQUIREMENTS. (SEE DETAIL 4/C1.4)
 CONTRACTOR TO VERIFY EXISTING INVERT ELEVATION PRIOR TO CONSTRUCTION (IE=87.30)



UTILITIES PLAN

SCALE: 1"=30'-0"

EXCEL TOTAL
 ENGINEERING INC.
 ELECTRIC

1807 WEST VETERANS PARKWAY
 MADISON, WI 53704
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 FAX: (608) 828-8807

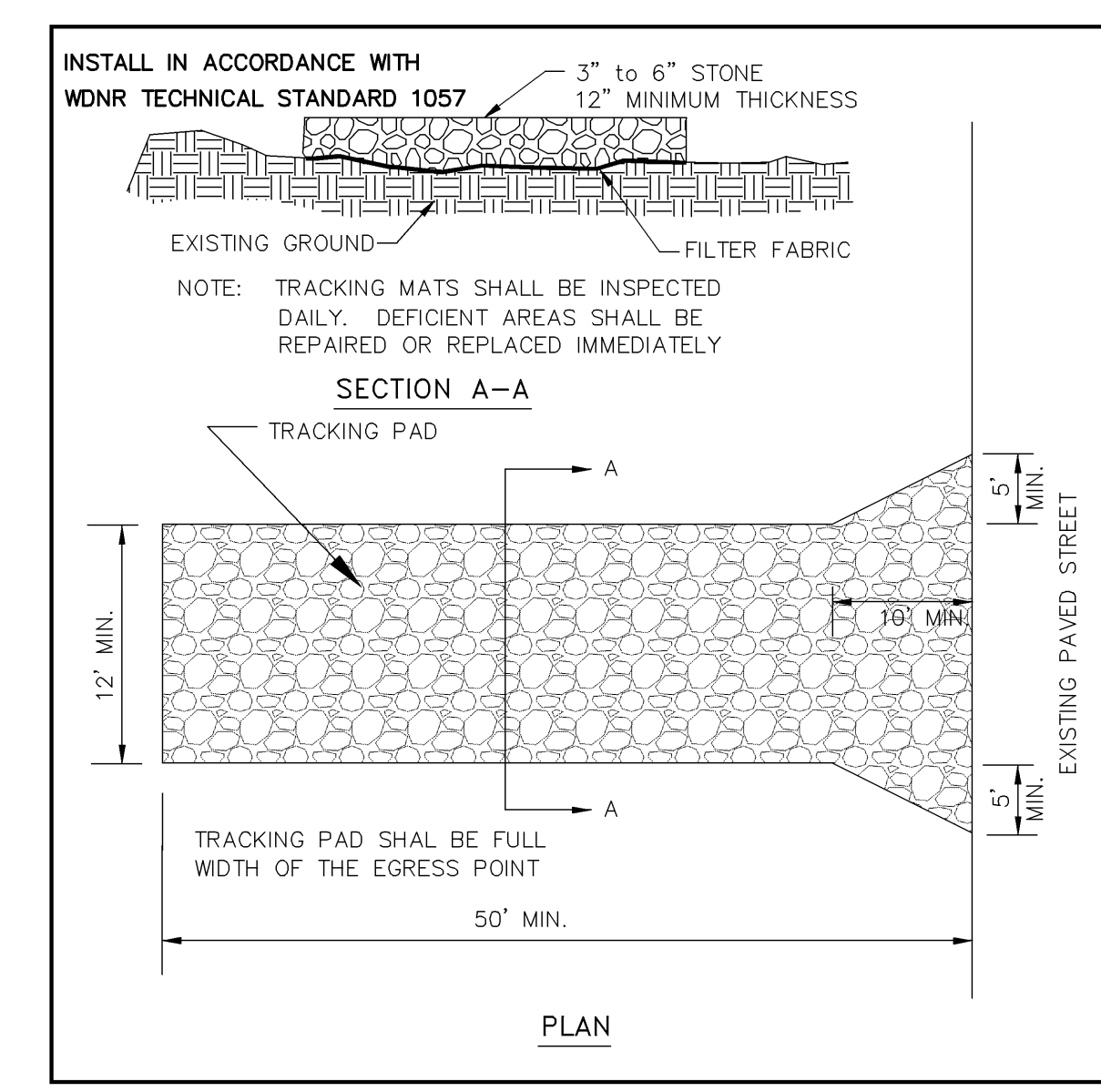
OWNER:
 RAYMOND MANAGEMENT
 8333 GREENWAY BLVD.
 SUITE 200
 MIDDLETON, WI

PROJECT:
 FAIRFIELD INN & SUITS
 HIGH CROSSING
 MADISON, WI

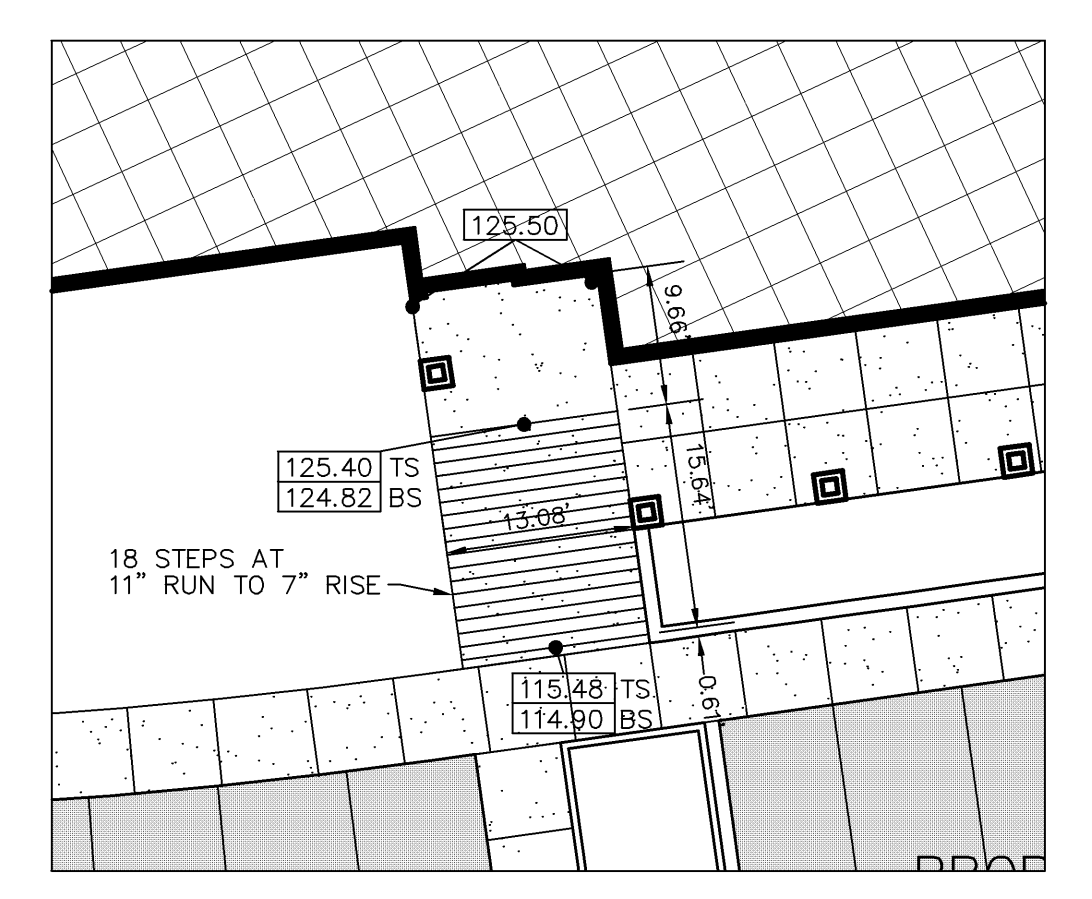
DATE: JANUARY 2, 2008
DESIGN NO.: 712140

