

Mr. Bill Fruhling
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701-2985

Re: Letter of Intent
PUD-SIP Submittal
6801 Littlemore Drive
Lot 254 Reston Heights
Madison, WI

Dear Mr. Fruhling,

The following is submitted together with the plans, application and zoning text for staff, plan commission and common council consideration of approval.

Organizational structure:

Owner:	Dan Schmidt FMI Development, LLC 110 S. Brooks Street Madison, WI 53715 608-441-6100 608-225-3387 fax dans@rentfmi.com	Landscape Design:	Snyder & Associates, Inc. 5010 Voges Road. Madison, WI 53718 (608) 838-0444 (608) 838-0445 fax
Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 608-836-6934 fax rbruce@knothebruce.com	Engineer:	Mike Calkins Snyder & Associates, Inc. 5010 Voges Road. Madison, WI 53718 (608) 838-0444 (608) 838-0445 fax mcalkins@snyder-associates.com

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
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www.knothebruce.com

Introduction:

The Reston Heights development is located on the east side of Madison within the Sprecher Neighborhood Development Plan. The neighborhood is southeast of the intersection of Milwaukee Street and Sprecher Road and south of I-94. To the north of Lot 264 are one and two-family residences, a neighborhood park and mixed-use neighborhood retail district. West of Lot 264 is a single-family residence district. South of Lot 264 are a greenway and public trail, a multi-family residence district and a single-family residence district. To the east are a multi-family residence district and a regional city and county park.

The General Development Plan for Reston Heights proposed a mixed-use development concept that integrated retail, residential, religious facilities, and open green space. The purpose of the Reston Heights GDP was to create a living environment within a neighborhood setting that offered a variety of housing types and uses to facilitate a variety of living preferences.

The Plat and General Development Plan for Reston Heights was approved and recorded in October 1999 and much of Reston Heights has since been constructed. This submittal requests a rezoning to PUD-SIP for Lot 264, one of the last remaining multi-family lots in the development.

Lot 254 contains a low-quality wetland. The owner worked with the WDNR to re-establish the wetland boundaries in June, 2012 and the WDNR has determined that a minimum of a 15 foot setback shall apply.

Lot 254 PUD-SIP Site Development Data :

Densities:

Lot Area	189,775 square feet or 4.36 acres
Dwelling Units	61 units
Lot Area per Dwelling Unit	3,111 sf/du
Density	14.0 du/ac

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6801 Littlemore Drive
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Dwelling Unit Mix:

Efficiency	9
One Bedroom	20
One Bedroom + Den	4
Two Bedroom	25
<u>Three Bedroom</u>	<u>3</u>
Total	61

Building Height: 2 and 3 Stories

Site Coverage:

Building Coverage	28,777.9 sf	(16%)
Pavement Coverage	23,013.2 sf	(12%)
Usable Open Space	23,438.8 sf	(12%)
Additional Open Space	<u>114,545.1 sf</u>	<u>(60%)</u>
Total Lot Area	189,775 sf	(100%)

Floor Areas:

33-unit building	53,702 sf
<u>28-unit building</u>	<u>26,860 sf</u>
Gross Floor Area	80,562 sf
Floor Area Ratio	0.42

Vehicular Parking Ratio:

Underground Garage	72 stalls (incl. 2 accessible)
<u>Surface Parking</u>	<u>34 stalls (incl. 1 accessible)</u>
Total Parking	106 stalls (incl. 3 accessible)

Parking Ratio 1.74 stalls/du

Bicycle Parking Ratio:

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Underground Garage	37 stalls
<u>Surface Parking</u>	<u>22 stalls</u>
Total Parking	59 stalls (50 + .5(11) = 56 required)

Site and Building Architecture:

This project consists of one 28-unit building and one 33-unit building for a total of 61 units. The buildings are two and three stories with lower level parking. The unit mix offers a variety of choices from studios to three bedroom apartments.

The development is meant to apply neighborhood design practices that promote a pedestrian friendly environment for future residents. The proposed structures are located along the public right of way featuring private entries and porches to facilitate use of outdoor space and generate social activity. The reduced front yard setbacks, design standards and guidelines created for this district will help provide human scale along the street façade and enhance the pedestrian oriented environment.

The majority of the parking for the residences is accommodated in the underground parking. The remaining visitor parking is located in the surface parking areas that are screened from the public view. Pedestrian and bicycle usage is encouraged in the development by providing convenient bicycle parking and multiple pedestrian connections to the public sidewalks on Littlemore Drive and East Hill Parkway.

Low-maintenance materials will be used on the exteriors including brick and horizontal vinyl siding. The intent is to provide an architectural aesthetic that will be compatible with the existing portions of Reston Heights and to provide a residential environment that is focused on the streetscapes.

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6801 Littlemore Drive
January 2, 2013
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**KNOTHE
& BRUCE**
architects

Project Schedule & Management:

It is anticipated that Lot 254 will be constructed over a one year period beginning in the spring of 2013 or as soon as all necessary approvals and permits are obtained.

Social & Economic Impacts:

This development will have a positive social and economic impact. It helps complete a well-designed neighborhood plan and provides alternative housing choices within a mixed-use neighborhood. Construction of the facilities will provide economic employment for local businesses and trades people.

Thank you for your time in reviewing our proposal.

