



## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per Sec. 31.043(3))*

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

## 5. Required Submittal Materials

### Application Form

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

### Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

### Development Plans (Refer to checklist on Page 4 for plan details)

### Filing Fee (Refer to Section 7 (below) for a list of application fees by request type)

### Electronic Submittal

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCappllications@cityofmadison.com](mailto:UDCappllications@cityofmadison.com). The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

### Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

## 6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_

Authorizing signature of property owner Colin M. Hooper Date \_\_\_\_\_

## 7. Application Filing Fees

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (*per [§33.24\(6\) MGO](#)*).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (*per [§33.24\(6\)\(b\) MGO](#)*)

Comprehensive Design Review: \$500 (*per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#)*)

Minor Alteration to a Comprehensive Sign Plan: \$100 (*per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#)*)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (*per [§31.041\(3\)\(d\)\(2\) MGO](#)*)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

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February 11<sup>th</sup>, 2025

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635

**RE: 7-Brew – 3915 Lien Rd, Madison, WI 53704 (Parcel # 081033209257)**

To Whom it May Concern:

Please accept this Letter of Intent to apply for the proposed Seven Brew Coffee development.

**A. Project Description**

Brew 4 You, LLC, doing business as 7 Brew, and Plaza Street Fund 350, LLC, doing business as Plaza Street Partners, LLC are proposing a Land Use (LUA) Application and an Urban Design Commission (UDC) Application for a Site Plan ("SP") for a parcel of land containing approximately 0.826 acres located at the southeast of E Washington Ave (portion of Lot 1, CSM 983) ("Site") in the city of Madison, Wisconsin ("City"). The property is situated in Section 33, Township 8 North, Range 10 East, City of Madison, Dane County, Wisconsin 53704. It is bound on the north by E Washington Ave, on the east by Mobil Gas Station, on the south by the Hotel The Point on Washington, and to the west by a vacant lot where a new car wash will be built. A vicinity map is included in Appendix A for reference.

The Site is currently vacant, being used as the hotel parking lot. The new proposed use comprises of a new Seven Brew Coffee kiosk with a drive-thru, a remote walk-in cooler, and a dumpster enclosure. The main building structure is 2,006.7 sq. ft, being 1045.3 sq. ft. on the main floor and 961.4 sq. ft. on the second floor (77.8% of the main area). The development includes a double drive-through covered by the second story, providing service with two menu boards for more efficient customer service, a dumpster enclosure, 4 parking spaces, being 1 ADA, and landscaped areas. The main car access is proposed from an internal drive connected to Lien Road, and sidewalks will provide connections to pedestrian and bike access from E Washington Ave and to the hotel.

**B. Public Benefit**

The Site is located along the major corridor of the City of Madison and the proposed improvements will greatly improve the appearance and use of the property to better serve the surrounding community. The development will incorporate high-quality materials and landscape design to accentuate the character of the City. The future business created by the proposed Site Plan will also result in the creation of a minimum of 40 jobs and sales tax benefits for the City.

Although 7 Brew is a national brand, they are owned and operated by a local franchisee. The brand also emphasizes the importance of kindness and community as a pillar of their mission. 7 Brew will participate with local charities and fundraisers to create awareness and promote community engagement and promote Fun Community Engagement & Promotional Marketing. More information can be found at <https://7brew.com/heroes/>.

## C. Operations

The proposed hours of operation are Sunday-Thursday 5:30am - 10pm; and Friday-Saturday 5:30am - 11pm. Peak Hours are in the morning from 7am-10am. The service time is a maximum of 4 minutes from order to pick up, and employees greet customers at their cars with iPads to take their orders for a friendlier service. Two drive-thru lanes and the ordering system create an efficient method of delivery and service to customer to prevent long wait times and reduces car stacking. Seven Brew will have a maximum number of 10-12 employees per shift for the first few months, and 5-8 once the team is fully trained.

## D. Project Compliance, Compatibility, and Impact

The Site is located in the Urban Design District 05 and Wellhead Protection Overlay-15. A link to this map is included in Appendix A for reference. The UDS establishes building standards “to assure the highest quality of design for all public and private projects in the City”; “to protect and to improve the general appearance of all buildings, structures, landscaping, and open areas in the City; to encourage the protection of economic values and proper use of properties”, and to “assure a functionally efficient and visually attractive City in the future”. The proposed Development aligns with the City’s objective by addressing all requirements for building and site plan standards, providing high-quality materials and design, sidewalk connections, and bike racks.

### Urban Design District 05

- The proposal complies with the UDD 5 by improving the appearance of the major transportation corridor which constitutes a major entrance to the City of Madison by replacing a parking lot with a new Coffee Kiosk with sidewalk connectivity, bike racks, and landscaped areas.
- The property has frontage on East Washington Avenue per the District’s requirements.
- The proposed development shall be designed, erected, and maintained in compliance with the UDD 5 criteria, all applicable federal and other state laws, and the Building Code, Zoning Ordinance, and other applicable codes of the City of Madison not in conflict with this ordinance.
- *Public Rights-of-Way*
  - The public right-of-way will be landscaped with the appropriate planting per the UDC’s requirements.
- *Off-Street Parking and Loading Areas*
  - The number of parking and service areas will conform to the provisions of Chapter 28 of the Madison General Ordinances.
  - No new parking space is more than 70 feet from a canopy tree of at least 2-1/2 - 3-inch caliper.
  - The parking area is located at the rear of the building.
- *Signs*
  - The signs will conform to all provisions of Chapter 31 of the Madison General Ordinances.
  - The signs are integrated with the architecture of the building.
  - The signs and menu board will not alternate, change, fade in, fade out, or otherwise change more frequently than once every 1 hour, nor will change its level of illumination more than once every 1 hour.
- *Building Design*
  - The exterior building materials will be low maintenance and harmonious with those used on

other buildings in the area, which include brick-like fiber cement panel siding and metal panels.

- Mechanical elements mounted on the roof are screened from views.
- All building elevations were carefully designed with no unbroken exterior facades.
- *Lighting*
  - Lighting is adequate and not excessive, as shown on the photometric plan included in the civil set.
  - Architectural lighting is free from glare and is of a type to complement the existing development in the district.
  - Security lighting shall provide necessary levels of illumination to ensure the safety of the property and its residents, while not reflecting direct rays of light into adjacent property.
- *Landscaping*
  - Plant materials will be local to this region and will be of sufficient size to have an immediate visual impact.
  - Plant materials will be well-maintained, especially during the year following their installation and any dead plant will be replaced during the next planting season.
- *Utility Service*
  - Underground lines are being proposed for utility connections, which will be accomplished during building development and construction.

#### Additional Compatibility and impact notes

It is not anticipated that the Site will have any adverse impacts on public facilities, including fire, police, sanitation, roads, parks, or schools.

There are no known water features, wetlands, or wildlife habitats located within the Site.

Brew 4 You and their development team will adhere to the City of Madison Land Use Code and specific requirements applicable to the subject applications. Brew 4 You and their development team intend to fully cooperate with city staff to ensure all comments are addressed for both the Site Plan and Building Plan review.

## **E. Development Plans and Timing**

Brew 4 You is anticipating starting construction upon permit approval by the City, which is currently being estimated in the second quarter of 2025. The total length of construction is estimated to be between 120 and 150 days, depending on the weather. The first phase of construction will be the grading of the site and underground utility connections. The second phase of construction will be the construction of new improvements, also noted in our Site Plan(s). The goal is to have the Site ready for 7-Brew opening in the Winter of 2025.

## **F. Summary**

Brew 4 You and their development team are committed to providing a suitable development that upholds the vision and guidelines set forth in the City of Madison's Land Use Code. The proposed development is compatible with the surrounding community and the proposed improvements enhance the current state of the Site, as well as promote future employment opportunities and long-term economic growth.

References:

1. [City of Madison Land Use Code](#)
2. [Urban Design District](#)
3. [33.24 Urban Design Commission](#)
4. [Urban Design District No. 5](#)

**APPENDIX A**

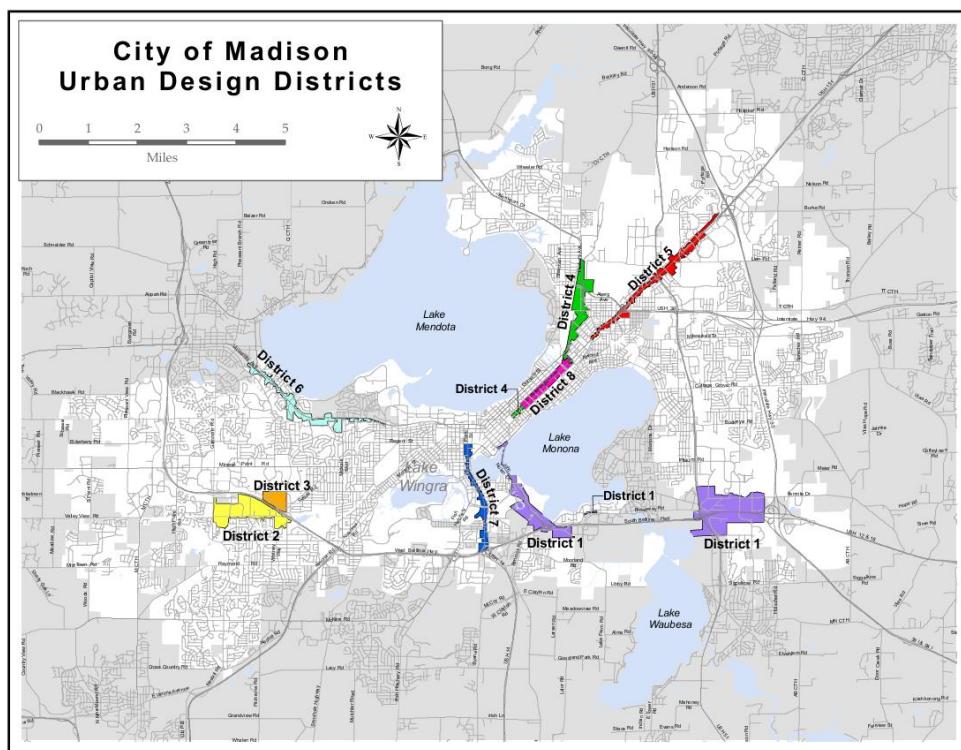
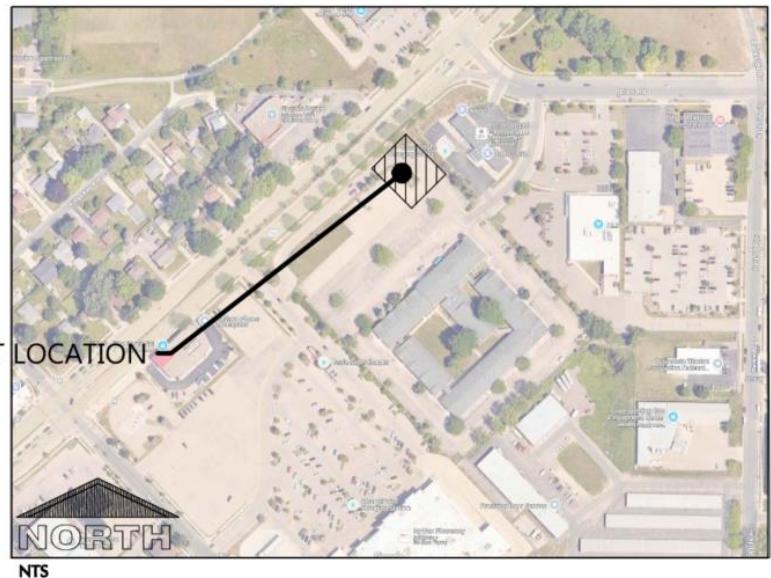
VICINITY MAP

SITE DATA SUMMARY TABLE

[City of Madison Urban Design Districts](#)

## APPENDIX A

### VICINITY MAP



## APPENDIX A

### SITE DATA SUMMARY TABLE

<b>CURRENT PROPERTY OWNER</b>	Repblik Madison Outparcels LLC 1784 Hamilton Road, Okemos, MI 48864 Att.: Colin Hooper <a href="mailto:colin@therepblik.com">colin@therepblik.com</a>
<b>ADDRESS</b>	3915 Lien Rd, Madison, WI 53704
<b>PARCEL ID</b>	081033209257
<b>SITE AREA</b>	0.826 acre
<b>ZONING</b>	CC-T / Transit Oriented Development (TOD) Overlay District
<b>DEVELOPER/APPLICANT</b>	Plaza Street Fund 350, LLC (dba Plaza Street Partners, LLC) 3400 College Blvd, Suite 200, Leawood, KS 66211 Attn: Mylena Oliveira (Pre-Development Coordinator) <a href="mailto:moliveira@plazastreetpartners.com">moliveira@plazastreetpartners.com</a>

# PROPOSED COFFEE SHOP FOR: 7-BREW MADISON

## MADISON, WI

### PROJECT INFORMATION

#### SITE INFORMATION:

PROPERTY AREA: 37,979 S.F. (0.87 ACRES)  
 EXISTING ZONING: COMMERCIAL CORRIDOR - TRANSITIONAL/ URBAN DESIGN DISTRICT NO. 5  
 PROPOSED ZONING: COMMERCIAL CORRIDOR - TRANSITIONAL/ URBAN DESIGN DISTRICT NO. 5  
 PROPOSED USE: COFFEE SHOP WITH DRIVE THRU (C.U.P.)  
 SETBACKS:  
 BUILDING: FRONT(NW) = 5' (AT LEAST 30% BUILDING WIDTH WITHIN 20' OF PRIMARY STREET=14' SETBACK)  
 SIDES(N/NE) = 0'  
 REAR(S/W/SE) = 20'  
 PAVEMENT: FRONT(NW) = NONE  
 SIDES(N/NE) = NONE  
 REAR(S/W/SE) = NONE  
 PROPOSED BUILDING HEIGHT: 22' (MAX. HEIGHT ALLOWED: 78')  
 AIRPORT HEIGHT RESTRICTIONS: 93' (PROPOSED BUILDING HEIGHT: 895.29')  
 PARKING REQUIRED: NO MINIMUM PARKING REQUIRED (NOT WITHIN 300' OF ANOTHER RESTAURANT)  
 MAXIMUM 25% OF PERSONS (25% X 15 = 4 SPACES MAX)  
 PARKING PROVIDED: 4 SPACES (1 H.C. ACCESSIBLE)  
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1  
 LANDSCAPE REQUIREMENTS: MAXIMUM LOT COVERAGE - BUILDING ONLY: 85%

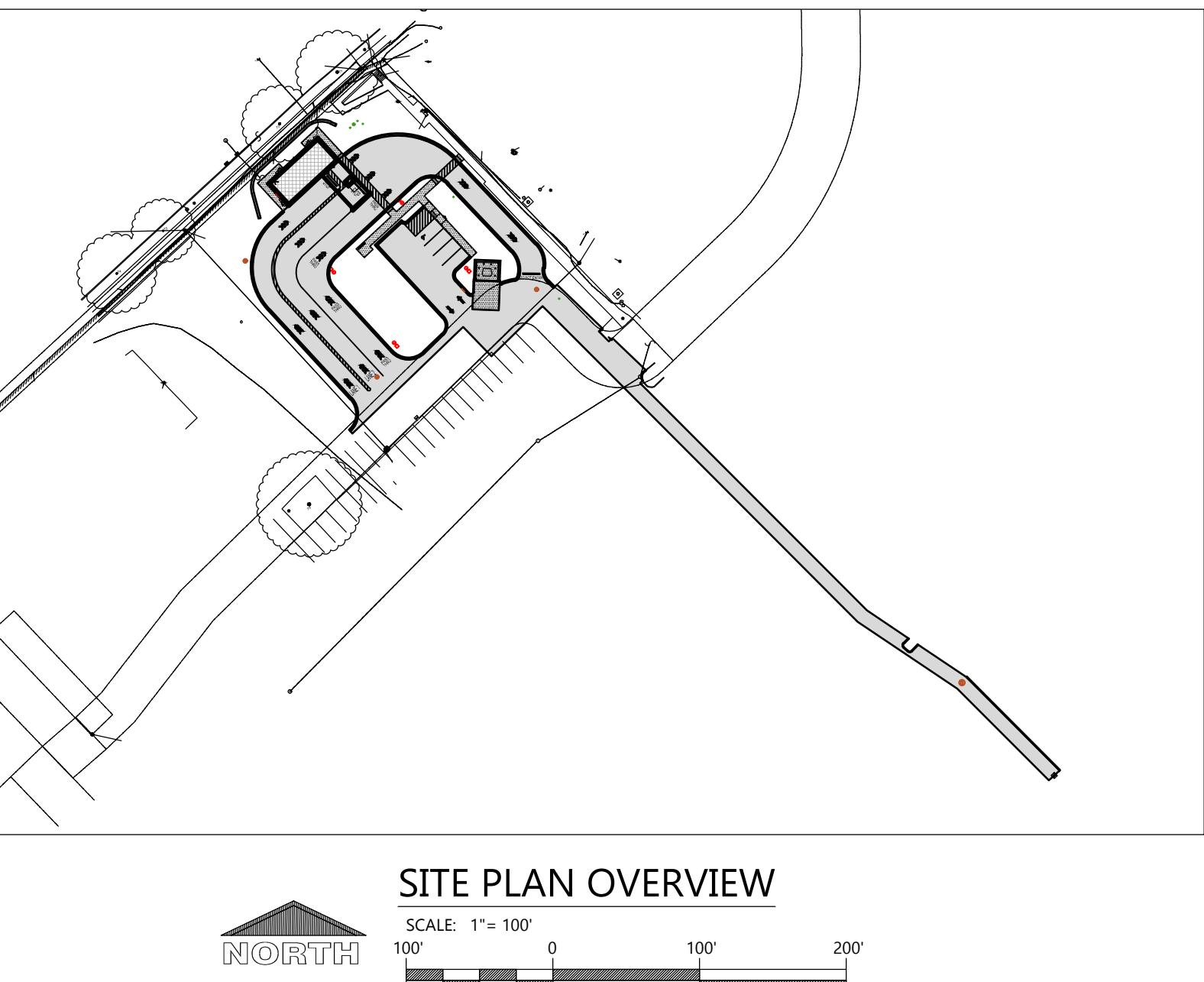


#### EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.72	31,399	87.3%
TOTAL IMPERVIOUS	0.72	31,399	87.3%
LANDSCAPE/ OPEN SPACE	0.11	4,580	12.7%
PROJECT SITE	0.83	35,979	100.0%

#### PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.02	1,045	2.9%
PAVEMENT (ASP. & CONC.)	0.52	22,647	62.9%
TOTAL IMPERVIOUS	0.54	23,692	65.8%
LANDSCAPE/ OPEN SPACE	0.28	12,287	34.2%
PROJECT SITE	0.83	35,979	100.0%



### EXCEL LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
● [000.00]	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	● [000.00]TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE)
● [000.00]EG	EXISTING GRADE SPOT ELEVATIONS	● [000.00]FL	PROPOSED SPOT ELEVATIONS (OF CURB)
● [000.00]BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL BG-FINISHED SURFACE GRADE AT BACK OF WALL)	● [000.00]TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
● [000.00]FG	● FG-FINISHED SURFACE GRADE AT FRONT OF WALL	● [000.00]BW	
PROPOSED SITE SYMBOLS			
→	PROPOSED DRAINAGE FLOW	CO	PROPOSED CLEANOUT
●	PROPOSED WATER VALVE IN BOX	DS	PROPOSED DOWNSPOUT TO RISER
●	PROPOSED WELL	→	PROPOSED APRON END SECTION
○□	PROPOSED LIGHT POLE	■	SOIL BORING
●	PROPOSED STORM CATCH BASIN - ST CB	CL	CENTER LINE
●	PROPOSED STORM FIELD INLET - ST FI	●	PROPOSED HANDICAP PARKING STALL
●	PROPOSED STORM CURB INLET - ST CI	→	PROPOSED SIGN
PROPOSED LINETYPES			
—	PROPOSED PROPERTY LINE	—	INTERIOR PROPERTY LINE
— ST —	PROPOSED STORM SEWER AND MANHOLE - ST MH	—	RAILROAD TRACKS
— SA —	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	— 800 —	EXISTING GROUND CONTOUR
— PW —	PROPOSED WATER LINE AND HYDRANT	— 800 —	PROPOSED GROUND CONTOUR
—	PROPOSED CURB AND GUTTER	—	PROPOSED POLISH SEWER AND MANHOLE
—	GRADING/SEEDING LIMITS	—	PROPOSED PROCESS SEWER AND MANHOLE
—	RIGHT-OF-WAY LINE	—	CLW PROPOSED CLEAR WATER LINE
— T —	PROPOSED UNDERGROUND TELEPHONE CABLE	—	G PROPOSED UNDERGROUND GAS LINE
—	PROPOSED GUARD RAIL	—	E PROPOSED UNDERGROUND ELECTRIC CABLE
— FO —	PROPOSED UNDERGROUND FIBER OPTIC LINE		

### SURVEY LEGEND

●	FOUND MONUMENT AS NOTED
○	SET MONUMENT AS NOTED
◆	COMPUTED POINT
▲	TEMPORARY BENCHMARK (TBM)
■	PIPE HYDRANT
●	LIGHT
●	SANITARY MANHOLE (SMH)
○	STORM MANHOLE (SMH)
◆	SAW
■	ELECTRIC METER
●	ELECTRIC BOX
○	MONITORING WELL
●	WATER VALVE
●	CURB INLET (CI)
●	STORM MANHOLE
●	TELEPHONE PEDESTAL
●	FIBER OPTIC VAULT
●	TELEVISION PEDESTAL
●	N.G. NATURAL GROUND (NG)
●	P.S. PARKING SPACES
(M)	M.EASURED/CALCULATED DIMENSION
(R)	RECORD DIMENSION
PVC	POLYVINYL CHLORIDE PIPE
CPP	CORRUGATED PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
BOC	BACK OF CURB
FL	FLOW LINE
TB	TOP OF BANK
BB	BOTTOM OF BANK
EA	EDGE OF ASPHALT
TA	TOP OF ASPHALT
EC	EDGE OF CONCRETE
TC	TOP OF CONCRETE
—	BOUNDARY LINE
—	ADJOINER LINE
—	EASEMENT LINE
—	RIGHT-OF-WAY LINE
—	CENTERLINE
—	GUARDRAIL LINE
—	USE
—	UNDERGROUND ELECTRIC LINE
—	UNDERGROUND FIBER OPTIC LINE
—	UNDERGROUND TELEVISION LINE
—	UNK
—	WL UNDERGROUND WATER LINE
—	SD UNDERGROUND STORM LINE
—	SS UNDERGROUND SANITARY LINE

### PROJECT CONTACTS

OWNER INFORMATION:  
 Plaza Street Partners  
 Kara Condie  
 3400 College Blvd, Suite 200  
 Leawood, KS 66211  
 Phone: (913) 299-5737  
 Email: kconde@plazastreetpartners.com

#### CIVIL:

Eric Draskowski, P.E.  
 Phone: (920)322-1678  
 E-mail: eric.draskowski@excelengineer.com

#### CITY PLANNER:

Heather Stouder  
 Phone: (608) 266-4635  
 E-mail: hstouder@cityofmadison.com

#### CITY ENGINEER:

Jim Wolfe  
 Phone: (608) 266-4099  
 E-mail: jwolfe@cityofmadison.com

#### CITY FIRE CHIEF:

Chris Carbon  
 Phone: (608) 266-4420  
 E-mail: fire@cityofmadison.com

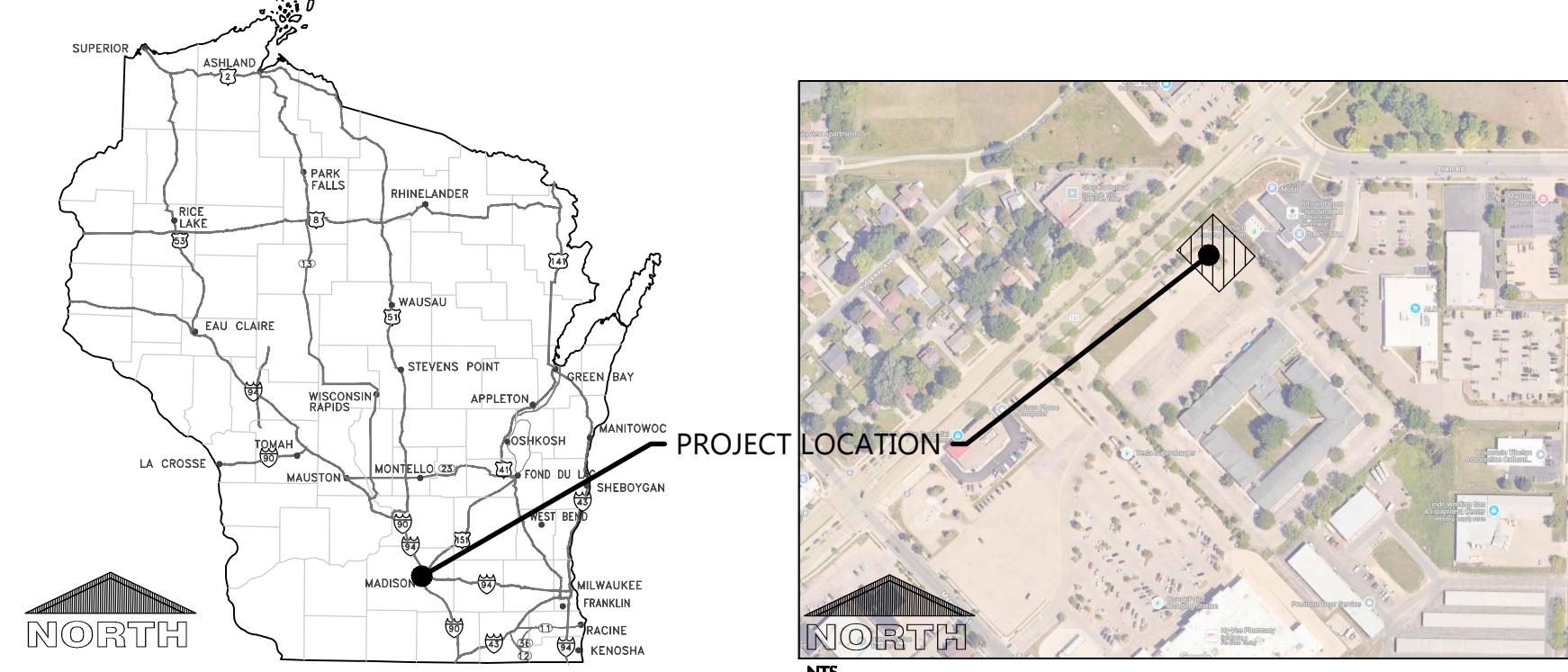
#### CITY BUILDING INSPECTOR:

Phone: (608) 266-4551  
 E-mail: bldginspection@cityofmadison.com

#### CITY DIRECTOR OF PUBLIC WORKS:

Charles Romines  
 E-mail: publicworks@cityofmadison.com

### LOCATION MAP



### PROJECT NOTES

#### GENERAL PROJECT NOTES

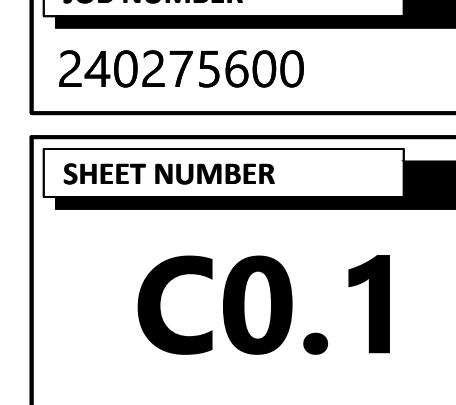
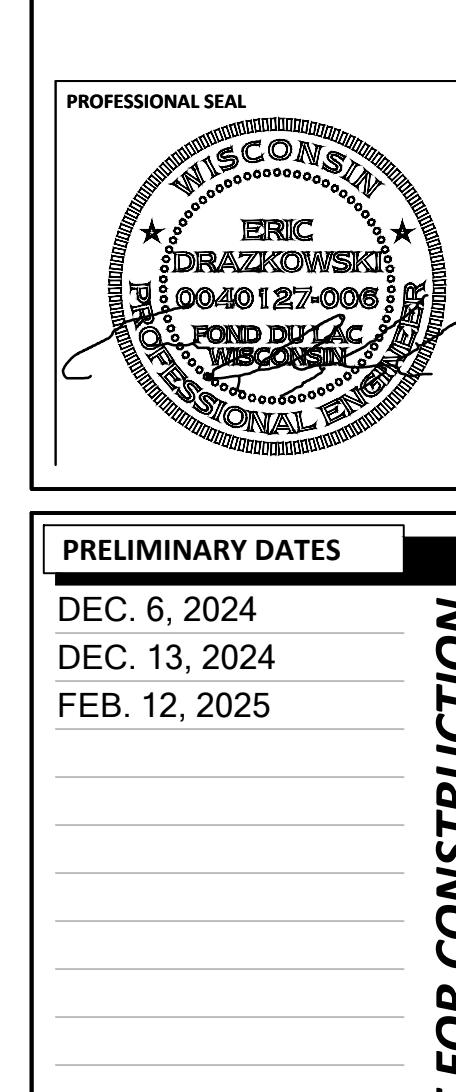
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY THAT OWNER HAS OBTAINED PERMISSION TO COMPLETE WORK OFFSITE.
- FOLLOWING THE COMPLETION OF THE STORMWATER BMP'S, CONTRACTOR TO PROVIDE THE CITY OF MADISON WITH AN AS-BUILT STORMWATER MANAGEMENT/UTILITY PLAN.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

#### SURVEY NOTE

ALTA/NPS LAND TITLE SURVEY WAS COMPLETED BY BUCKLEY D. BLEW (PROJECT NUMBER 24-6247) REVISION DATED OCTOBER 10, 2024. CONTACT BLEW AT SUVERYBLEWING.COM WITH ANY QUESTIONS REGARDING SURVEY OR EXISTING CONDITIONS INFORMATION. SEE ALTA/NPS LAND TITLE SURVEY FOR ADDITIONAL INFORMATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY.

### SHEET INDEX

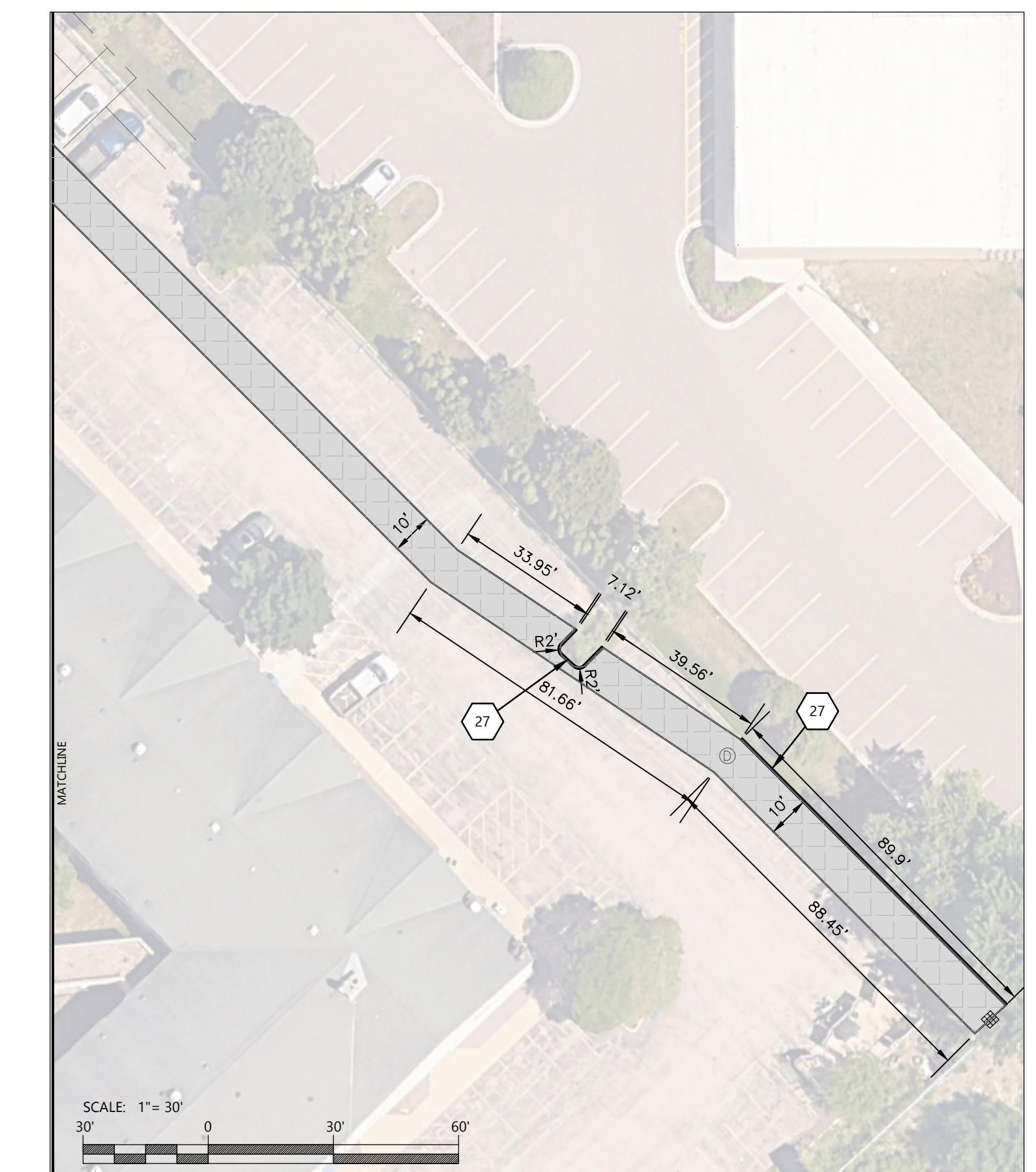
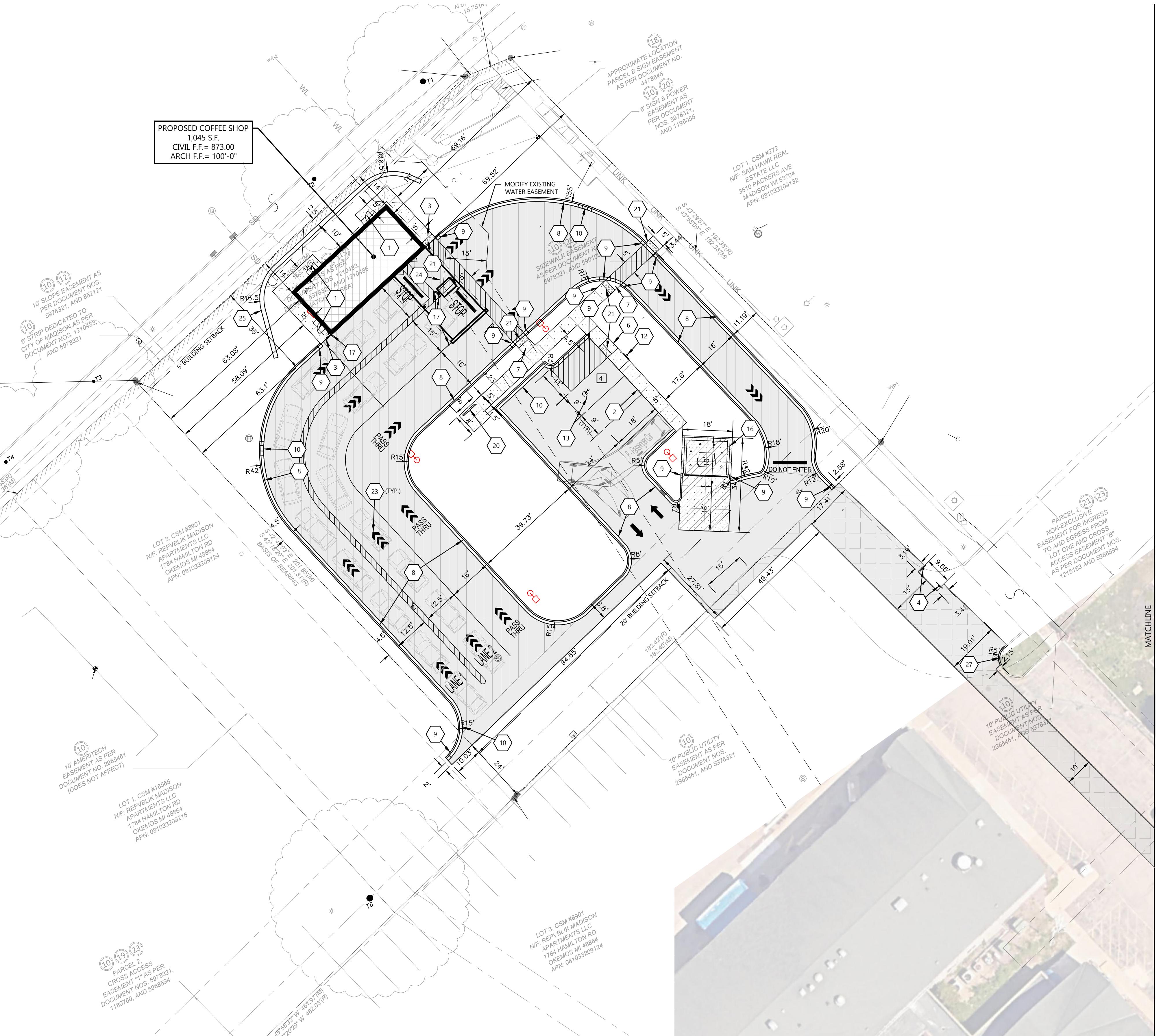
NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1A	SITE PLAN
C1.1B	STRIPING PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS







**PROPOSED COFFEE SHOP FOR:  
7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704



**GENERAL NOTES:**

- SEE SHEET C0.2 FOR PLANS SPECIFICATIONS AND REQUIREMENTS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**PRELIMINARY DATES**  
OCT. 14, 2024  
DEC. 6, 2024  
DEC. 13, 2024  
FEB. 12, 2025

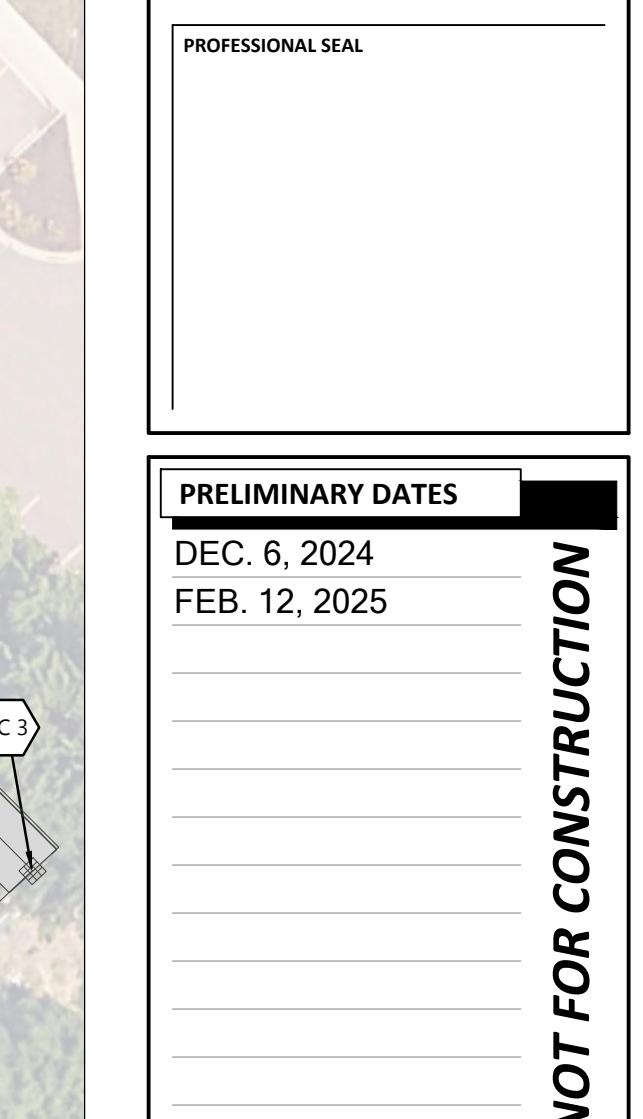
**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
240275600

**SHEET NUMBER**  
C1.1A

**CIVIL SITE PLAN**

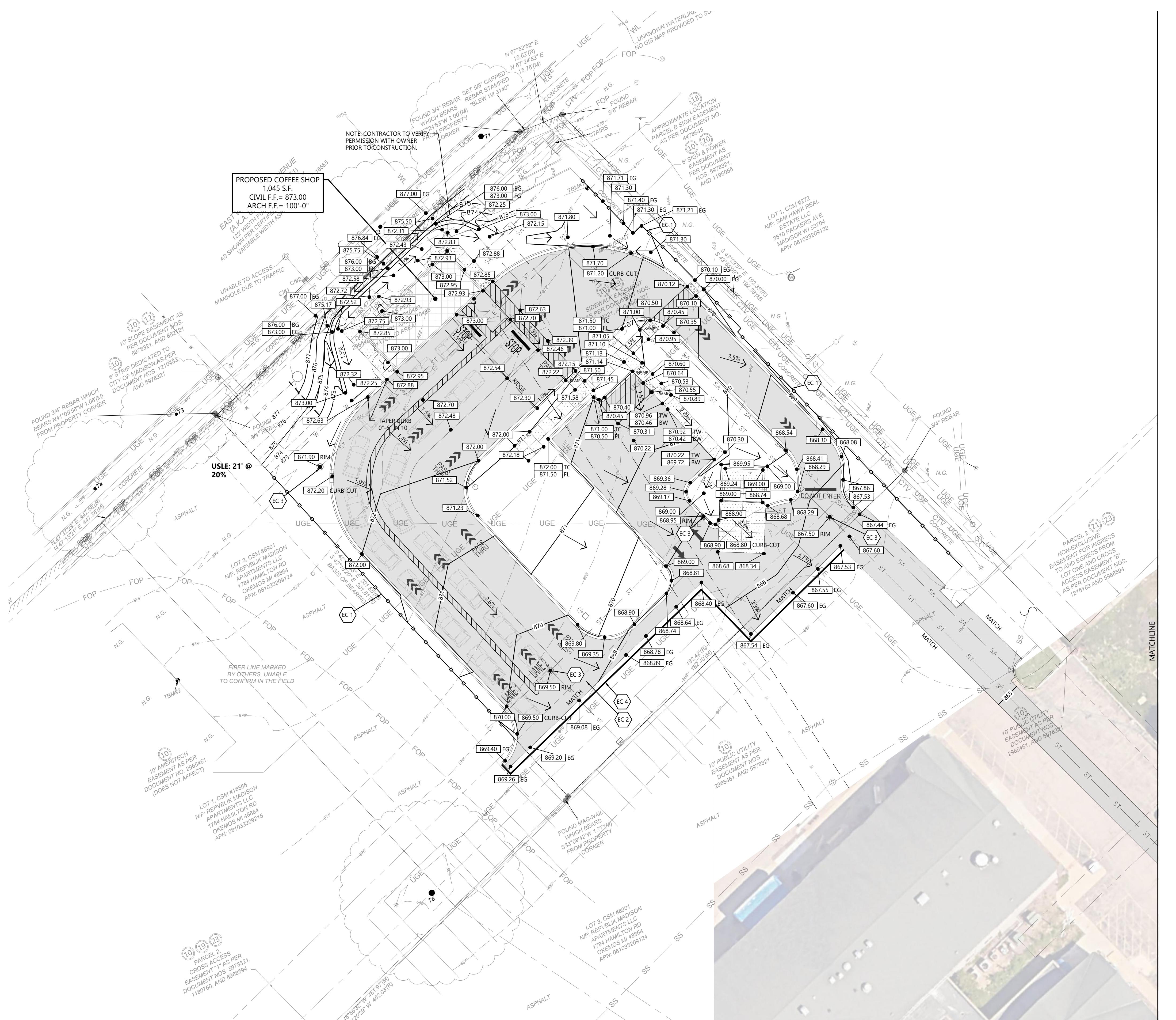
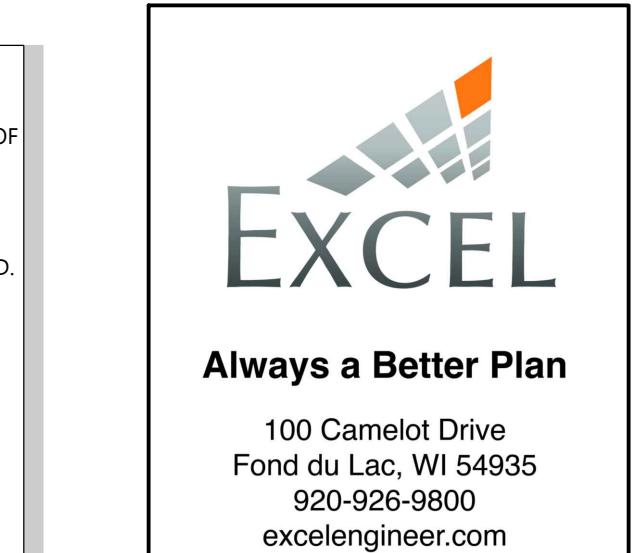


**PROJECT INFORMATION**
**PROPOSED COFFEE SHOP FOR:  
7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704

**JOB NUMBER** 240275600  
**SHEET NUMBER** C1.2  
**NOT FOR CONSTRUCTION**

EXISTING R.O.W. TREES			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
HONEYLOCUST	GLEIDITISIA TRIANCANTHOS SPP.	24" DIA	1
HONEYLOCUST	GLEIDITISIA TRIANCANTHOS SPP.	18" DIA	1
HONEYLOCUST	GLEIDITISIA TRIANCANTHOS SPP.	14" DIA	1
ELM	ULMUS	13" DIA	1

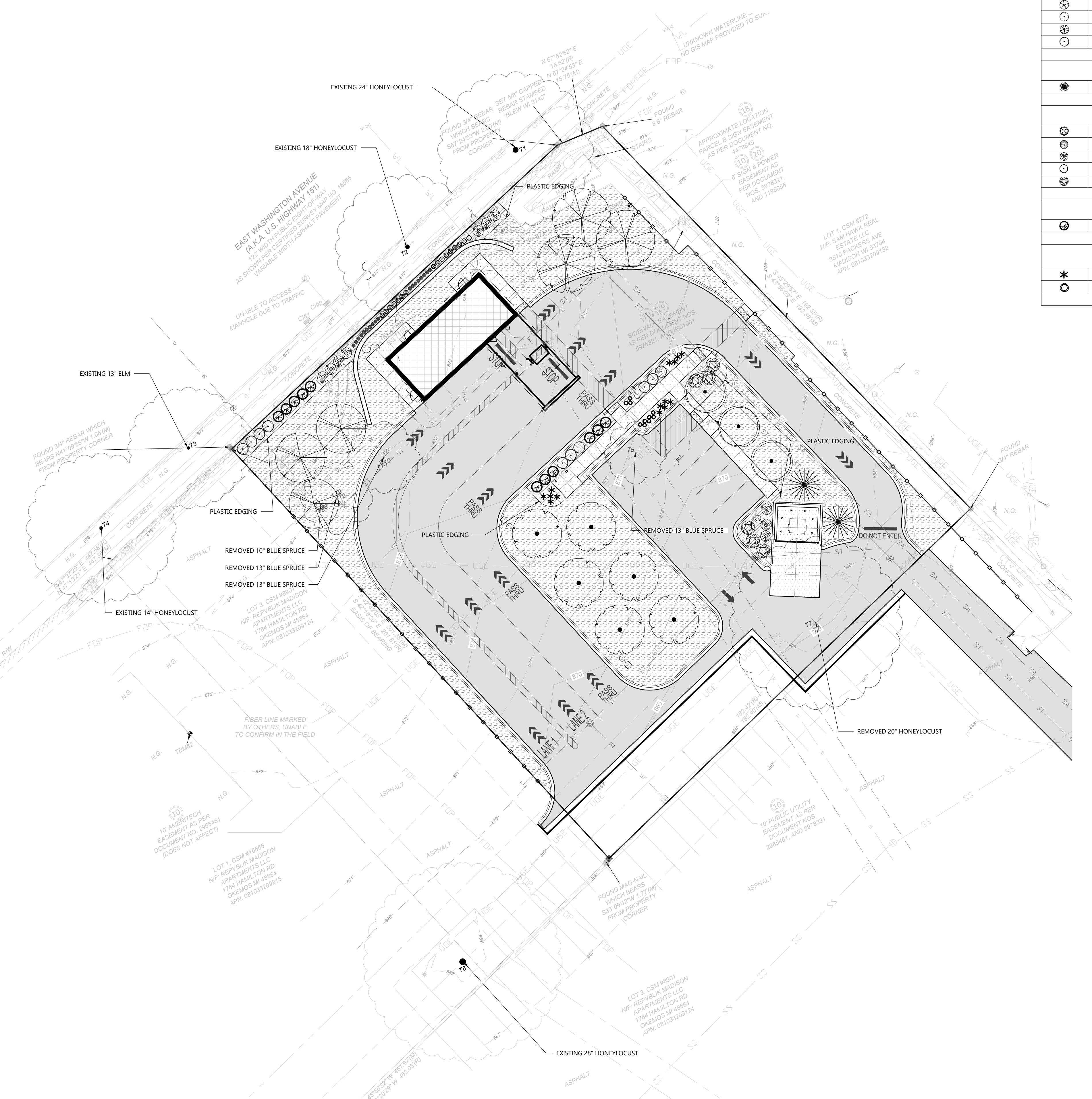
**GENERAL NOTES:**

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHDOWN AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON SITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/ PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**PROJECT INFORMATION**




PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704



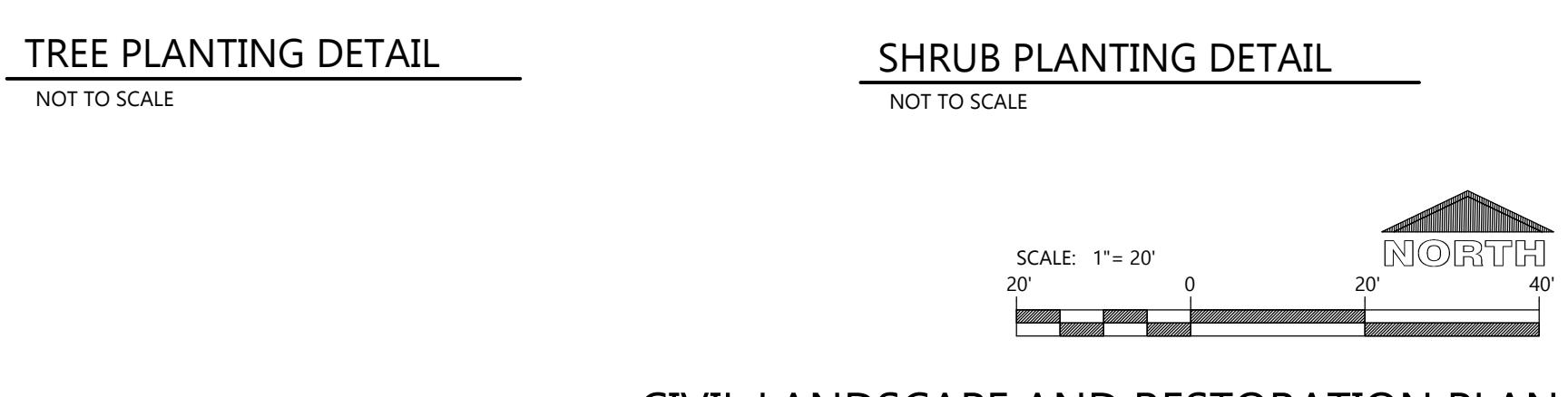
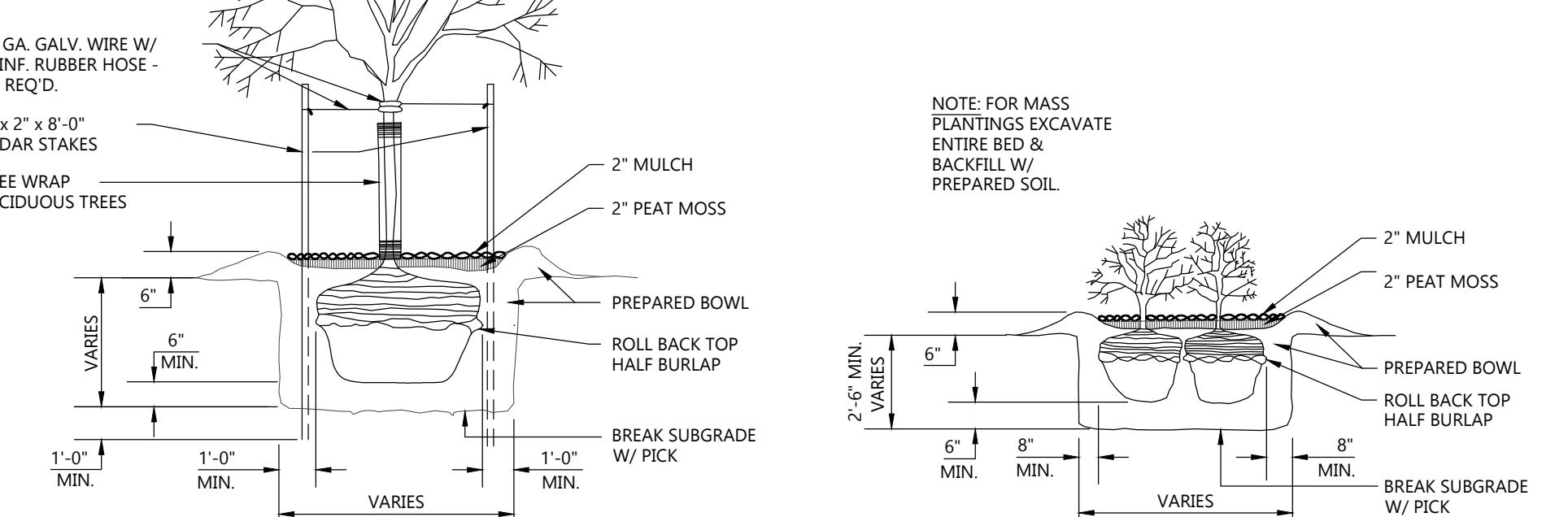
LANDSCAPE PLANT SCHEDULE								
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	ROOT	HEIGHT	SPREAD	QUANTITY	POINTS
OVERSTORY TREES								
◎	Green Column Black Maple	Acer saccharum ssp. nigrum 'Green Column'	2 1/2" CAL	B&B	50'-70'	20'-30'	3	35
◎	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold'	2 1/2" CAL	B&B	40'-50'	25'-30'	6	35
◎	Espresso Kentucky Coffeetree	Gymnocladus dioicus 'Espresso-JFS'	2 1/2" CAL	B&B	50'	35'	3	35
◎	Redmond Linden	Tilia americana 'Redmond'	2 1/2" CAL	B&B	40'-60'	25'	3	35
POINTS IN THIS SECTION								525
EVERGREEN TREES								
●	White Spruce	Picea glauca	5' HT.	B&B	40'-60'	10'-20'	2	35
POINTS IN THIS SECTION								70
DECIDUOUS SHRUBS								
◎	Low Scape Mound Chokeberry	Aronia melanocarpa 'UConnNAM165'	12" HT.	CONT.	1'-2'	2'-3'	16	3
◎	Yuki Cherry Blossom Deutzia	Deutzia x 'NCCDX2'	12" HT.	CONT.	1'-2'	1'-2'	18	3
◎	Bobo Hydrangea	Hydrangea paniculata 'Bobo'	18" HT.	CONT.	3'	3'-4'	10	3
◎	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	18" HT.	CONT.	3'-4'	3'-4'	10	3
◎	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro Low'	18" HT.	CONT.	2'-3'	4'-5'	6	3
POINTS IN THIS SECTION								180
EVERGREEN SHRUBS								
●	Sea of Gold Juniper	Juniperus Chinensis 'Monsan'	18" HT.	CONT.	4'	4'	11	4
POINTS IN THIS SECTION								44
PERENNIALS/ORNAMENTAL GRASSES								
*	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT.	4'-5'	2'	14	2
○	Walker's Low Catmint	Nepeta 'Walker's Low'	1 GAL	POT.	18"-24"	18"	10	2
POINTS IN THIS SECTION								48

TREE REMOVAL LIST			
COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
OVERSTORY TREES			
HONEYLOCUST	GLEOTISIA TRIACANTHOS SPP.	20" DIA.	1
EVERGREEN TREES			
BLUE SPRUCE	PICEA PUNGENS	10-13" DIA.	4

LANDSCAPING CALCULATIONS		
ZONE	REQUIRED PLANTS	PLANTS PROVIDED
FRONTAGE	178' OF FRONTAGE 1 OVERSTORY TREE AND 5 SHRUBS PER 20' REQUIRED: 6 OVERSTORY TREES / 30 SHRUBS	PROVIDED: 6 OVERSTORY TREES / 50 SHRUBS POINTS FOR THIS SECTION: 365
INTERIOR PARKING LOT LANDSCAPE	15,588 SF x 5% = 779 SF REQ. LANDSCAPE AREA 1 TREE PER 160 SF OF REQ. LANDSCAPE AREA REQUIRED: 779 SF/160 SF = 5 TREES	PROVIDED: 5 OVERSTORY TREES / 117 POINTS OF UNDERSTORY LANDSCAPING POINTS FOR THIS SECTION: 292
DISPLACED LANDSCAPE REQUIREMENTS	5 EXISTING TREES REMOVED FROM SITE REQUIRED: REPLACE WITH 5 NEW TREES	PROVIDED: 6 TREES POINTS FOR THIS SECTION: 210
LANDSCAPE POINT CALCULATIONS	22,838 SF OF DEVELOPED AREA 5 LANDSCAPE POINTS REQ. PER 300 SF 22,838 SF/300 SF X 5 POINTS REQUIRED: 380.6 POINTS	TOTAL PROVIDED: 867 POINTS

GENERAL NOTES:	
• PLANTS ARE SHOWN AT 60% Maturity • LANDSCAPE ZONES THAT EXCEED CODE REQUIREMENTS WERE INCREASED IN RESPONSE TO CITY COMMENTS RELATED TO URBAN DESIGN DISTRICT 5 GUIDELINES	

HATCH KEY:	
HATCH	LANDSCAPE MATERIAL
	ORGANIC MULCH
	SEDED LAWN



PROFESSIONAL SEAL  
ETHAN REED  
LA-1020-14  
Landscape Architect  
NOT FOR CONSTRUCTION

JOB NUMBER  
240275600  
SHEET NUMBER  
C1.4  
CIVIL LANDSCAPE AND RESTORATION PLAN

**PROJECT INFORMATION**

**PROPOSED COFFEE SHOP FOR:  
7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704

**PRELIMINARY DATES**  
DEC. 6, 2024  
DEC. 13, 2024  
FEB. 12, 2025

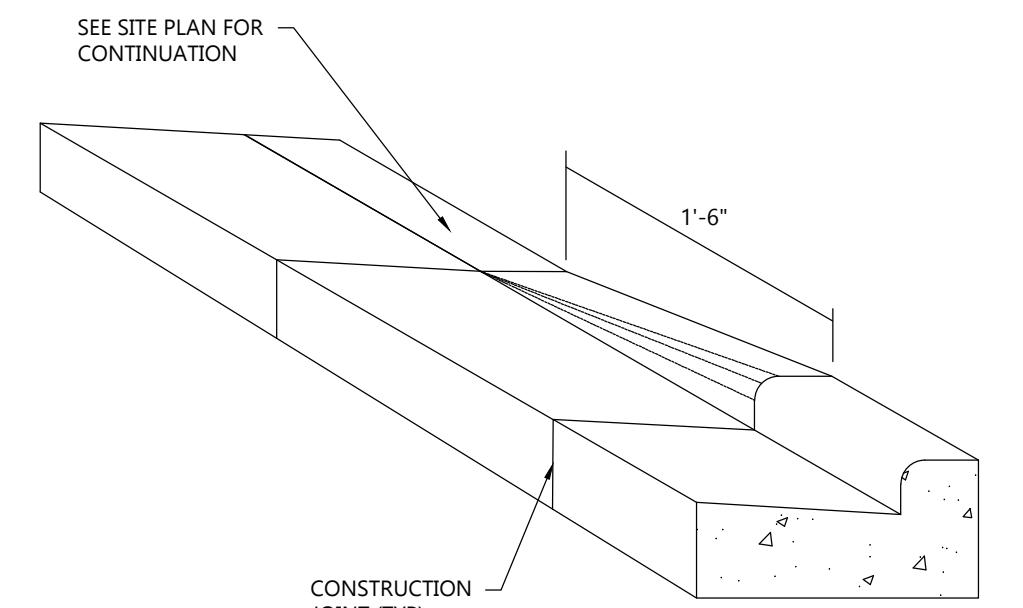
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**JOB NUMBER**  
240275600

**SHEET NUMBER**

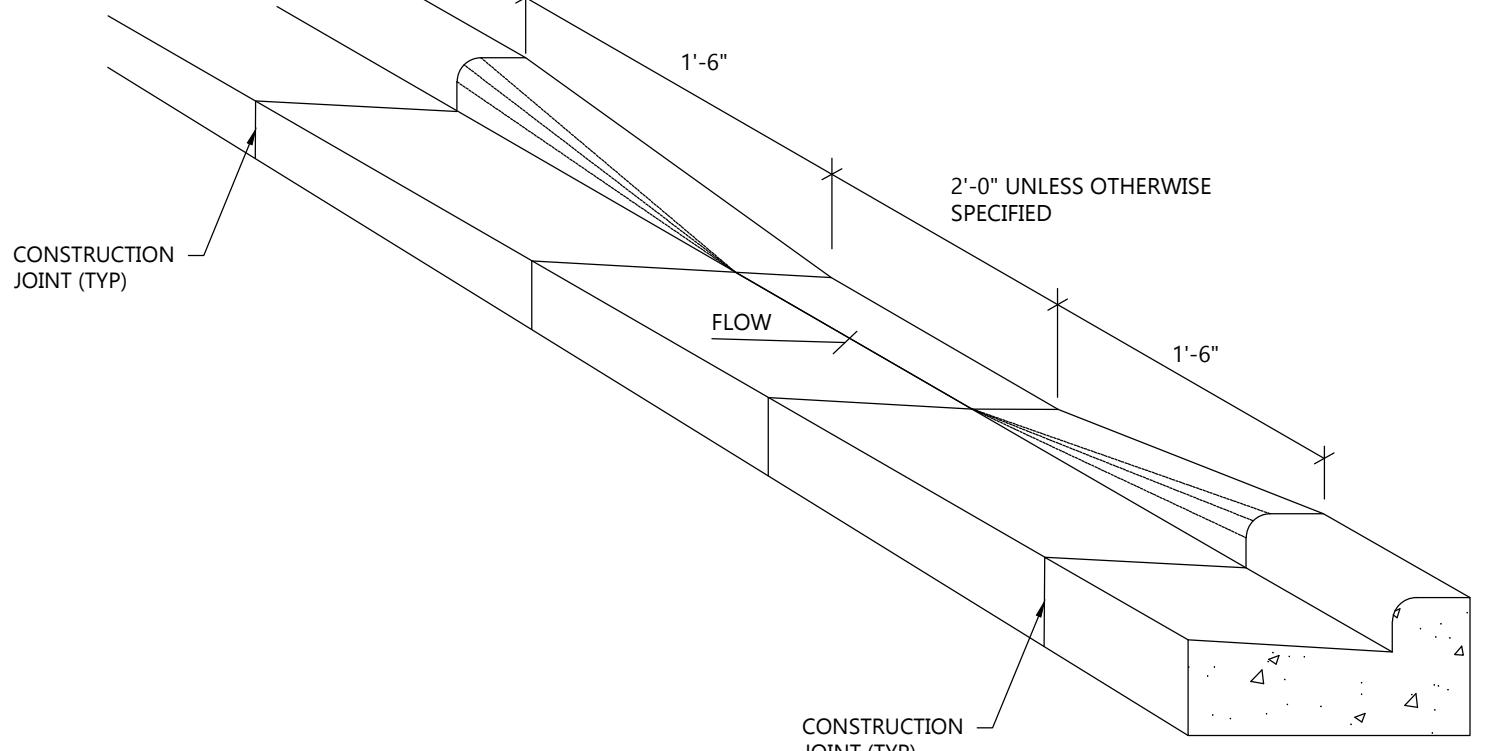
**C2.0**

**CIVIL DETAILS**



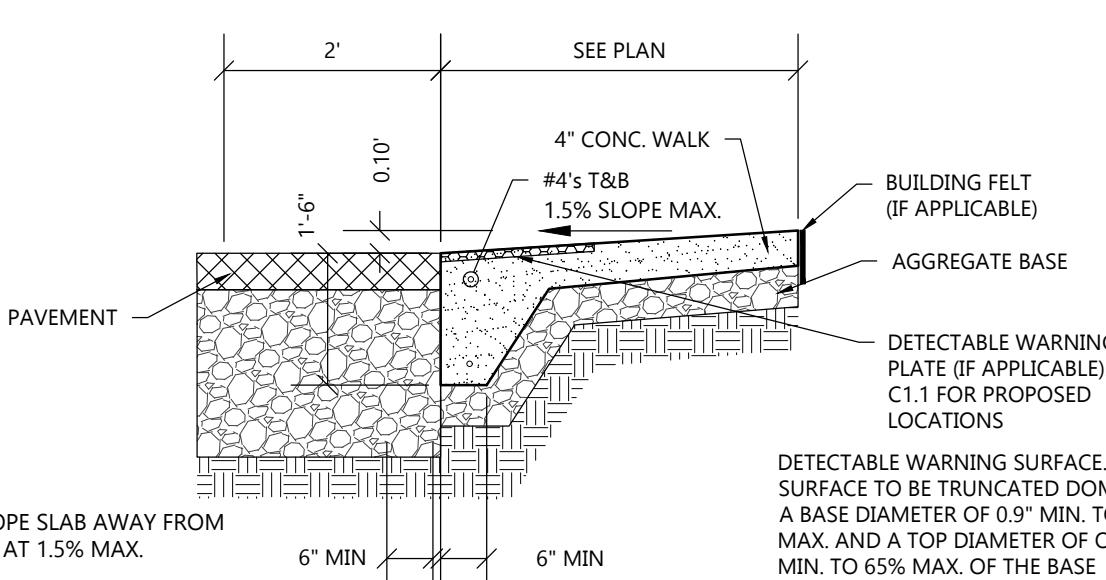
**CURB TAPER DETAIL**

NOT TO SCALE



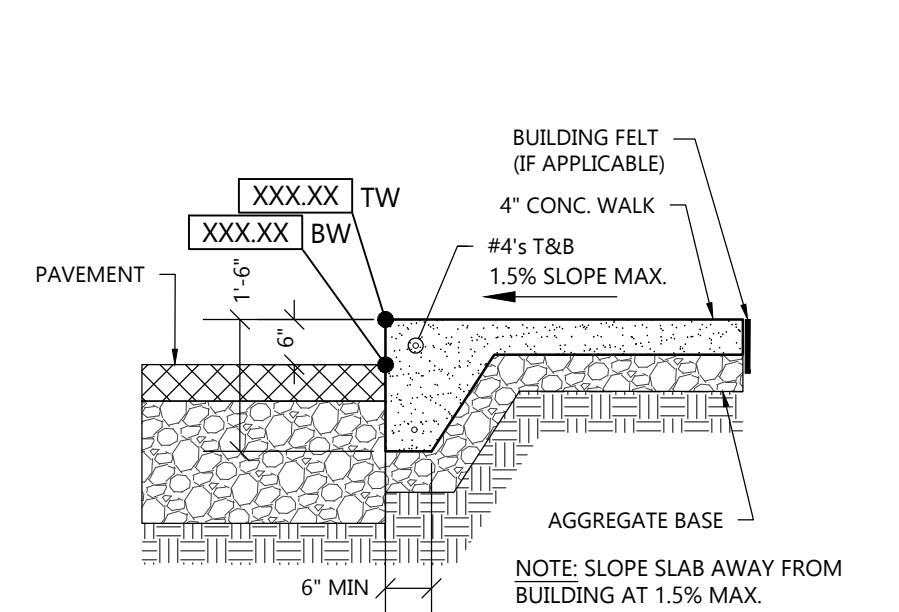
**CURB CUT DETAIL**

NOT TO SCALE



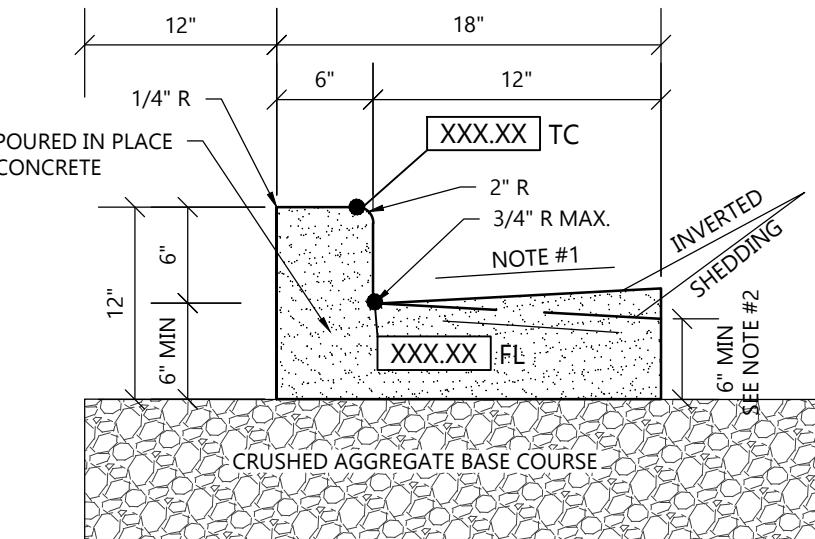
**FLUSH WALK DETAIL**

NOT TO SCALE



**RAISED WALK DETAIL**

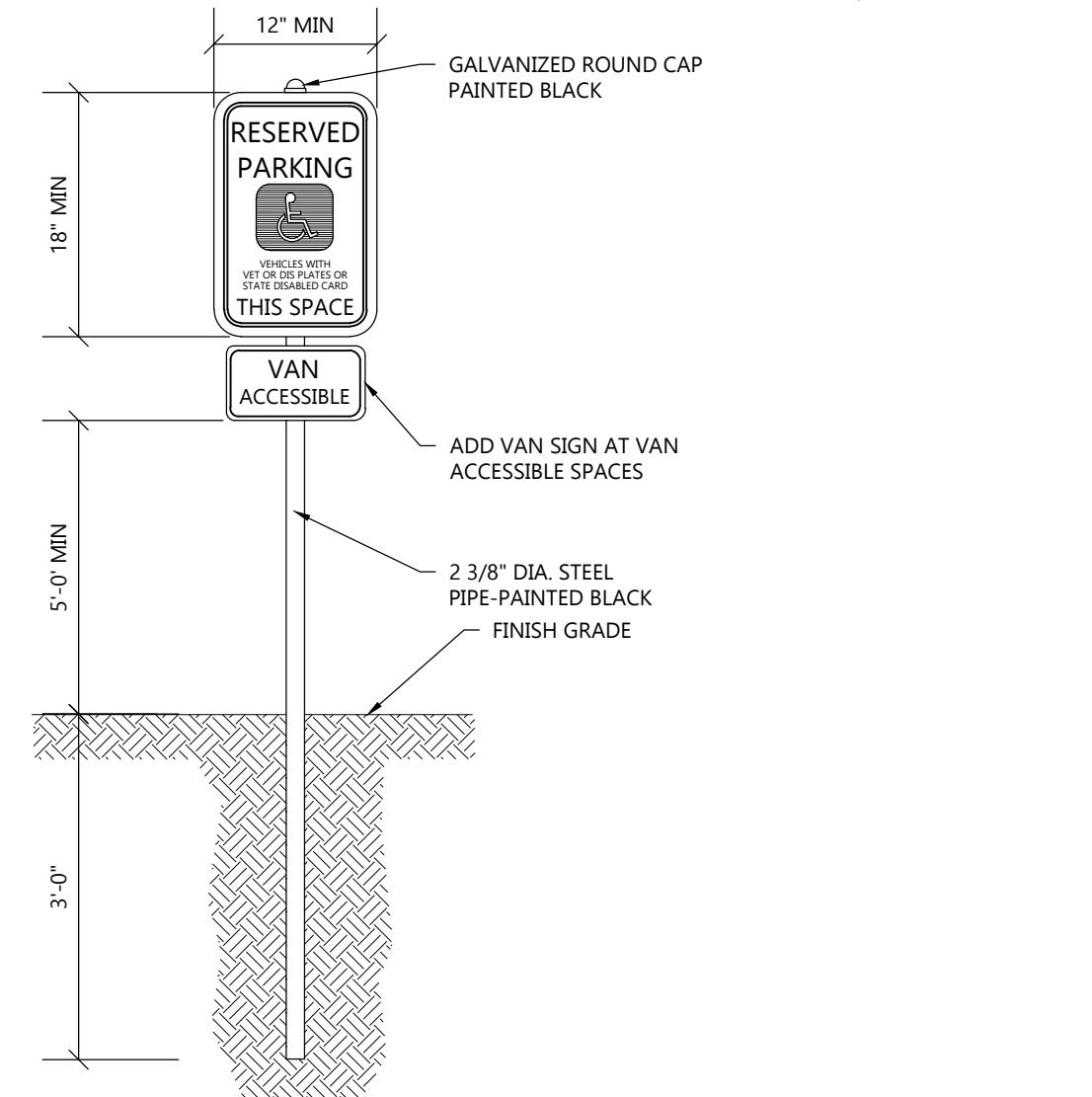
NOT TO SCALE



**NOTE:**  
1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.  
2. THE HEIGHT OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.  
3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