SHEET

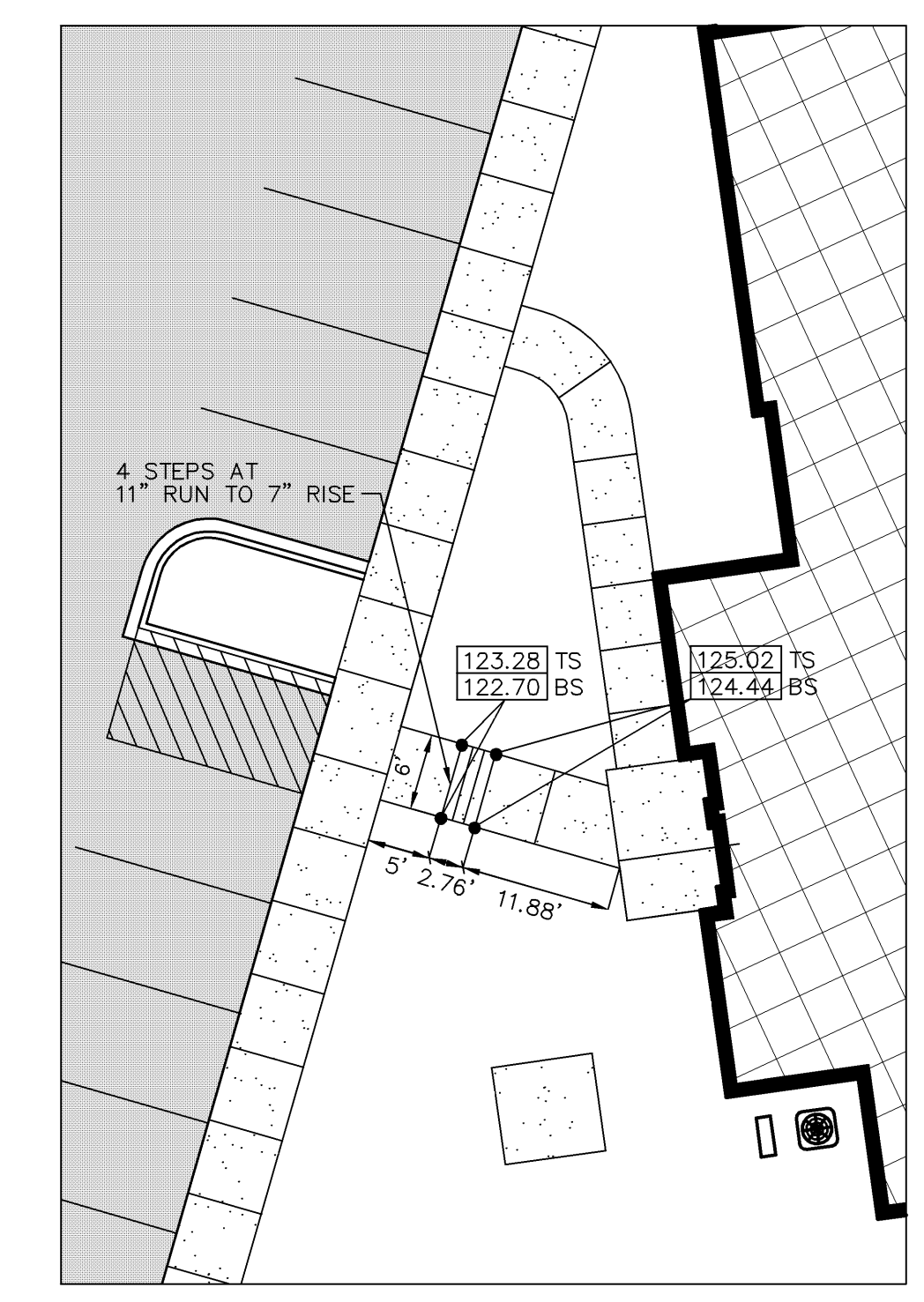
C1.3



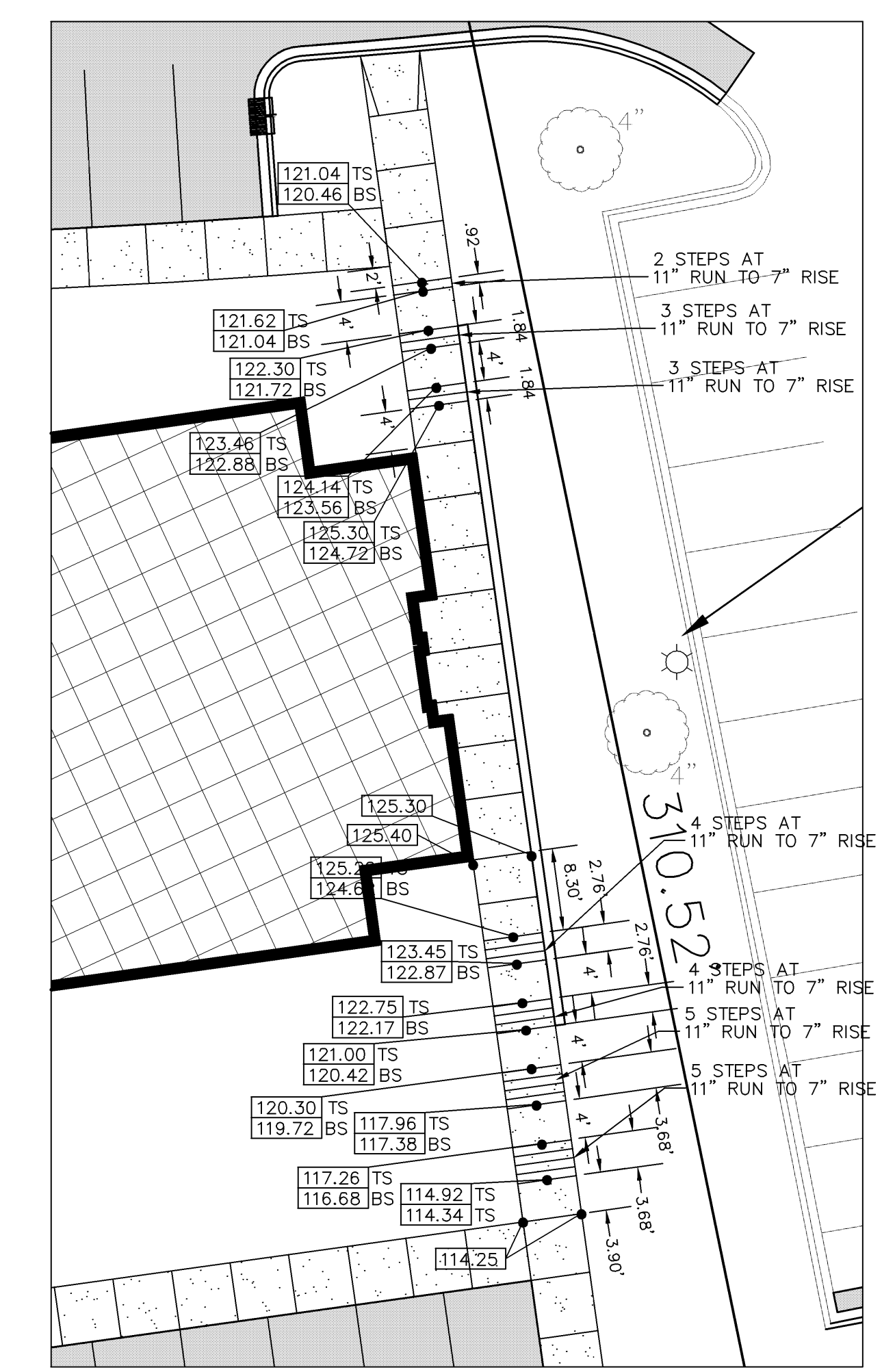
5 TRACKPAD DETAILS
C1.2 NO SCALE



2 CONCRETE STAIR DETAIL 1
C1.2 NO SCALE

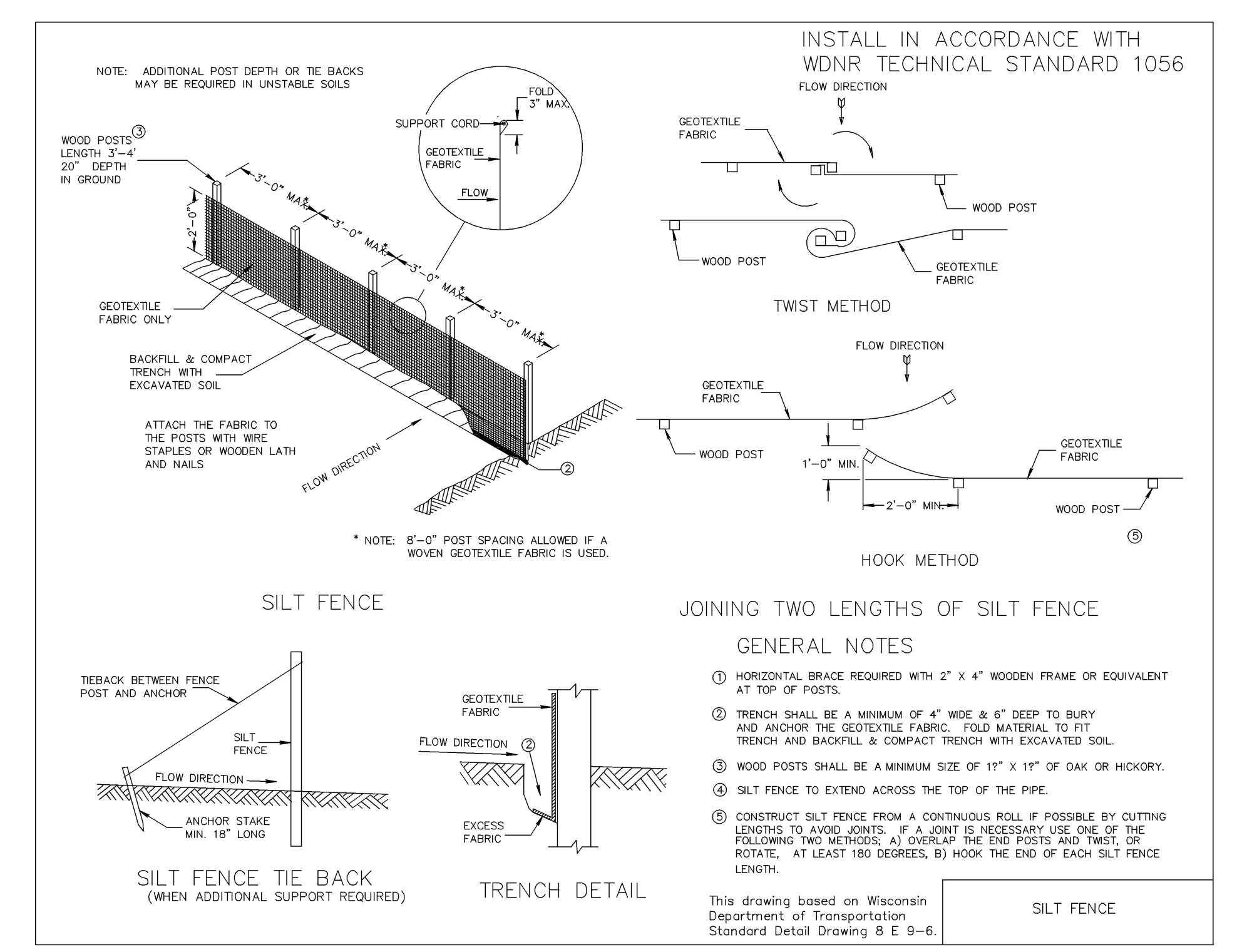
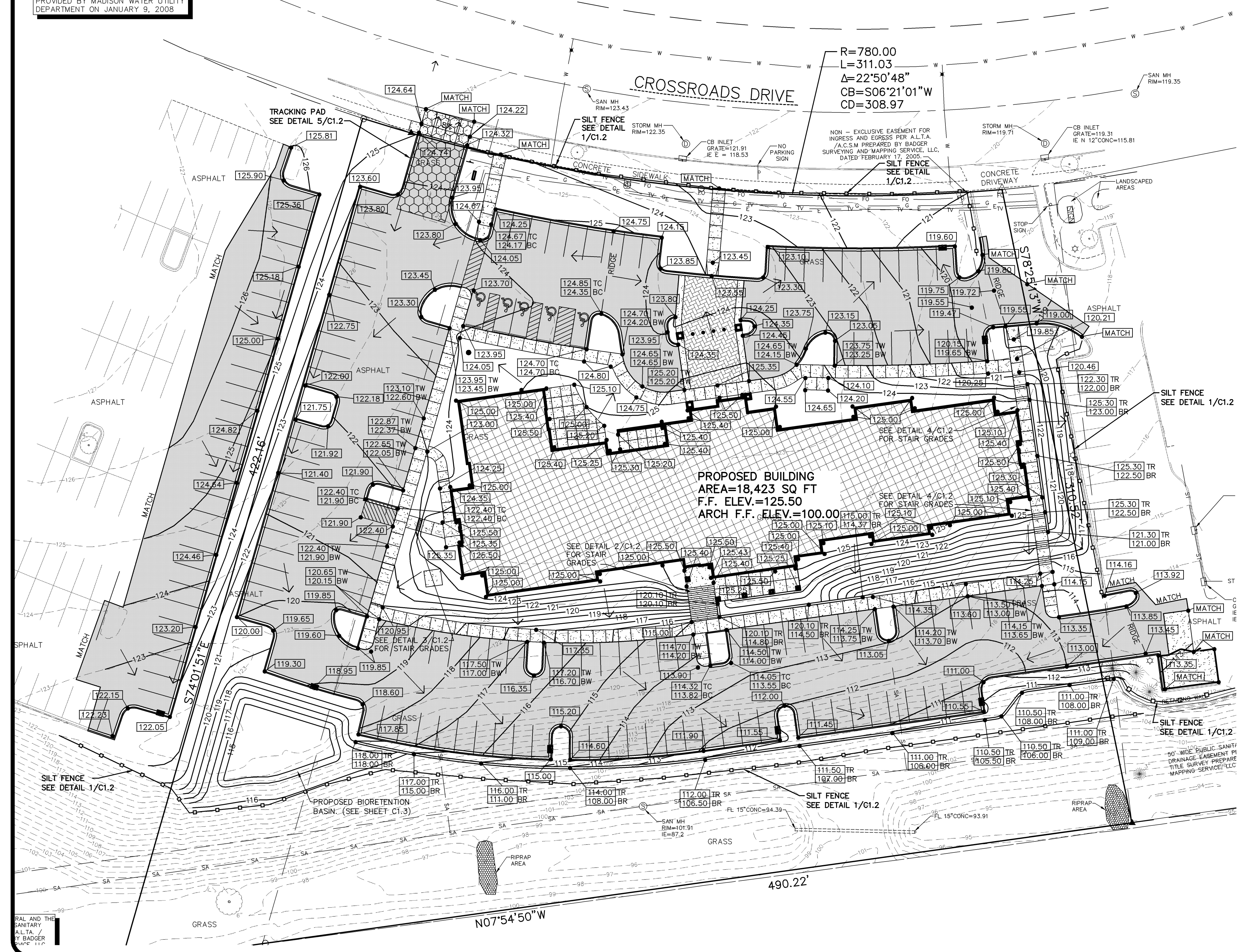


3 CONCRETE STAIR DETAIL 2
C1.2 NO SCALE

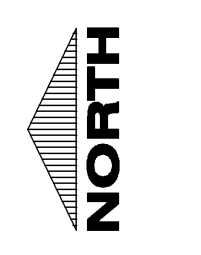


4 CONCRETE STAIR DETAIL 3
C1.2 NO SCALE

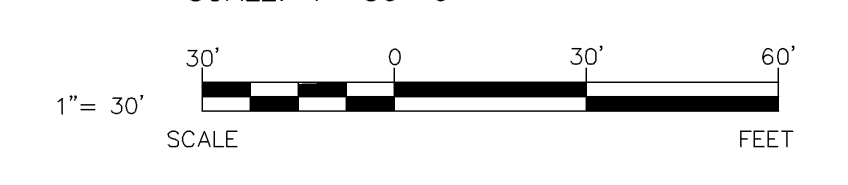
LOCATION OF WATERMAIN SHOWN ON THIS EXISTING CONDITIONS SURVEY HAS BEEN SHOWN PER PLANS PROVIDED BY MADISON WATER UTILITY DEPARTMENT ON JANUARY 9, 2008