Very truly yours,



J. Randy Bruce, AIA
Managing Member

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Zoning Text

PUD-GDP-SIP

Lot 254 Reston Heights

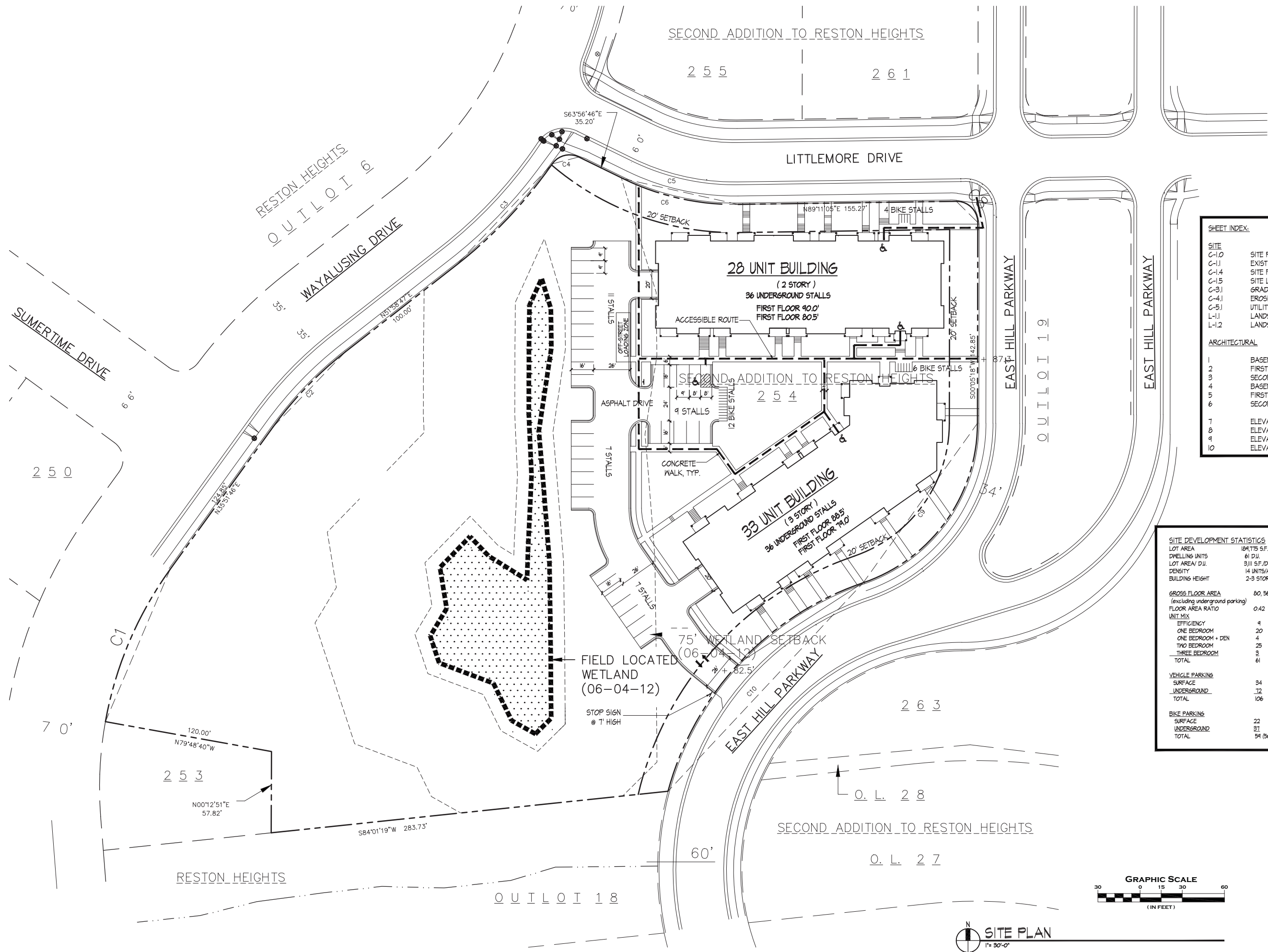
January 2, 2013

Legal Description: LOT 254, SECOND ADDITION TO RESTON HEIGHTS, AS RECORDED IN VOL. 58 – 066B OF PLATS, ON PGS. 346-350, AS Doc. No. 4003594, DANE COUNTY REGISTRY AND LOCATED IN THE SW ¼ OF SECTION 1, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a 61 unit multifamily development.
- B. **Permitted Uses:** Following are permitted uses:
 - 1. Multifamily residential buildings.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including recreational facilities and parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R- 5 zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R-5 district or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved SIP. Signage shall be approved by the Urban Design Commission and zoning.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

Consultant

Notes



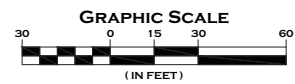
SHEET INDEX:

SITE	
C-1.0	SITE PLAN
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C-1.4	SITE FIRE ACCESS PLAN
C-1.5	SITE LIGHTING PLAN
C-3.1	GRADING PLAN
C-4.1	EROSION CONTROL PLAN
C-5.1	UTILITY PLAN
L-1.1	LANDSCAPE PLAN
L-1.2	LANDSCAPE DETAILS
ARCHITECTURAL	
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2	FIRST FLOOR PLAN - 28 UNIT
3	SECOND FLOOR PLAN - 28 UNIT
4	BASEMENT PLAN - 33 UNIT
5	FIRST FLOOR PLAN - 33 UNIT
6	SECOND AND THIRD FLOOR PLAN - 33 UNIT
7	ELEVATIONS - 28 UNIT
8	ELEVATIONS - 28 UNIT
9	ELEVATIONS - 33 UNIT
10	ELEVATIONS - 33 UNIT

SITE DEVELOPMENT STATISTICS

LOT AREA	184,775 SF / 4.256 ACRES
DWELLING UNITS	61 DU
LOT AREA/DU	3,111 SF/DU
DENSITY	14 UNITS/ACRE
BUILDING HEIGHT	2-3 STORIES
GROSS FLOOR AREA (excluding underground parking)	80,562 SF.
FLOOR AREA RATIO	0.42
UNIT MIX	
EFFICIENCY	4
ONE BEDROOM	20
ONE BEDROOM + DEN	4
TWO BEDROOM	25
THREE BEDROOM	3
TOTAL	61
VEHICLE PARKING	
SURFACE	34 (INCL. 1 ACCESSIBLE)
UNDERGROUND	72 (INCL. 2 ACCESSIBLE)
TOTAL	106 (INCL. 3 ACCESSIBLE)
BIKE PARKING	
SURFACE	22
UNDERGROUND	31
TOTAL	54 (50 + 5(1)=56 REQUIRED)

Revisions
SFP Submittal - January 2, 2018



SITE PLAN
1" = 30'-0"