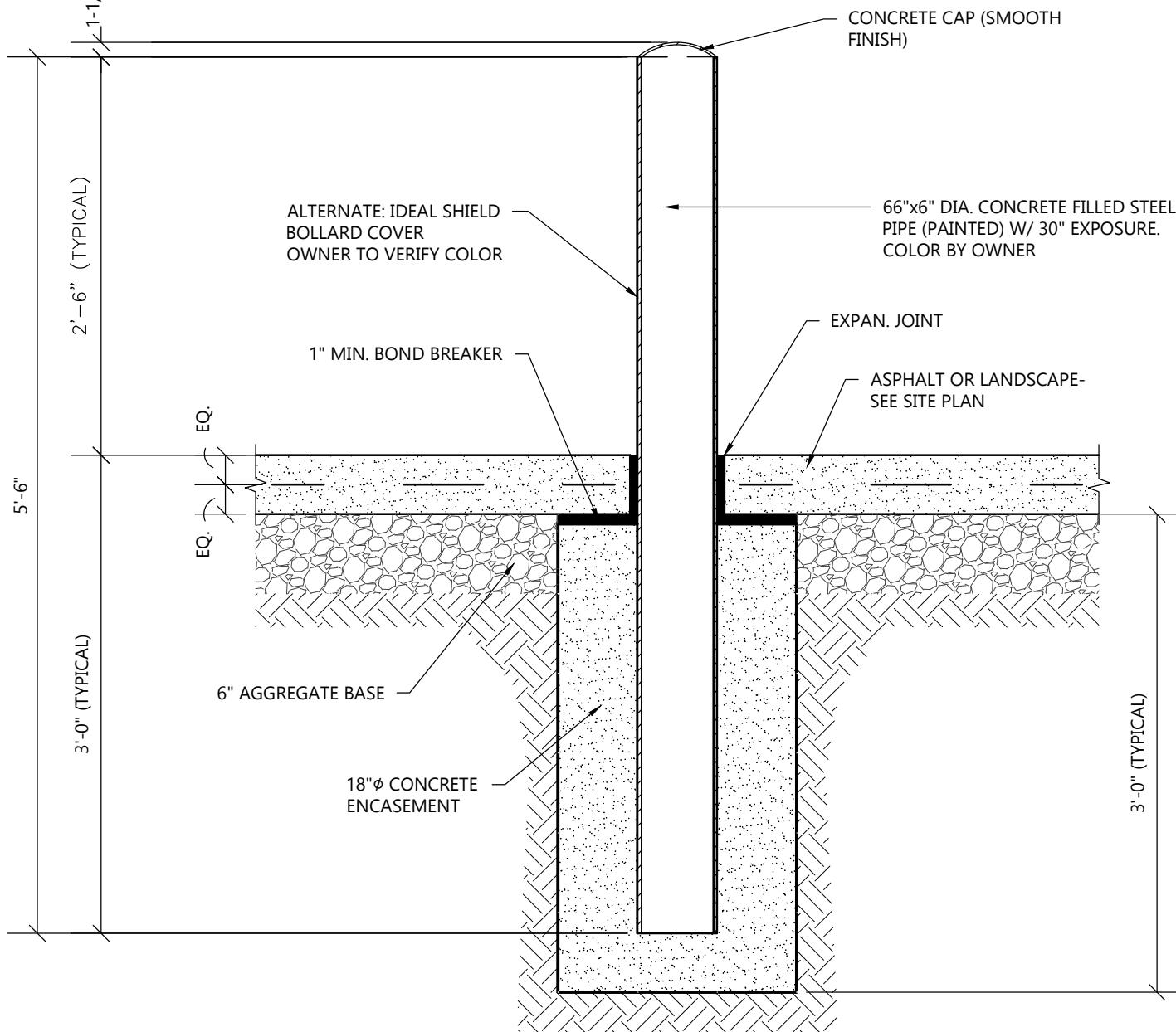
**18" CONCRETE CURB & GUTTER DETAIL**

NOT TO SCALE



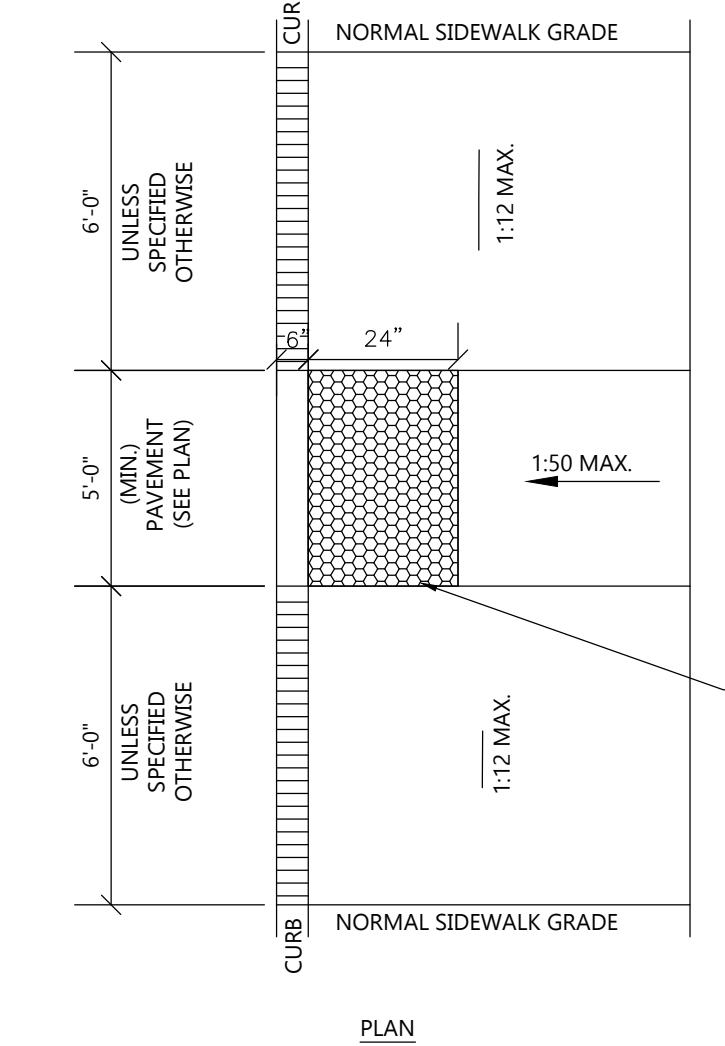
**HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL**

NOT TO SCALE



**6" PIPE BOLLARD DETAIL**

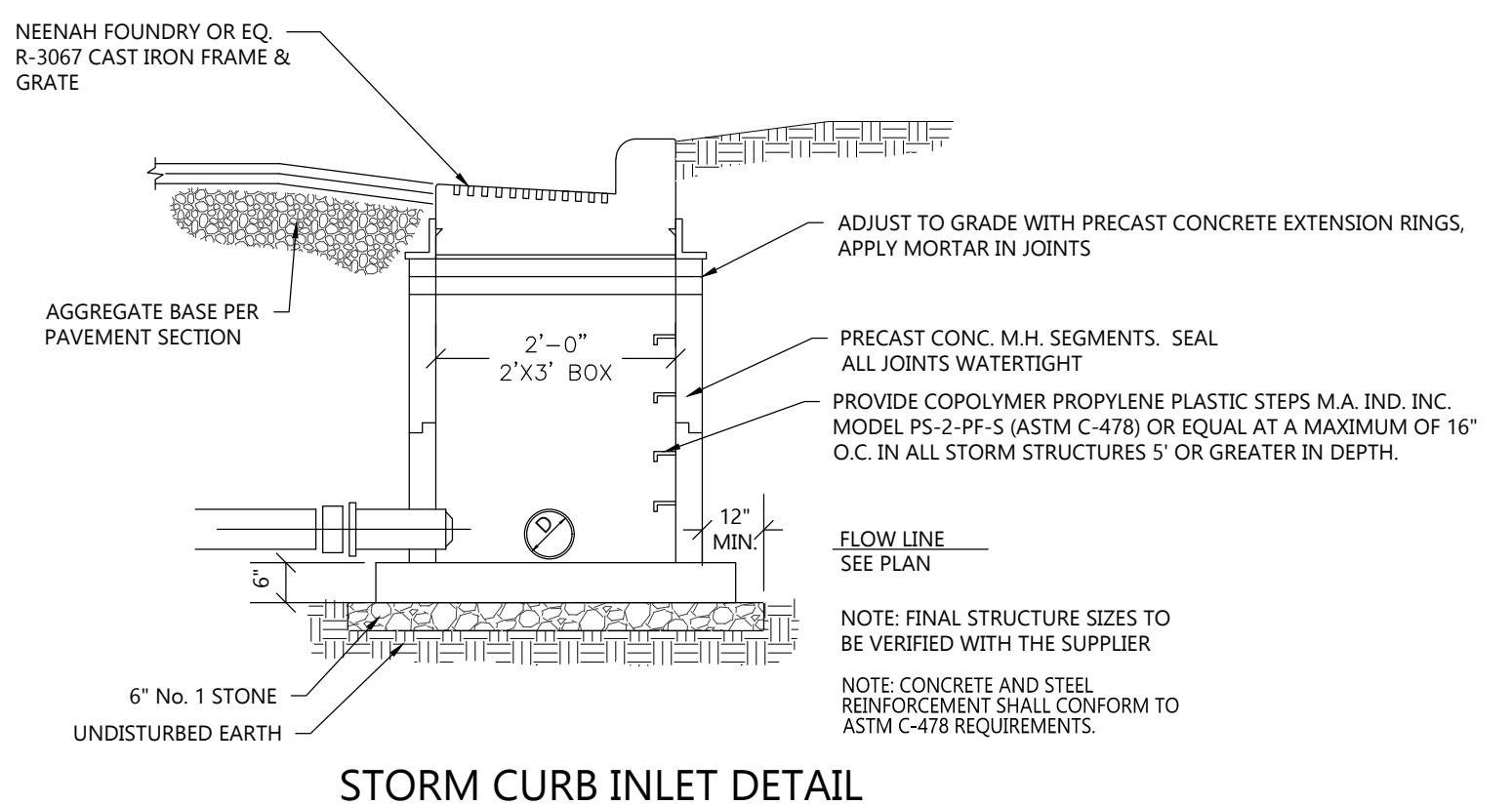
NOT TO SCALE



**NOTE:**  
ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

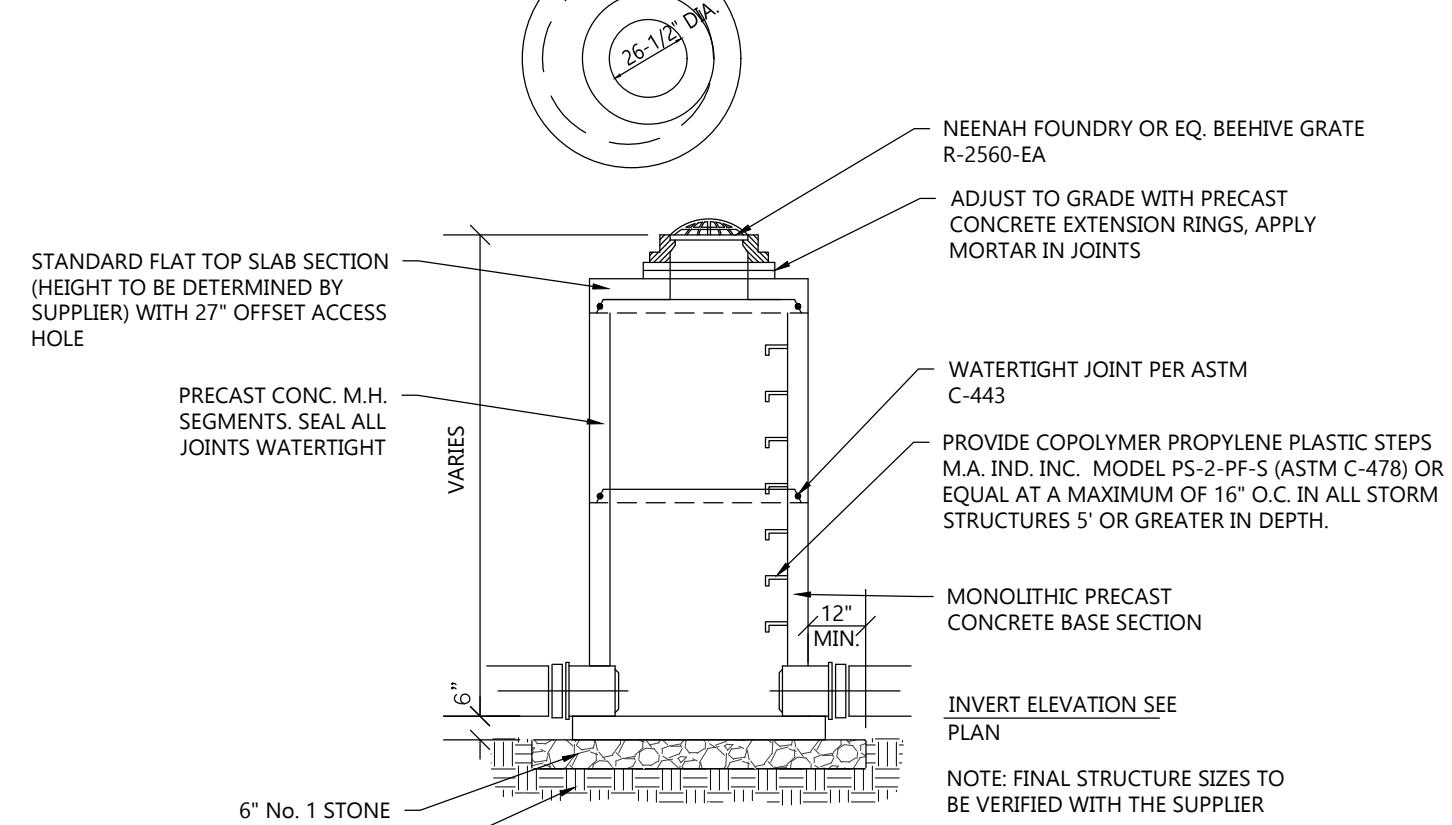
**ADA CURB RAMP DETAIL**

NOT TO SCALE



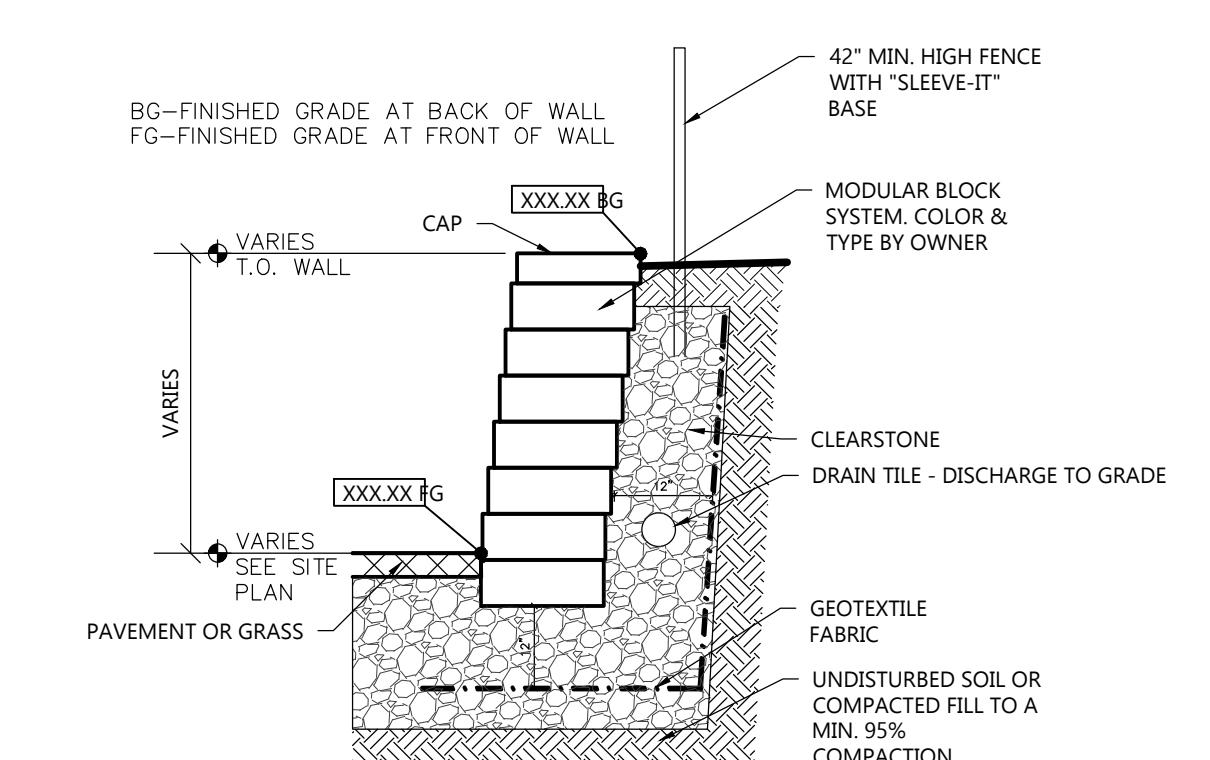
**STORM CURB INLET DETAIL**

NOT TO SCALE



**STORM FIELD INLET W/  
DOME GRATE DETAIL**

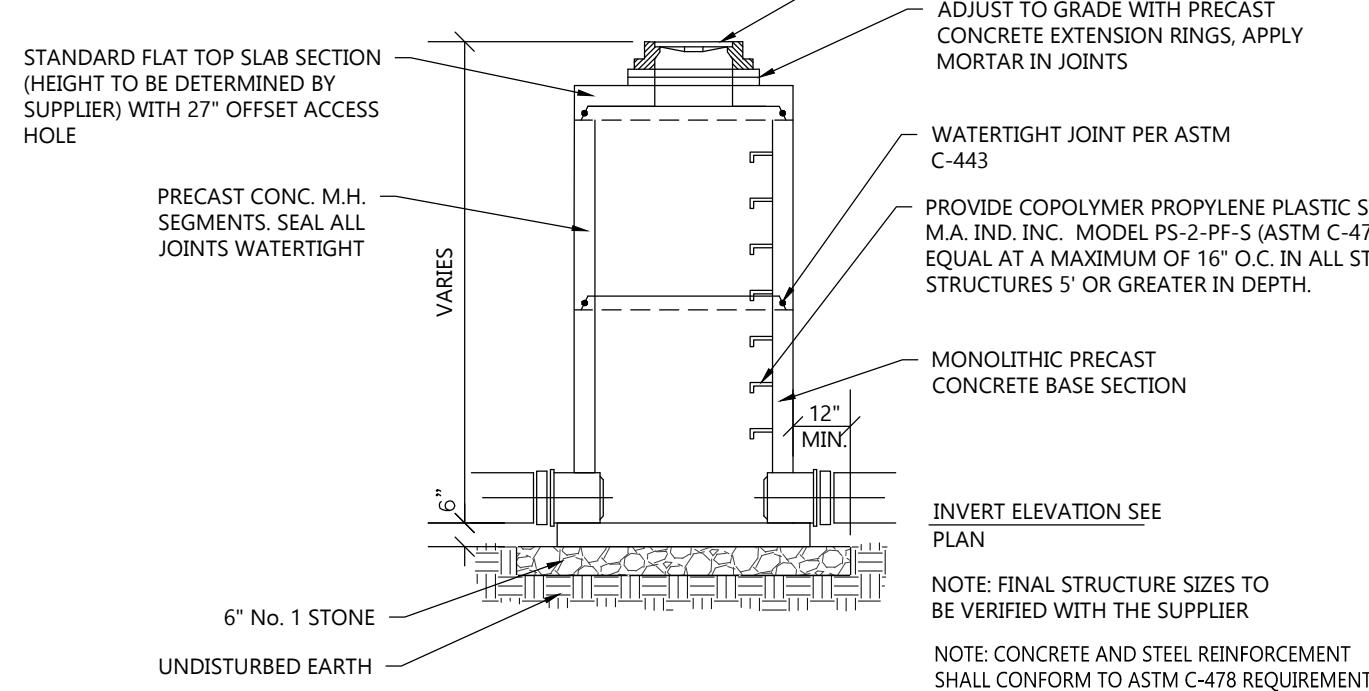
NOT TO SCALE



**\*THIS DETAIL IS NOT FOR CONSTRUCTION. THE  
WALL MANUFACTURER IS RESPONSIBLE FOR  
FINAL DESIGN AND CONSTRUCTION DETAILS.**