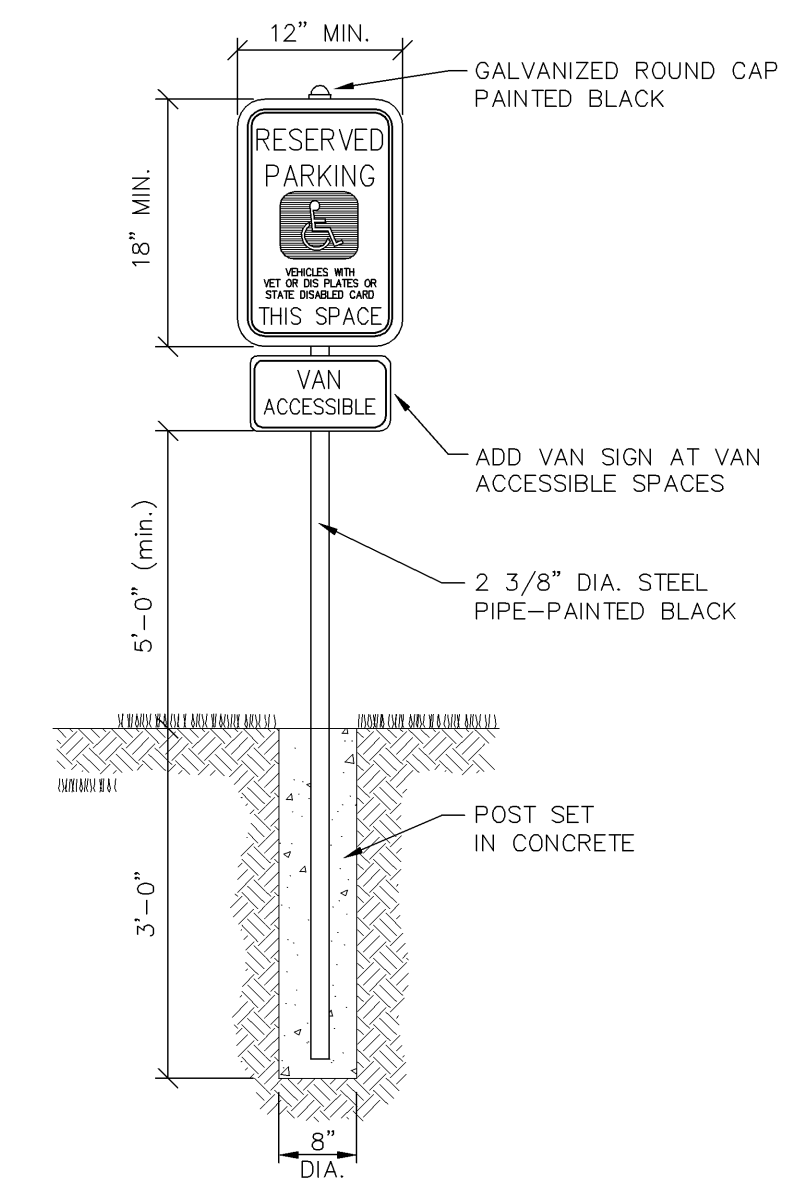
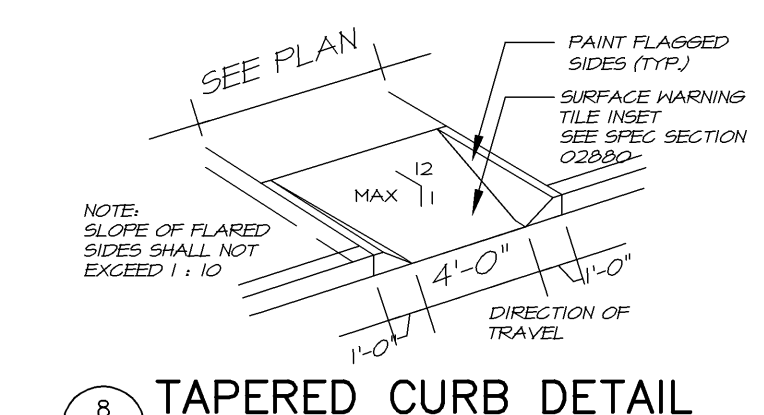
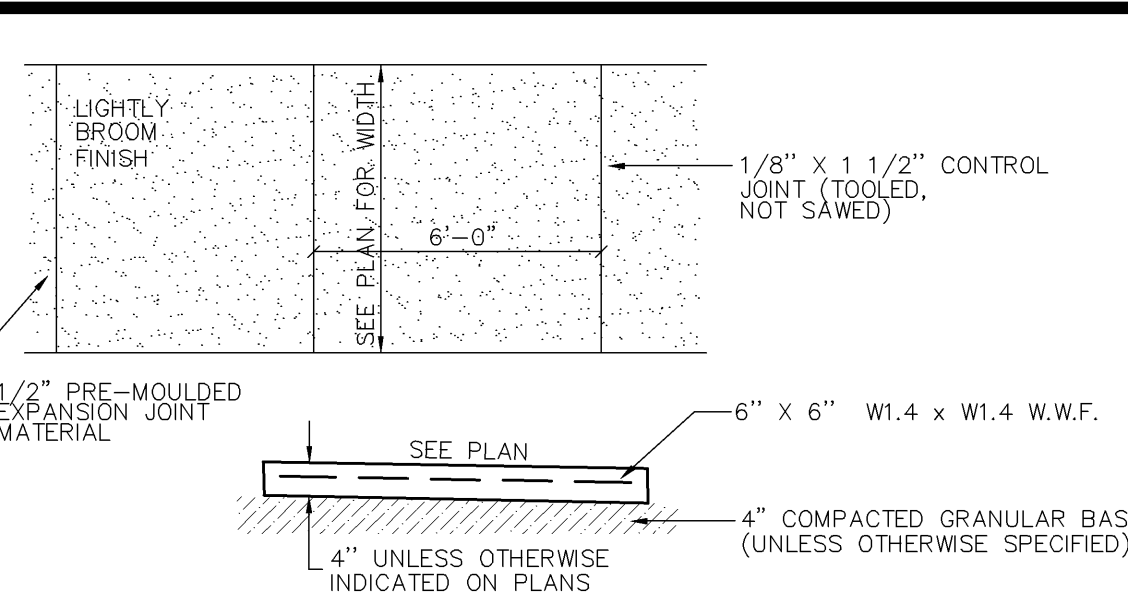
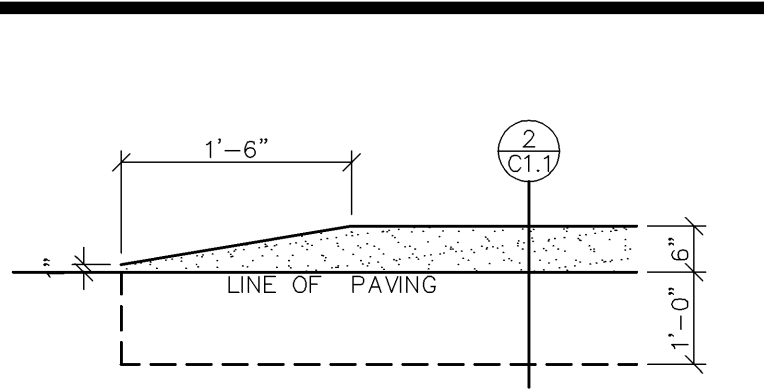
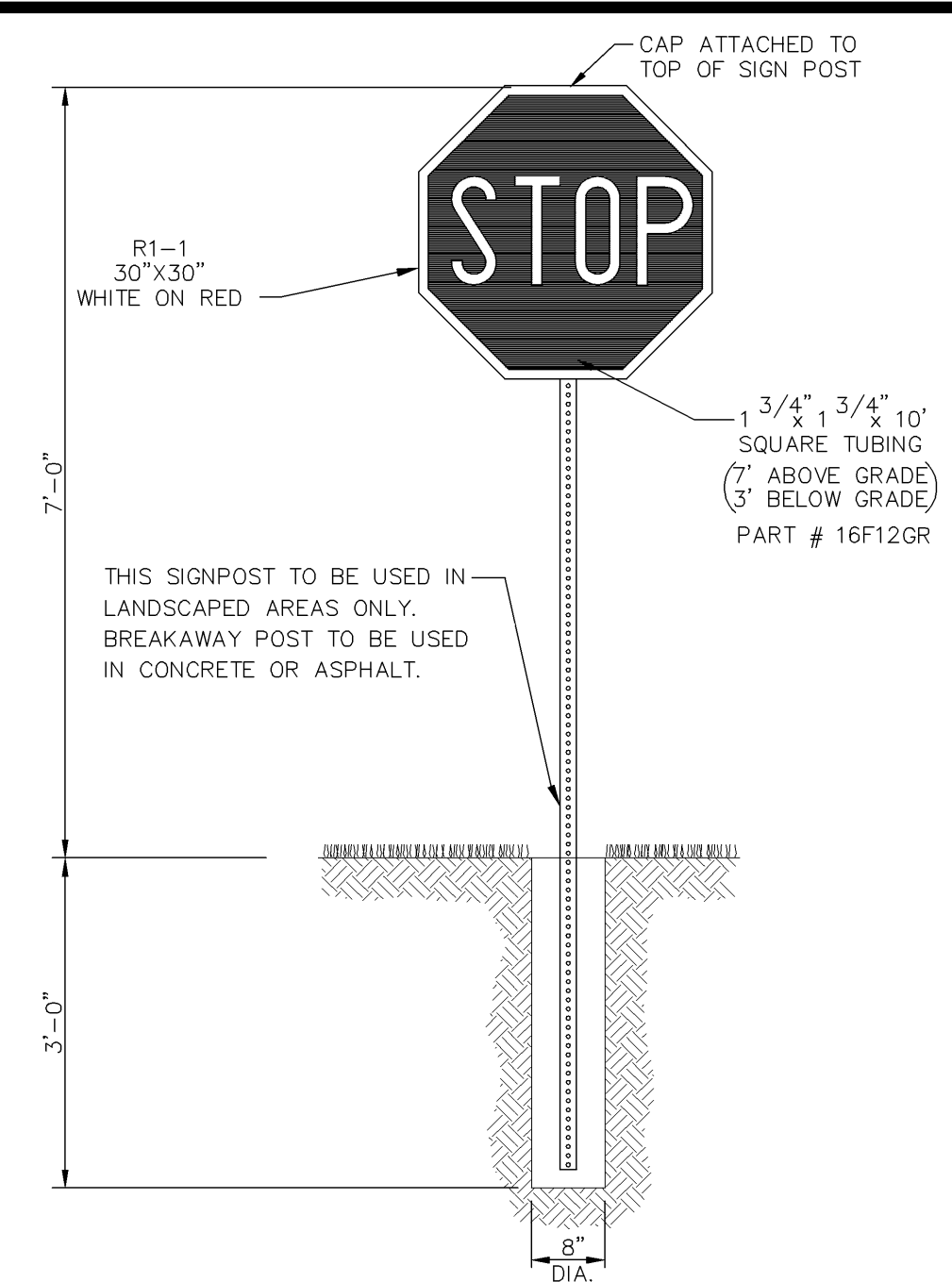
1 SILT FENCE - INSTALLATION DETAIL
C1.2 NO SCALE



GRADING & EROSION CONTROL PLAN
SCALE: 1"=30'-0"



NO.	DATE	DESCRIPTION
1	MAY 23, 2008	



SITE INFORMATION:

SITE ADDRESS: 2702 CROSSROADS DRIVE
 PROPERTY AREA: AREA = 137,067 S.F. (3.15 ACRES).
 EXISTING ZONING: RPSM
 PROPOSED ZONING: RPSM
 PROPOSED USE: HOTEL
 SETBACKS: BUILDING: FRONT = 25'
 SIDE = 15'
 REAR = 30'
 PARKING: FRONT = 25'
 SIDE = 0'
 REAR = 0'

PROPOSED BUILDING HEIGHT: 47' 8"

NUMBER OF STORIES ABOVE GRADE: 4
 PARKING REQUIRED: 1 SPACE PER EACH LODGING ROOM (131 SPACES REQ.)
 PARKING PROVIDED: 131 SPACES (5 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 5, HANDICAP STALLS PROVIDED: 5
 HOURS OF OPERATION: 24 HOURS - 7 DAYS A WEEK

NUMBER OF BICYCLE STALLS SHOWN = 2 (1 PER 20 EMPLOYEES REQUIRED, 12 EMPLOYEES PROPOSED, MIN. OF 2 STALLS REQUIRED)