Project Title
Reston Heights
Lot 254

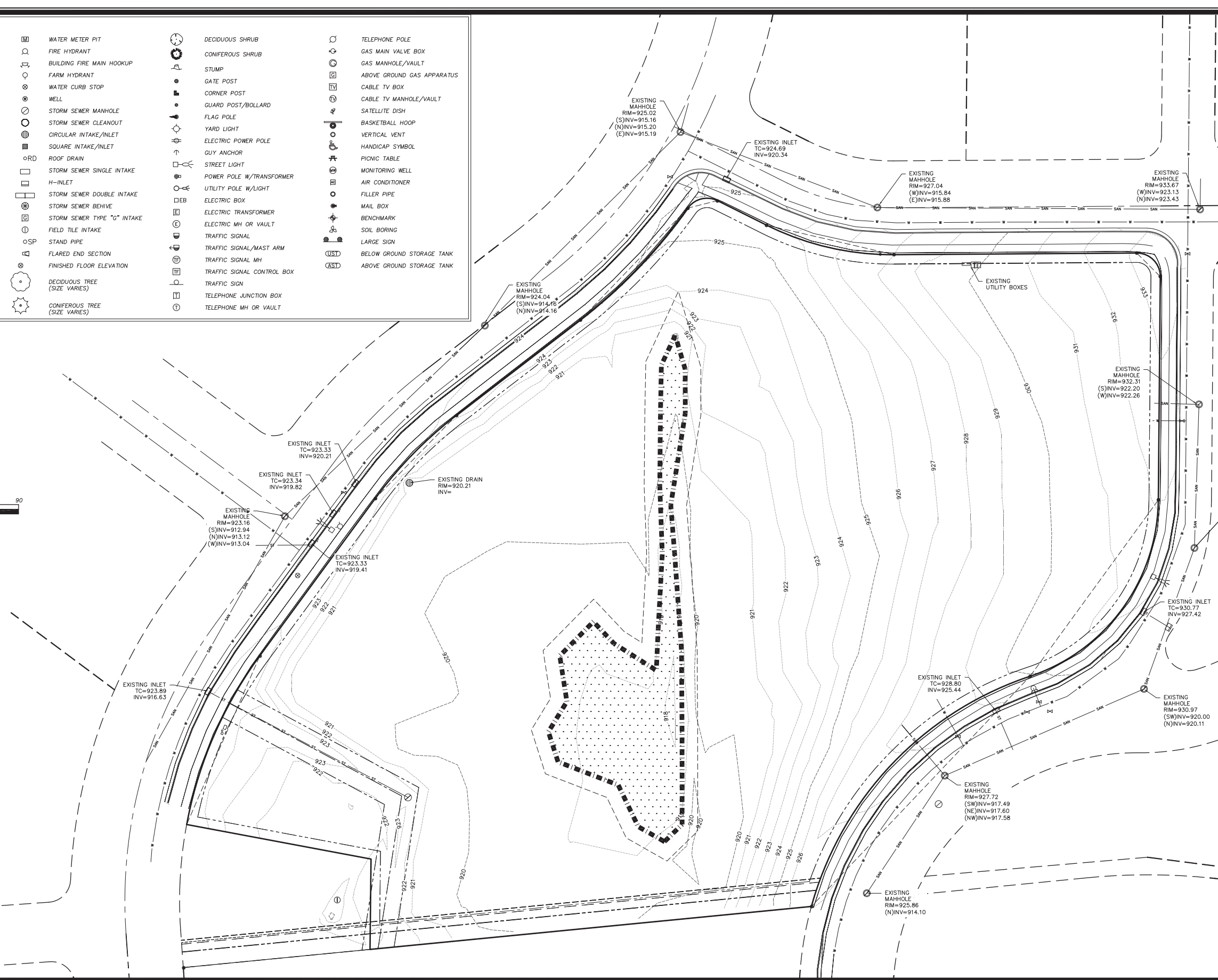
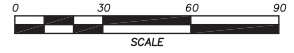
Madison, WI
Drawing Title
Site Plan

Project No. **1228** Drawing No. **C-1.0**

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LEGEND

- | | | | |
|---|--|--|---|
| <ul style="list-style-type: none"> ● 1" IRON PIPE (I.P.) FOUND (UNLESS OTHERWISE NOTED) ● 3/4" SOLID IRON ROD (S.I.R.) FOUND ● 1-1/4" SOLID IRON ROD (S.I.R.) FOUND ✕ CHISELED CROSS FOUND ▲ SURVEY MARKER NAIL FOUND ■ SQUARE IRON BAR FOUND (SIZE NOTED) ○ 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft. ✕ CHISELED CROSS SET △ SURVEY MARKER NAIL SET ⊙ SECTION CORNER MONUMENT ○ CP CONTROL POINT · HP HIGH POINT · LP LOW POINT ⊙ SANITARY MANHOLE ⊙ SANITARY CLEANOUT/LAMPHOLE ⊙ SANITARY LIFT STATION ⊙ SANITARY DISPATION MH ⊙ SEPTIC TANK ✕ WATER VALVE BOX/HANDHOLE ⊙ WATER VALVE MANHOLE ⊕ SPRINKLER HEAD | <ul style="list-style-type: none"> ⊙ WATER METER PIT ⊙ FIRE HYDRANT ⊙ BUILDING FIRE MAIN HOOKUP ⊙ FARM HYDRANT ⊙ WATER CURB STOP ⊙ WELL ⊙ STORM SEWER MANHOLE ⊙ STORM SEWER CLEANOUT ⊙ CIRCULAR INTAKE/INLET ⊙ SQUARE INTAKE/INLET ⊙ ROOF DRAIN ⊙ STORM SEWER SINGLE INTAKE ⊙ H-INLET ⊙ STORM SEWER DOUBLE INTAKE ⊙ STORM SEWER BEHIVE ⊙ STORM SEWER TYPE "G" INTAKE ⊙ FIELD TILE INTAKE ⊙ STAND PIPE ⊙ FLARED END SECTION ⊙ FINISHED FLOOR ELEVATION ⊙ DECIDUOUS TREE (SIZE VARIES) ⊙ CONIFEROUS TREE (SIZE VARIES) | <ul style="list-style-type: none"> ⊙ DECIDUOUS SHRUB ⊙ CONIFEROUS SHRUB ⊙ STUMP ⊙ GATE POST ⊙ CORNER POST ⊙ GUARD POST/BOLLARD ⊙ FLAG POLE ⊙ YARD LIGHT ⊙ ELECTRIC POWER POLE ⊙ GUY ANCHOR ⊙ STREET LIGHT ⊙ POWER POLE W/TRANSFORMER ⊙ UTILITY POLE W/LIGHT ⊙ EB ELECTRIC BOX ⊙ ELECTRIC TRANSFORMER ⊙ ELECTRIC MH OR VAULT ⊙ TRAFFIC SIGNAL ⊙ TRAFFIC SIGNAL/MAST ARM ⊙ TRAFFIC SIGNAL MH ⊙ TRAFFIC SIGNAL CONTROL BOX ⊙ TRAFFIC SIGN ⊙ TELEPHONE JUNCTION BOX ⊙ TELEPHONE MH OR VAULT | <ul style="list-style-type: none"> ⊙ TELEPHONE POLE ⊙ GAS MAIN VALVE BOX ⊙ GAS MANHOLE/VAULT ⊙ ABOVE GROUND GAS APPARATUS ⊙ CABLE TV BOX ⊙ CABLE TV MANHOLE/VAULT ⊙ SATELLITE DISH ⊙ BASKETBALL HOOP ⊙ VERTICAL VENT ⊙ HANDICAP SYMBOL ⊙ PICNIC TABLE ⊙ MONITORING WELL ⊙ AIR CONDITIONER ⊙ FILLER PIPE ⊙ MAIL BOX ⊙ BENCHMARK ⊙ SOIL BORING ⊙ LARGE SIGN ⊙ BELOW GROUND STORAGE TANK ⊙ ASD ABOVE GROUND STORAGE TANK |
|---|--|--|---|