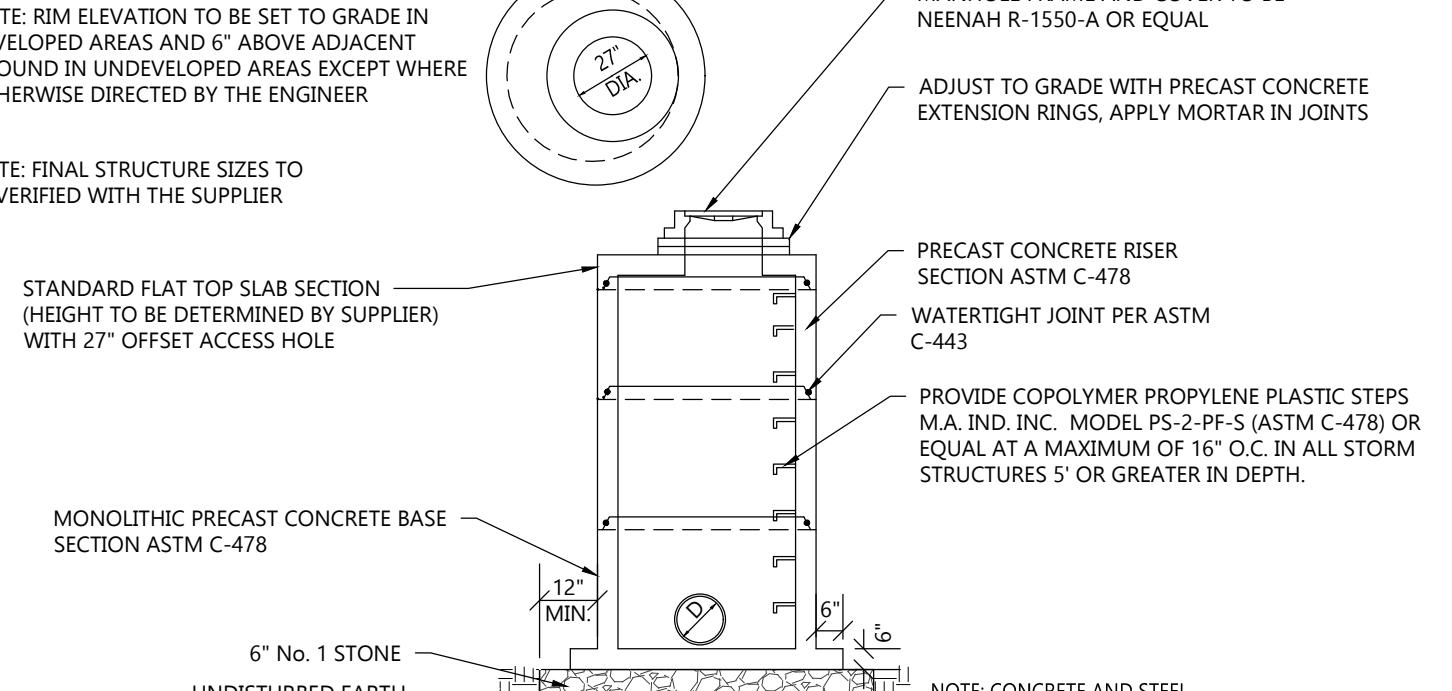
**RETAINING WALL DETAIL**

NOT TO SCALE



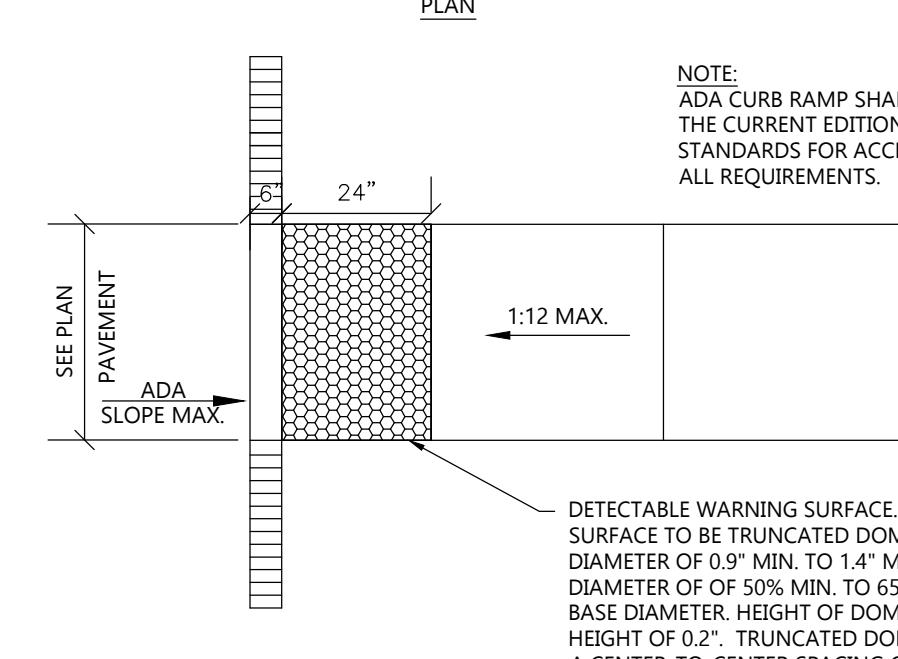
**STORM CATCH BASIN DETAIL**

NOT TO SCALE



**STORM MANHOLE DETAIL**

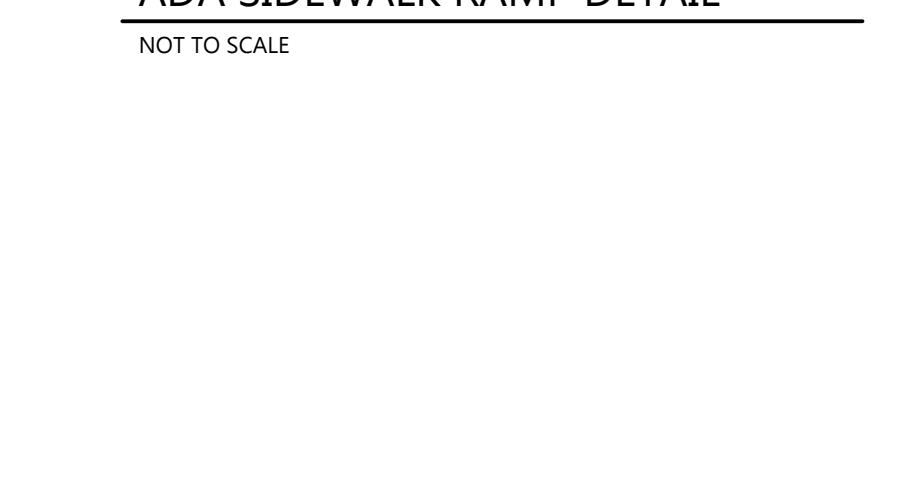
NOT TO SCALE



**NOTE:**  
ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

**ADA SIDEWALK RAMP DETAIL**

NOT TO SCALE

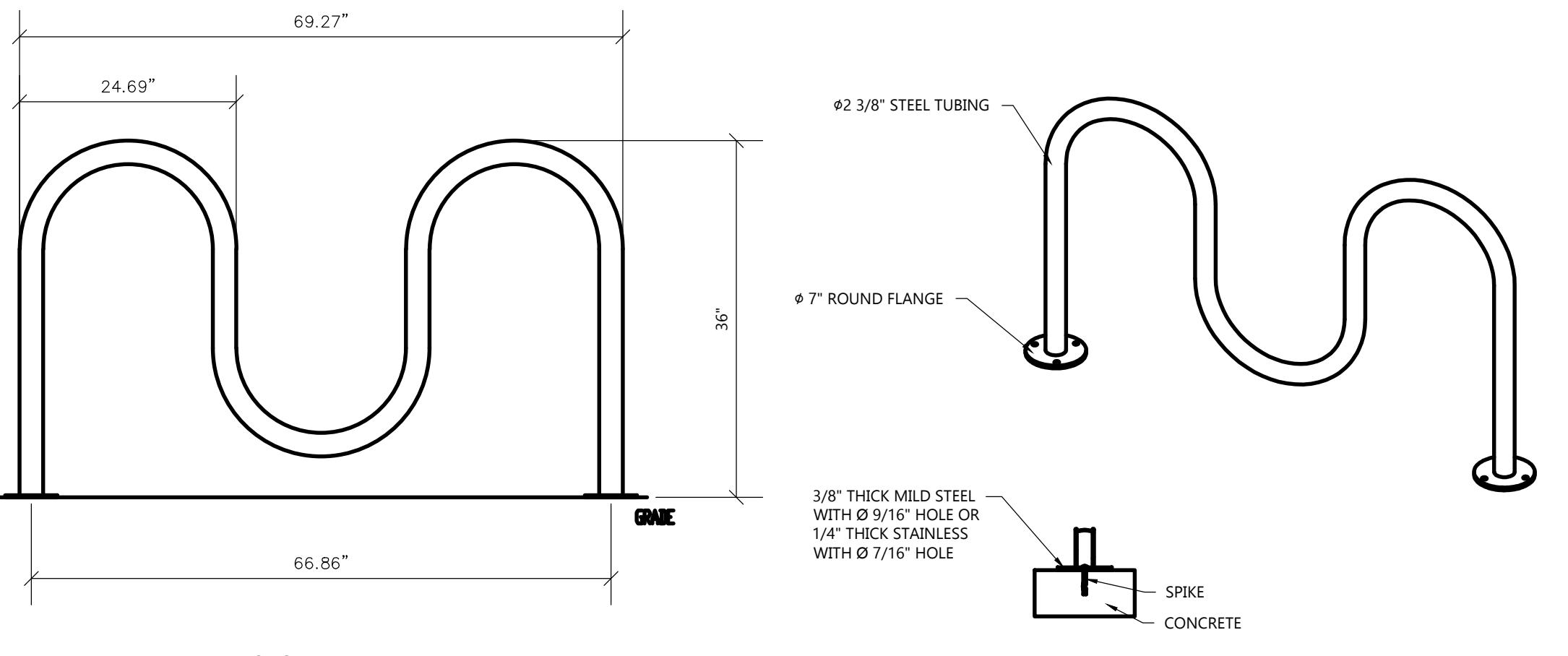


**NOTE:**  
SURFACE TO BE TRUNCATED DOMES WITH A BASE DIAMETER OF 0.9" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 0.50" MIN. TO 0.55" MAX. DOMES SHALL HAVE A HEIGHT OF 0.2". TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON THE GRID. DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.

SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

PROJECT INFORMATION

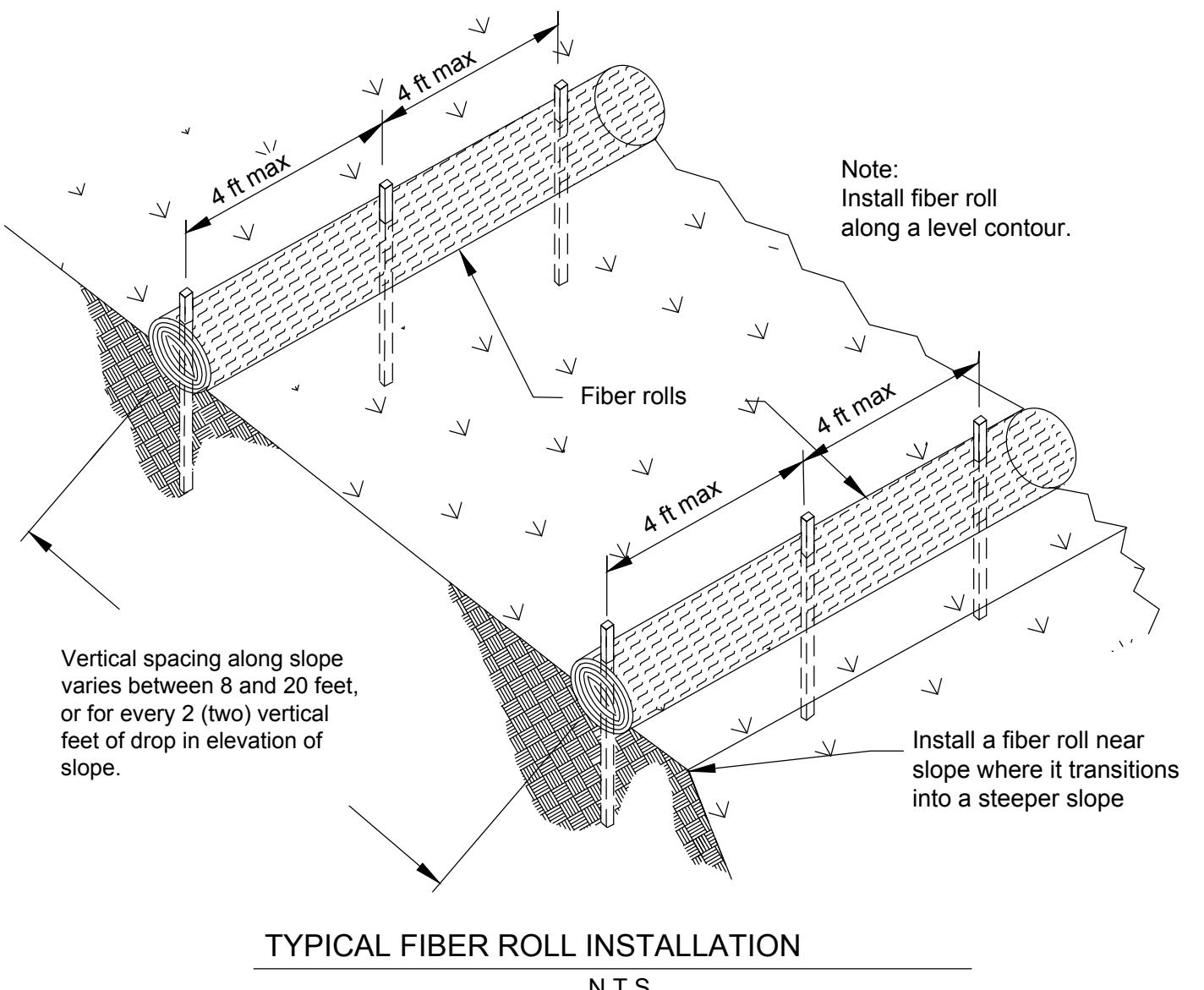
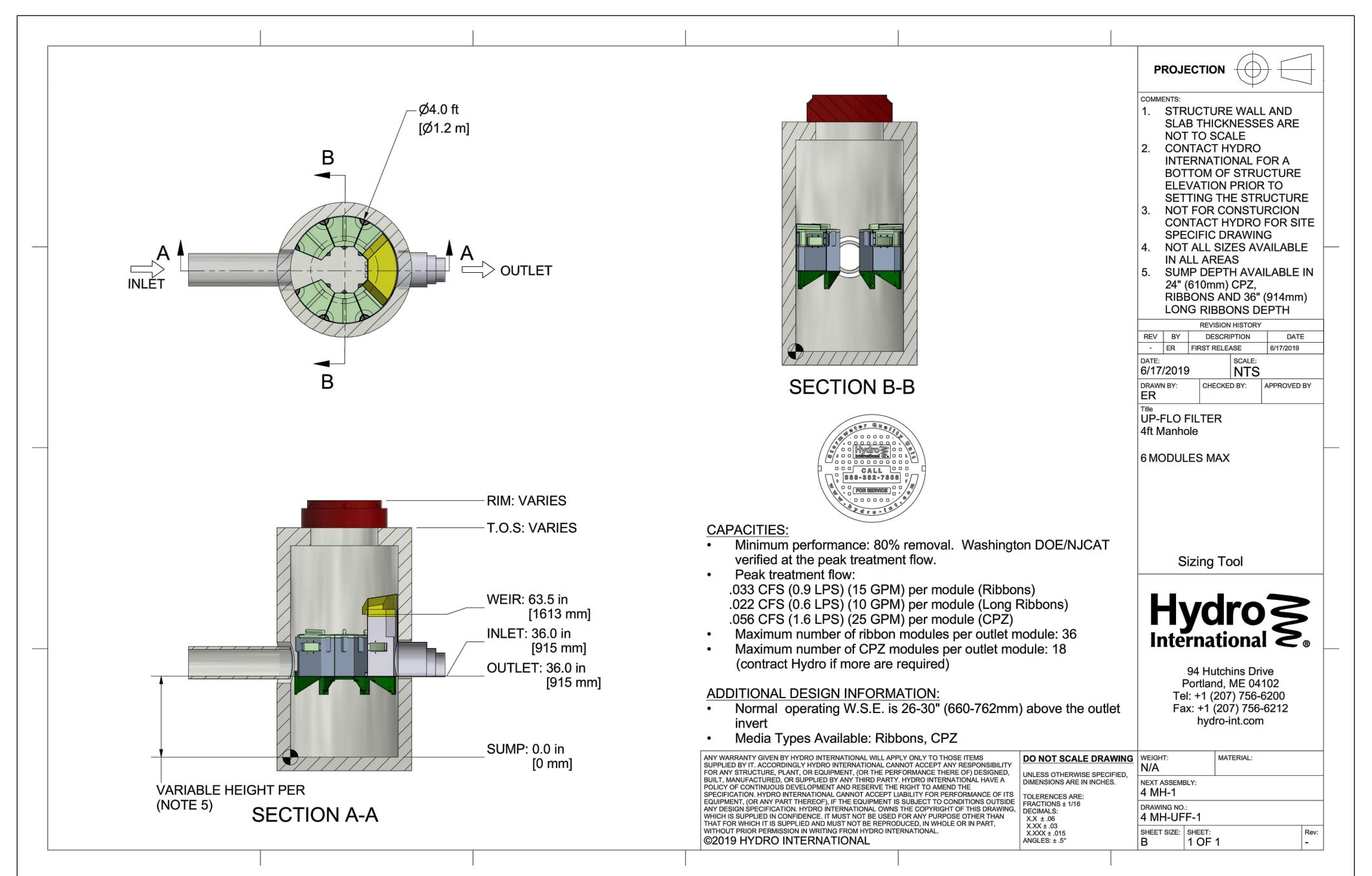
PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704



NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
2. OWNER SHALL SELECT COLOR & FINISH.  
3. SEE SITE PLAN FOR APPROX. LOCATION. COORDINATE W/ OWNER PRIOR TO CONSTRUCTION.  
4. MANUFACTURED BY MADIRAX; PRODUCT: CS200-5-IG(SF); DESCRIPTION: CAPITAL SQUARE BIKE RAKE 5 BIKE

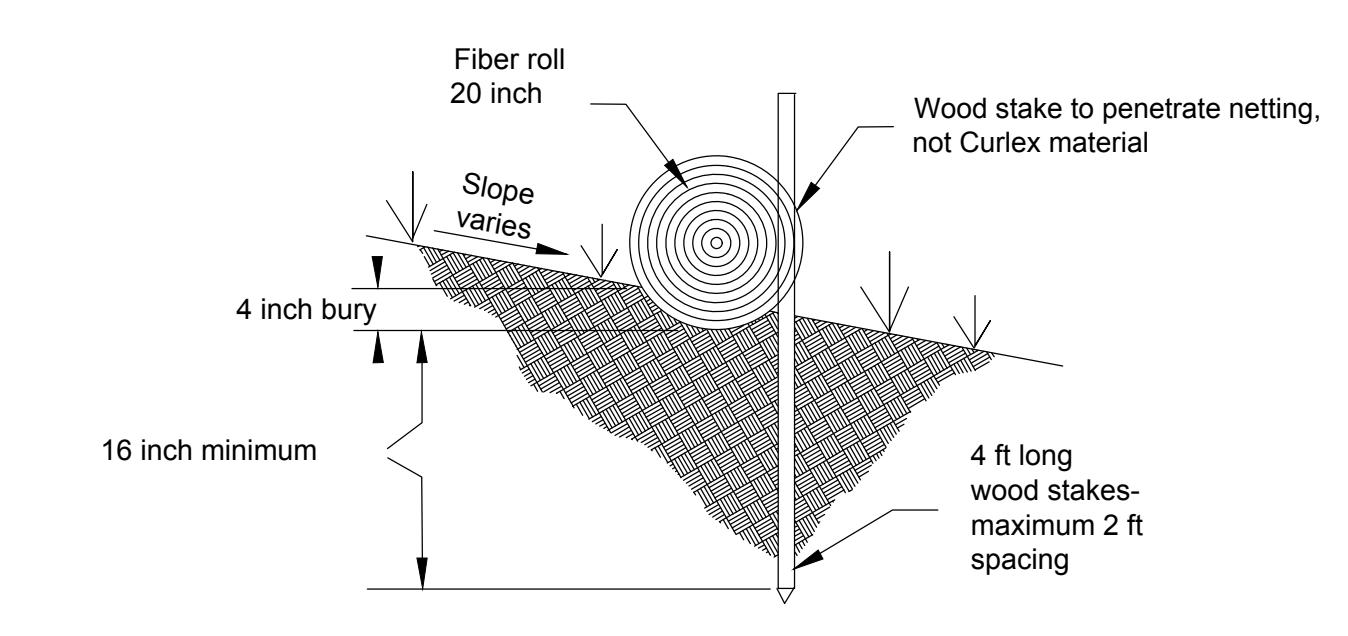
5 BIKE RACK DETAIL-WAVE TYPE

NOT TO SCALE



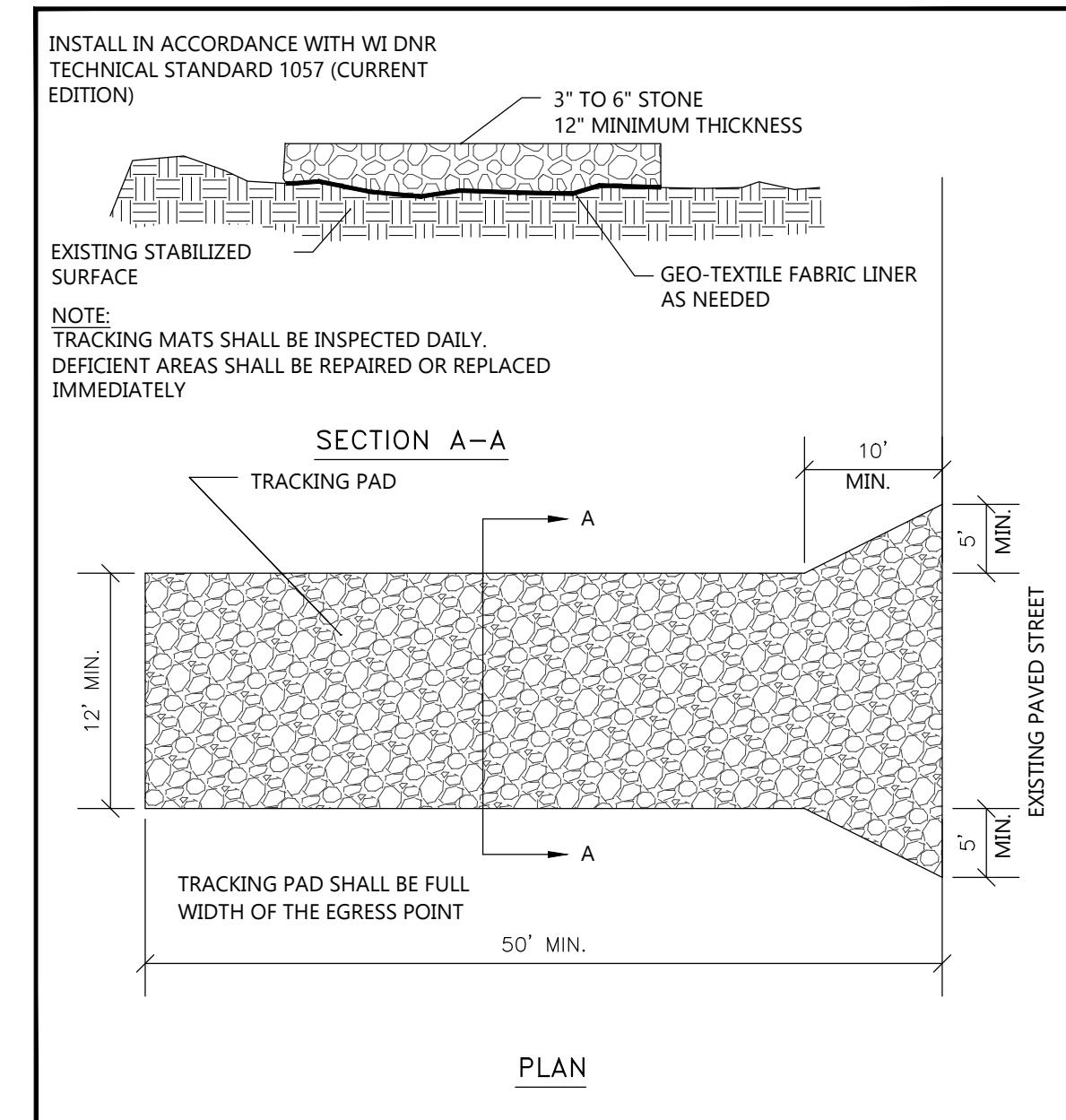
TYPICAL FIBER ROLL INSTALLATION

N.T.S.



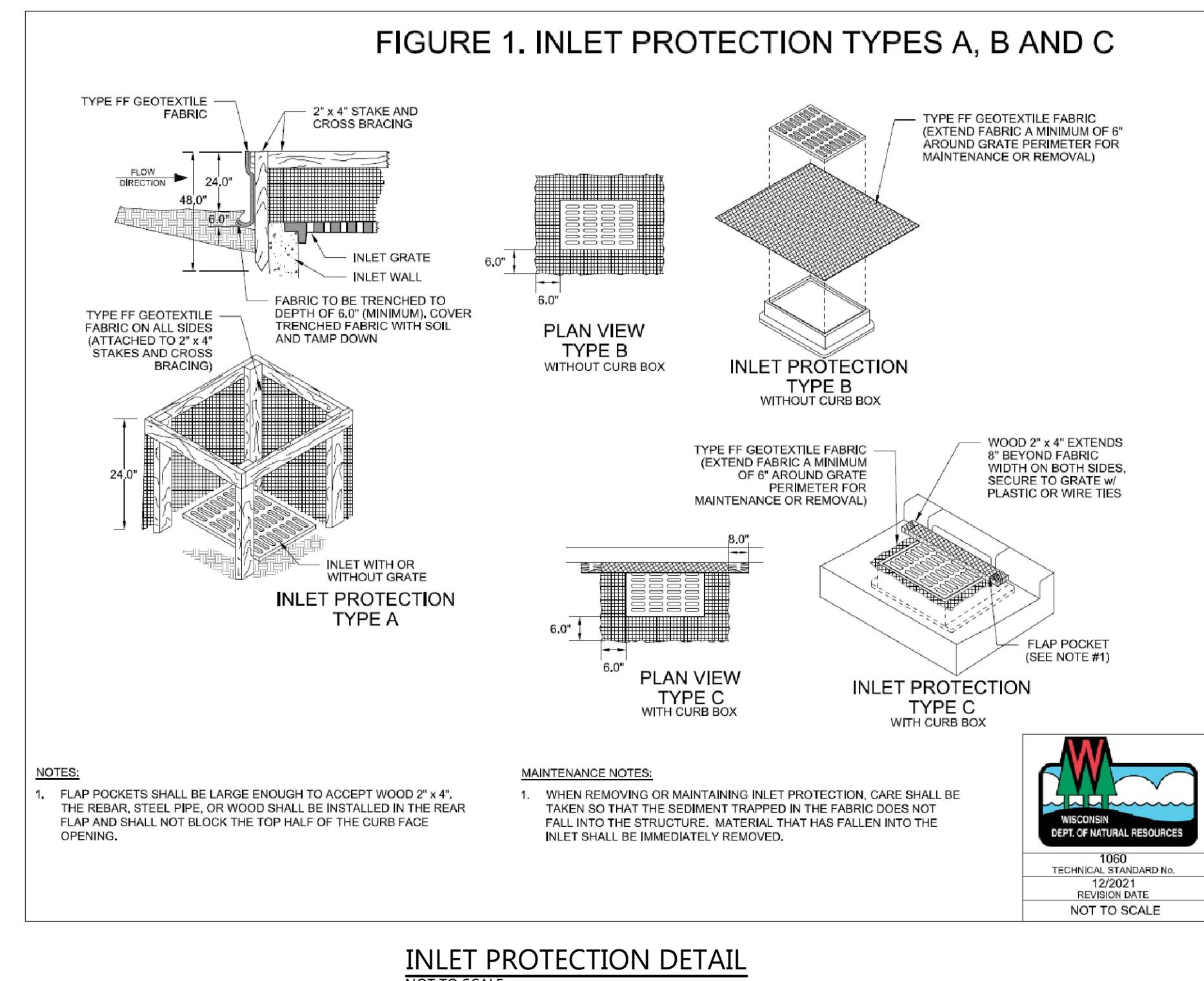
SEDIMENT LOG INSTALLATION

NOT TO SCALE



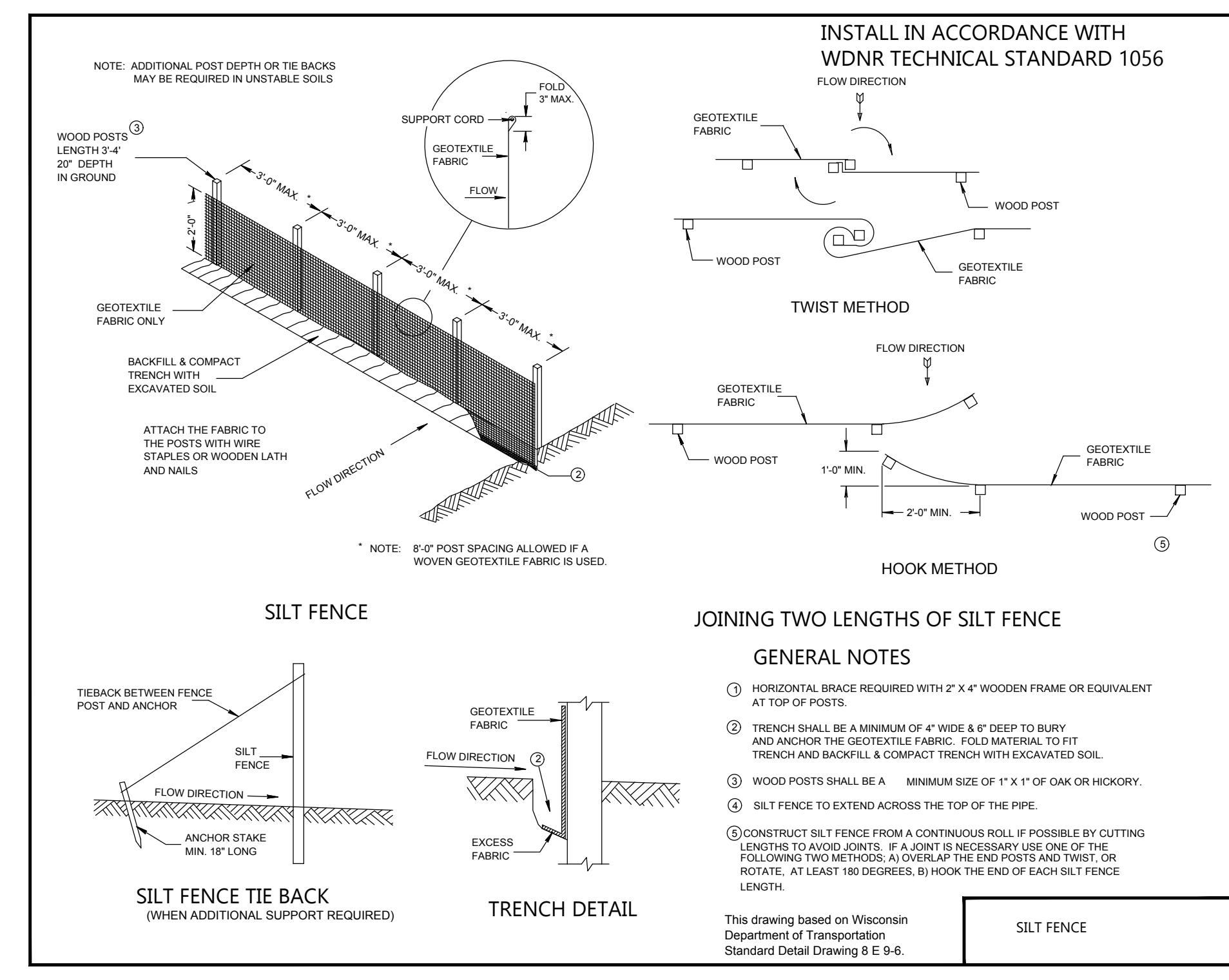
TRACKPAD DETAILS

NOT TO SCALE



INLET PROTECTION DETAIL

NOT TO SCALE

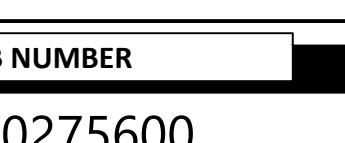
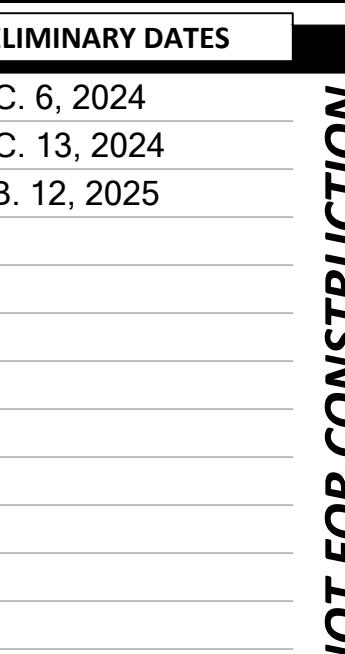