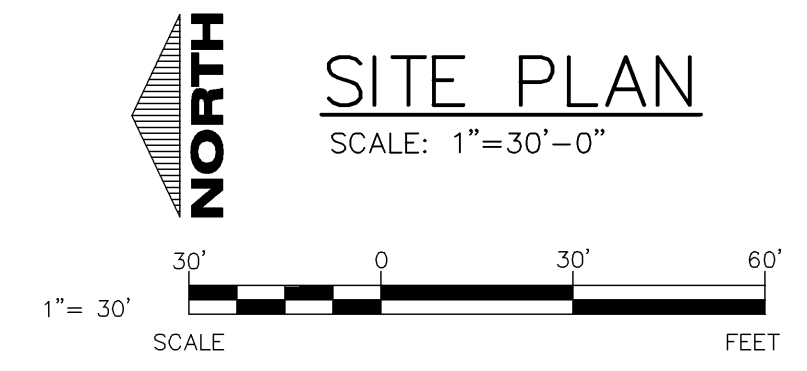
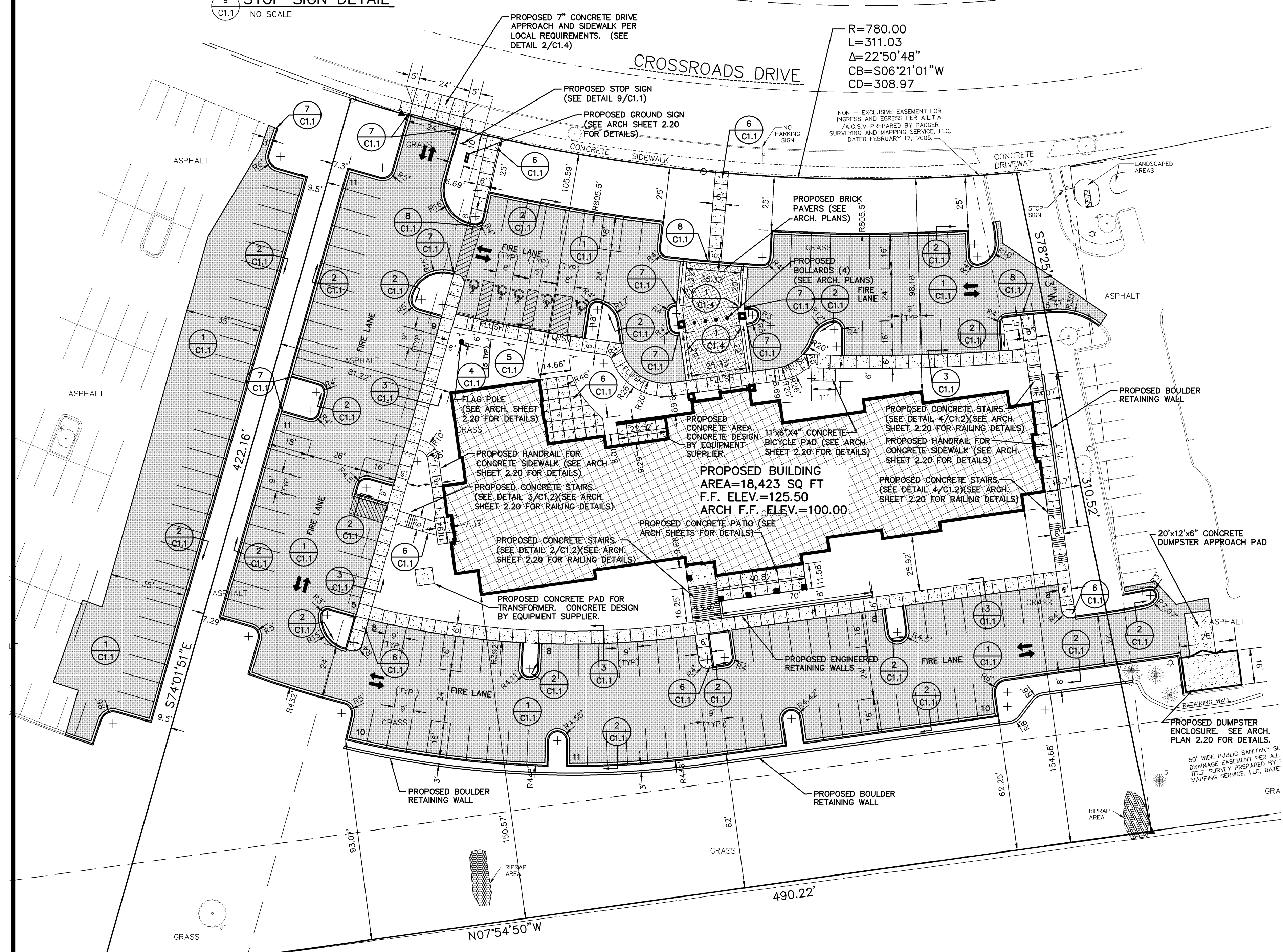
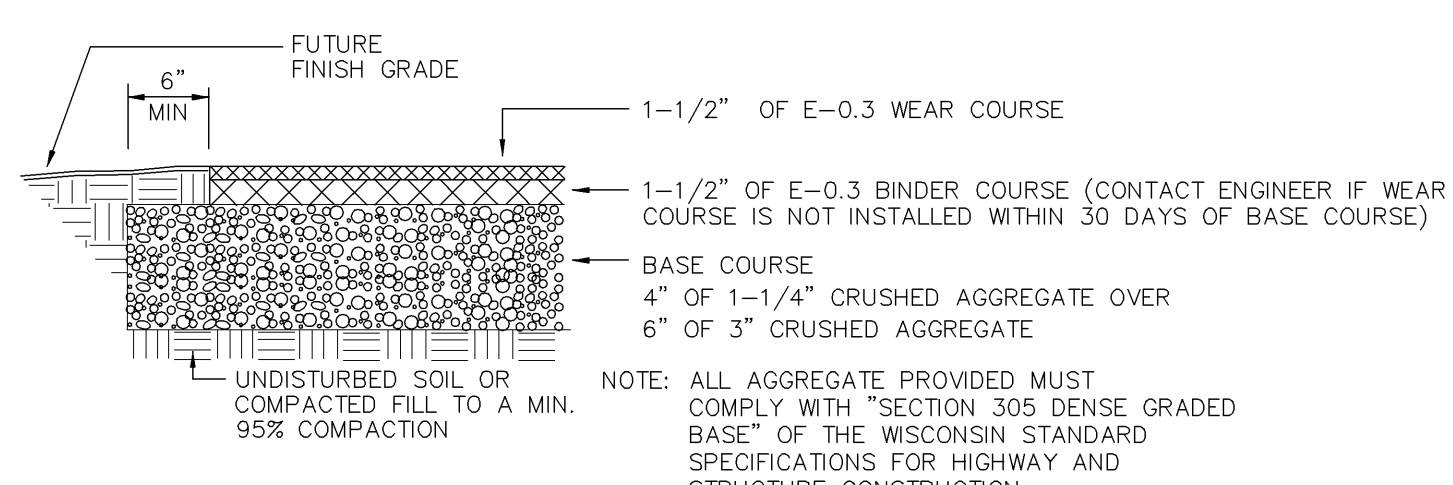
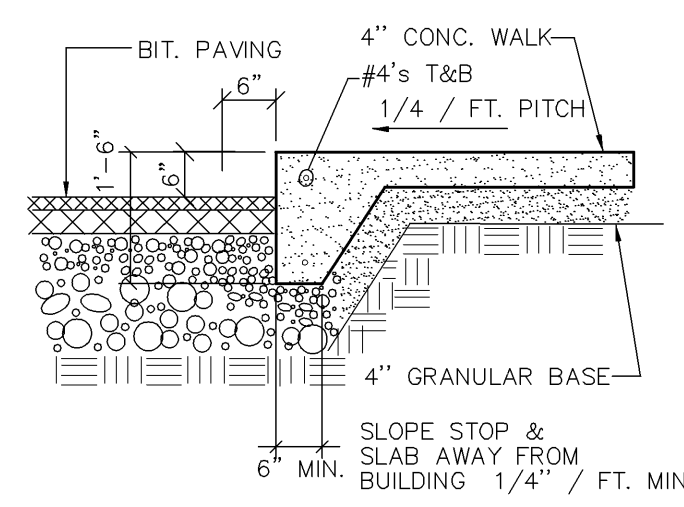
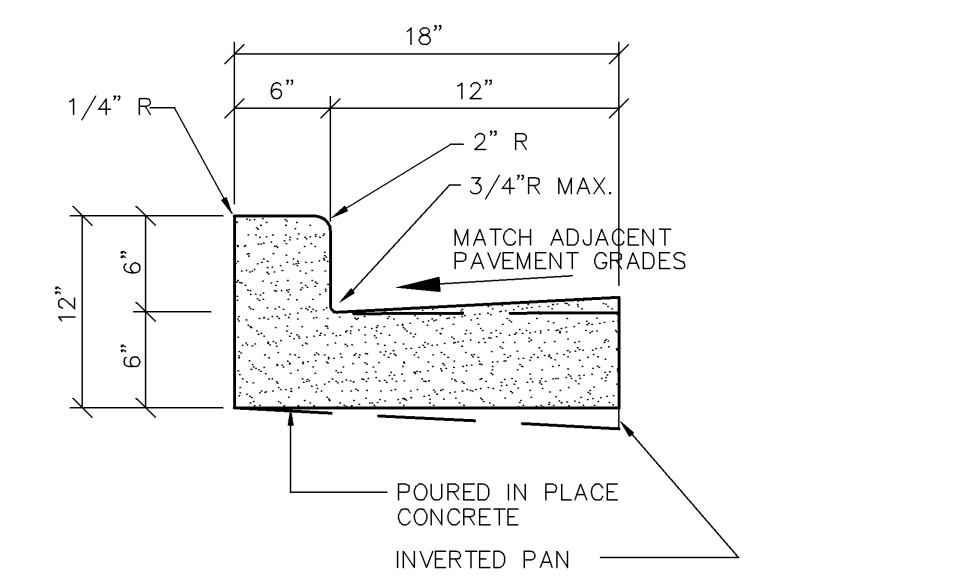
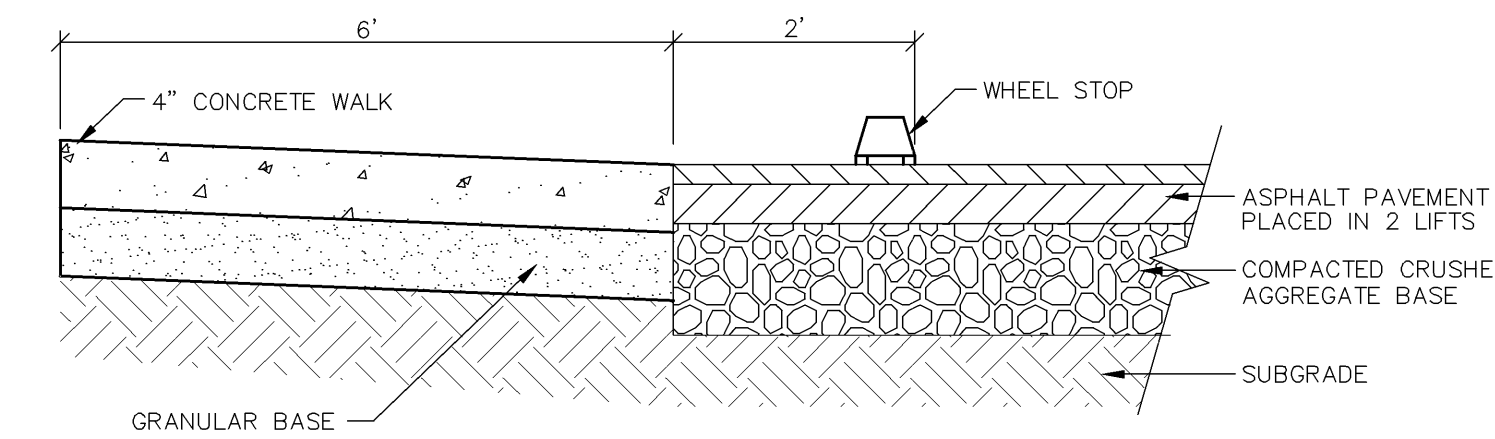
SITE SOIL TYPE: RNB
 DISTURBED AREA: 124,726 S.F. (2.86 ACRES)
 UTILITY CONTACTS: ELECTRICAL & GAS - MG&E (608) 252-7373
 WATER & SEWER - MADISON WATER UTILITIES (608) 266-4651