MARK	REVISION	DATE	BY
XXX	Checked By: XXX	12-29-12	1"=30'
XXX	Engineer: XXX	Field Bk: Pg:	
Technician: ARG			Project No: HAY01
			Sheet C1.1

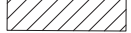

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LOT 254 RESTON HEIGHTS
 EXISTING SITE PLAN
SNYDER & ASSOCIATES, INC.



Consultant

Notes

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
2.  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH).
3. VARIOUS LINETYPES REPRESENT 500' HOSELAYS.

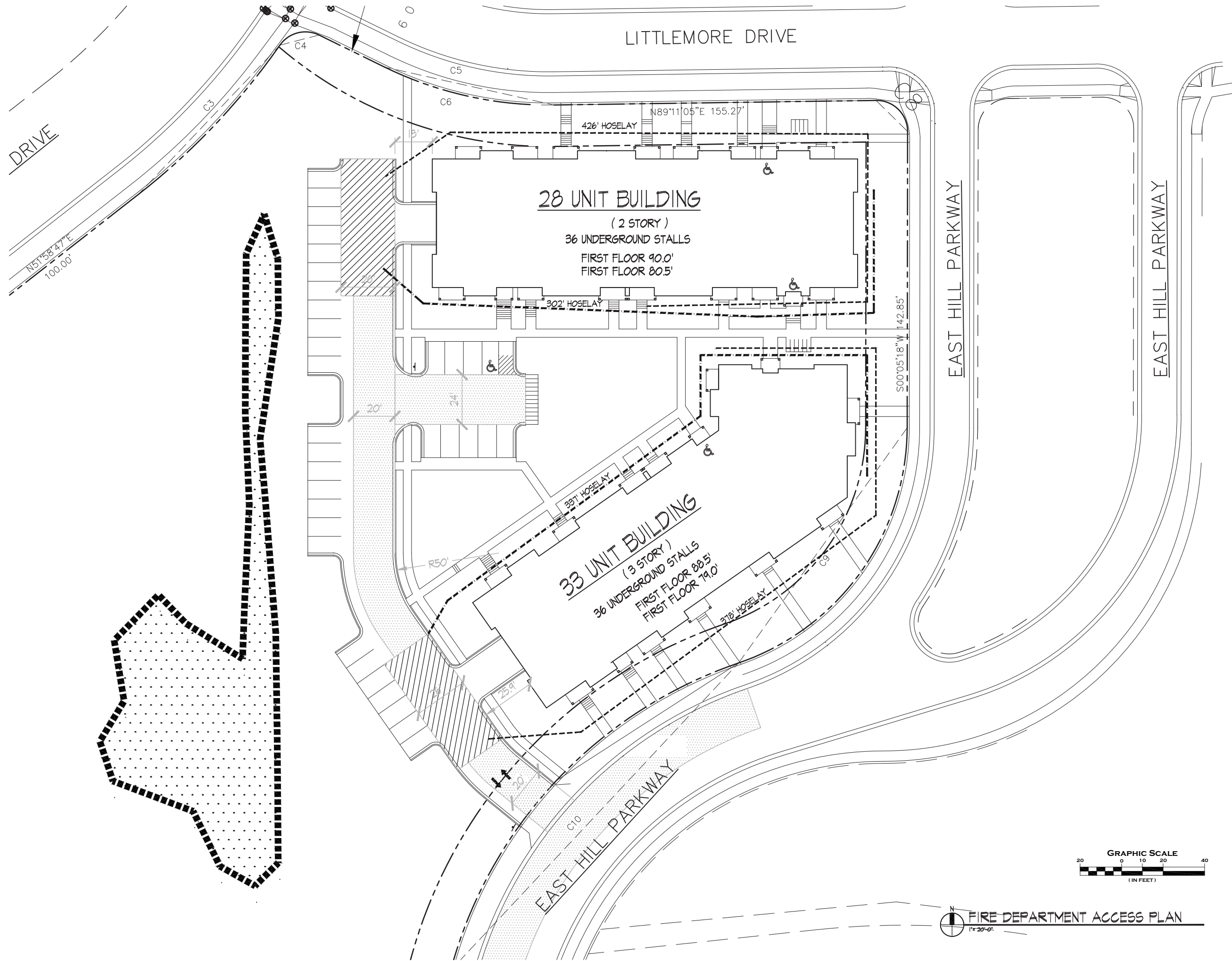
Revisions
SFP Submittal - January 2, 2015

Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**Fire Department
Access Plan**