SILT FENCE - INSTALLATION DETAIL

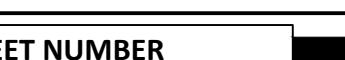
NOT TO SCALE



DEC. 6, 2024  
DEC. 13, 2024  
FEB. 12, 2025



240275600



C2.1

## OBJECT INFORMATION

100 Camelot Drive  
ond du Lac, WI 54935  
920-926-9800  
[excelengineer.com](http://excelengineer.com)

PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53711

PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
3915 LIEN RD. • MADISON, WI 53704

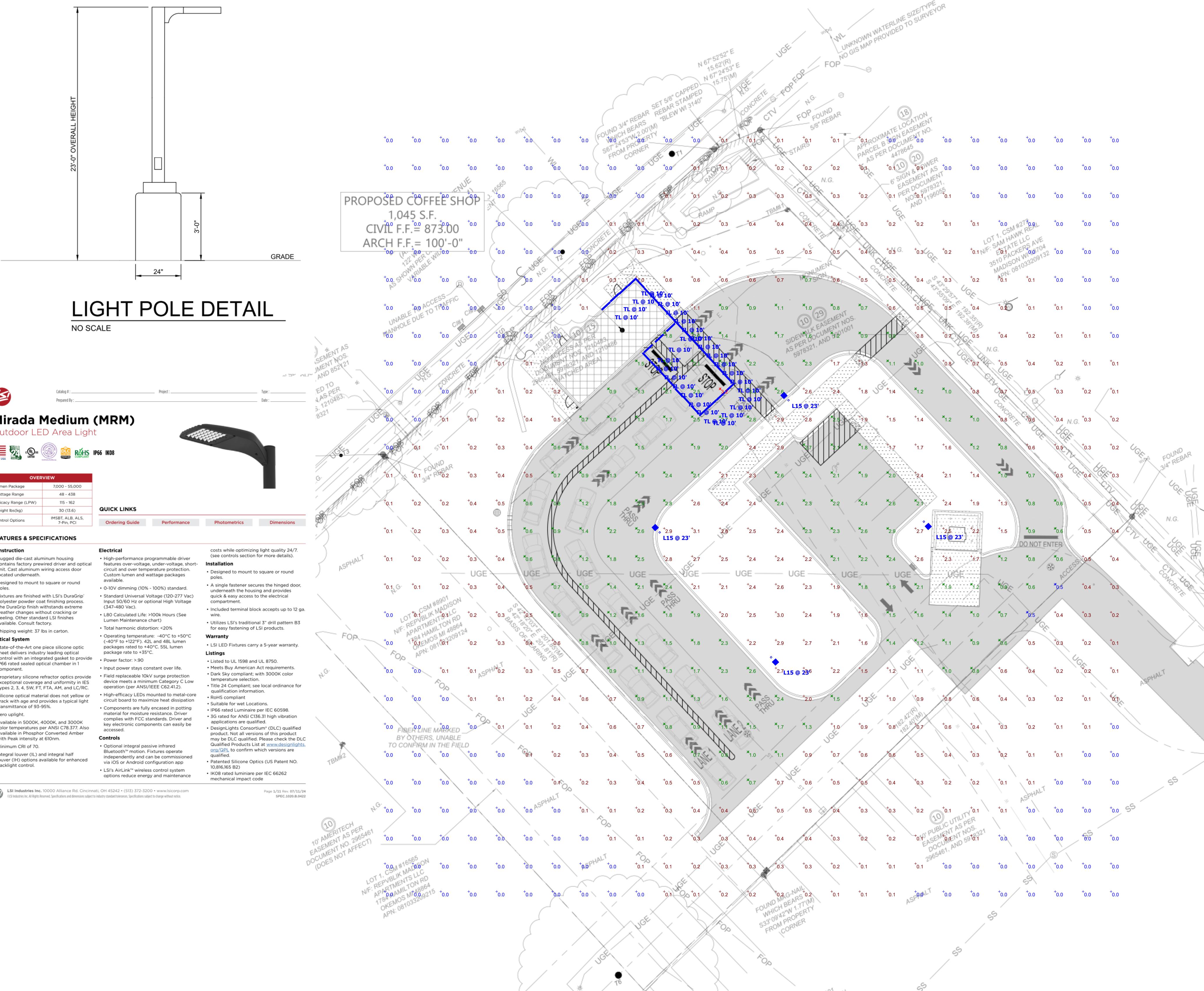
MINARY DATES  
6, 2024  
13, 2024  
12, 2025

**NUMBER**

NUMBER

STREET NUMBER

621



## CIVIL SITE PHOTOMETRIC PLAN & DETAILS

## **C3.1**

**ZONING AREAS COMPARISON**

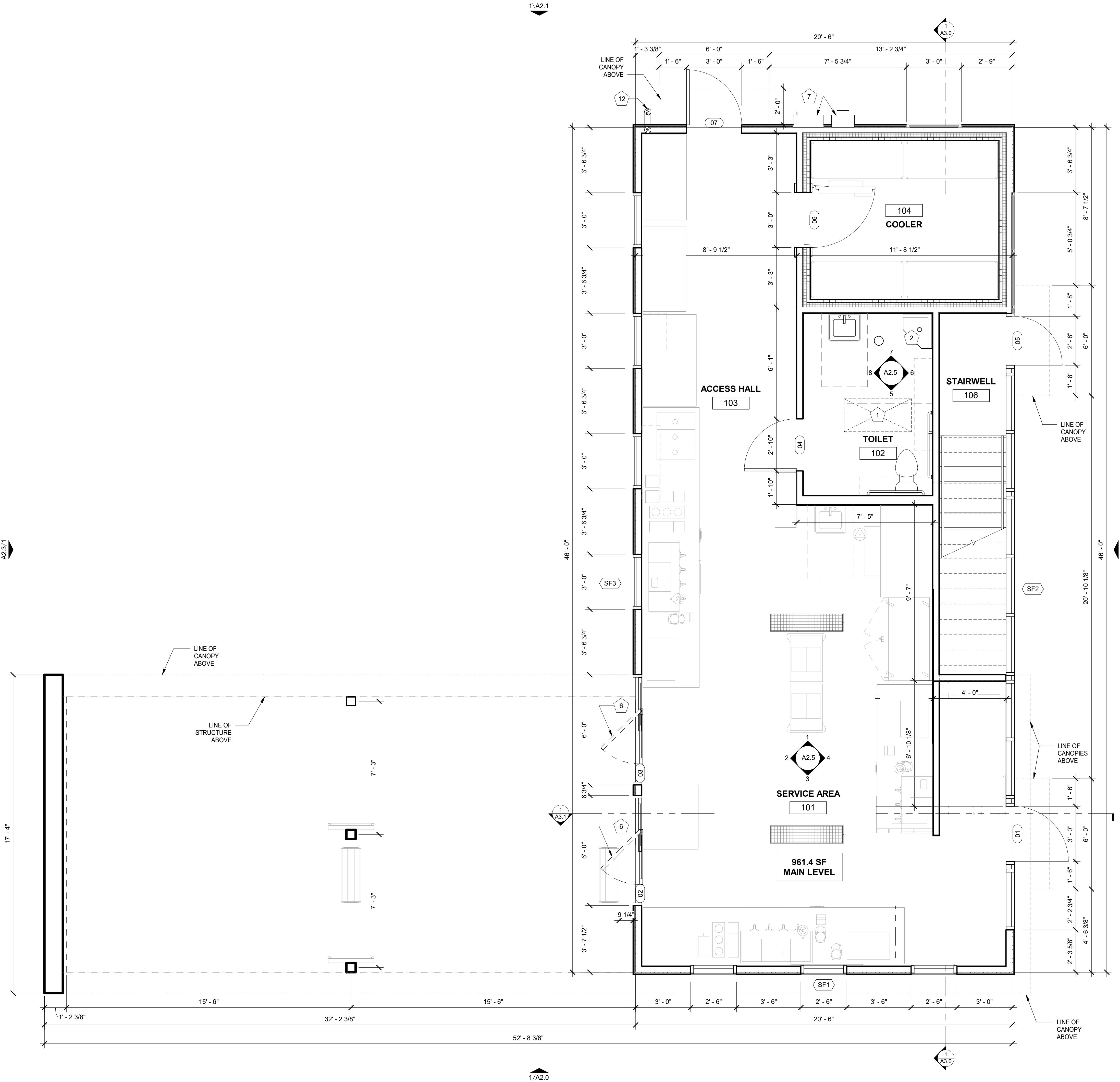
LEVEL 1 1427.6 SF (100.0%)  
 LEVEL 2 1110.9 SF (77.8%)

<b>FLOOR PLAN KEYNOTES</b>	
Note Number	Note Text
1	ACCESS DOOR FOR CRAWLSPACE ACCESS
2	MOP SINK REF PLUMBING
3	STEP, CENTER ON DOOR
4	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
5	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
6	SLIDING DOOR IS ADA AUTO/MANUAL EGRESS CAPABLE
7	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
8	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
9	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
10	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
11	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
12	DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL
13	SCREEN WALLS TO SIMULATE BUILDING EXTERIOR WALLS

**1 MAIN LEVEL PLAN**

3/8" = 1'-0"

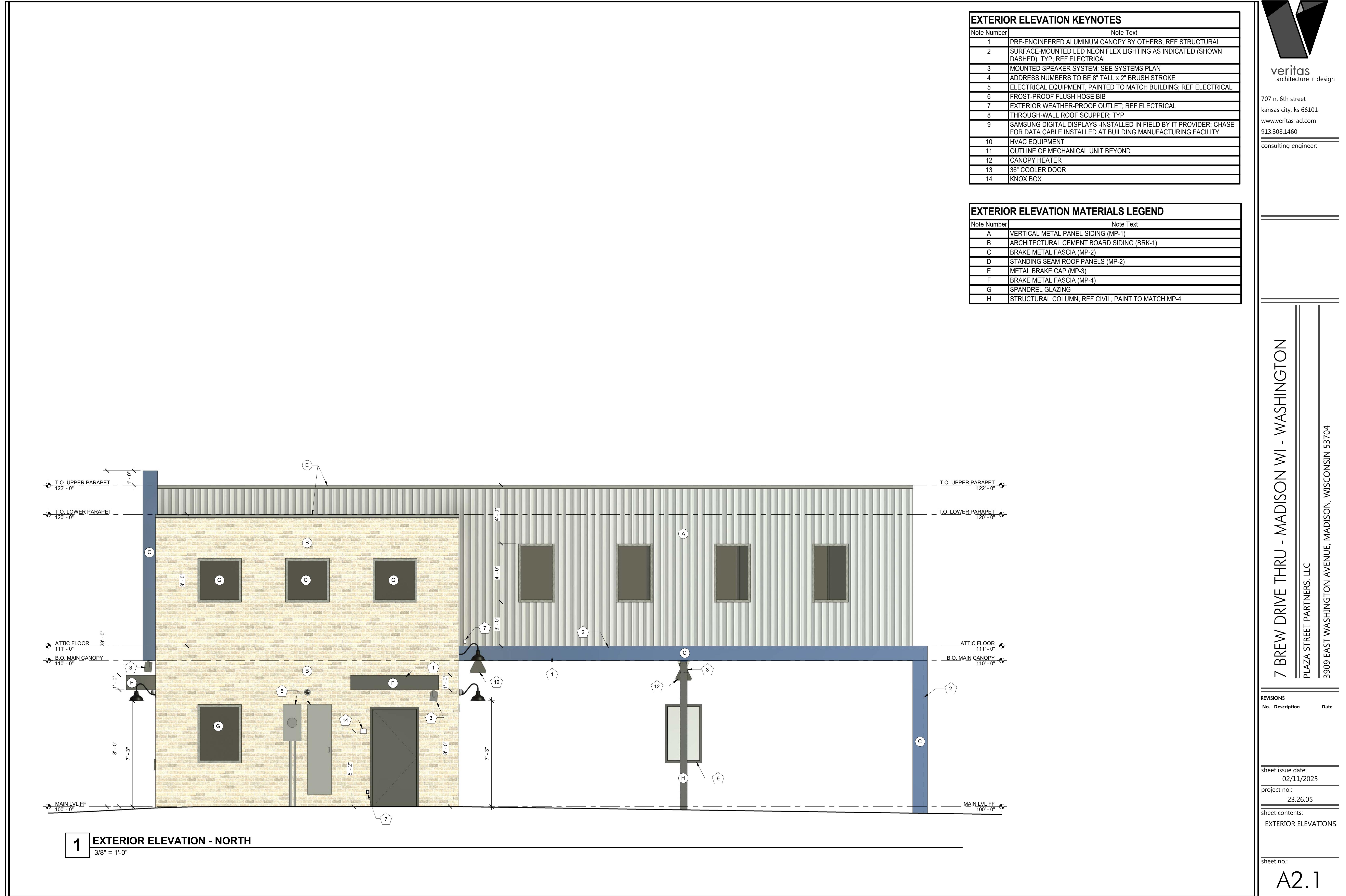
PLAN NORTH













1 EXTERIOR ELEVATION - WEST  
3/8" = 1-0"

#### EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED); TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH-WALL ROOF SCUPPER; TYP
9	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
10	HVAC EQUIPMENT
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	CANOPY HEATER
13	36" COOLER DOOR
14	KNOX BOX

#### EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	VERTICAL METAL PANEL SIDING (MP-1)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
E	METAL BRAKE CAP (MP-3)
F	BRAKE METAL FASCIA (MP-4)
G	SPANDREL GLAZING
H	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4

7 BREW DRIVE THRU - MADISON WI - WASHINGTON

PLAZA STREET PARTNERS, LLC

3909 EAST WASHINGTON AVENUE, MADISON, WISCONSIN 53704

REVISIONS  
No. Description Date

sheet issue date:  
02/11/2025

project no.:  
23.26.05

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:  
A2.2

## 7 BREW DRIVE THRU - MADISON WI - WASHINGTON

PLAZA STREET PARTNERS, LLC

3909 EAST WASHINGTON AVENUE, MADISON, WISCONSIN 53704

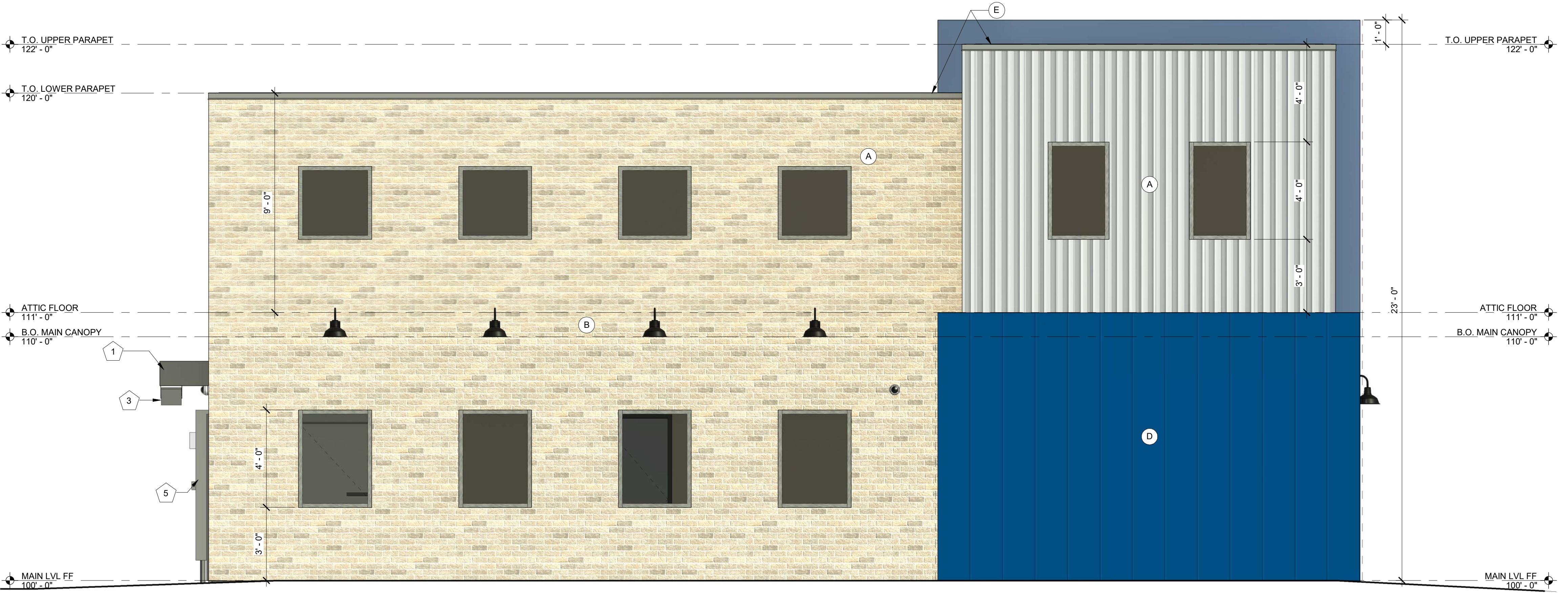
REVISIONS  
 No. Description Date  
  
 sheet issue date: 02/11/2025  
 project no.: 23.26.05  
 sheet contents: EXTERIOR ELEVATIONS  
 sheet no.: A2.3

### EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH-WALL ROOF SCUPPER; TYP
9	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
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### EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
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B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
E	METAL BRAKE CAP (MP-3)
F	BRAKE METAL FASCIA (MP-4)
G	SPANDREL GLAZING
H	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4



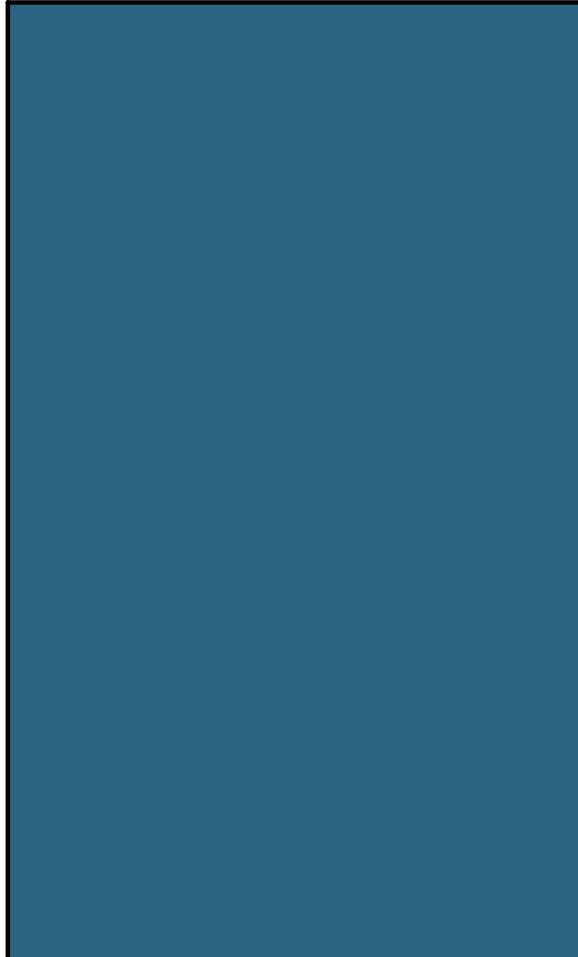
1 EXTERIOR ELEVATION - EAST

3/8" = 1'-0"



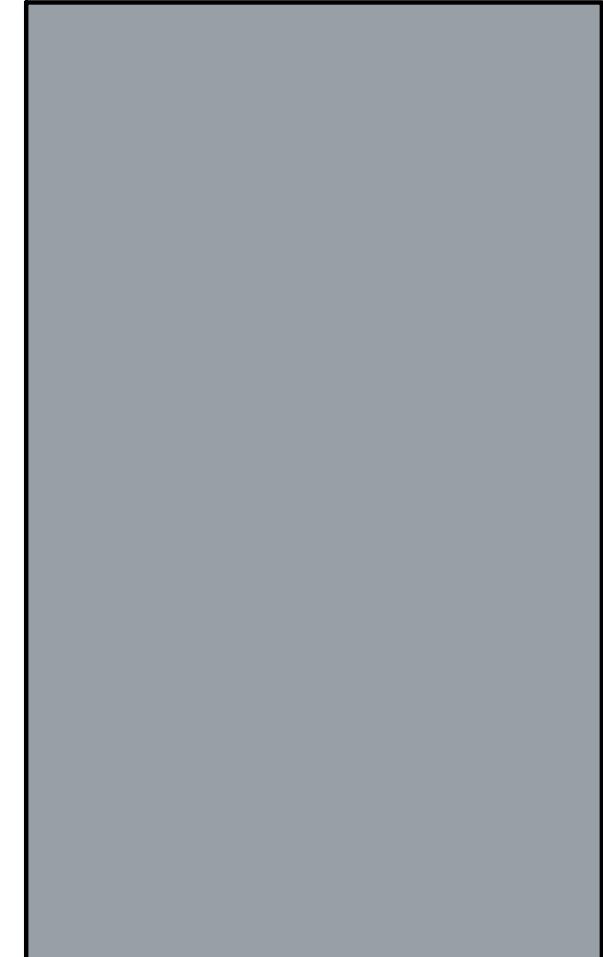
**VERTICAL METAL PANEL MP-1**

BRAND: BERRIDGE  
COLOR: ZINC GREY  
FINISH: BR-12



**BLUE METAL PANEL MP-2**

BRAND: BERRIDGE  
COLOR: ROYAL BLUE  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