BUILDING FLOOR AREA TO SITE AREA RATIO: 0.51
 DISTANCE TO NEAREST INTERSECTION: 387' (WALL STREET)

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	3.15	137,067	13.3%
BUILDING FLOOR AREA	0.42	18,423	38.1%
PAVEMENT (ASP. & CONC.)	1.20	52,186	38.1%
TOTAL IMPERVIOUS	1.62	70,609	51.4%
LANDSCAPE/OPEN SPACE	1.53	66,458	48.6%

- NOTES:**
- 4" WIDE YELLOW STRIPING FOR PARKING STALLS, TRAFFIC LANE, AND NO PARKING AREAS. YELLOW PAINT MARKINGS FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGE.
 - ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES



LEGEND:

• 000.00	EXISTING SPOT ELEVATIONS	■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.
• 000.00 TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB HEAD, BOTTOM OF CURB HEAD)	○	3/4" REBAR SET WEIGHING 1.50 LB/FT.
• 000.00 BC	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	□	1-1/4" REBAR FOUND
• 000.00 TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	○	3/4" REBAR FOUND
• 000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	○	2" IRON PIPE FOUND
• 000.00 TR	PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF GRADE AT BOTTOM OF RETAINING WALL)	○	1" IRON PIPE FOUND
• 000.00 BR	PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF GRADE AT BOTTOM OF RETAINING WALL)	○	1" IRON PIPE FOUND
⊗	WATER VALVE IN BOX	⬅	FLOOD LIGHT
⊗	WATER VALVE IN MANHOLE	⬅	SECTION CORNER
⊗	WATER SERVICE VALVE	⬅	APRON ENDWALL
⊗	TELEPHONE MANHOLE	⬅	MARSH AREA
⊗	EXISTING ROUND CATCH BASIN	⬅	DECIDUOUS TREE WITH TRUNK DIAMETER
⊗	EXISTING SQUARE CATCH BASIN	⬅	CONIFEROUS TREE
⊗	EXISTING CURB INLET	⬅	SHRUB
⊗	PROPOSED CURB INLET	⬅	STUMP
⊗	UTILITY POLE	⬅	SOIL BORING
⊗	UTILITY POLE WITH GUY WIRE	⬅	WOODED AREA
⊗	STREET LIGHT	⬅	HEDGE
⊗	TELEPHONE PEDESTAL	⬅	EXISTING CHAINLINK FENCE
⊗	ELECTRIC PEDESTAL	⬅	EXISTING WOOD FENCE
⊗	ELECTRIC BOX	⬅	EXISTING BARBED WIRE FENCE
⊗	CABLE TV PEDESTAL	⬅	PROPERTY LINE
⊗	DRAINAGE FLOW	⬅	EXISTING GUARD RAIL
⊗	PROPOSED DRAINAGE FLOW	⬅	EXISTING UNDERGROUND FIBER OPTIC LINE
⊗	WELL	⬅	EXISTING UNDERGROUND ELECTRIC CABLE
⊗	EXISTING LIGHT POLE	⬅	EXISTING UNDERGROUND TELEPHONE CABLE
⊗	EXISTING SIGN	⬅	EXISTING UNDERGROUND GAS LINE
⊗	CENTER LINE	⬅	PROPOSED CURB AND GUTTER
⊗	HANDICAP PARKING STALL	⬅	EXISTING CURB AND GUTTER
⊗	GAS VALVE	⬅	GRADING/SEEDING LIMITS
⊗	EXISTING STORM SEWER AND MANHOLE	⬅	RIGHT-OF-WAY LINE
⊗	PROPOSED STORM SEWER AND MANHOLE	⬅	PROPERTY LINE
⊗	EXISTING SANITARY SEWER AND MANHOLE	⬅	RAILROAD TRACKS
⊗	PROPOSED SANITARY SEWER AND MANHOLE	⬅	EXISTING GROUND CONTOUR
⊗	EXISTING WATER LATERAL LINE	⬅	PROPOSED GROUND CONTOUR
⊗	EXISTING WATER LINE AND HYDRANT	⬅	
⊗	PROPOSED WATER LINE AND HYDRANT	⬅	
⊗	EXISTING OVERHEAD UTILITY LINE	⬅	

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
 TOLL FREE
 TELEFAX (414) 259-0947
 TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289
 WISCONSIN STATUTE 182.0175 (1974)
 REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

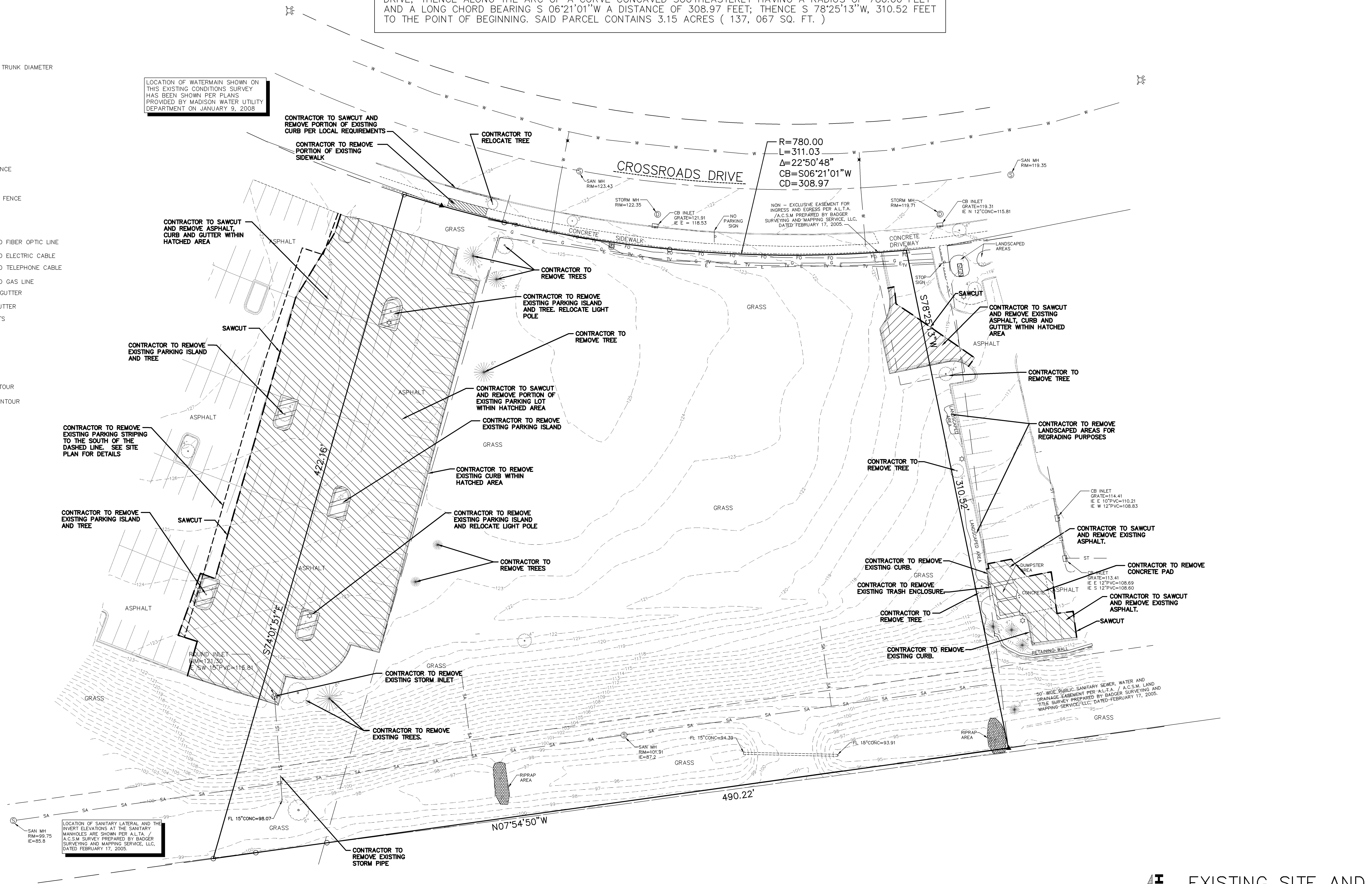
NOTES:
 DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.

CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTE IS CLEAR (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

NOTE:
 AN UPDATED SURVEY AND TITLE SEARCH HAVE NOT BEEN AUTHORIZED AND THE BOUNDARY AND EASEMENTS SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE:
 EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

LEGAL DESCRIPTION
 LOT TWENTY-ONE (21) AND PART LOTS TWENTY (20) AND TWENTY-TWO (22), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT TWENTY-TWO (22); THENCE N 07°54'49"W ALONG THE WESTERLY LINES OF SAID LOTS TWENTY (20), TWENTY-ONE (21) AND TWENTY-TWO (22), 490.22 FEET; THENCE S 74°01'51"E, 422.16 FEET TO A POINT ON A CURVE AND THE WESTERLY R/W LINE OF CROSSROADS DRIVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET AND A LONG CHORD BEARING S 06°21'01"W A DISTANCE OF 308.97 FEET; THENCE S 78°25'13"W, 310.52 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3.15 ACRES (137, 067 SQ. FT.)



EXISTING SITE AND DEMOLITION PLAN
 SCALE: 1"=30'-0"
 1" = 30'
 30' 0 30' 60'
 SCALE FEET

SHEET ISSUE:
 JANUARY 23, 2008

SEE TITLE SHEET TO CONFIRM THAT THIS SHEET HAS BEEN RELEASED FOR CONSTRUCTION

REVISIONS:

MAY 23, 2008	

EXCEL TOTAL
 ENGINEERING INC.
 ELECTRIC

1807 WEST VETERANS PARKWAY
 MADISON, WI 53704
 PHONE: (608) 828-8800
 FAX: (608) 828-8807

100 SHAWLORE PARK
 FOND DU LAC, WI 54635
 PHONE: (920) 928-8800
 FAX: (920) 928-8807

OWNER:
 RAYMOND MANAGEMENT
 8333 GREENWAY BLVD.
 SUITE 200
 MIDDLETON, WI

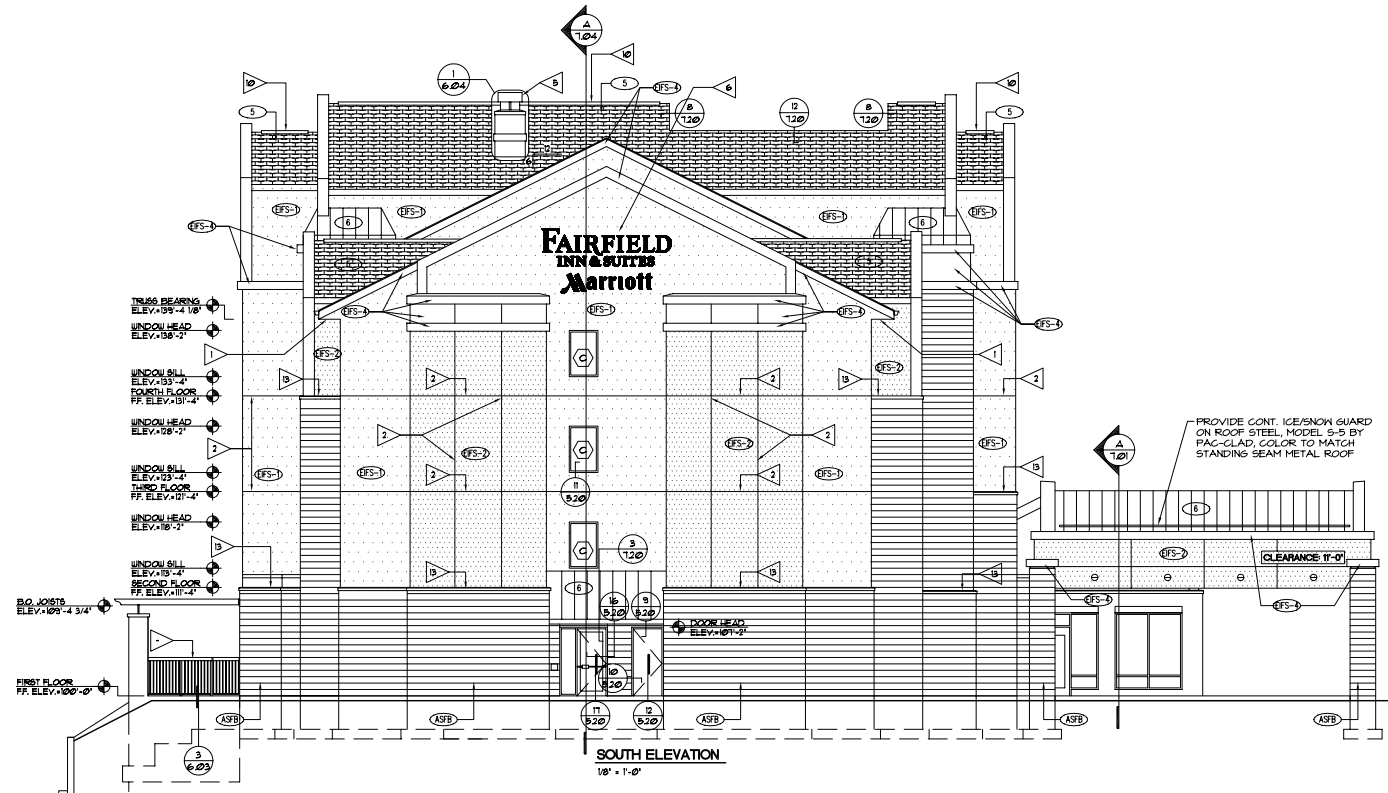
PROJECT:
 FAIRFIELD INN & SUITS
 HIGH CROSSING
 MADISON, WI

DATE:
 JANUARY 2, 2008
DESIGN NO.:
 712140

SHEET

C1.0

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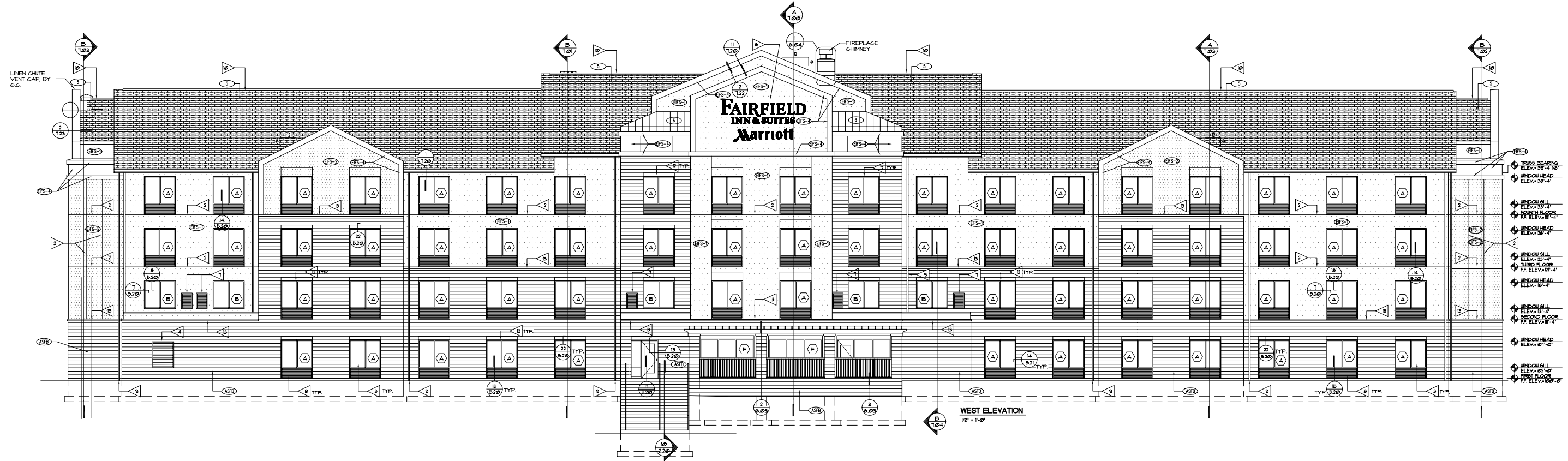
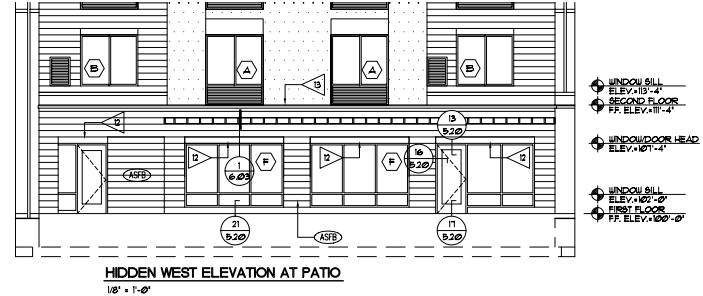
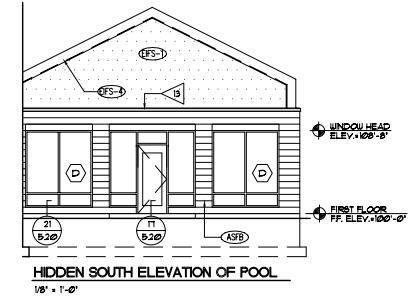


ITEM	MATERIAL	COLOR	GENERAL NOTES
ROOFING	SHINGLES	ANTIQUE SLATE	
GUTTERS	ALUMINUM	WHITE	3
DOWNSPOUTS	ALUMINUM	WHITE	2,3
FASCIA	ALUMINUM	WHITE	4
SOFFIT	VENTED ALUMINUM	WHITE	
WINDOWS	ALUMINUM OR VINYL	WHITE	
CHIPNEY	EJFS FINISH COAT	EJFS-1	
CEILING AT ENTRIES	EJFS FINISH COAT	EJFS-4	
POOL FENCE	SPLIT FACE CHU / ALUMINUM	VARIES	6
HVAC GRILLS	ALUMINUM	VARIES	6
RAKE TRIM	WOOD W/ METAL	WHITE	4
METAL ROOF	METAL	CHARCOAL GREY	
FORTE COCHERE COPING	METAL	WHITE	

GRAPHIC	EXTERIOR WALL SYSTEM
[Pattern]	EFS-1 - MATCH DRYVIT 100 MANDR WHITE TEXTURE - MATCH DRYVIT SANDPAPER FINE REFER TO DESIGN GUIDELINE SPECIFICATIONS EXTERIOR FINISH INDEX
[Pattern]	EFS-2 - MATCH DRYVIT 116 VICTORIAN LACE TEXTURE - MATCH DRYVIT SANDPAPER FINE REFER TO DESIGN GUIDELINE SPECIFICATIONS EXTERIOR FINISH INDEX
[Pattern]	ASFB - ARCHITECTURAL SPLIT FACED BLOCK
[Pattern]	EFS-4 - MATCH DRYVIT 100 WHITE WHITE - FINE TEXTURE
GRAPHIC	PTAV/VTAC GRILLE AND INTEGRAL FRAMES
[Pattern]	PTAV/VTAC GRILLE FULL WIDTH ARCHITECTURAL LOUVER - WHITE TO MATCH WINDOW COLOR

- CRITERIA NOTES**
- SOFFIT
 - 1 1/2" V JOINT IN EPS (TYP)
 - WINDOWS (TYPICAL) 6'-0" WIDE, C-30.
 - MECH. LOUVER PAINT TO MATCH COLOR OF PENETRATED EXTERIOR MATERIAL
 - 22-GAUGE SHEET METAL CAP ON ALL CHIMNEYS
 - INDIVIDUAL INTERNALLY ILLUMINATED BUILDING SIGN, SIGN TO BE FURNISHED AND INSTALLED BY OTHERS - CONTRACTOR TO PROVIDE POWER TO J-BOX.
 - VTAC GRILLE (TYP)
 - PTAC GRILLE (TYP)
 - DOWNSPOUT (TYP)
 - CONTINUOUS RIDGE VENT (TYP)
 - EPS RECESS TO MATCH WINDOW SIZE
 - PRECAST CONCRETE WINDOW HEAD
 - PRECAST CONCRETE CAP
 - RELIEF SCUPPER
 - SEE DETAIL 10 ON SHEET 220 FOR STAIR DETAILS

- GENERAL NOTES**
- FOR EXTERIOR FINISHES SEE EXTERIOR FINISH INDEX IN PROJECT SPECIFICATIONS.
 - DOWNSPOUT BOOT AND EXPOSED PORTION OF UNDERGROUND STORM SEWER PIPE TO BE PAINTED TO MATCH DOWNSPOUT.
 - GUTTERS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS OF .031, BEVELED PROFILE, SIZED AS REQ'D (3/4" MIN) W/4" HIGHER BACK 4 NON-CORROSIVE LEAF SCREEN. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS OF .021, SIZED AS REQ'D (3/4" MIN).
 - COLOR TO MATCH PRE-FINISHED GUTTER COLOR.
 - PAIN ALL ROOF TOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ROOF.
 - ALL LOUVERS AND HVAC GRILLES' COLOR TO MATCH ADJACENT MATERIAL COLOR EXCEPT WHERE NOTED.
 - ALL ROOF PENETRATIONS ARE TO BE LOCATED ON THE REAR ELEVATION ROOF UNLESS NOTED OTHERWISE.

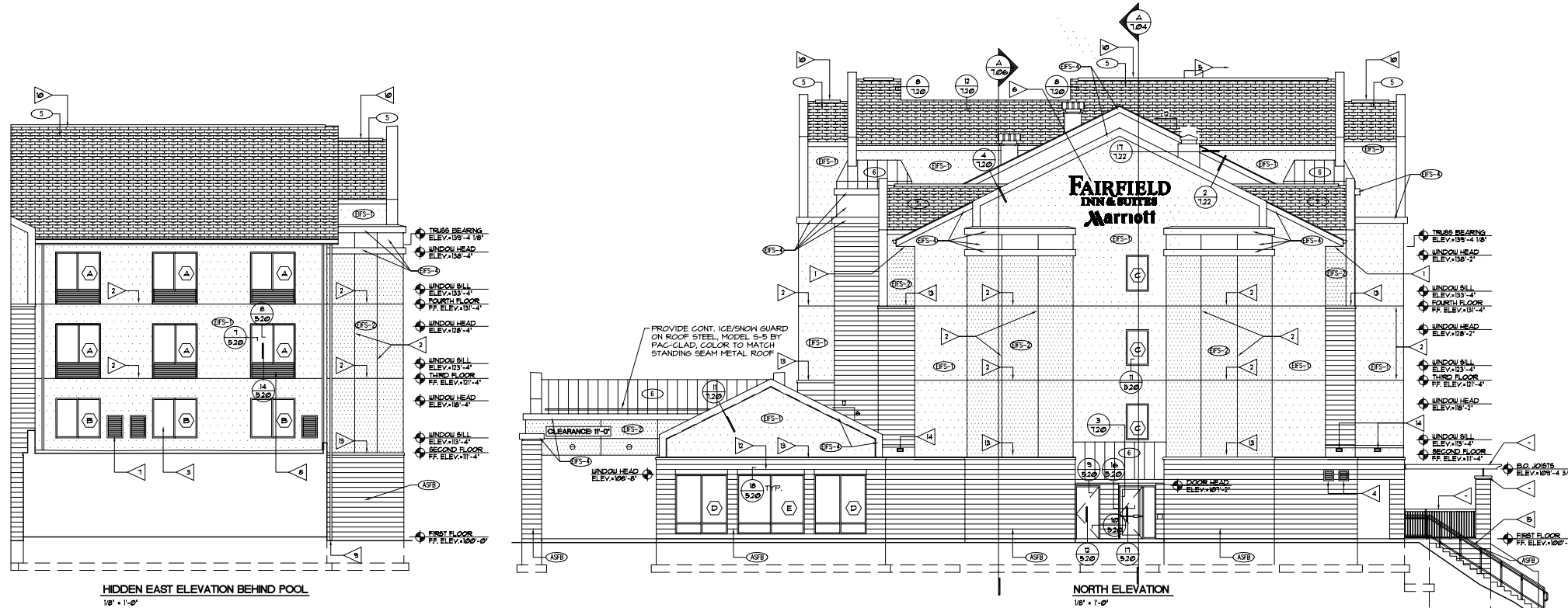


GARY BRINK & ASSOCIATES ARCHITECTS
 8401 EXCELSIOR DRIVE
 MADISON, WI 53717
 608-829-1750
 608-829-3056 (FAX)