Project No. 1228
Drawing No. C-1.4

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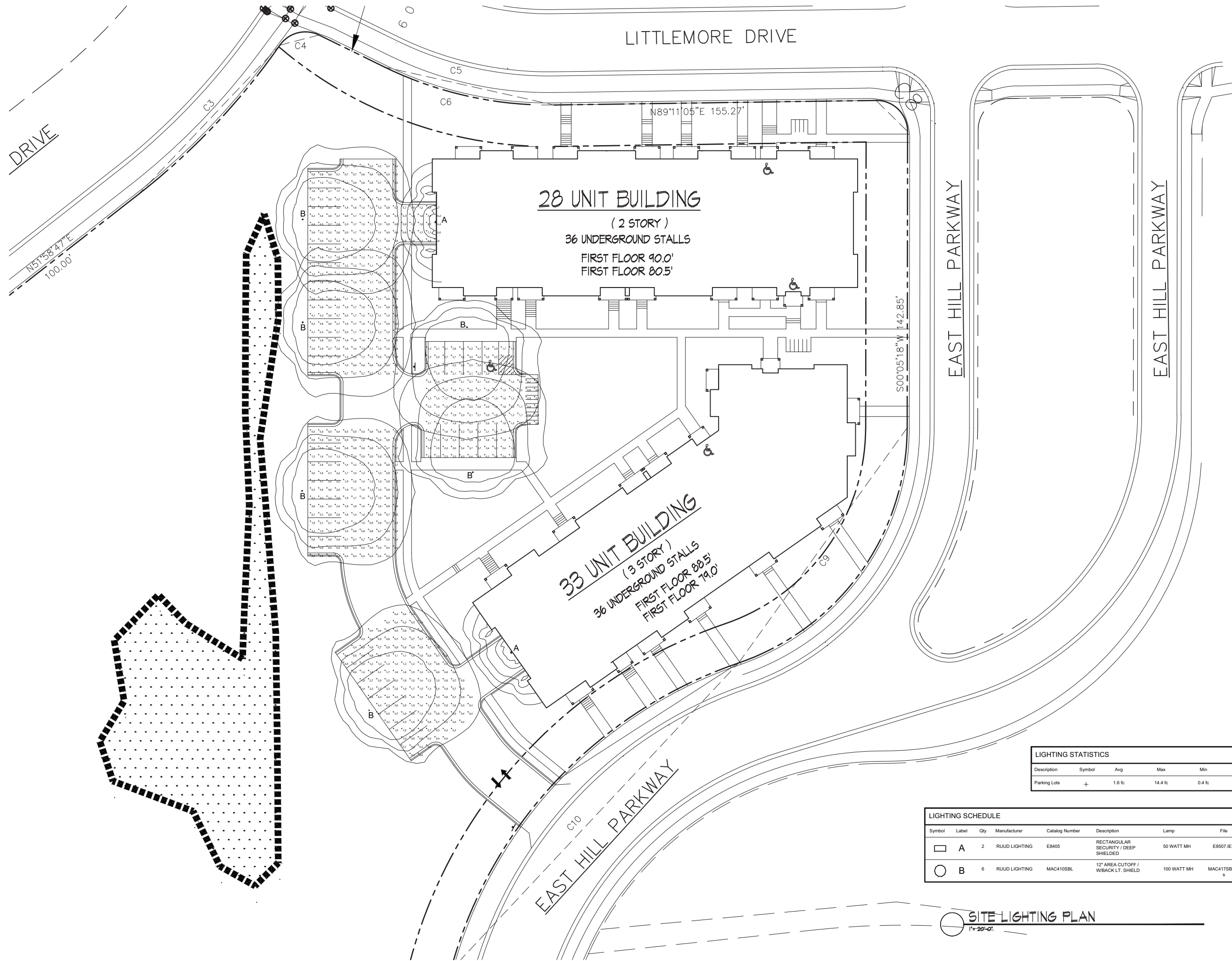
Revisions
SFP Submittal - January 2, 2013

Project Title
**Reston Heights
Lot 254**



Madison, WI
Drawing Title
Site Lighting Plan

Project No. **1228** Drawing No. **C-1.5**

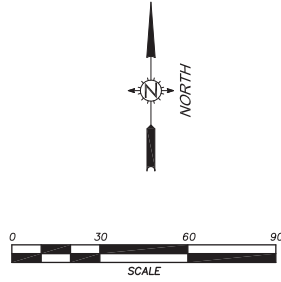
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LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.6 fc	14.4 fc	0.4 fc	36.0:1	4.0:1

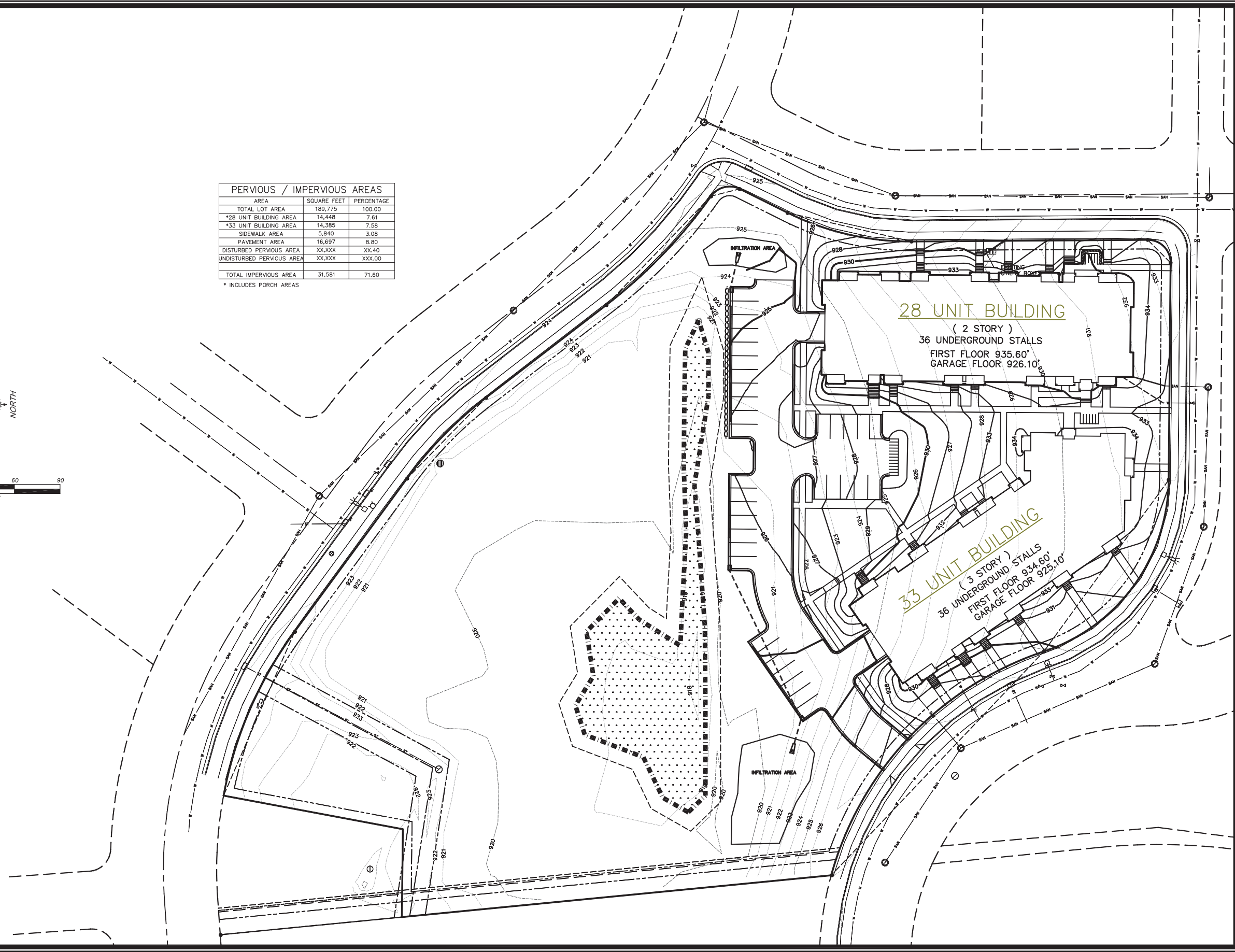
LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
	A	2	RIJUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	E8507.IES	8'-0" UP ON SIDE OF BUILDING
	B	6	RIJUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.iess	18'-0" POLE ON 2'-0" TALL CONC. BASE