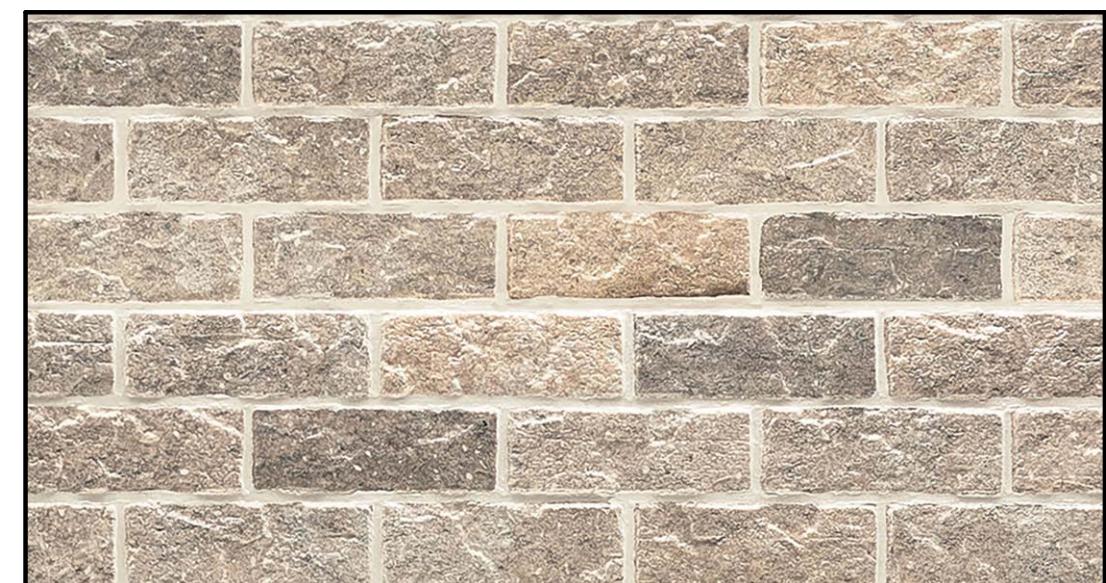
**COPING TRIM METAL MP-3**

BRAND: BERRIDGE  
COLOR: ZINC GREY  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



**BLACK METAL PANEL MP-4**

BRAND: BERRIDGE  
COLOR: MATTE BLACK  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .236



**FIBER CEMENT PANEL SIDING - BRK-2**

BRAND: NICHIA  
COLOR: SHALE BROWN  
FINISH: CANYON BRICK

23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
WASHINGTON  
02/11/2025

MATERIAL COLOR  
BOARD



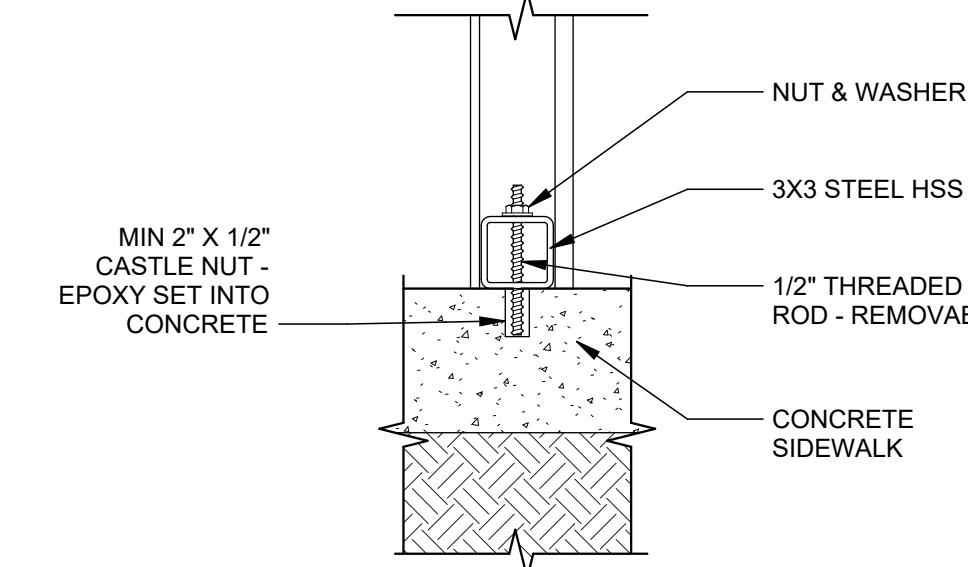
23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
WASHINGTON  
02/11/2025

RENDERS

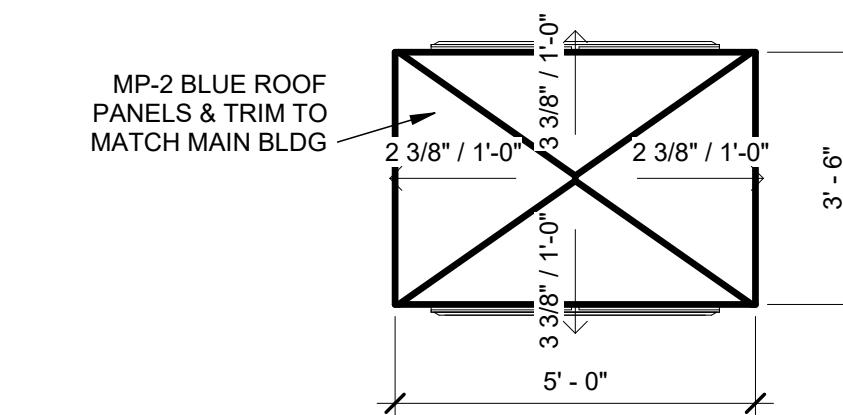


23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
WASHINGTON  
02/11/2025

RENDERS

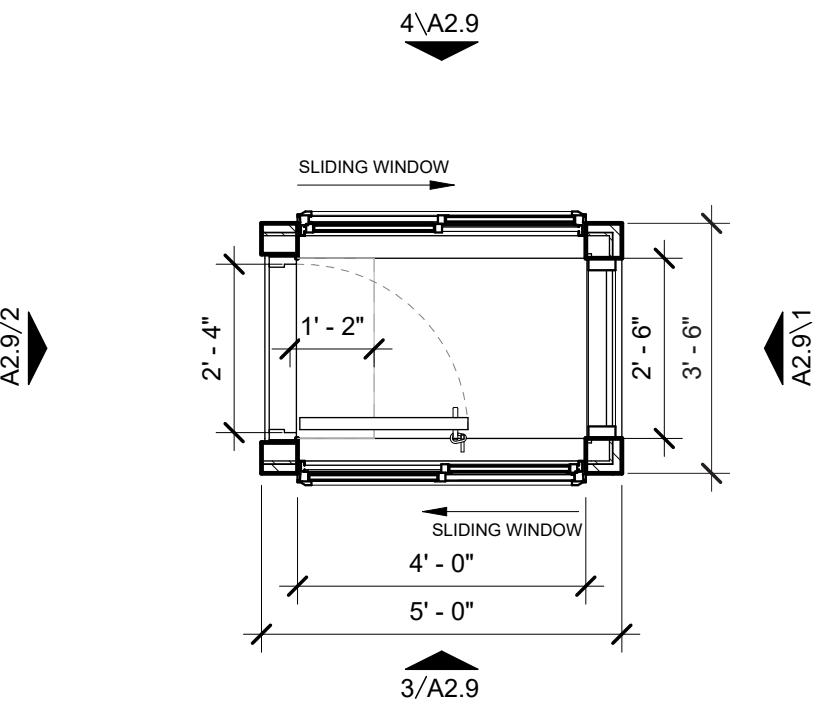


**7 DETAIL @ BASE ATTACHMENT - LANE 1 & 2**  
1 1/2" = 1'-0" TYP OF (4) ATTACHMENTS PER HUT



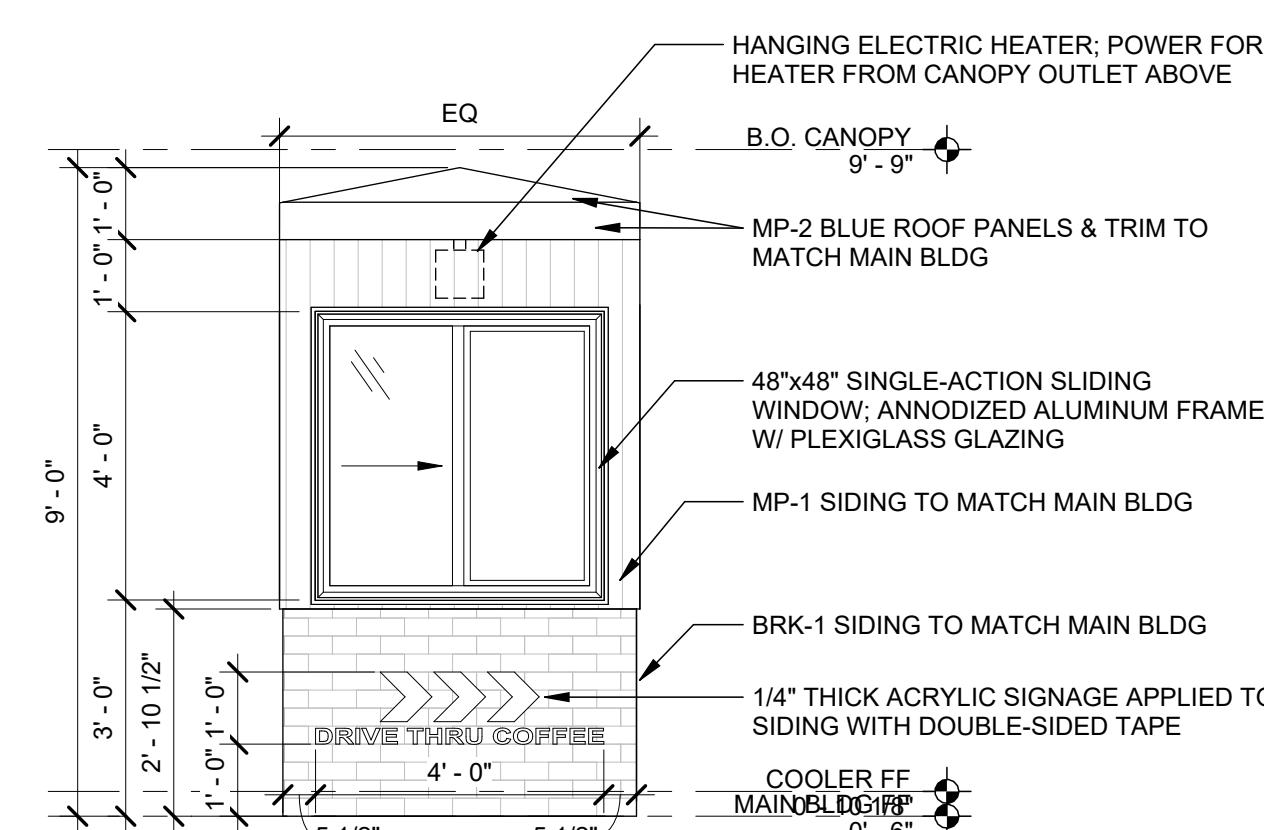
# 6 LANE2 HUT ROOF PLAN

3/8" = 1'-0"



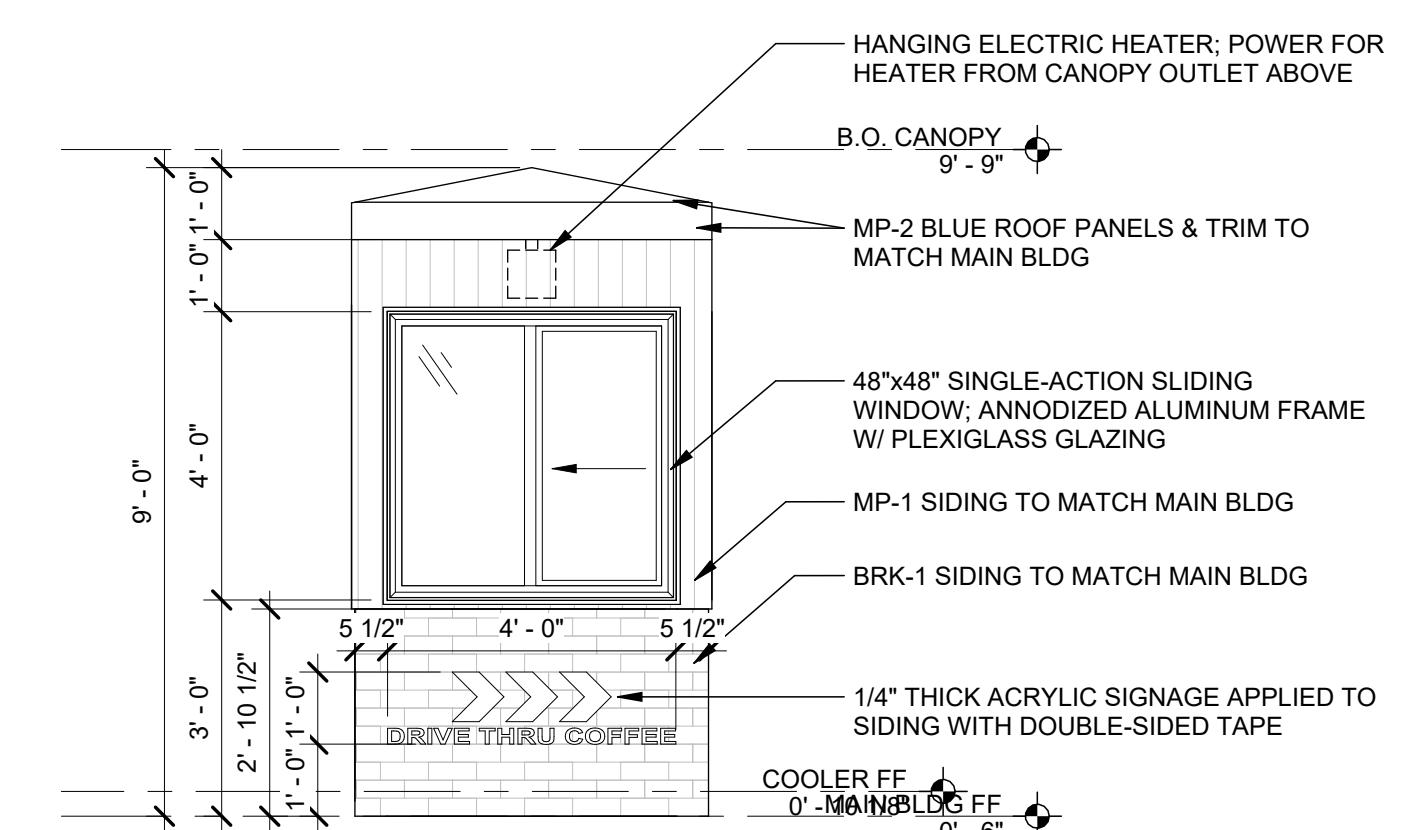
# 5 LANE2 HUT FLOOR PLAN

3/8" = 1'-0"



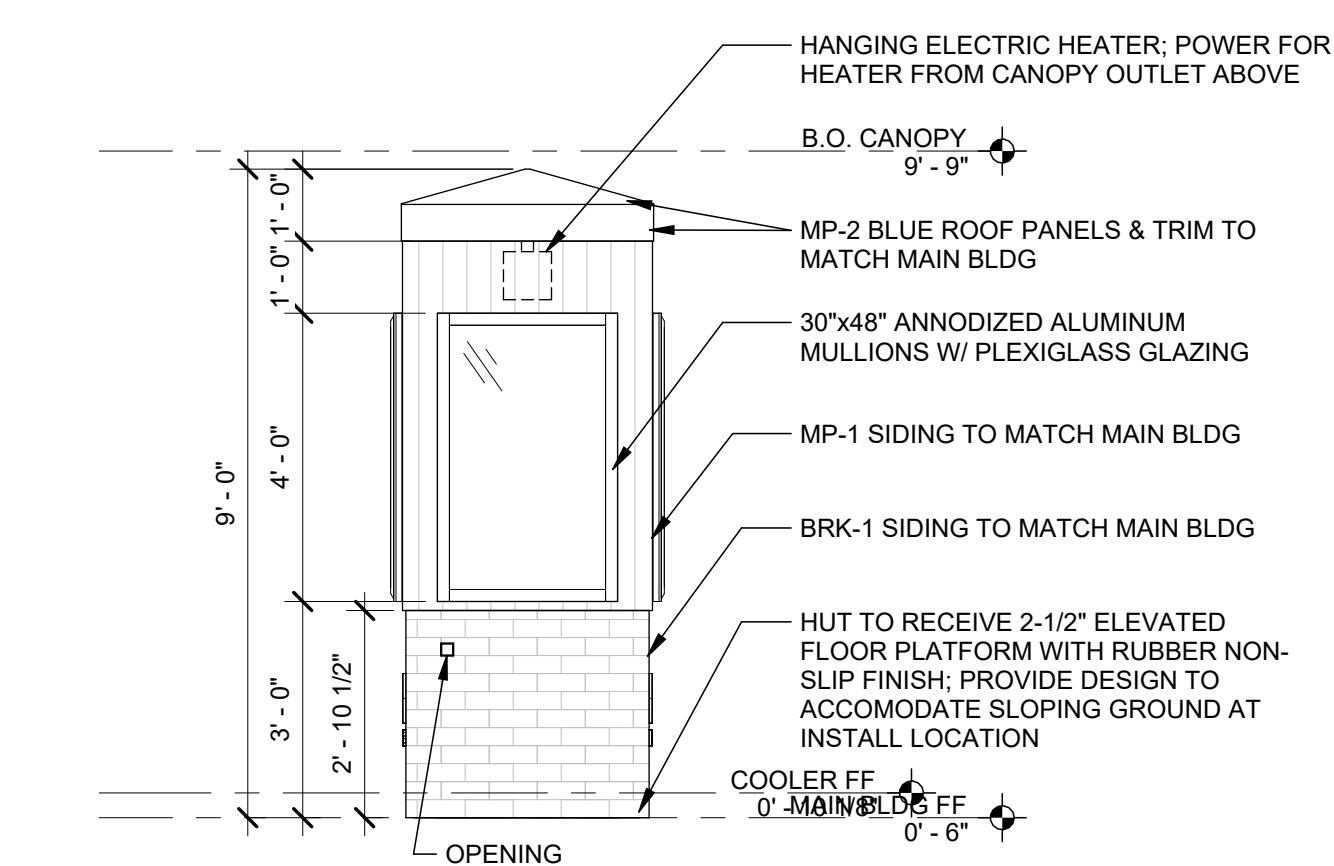
# 4 LANE2 HUT ELEVATION - BACK

3/8" = 1'-0"



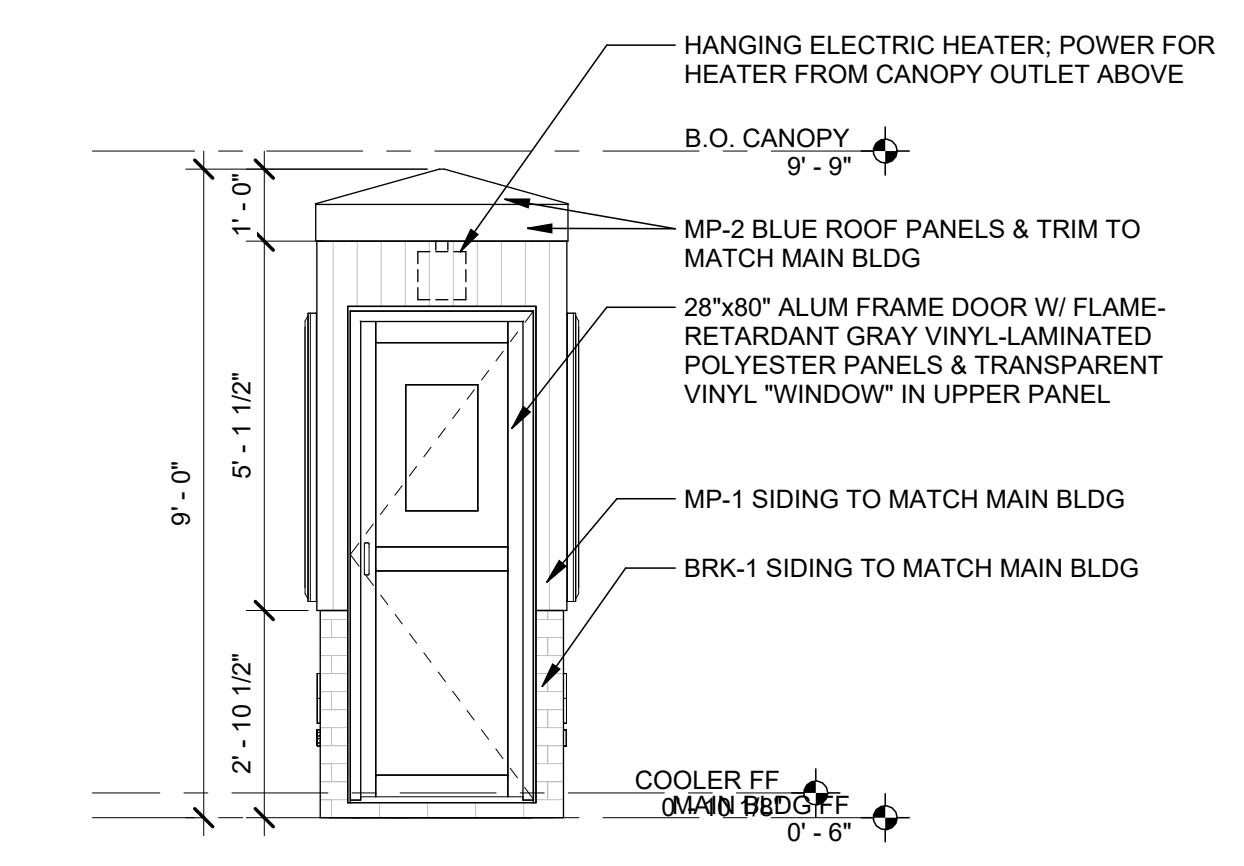
# 3 LANE2 HUT ELEVATION - FRONT

3/8" = 1'-0"



# 1 LANE2 HUT ELEVATION - LEFT

3/8" = 1'-0"



# 2 LANE2 HUT ELEVATION - RIGHT

---

3/8" = 1'-0"



# ULTRA NEON FLEX

Project: \_\_\_\_\_ Type: \_\_\_\_\_

Name: \_\_\_\_\_ Date: \_\_\_\_\_



	White	Red	Green	Blue	Amber	Pink
<b>Top Bend</b>	255lm/ft.	28lm/ft.	175lm/ft.	20lm/ft.	118lm/ft.	98lm/ft.
<b>Side Bend</b>	120lm/ft.	14lm/ft.	83lm/ft.	10lm/ft.	57lm/ft.	47lm/ft.

<b>Size</b>	Top Bend: 164' x 0.8" x 0.6" Side Bend: 164' x 0.4" x 0.8"	<b>CCT</b>	White/Red/Green/Blue/ Amber/Pink
<b>Watts</b>	White: 4.2W/ft. Red/Green/Blue/Amber/Pink: 3W/ft.	<b>IP Rating</b>	IP65
<b>Voltage</b>	AC110-120V	<b>Materials</b>	Silicone, Copper
<b>Dimming</b>	TRIAC	<b>LED Qty</b>	Top Bend (TB): 42LED/ft. Side Bend (SB): 40LED/ft.
<b>Beam Angle</b>	120°	<b>Cutting Length</b>	900TB: 2in 901SB: 1ft
<b>CRI</b>	White: Ra>80	<b>Lifespan</b>	50,000 Hours
<b>PF</b>	>0.9		

SARIN's Ultra Neon Flex (UNF) is a cutting-edge LED solution designed for both functionality and safety. Its patented driverless design features an on-board constant current driver, allowing for a direct AC power supply without the need for an external driver. The UNF is TRIAC dimmable, offering seamless compatibility with standard dimming systems to create the perfect ambiance. Built to withstand the elements, the UNF boasts an IP65 rating for superior resistance to dust and water, making it ideal for indoor and outdoor use.