PROJECT: **FAIRFIELD INN & SUITES by Marriott**
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53602

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 PROJECT: 200640
 CAD FILE: 601-200640
 DRAWN BY: RC
 DATE: 05/29/08

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ITEM	MATERIAL	COLOR	GENERAL NOTES
ROOFING	SHINGLES (5)	ANTIQUE SLATE	
GUTTERS	ALUMINUM	WHITE	3
DOWNSPOUTS	ALUMINUM	WHITE	2, 3
FASCIA	ALUMINUM	WHITE	4
SOFFIT	VENTED ALUMINUM	WHITE	
WINDOWS	ALUMINUM OR VINYL	WHITE	
CHIMNEY	EI.F.S. FINISH COAT	EI.F.S.-1	
CEILING AT ENTRIES	EI.F.S. FINISH COAT	EI.F.S.-4	
POOL FENCE	SPLIT FACE CMU / ALUMINUM	VARIES	6
HVAC GRILLS	ALUMINUM	VARIES	6
RAKE TRIM	WOOD W/ METAL	WHITE	4
METAL ROOF	METAL (6)	CHARCOAL GREY	
PORTE COCHERE COPING	METAL (4)	WHITE	

GRAPHIC	EXTERIOR WALL SYSTEM
[Pattern]	EFS-1 - MATCH DRYVIT #66 HANOR WHITE TEXTURE - MATCH DRYVIT SANDPAPER FINE REFER TO DESIGN GUIDELINE SPECIFICATIONS EXTERIOR FINISH INDEX
[Pattern]	EFS-2 - MATCH DRYVIT #66 VICTORIAN LACE TEXTURE - MATCH DRYVIT SANDPAPER REFER TO DESIGN GUIDELINE SPECIFICATIONS EXTERIOR FINISH INDEX
[Pattern]	ASFB - ARCHITECTURAL SPLIT FACED BLOCK
[Pattern]	EFS-3 - MATCH DRYVIT #62 BRITTE WHITE - FINE TEXTURE

GENERAL NOTES

- FOR EXTERIOR FINISHES SEE EXTERIOR FINISH INDEX IN PROJECT SPECIFICATIONS.
- DOWNSPOUT BOOT AND EXPOSED PORTION OF UNDERGROUND STORM SEWER PIPE TO BE PAINTED TO MATCH DOWNSPOUT.
- GUTTERS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS OF .032, BEVELED PROFILE, SIZED AS REQ'D (3/4" MIN) w/ 1/4" HIGHER BACK & NON-CORROSSIVE LEAF SCREEN. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM w/ MINIMUM THICKNESS OF .021, SIZED AS REQ'D (3/4" MIN).
- COLOR TO MATCH PRE-FINISHED GUTTER COLOR.
- PAINT ALL ROOF TOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ROOF.
- ALL LOUVERS AND HVAC GRILLES COLOR TO MATCH ADJACENT MATERIAL COLOR EXCEPT WHERE NOTED.
- ALL ROOF PENETRATIONS ARE TO BE LOCATED ON THE REAR ELEVATION ROOF UNLESS NOTED OTHERWISE.

- CRITERIA NOTES**
- 1 SOFFIT
 - 2 1 1/2" V JOINT IN EPS (TYP)
 - 3 WINDOWS (TYPICAL) 6'-0" WIDE, C-30
 - 4 MECH LOUVER PAINT TO MATCH COLOR OF PENETRATED EXTERIOR MATERIAL
 - 5 22-GAUGE SHEET METAL CAP ON ALL CHIMNEYS
 - 6 INDIVIDUAL INTERNALLY ILLUMINATED BUILDING SIGN. SIGN TO BE FURNISHED AND INSTALLED BY OTHERS - CONTRACTOR TO PROVIDE POWER TO J-BOX
 - 7 VTAC GRILLE (TYP)
 - 8 FTAC GRILLE (TYP)
 - 9 DOWNSPOUT (TYP)
 - 10 CONTINUOUS RIDGE VENT (TYP)
 - 11 EPS RECESS TO MATCH WINDOW SIZE
 - 12 PRECAST CONCRETE WINDOW HEAD
 - 13 PRECAST CONCRETE CAP
 - 14 RELIEF SCUPPER
 - 15 SEE DETAIL 10 ON SHEET 220 FOR STAIR DETAILS



GARY BRINK & ASSOCIATES ARCHITECTS

8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

PROJECT: FAIRFIELD INN & SUITES by Marriott
2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
CLIENT: MADISON HIGH CROSSING LODGING INVESTORS II, LLC.
8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53602

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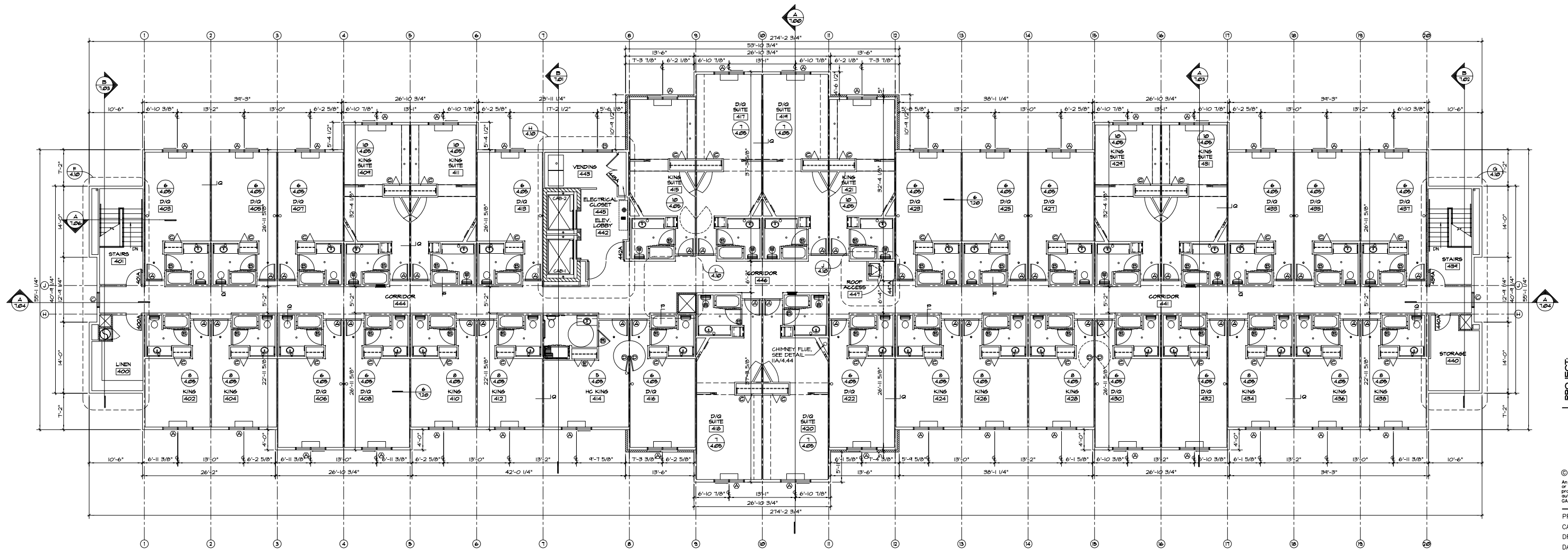


GARY BRINK & ASSOCIATES
ARCHITECTS

8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

- NOTES:
- 1) ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - 2) EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING.
 - 3) DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER OF Gypsum WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
 - 4) SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
 - 5) SEE SHEET 4.00 FOR WALL TYPE CONSTRUCTION.
 - 6) SEE DETAIL FOR SECTION AT TYP. GUESTROOM CLOSET.
 - 7) SEE 1/8" PLANS FOR ALL COMMUNICATING DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
 - 8) WHEN RATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' DENSGLASS SHEATHING IN FIRE RATED WALL ASSEMBLY, IF NECESSARY WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.

- INDICATES 2 HOUR WALL
- FIRE EXT. CAB. - FULLY RECESSED
- ⊗ FIRE EXT.-ON BRACKETS
- INDICATES WALL TYPES
- ⊕ FLOOR DRAIN



FOURTH FLOOR PLAN
18' x 1'-0"

PROJECT: **FAIRFIELD INN & SUITES** by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53602

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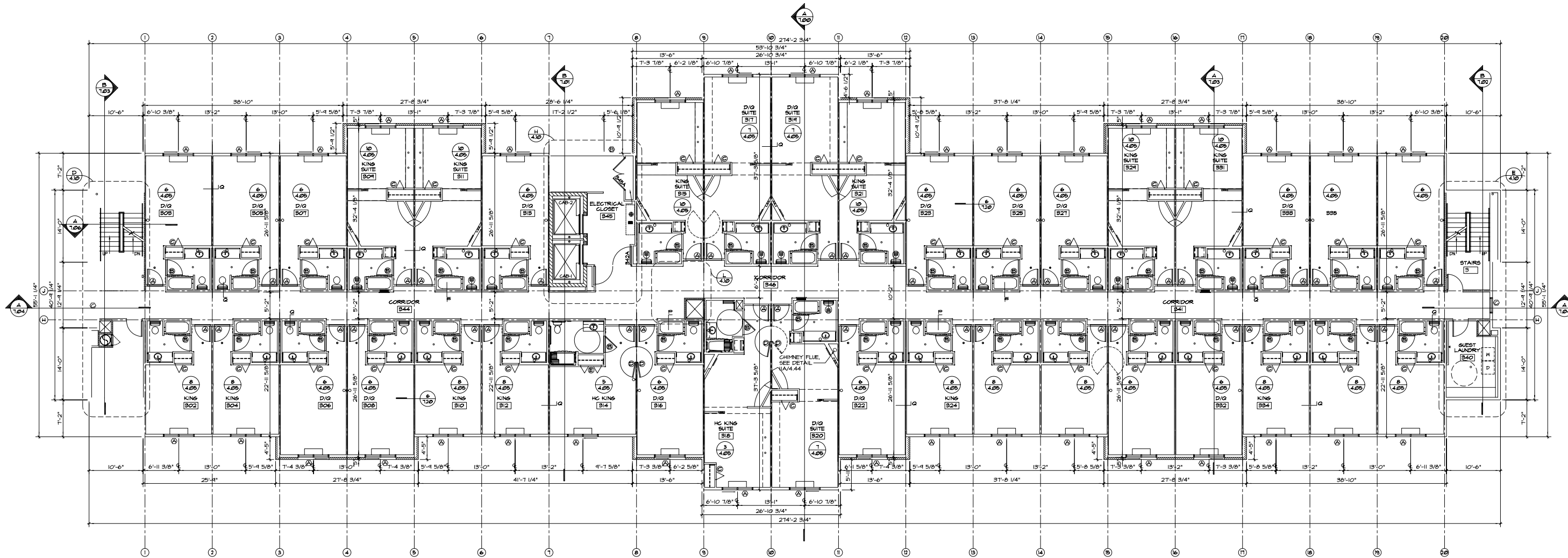
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8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

- NOTES:
- 1) ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - 2) EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING.
 - 3) DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER OF SYSTEM WALL BOARD. TO ACHIEVE LISTED HALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
 - 4) SEE 1/4" PLANS FOR DIMENSIONS OF SPECIFIC AREAS.
 - 5) SEE SHEET 4.00 FOR HALL TYPE CONSTRUCTION.
 - 6) SEE DETAIL FOR SECTION AT TYP. GUESTROOM CLOSET.
 - 7) SEE 1/8" PLANS FOR ALL COMMUNICATING DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND HALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
 - 8) WHEN RATED HALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD HALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' DENEGGLASS SHEATHING IN FIRE RATED HALL ASSEMBLY. IF NECESSARY WHERE HALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- INDICATES 2 HOUR HALL. INDICATES WALL TYPES
 FIRE EXT. CAB. - FULLY RECESSED
 FIRE EXT. ON BRACKETS FLOOR DRAIN