SITE LIGHTING PLAN
1"=20'-0"



PERVIOUS / IMPERVIOUS AREAS		
AREA	SQUARE FEET	PERCENTAGE
TOTAL LOT AREA	189,775	100.00
*28 UNIT BUILDING AREA	14,448	7.61
*33 UNIT BUILDING AREA	14,385	7.58
SIDEWALK AREA	5,840	3.08
PAVEMENT AREA	16,697	8.80
DISTURBED PERVIOUS AREA	XX,XXX	XX.40
UNDISTURBED PERVIOUS AREA	XX,XXX	XXX.00
TOTAL IMPERVIOUS AREA	31,581	71.60

* INCLUDES PORCH AREAS



MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1"=30'	
Technician: ARG	Date: 12-29-12	Field Bk:	Pg:

Project No: HAY01
Sheet C3.1

CITY OF MADISON, DANE COUNTY, WI
6010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

LOT 254 RESTON HEIGHTS
PROPOSED GRADING PLAN
SNYDER & ASSOCIATES, INC.



Project No: HAY01
Sheet C3.1

GENERAL NOTES:

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

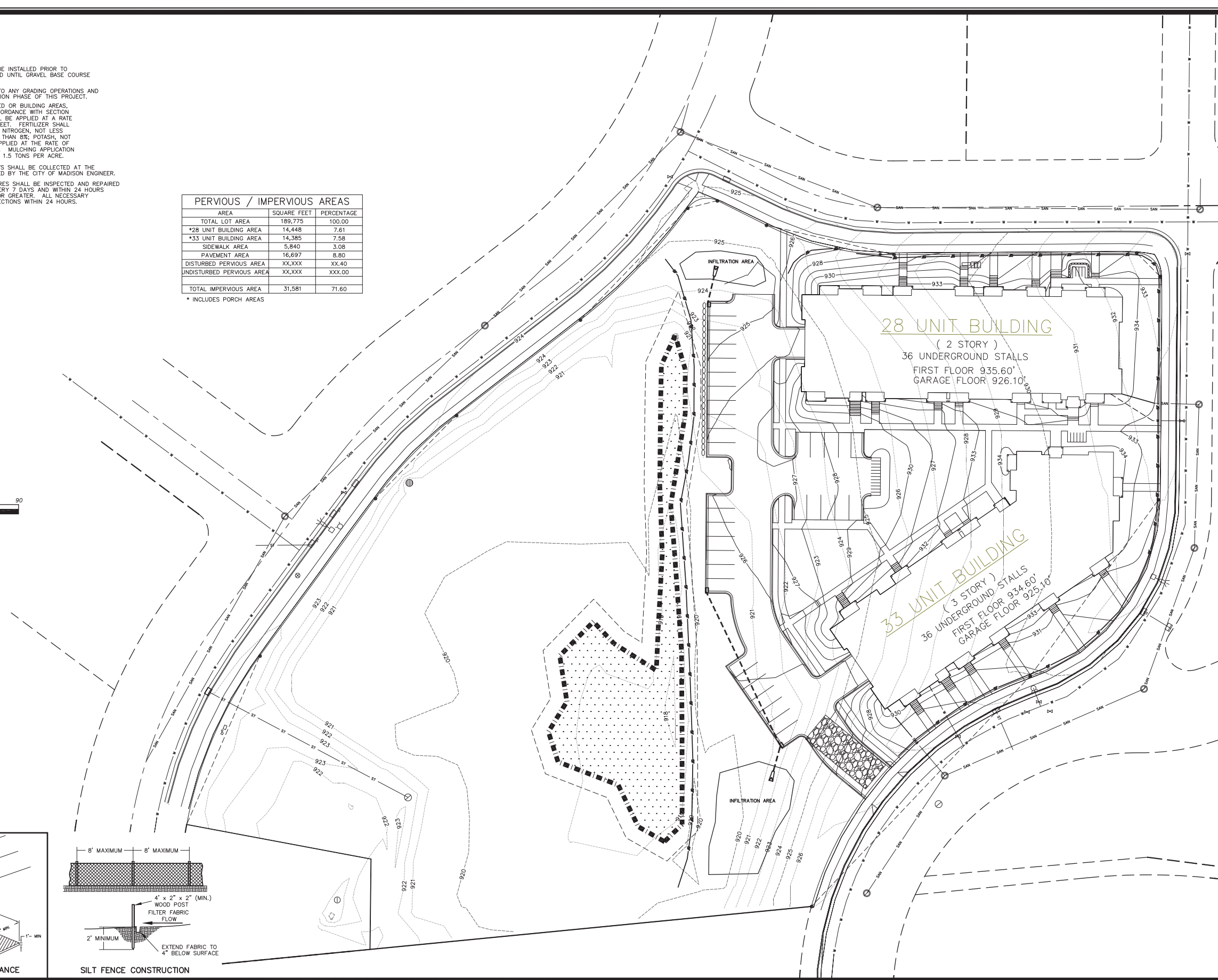
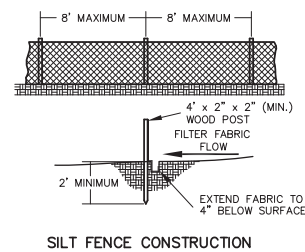
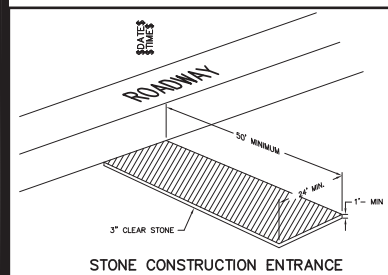
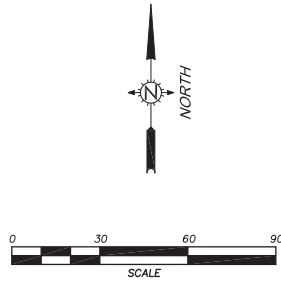
ALL DISTURBED AREAS, OTHER THAN PAVED OR BUILDING AREAS, SHALL RECEIVE SEED MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON ENGINEER.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

PERVIOUS / IMPERVIOUS AREAS		
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UNDISTURBED PERVIOUS AREA	XX,XXX	XXX.00
TOTAL IMPERVIOUS AREA	31,581	71.60

* INCLUDES PORCH AREAS



MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1"=30'	
Technician: ARG	Date: 12-29-12	Field Bk:	Pg:

Project No: HAY01
Sheet C4.1

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6010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

LOT 254 RESTON HEIGHTS
PROPOSED EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.