## OVERVIEW

**Applications:** Indoor/Outdoor IP65

**Efficacy:** 70-90lm/W

**Dimming:** TRIAC

**LED Type:** SMD2835

**Operating Temp:** -4° to 113° F

**Lifespan:** 50,000 hours

**Warranty:** 5 years (Indoors)

3 years (Outdoors)

## FEATURES

- Uniform, dot-free and smooth neon light up to 164ft (50m) of run length.
- Driverless design with on-board constant current IC driver and rectifier.
- Direct AC power supply with external driver.
- Thick silicone jacket insures electrical safety by ETL and RoHS standards.
- Environmentally-friendly silicone, bend flexibility, impact resistant and inclement weather resistant
- Advanced silicone extrusion technology





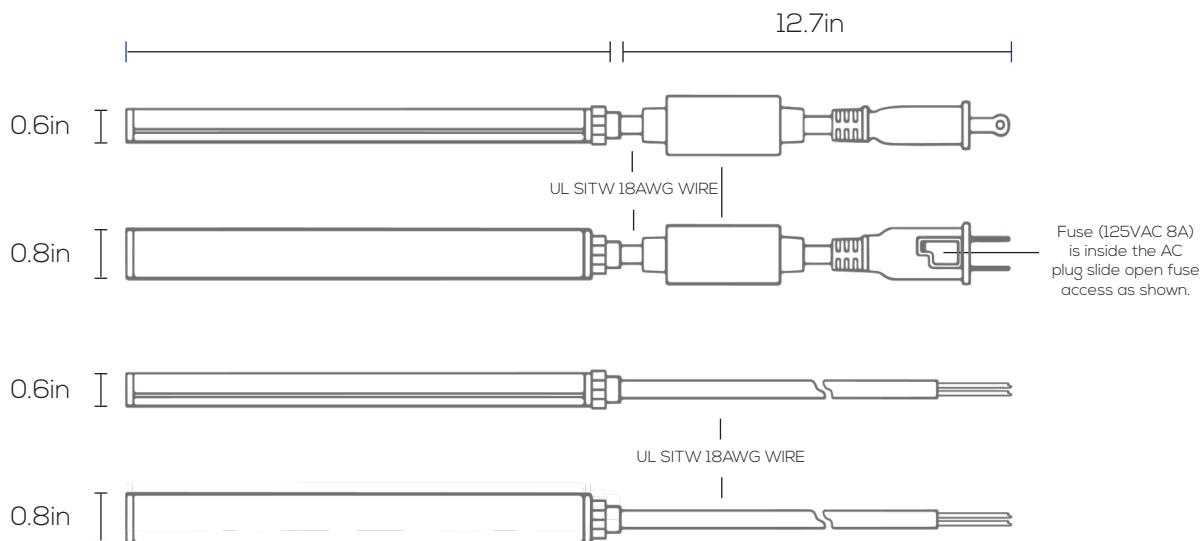
# ULTRA NEON FLEX

Project: \_\_\_\_\_ Type: \_\_\_\_\_

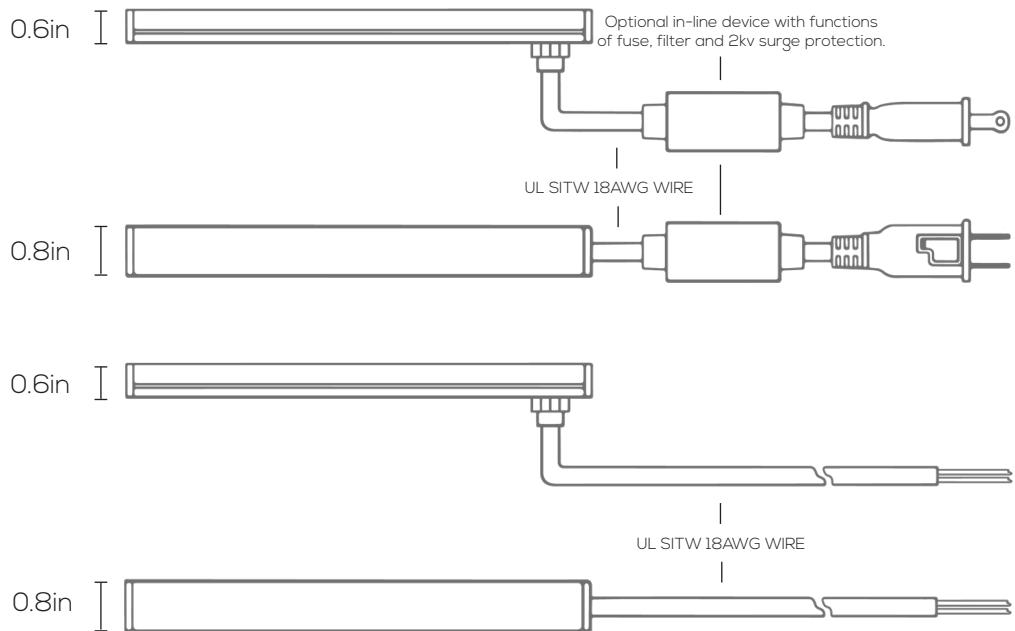
Name: \_\_\_\_\_ Date: \_\_\_\_\_

## DIMENSIONS: SES-UNF-900TB (Top Bend)

### Power cable fed on tail end



### Power cable fed on bottom end





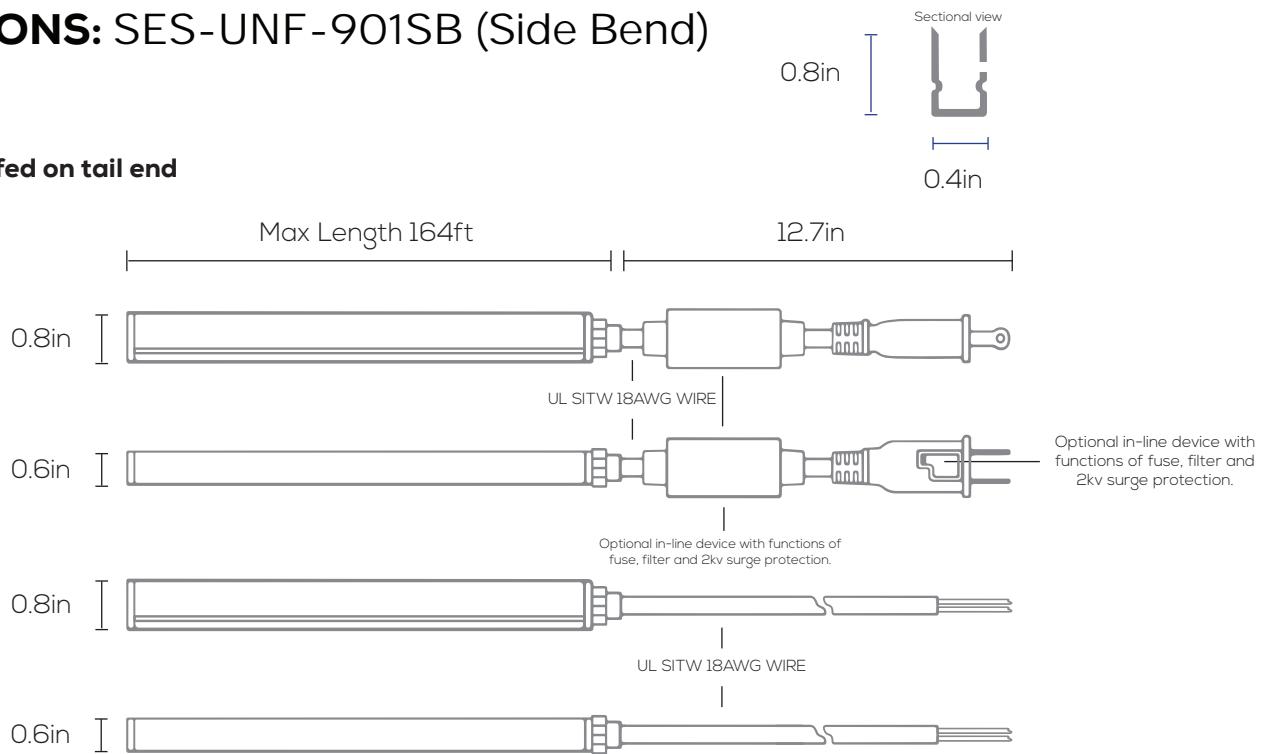
# ULTRA NEON FLEX

Project: \_\_\_\_\_ Type: \_\_\_\_\_

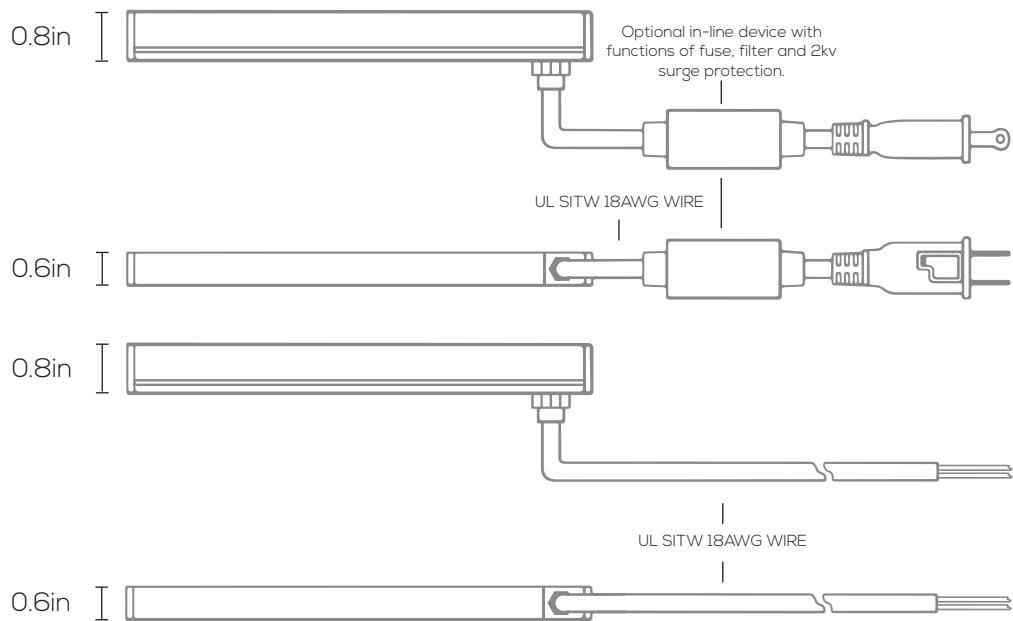
Name: \_\_\_\_\_ Date: \_\_\_\_\_

## DIMENSIONS: SES-UNF-901SB (Side Bend)

### Power cable fed on tail end



### Power cable fed on bottom end





# ULTRA NEON FLEX

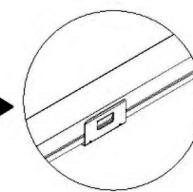
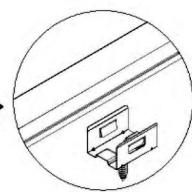
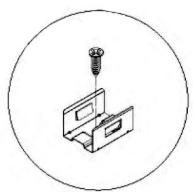
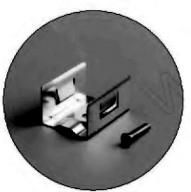
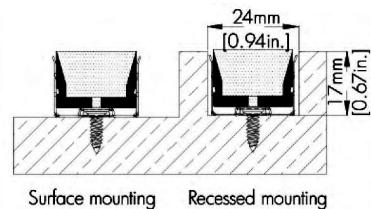
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Name: \_\_\_\_\_ Date: \_\_\_\_\_

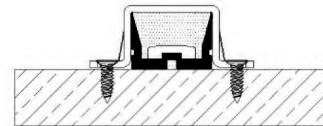
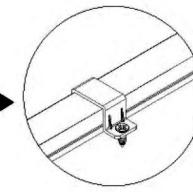
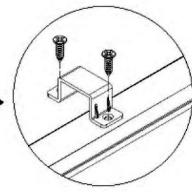
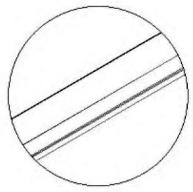
## INSTALLATION: SES-UNF-900XD

- Open fuse cover, slide open fuse access cover on top of attachment plug towards blades.
- Remove Fuse carefully, push the fuse from the other side, take it out and replace for a new one with 8 Amps/ 125V only.
- Close fuse cover, slide back in the access fuse cover on top of attachment plug towards cable.

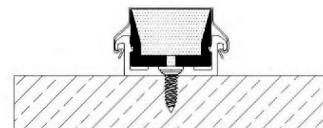
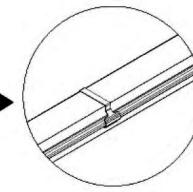
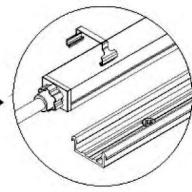
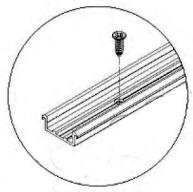
Groove Size is shown below



Option 1: Fixed by bracket + screw



Surface mounting



Surface mounting

Option 3: Fixed by aluminum channel + clip (outdoor exclusive)

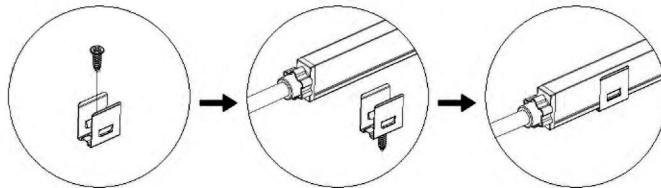


# ULTRA NEON FLEX

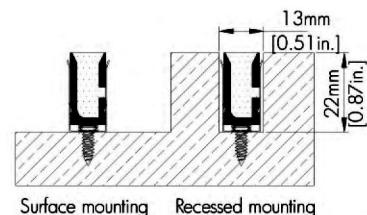
Project: \_\_\_\_\_ Type: \_\_\_\_\_

Name: \_\_\_\_\_ Date: \_\_\_\_\_

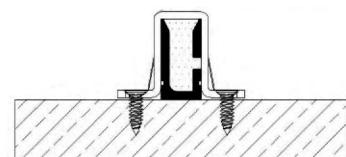
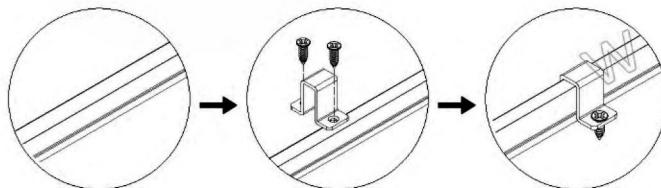
## INSTALLATION: SES-UNF-901XD



Groove Size is shown below

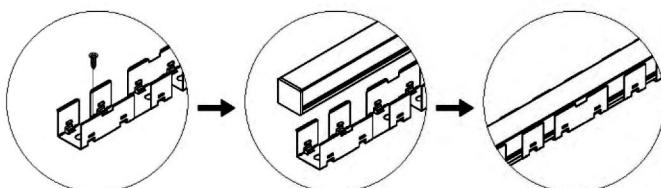


Option 1: Fixed by bracket + screw

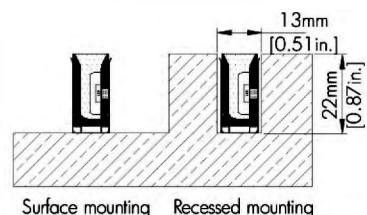


Surface mounting

Option 2: Fixed by clip + screw

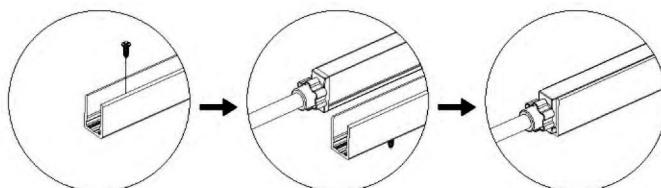


Groove Size is shown below

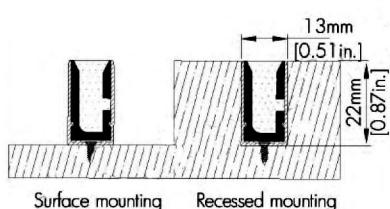


Surface mounting Recessed mounting

Option 3: Fixed by bendable bracket.



Groove Size is shown below



Surface mounting Recessed mounting

Option 4: Fixed by aluminum channel + screw

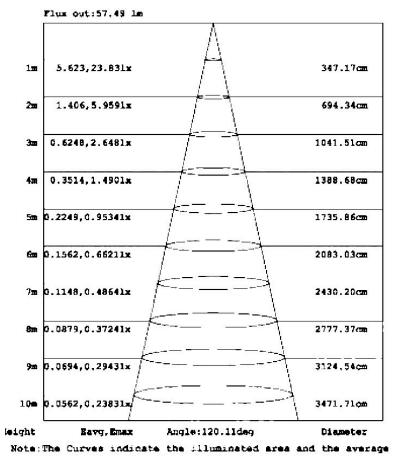
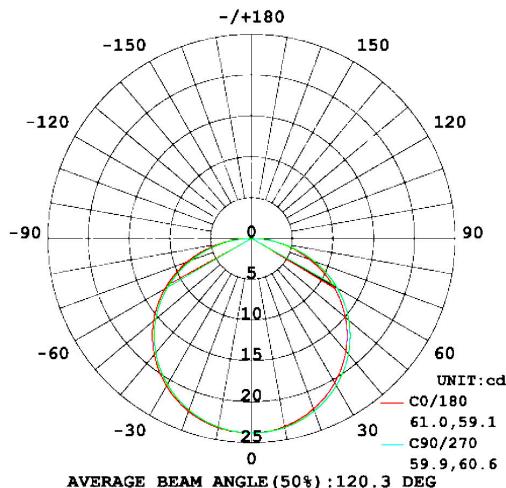


# ULTRA NEON FLEX

Project: \_\_\_\_\_ Type: \_\_\_\_\_

Name: \_\_\_\_\_ Date: \_\_\_\_\_

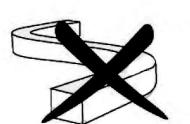
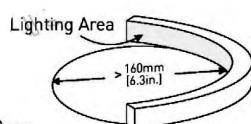
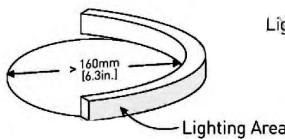
## PHOTOMETRICS:



## NOTICE:

1. Do not install the luminaire when connected to power source. Make sure the wiring is correctly plugged in before use.
2. IP65 version is rated for indoor and outdoor applications.
3. Do not install it where there is excessive heat (ex. close proximity to fireplace, etc.)
4. Avoid scrape, twist and/or irregular-bend during installation, it might cause a non repairable issue.
5. To protect your eyes, do not store the luminary for a long time while it's illuminated
6. Minimum bending diameter is 6.3in for Top Bend 900TB and 4.72in for Side Bend 901SB, (Too small bending diameter will break the luminary).
7. Minimum twist angle, is 360° per 39.4in.
8. Luminary linked in over long length will lead to overload problems.
9. Only certified electricians can install, dismantle and repair.
10. Bend and twist diagram is shown as below.

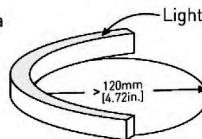
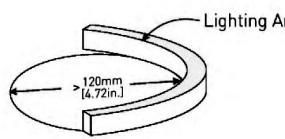
### UNF-900TB



Max. twist angle is 360° per meter.

Can't be side-bend

### UNF-901SB



Max. twist angle is 360° per meter.

Can't be top-bend



# ULTRA NEON FLEX

Project: \_\_\_\_\_ Type: \_\_\_\_\_

Name: \_\_\_\_\_ Date: \_\_\_\_\_

## ORDER FORM:

(\*) Special Order/Not Commonly Stocked

## Custom Model Assembly

---

**SES-UNF-900XD**  
Example Model Number

---

Fixture	CCT	Watts	Beam Angle	Voltage
<input checked="" type="checkbox"/> UNF	<input type="checkbox"/> White	<input type="checkbox"/> 4.2W/ft.	<input checked="" type="checkbox"/> 120°	<input checked="" type="checkbox"/> AC110-120V
	<input type="checkbox"/> Red	<input type="checkbox"/> 3W/ft.		
	<input type="checkbox"/> Green*			
	<input type="checkbox"/> Blue			
	<input type="checkbox"/> Amber			
	<input type="checkbox"/> Pink*			
	<input type="checkbox"/> 3000K			
	<input type="checkbox"/> 6000K			

**SES** = **UNE** = **—** = **—** = **—** = **110-120**

**Quantity**      **Fixture**      **CCT**      **Watts**      **Beam Angle**      **Voltage**

## Common Stock Models:

## Optional Accessories:

Item #	Model #	Item #	Model #
30745	SES-UNF-900XD	40745-D	UNF Plug Wire
30746	SES-UNF-901XD	40745-M	UNF End Cap
30747	SES-UNF-900XD-BLUE	40745-N	UNF Clip
30748	SES-UNF-900XD-6000K	40745-O	UNF Channel
30749	SES-UNF-900XD-AMBER	40745-P	UNF Bracket
30750	SES-UNF-900XD-RED		
30751	SES-UNF-900XD-3000		



Catalog Number
Notes
Type

Contractor Select™

# 6RLD

## 6" LED Retrofit Trim Modules

With Juno® RLD Series™ LED Retrofit 6RLD 6-inch trim modules, upgrading your existing 6-inch recessed fixture is inexpensive and nearly as simple as replacing an incandescent lamp. The 6RLD LED retrofit outputs up to 700 or 1000 lumens of high-quality light, providing energy savings of as much as 85%. Modules feature a white aluminum baffle with a built-in flange. A deeply regressed diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance. Trims are ENERGY STAR® certified and can be used to comply with Title 24, JA8 high efficacy light source requirements. Wet location listed (Indoor covered ceilings only) and include a 5-year limited warranty.

### FEATURES:

- Rated for use in IC or non-IC housings, including IC23 LEDT24 and IC23R LEDT24
- 2700K or 3000K color temperatures, 90+ CRI
- Dimmable to 5% with many incandescent, magnetic low voltage or electronic low voltage box dimmers



Catalog Number	UPC	Description	Replaces Up To	Lumens	Input Watts	CCT	CRI	Voltage	Finish	Dimming Protocol	Pallet qty.
6RLD G4 07LM 27K 90CRI 120 FRPC WWH M6	194994892953	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 07LM 30K 90CRI 120 FRPC WWH M6	194994892991	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	3000K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 27K 90CRI 120 FRPC WWH M6	194994893011	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 30K 90CRI 120 FRPC WWH M6	194994893035	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	3000K	90	120V	White	Forward & Reverse Phase Cut	264



## Specifications

### LED RETROFIT DOWNLIGHT TRIM:

Cast aluminum trim with white baffle and flange • All-in-one design where LED light engine mounts directly to trim for ease of installation into existing 6" recessed housings with medium base sockets • Provided with torsion springs.

### LED LIGHT ENGINE:

LEDs are mounted directly to cast aluminum housing providing superior thermal management to ensure long life • 2700K and 3000K LED color temperature • 90 CRI minimum • Accommodates 120 volts AC at 60Hz • Dimmable with most standard incandescent, magnetic low voltage and electronic low voltage dimmers • For a list of compatible dimmers, see [JUNORETROBASICS-DIM](#).

### ELECTRICAL CONNECTIONS:

Trim features quick connect plug installed as standard for installation into IC23 LEDT24 and IC23R LEDT24 housings with mating connector • Trim ships with a medium base socket adapter whip for installation into 6" incandescent housings with medium base sockets.

### TRIM:

Cast aluminum baffle trim with white finish • Diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance.

### LIFE:

Rated for 50,000 hours at 70% lumen maintenance.

### LABELS:

ENERGY STAR® Certified • Can be used to comply with 2019 Title 24, Part 6, JA8 high efficacy LED light source requirements • UL and cUL classified for use with most standard UL listed 6" recessed incandescent housings and Juno IC23 LEDT24 and IC23R LEDT24; see below for specific compatibility requirements • Damp location • Suitable for wet locations (indoor covered ceilings).

### TESTING:

All reports are based on published industry procedures; field performance may differ from laboratory performance.

### COMPATIBLE HOUSINGS:

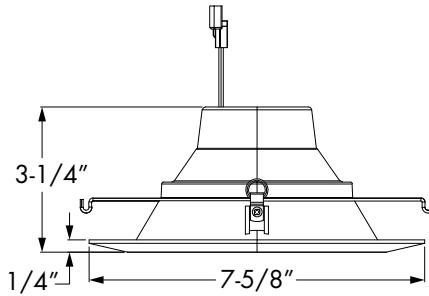
The 6RLD retrofit module is compatible with most 6" recessed housings measuring at least 4" high with an inside diameter between 5-3/4" and 7". Removal of the housing socket plate or socket mounting bracket may be required in order for the trim to fit properly.

### WARRANTY:

5-year limited warranty. Complete warranty terms located at:  
[www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application.  
All values are design or typical values, measured under laboratory conditions at 25 °C.  
Specifications subject to change without notice.

## Dimensions



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# WLPO2A



LED ADJUSTABLE CUTOFF WALLPACK has a die-cast aluminum housing with excellent heat dissipation, anti-glare PC lens with even light distribution, and anti-leakage silicone gaskets. It is equipped with a removable hinge door for quick and easy installation and wiring. With 6kV surge protection, it is designed to operate on 120-277V circuits with a 0-10V dimmable driver. 0-90° adjustable head and cut-off design for controllable illumination.

COLOR SELECTABLE. You can choose either a 3000K warm white, 4000K cool white or 5000K daylight color temperature.

INSTALLATION. The fixture can be mounted to a junction box or directly to a wall. Perfect commercial or industrial solution for outdoor building facades, patios, porches, driveways, walkways, decks, parking garages, and many other applications. It is also Wet Locations rated.



Available  
Power  
12-50W



Color  
temperature  
3CCT

AVAILABLE  
FINISHES:

Black

Die-cast aluminum housing with excellent heat dissipation

Surge protection against voltage and current surges

Adjustable cutoff design 0-90°

3 color temperature options



Photocell

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## Products

## Accessories





CATALOG  
PDF

**PRODUCTS**

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ASD

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PARTNERS

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in

ASD-WLP02A-30DAC-PC-BK

ASD-WLP02A-50DAC-PC-BK

ASD-WLP02A-12DAC-PC-BK

Finish	Black
Voltage	120-277
Power	30
Luminous Flux	3750 / 4058 / 3772
Dimming	Y
Color Temperature	3000 / 4000 / 5000

Finish	Black
Voltage	120-277
Power	50
Luminous Flux	6250 / 7047 / 6644
Dimming	Y
Color Temperature	3000 / 4000 / 5000

Finish	Black
Voltage	120-277
Power	12
Luminous Flux	1500 / 1686 / 1574
Dimming	Y
Color Temperature	3000 / 4000 / 5000

#### Address

ASD Lighting Corp  
1780 Hughes Landing BLVD, Suite  
350  
The Woodlands, TX 77380

Monday – Friday

TX office 8AM – 5PM CST,  
MA office 8AM – 5PM EST

#### Contacts

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