THIRD FLOOR PLAN
1/8" = 1'-0"

PROJECT: **FAIRFIELD INN & SUITES** by Marriott
2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

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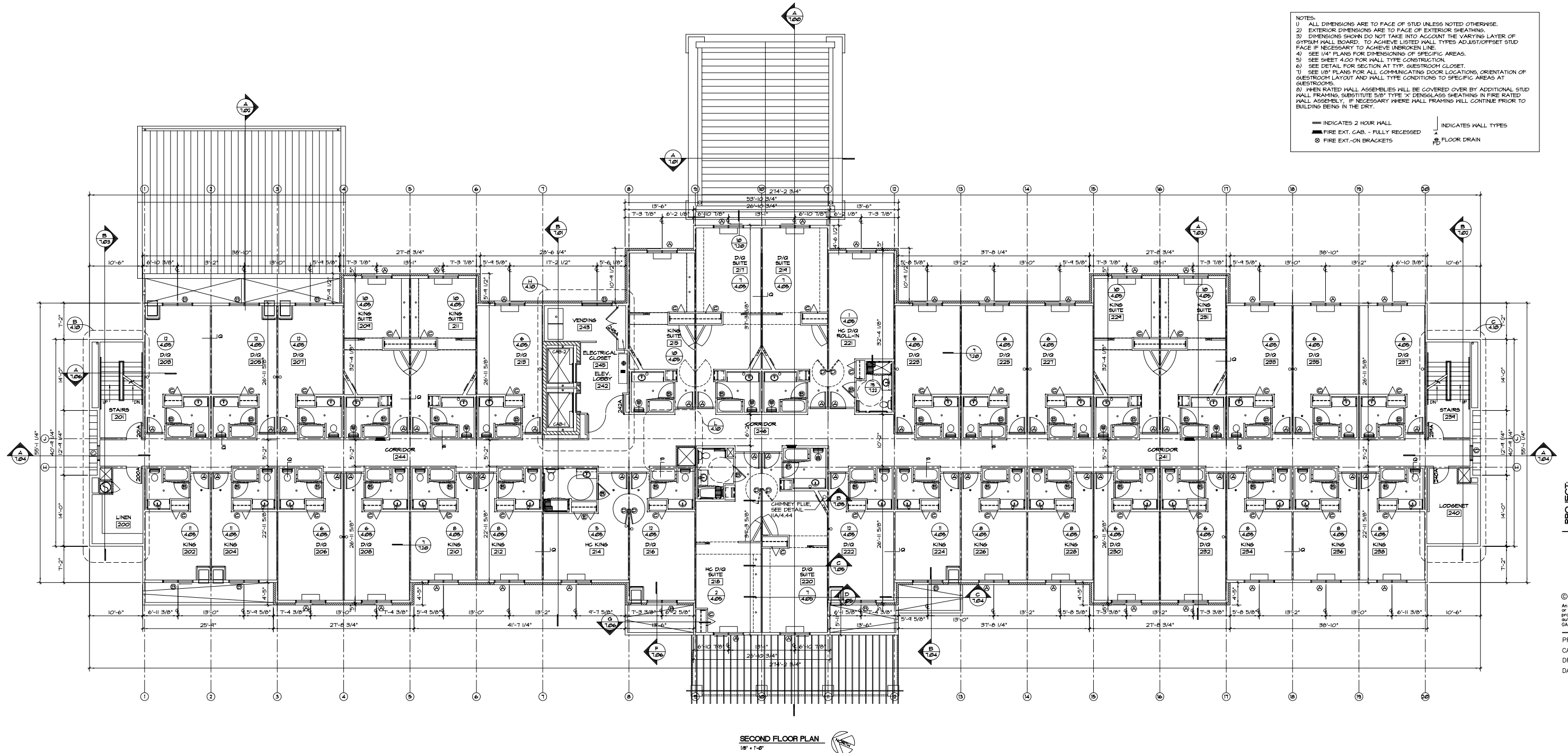
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)

PROJECT: **FAIRFIELD INN & SUITES by Marriott**
2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53662

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NOTES:
1) ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
2) EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING.
3) DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER OF GYPSUM WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
4) SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
5) SEE SHEET 4.00 FOR WALL TYPE CONSTRUCTION.
6) SEE DETAIL FOR SECTION AT TYP. GUESTROOM CLOSET.
7) SEE 1/8" PLANS FOR ALL COMMUNICATING DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
8) WHEN RATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' DENSGLOSS SHEATHING IN FIRE RATED WALL ASSEMBLY. IF NECESSARY WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.

■ INDICATES 2 HOUR WALL
■ FIRE EXT. CAB. - FULLY RECESSED
⊗ FIRE EXT.-ON BRACKETS

⊠ INDICATES WALL TYPES
⊕ FLOOR DRAIN

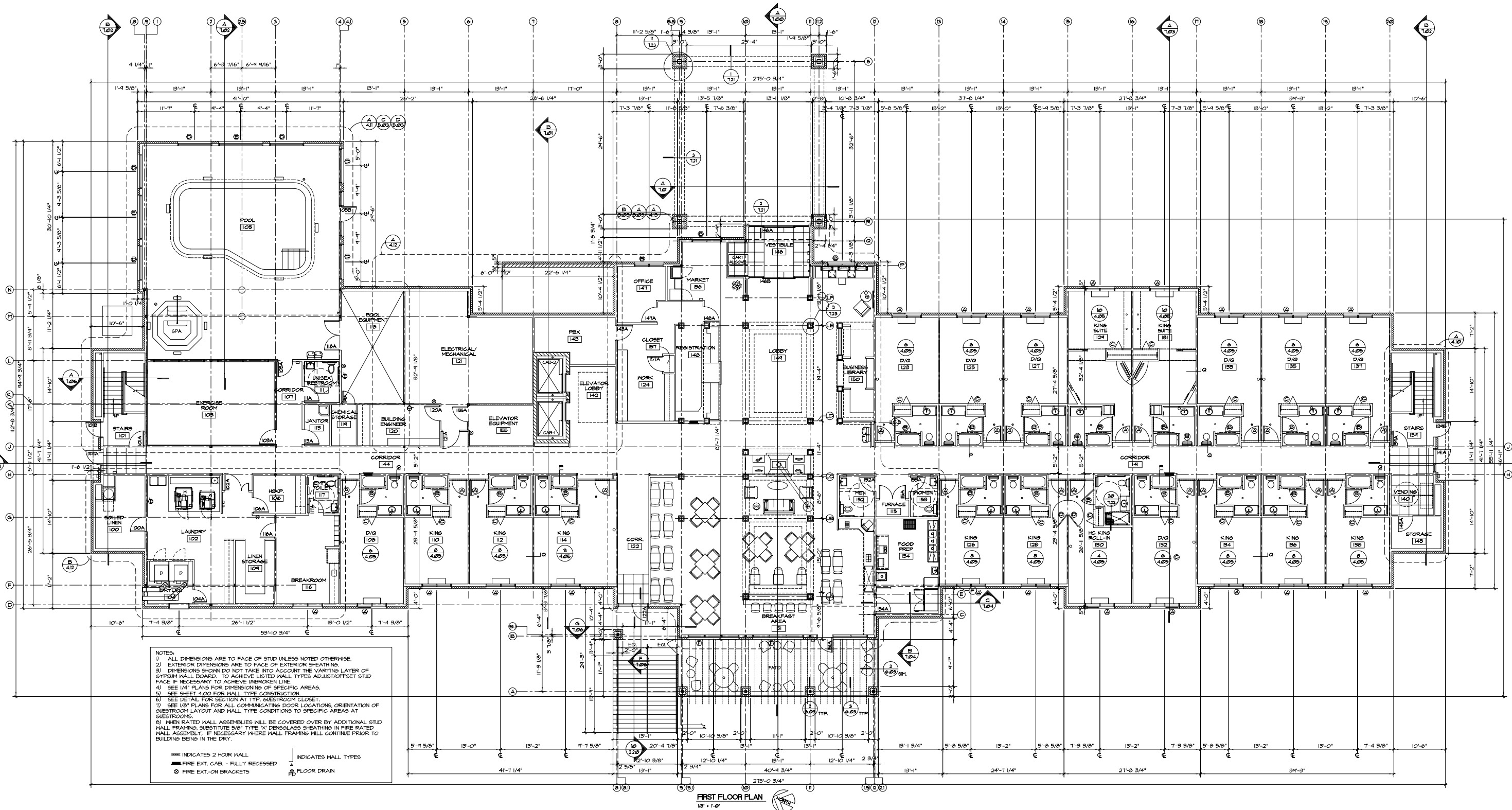
SECOND FLOOR PLAN
1/8" = 1'-0"

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GARY BRINK & ASSOCIATES
ARCHITECTS

8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



NOTES:

- 1) ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 2) EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING.
- 3) DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER OF GYPSUM WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
- 4) SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
- 5) SEE SHEET 400 FOR HALL TYPE CONSTRUCTION.
- 6) SEE DETAIL FOR SECTION AT TYP. GUESTROOM CLOSET.
- 7) SEE 1/4" PLANS FOR ALL COMMUNICATING DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
- 8) WHEN RATED HALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' DENGLASS SHEATHING IN FIRE RATED WALL ASSEMBLY. IF NECESSARY WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.

INDICATES 2 HOUR WALL
 FIRE EXT. CAB. - FULLY RECESSED
 FIRE EXT.-ON BRACKETS
 INDICATES WALL TYPES
 FLOOR DRAIN

FIRST FLOOR PLAN
1/8" = 1'-0"

PROJECT: **FAIRFIELD INN & SUITES** by Marriott
 CLIENT: **MADISON HIGH CROSSING LODGING INVESTORS II, LLC.**
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 5333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53662

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PROJECT: 200640
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2702 CROSSROADS DRIVE MADISON, WISCONSIN

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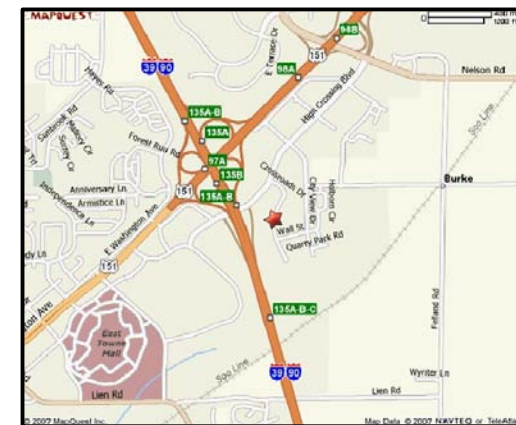
DEVELOPER :
RAYMOND MANAGEMENT CO.
 8333 GREENWAY BLVD., SUITE 2000
 MIDDLETON, WISCONSIN 53562
 PHONE: 608-829-8894
 FAX: 608-829-8896
 PRINCIPAL CONTACT: BARRY PERKEL

CIVIL ENGINEER:
EXCEL ENGINEERING
 100 CAMELOT DRIVE
 FOND DU LAC, WISCONSIN 54635
 PHONE: 920-829-8800
 FAX: 920-829-8801
 PRINCIPAL CONTACT: JASON DAYE

SITE LIGHTING DESIGNER :
TOTAL ELECTRIC SERVICE, INC.
 1807 WEST VETERANS PARKWAY, P.O. BOX 217
 MARSHFIELD, WISCONSIN 54449
 PHONE: 715-884-8388
 FAX: 715-884-8187
 PRINCIPAL CONTACT: DAN GOTTO

LANDSCAPE DESIGNER :
KEN SAIKI DESIGN
 303 SOUTH PATERSON ST., SUITE ONE
 MADISON, WISCONSIN 53703
 PHONE: 608-251-8800
 FAX: 608-251-2830
 PRINCIPAL CONTACT: BRUCE WOODS

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 MADISON, WISCONSIN 53717
 PHONE: 608-829-4700
 FAX: 608-829-8098
 PRINCIPAL CONTACT: GARY BRINK



LOCATION MAP
 3.15 ACRES (137,067 SQ. FT.)

MAY 28, 2008
JOB #200640