Project No: HAY01
Sheet C4.1

GENERAL NOTES:

CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEER PRIOR TO WORK COMMENCING.

CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 162.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PRIVATE STORM SEWER SHALL BE ADS N-12.

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).

ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF 1/8" / FT UNLESS OTHERWISE SPECIFIED.

COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).

ALL GRATES A NEENAH FOUNDRY COMPANY CATALOG DESIGNATIONS.

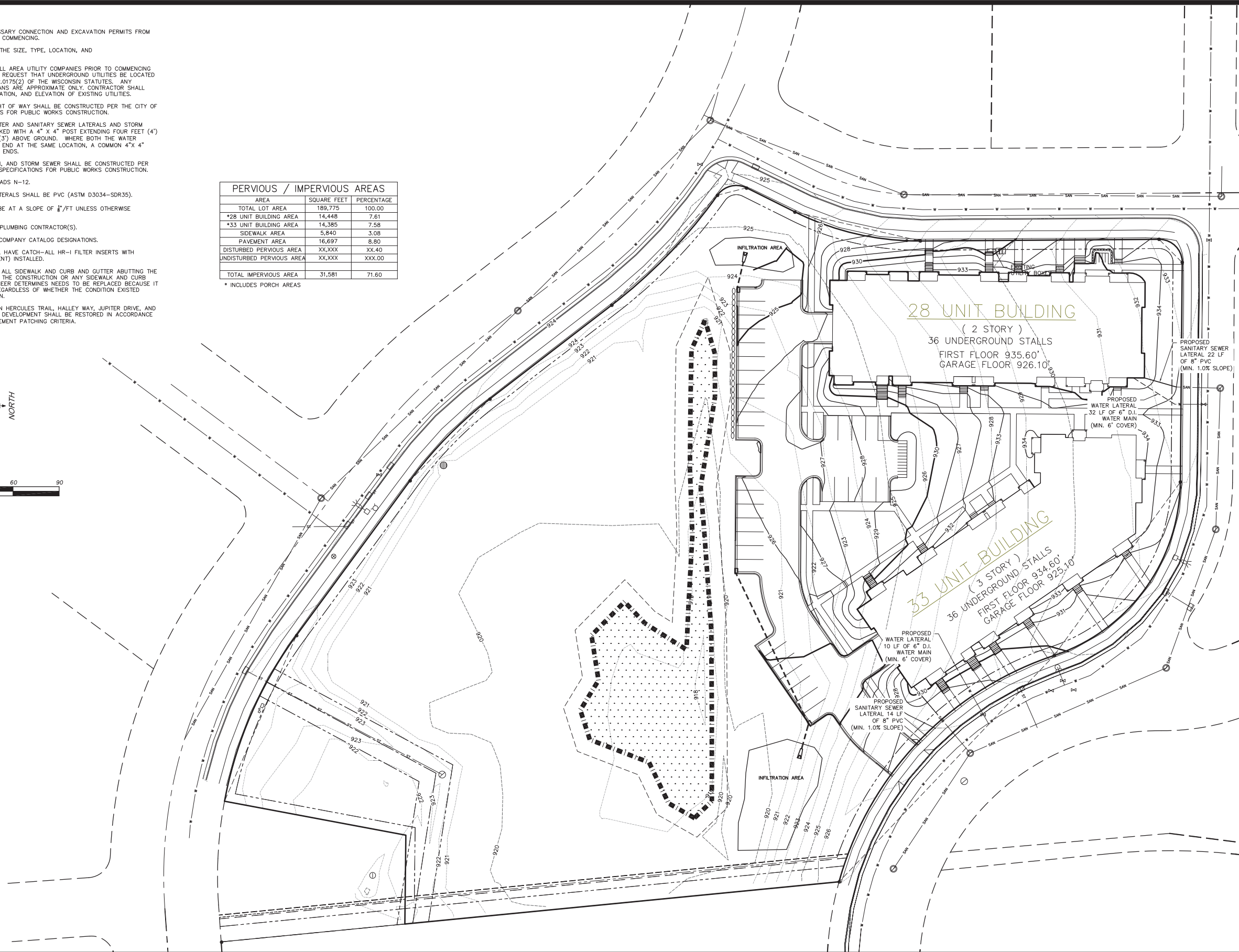
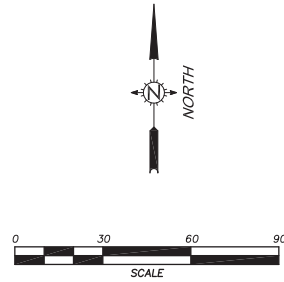
INLETS S-1, S-2, AND S-3 SHALL HAVE CATCH-ALL HR-1 FILTER INSERTS WITH ABSORBENT PILLOWS (OR EQUIVALENT) INSTALLED.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ALL DAMAGE TO THE PAVEMENT ON HERCULES TRAIL, HALLEY WAY, JUPITER DRIVE, AND CHARON LANE, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

PERVIOUS / IMPERVIOUS AREAS		
AREA	SQUARE FEET	PERCENTAGE
TOTAL LOT AREA	189,775	100.00
*28 UNIT BUILDING AREA	14,448	7.61
*33 UNIT BUILDING AREA	14,385	7.58
SIDEWALK AREA	5,840	3.08
PAVEMENT AREA	16,697	8.80
DISTURBED PERVIOUS AREA	XX,XXX	XX.40
UNDISTURBED PERVIOUS AREA	XX,XXX	XXX.00
TOTAL IMPERVIOUS AREA	31,581	71.60

* INCLUDES PORCH AREAS



MARK	REVISION	DATE	BY
Engineer: XXX	Checked By: XXX	Scale: 1"=30'	
Technician: ARG	Date: 10-03-12	Field Bk:	Pg:
Project No: HAY01			Sheet C5.1

CITY OF MADISON, DANE COUNTY, WI
 6010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

LOT 254 RESTON HEIGHTS
 PROPOSED UTILITY PLAN
SNYDER & ASSOCIATES, INC.



Project No: HAY01
 Sheet C5.1

Consultant

Notes

Revisions

Issued - Dec. 31, 2012

Project Title
**Reston Heights
Lot 254**

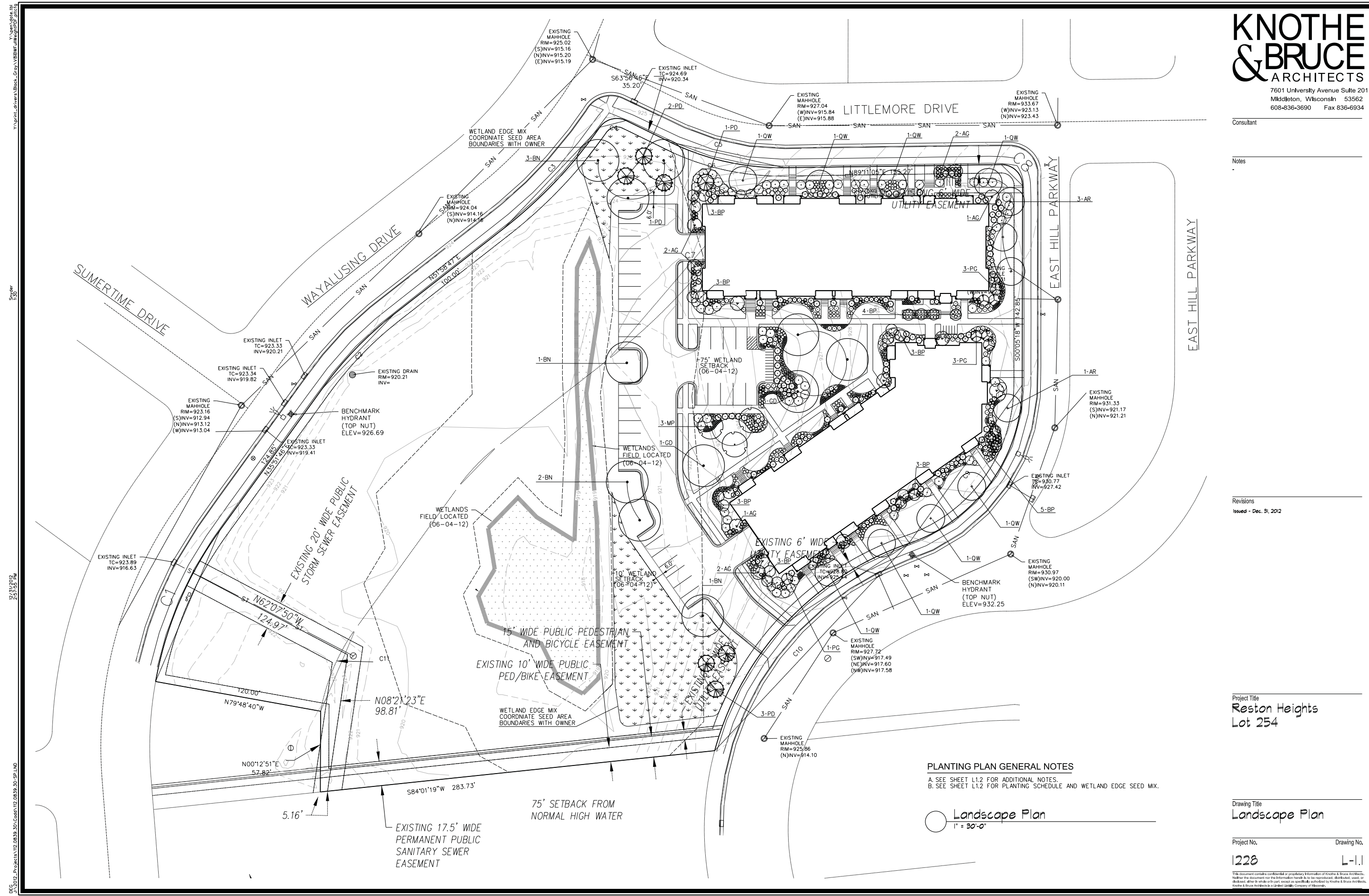
Drawing Title
Landscape Plan

Project No. Drawing No.

1228

L-1.1

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PLANTING PLAN GENERAL NOTES
 A. SEE SHEET L1.2 FOR ADDITIONAL NOTES.
 B. SEE SHEET L1.2 FOR PLANTING SCHEDULE AND WETLAND EDGE SEED MIX.

Landscape Plan
 1" = 30'-0"

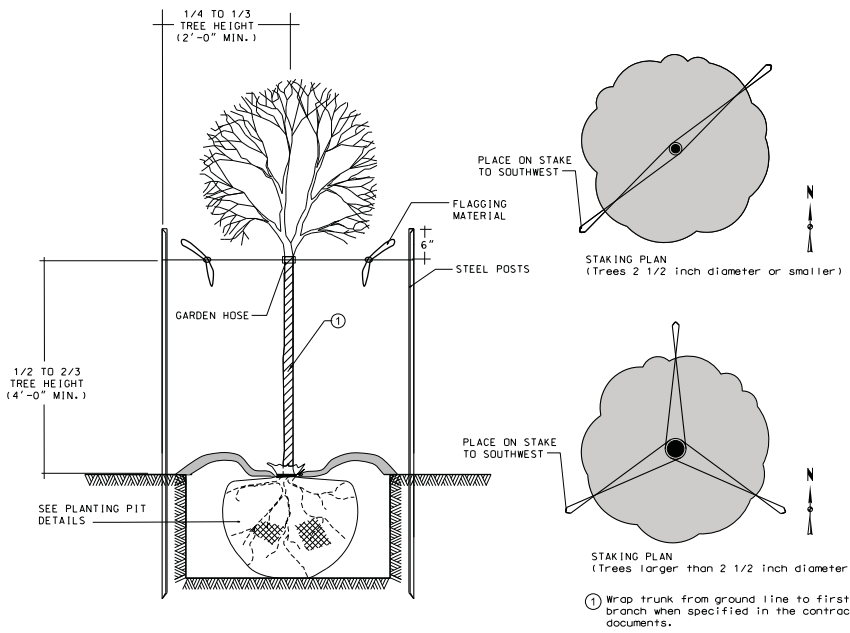
12/31/2012 2:57:55 PM
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 C:\Users\jbruce\Documents\Projects\112.08.19.30\112.08.19.30_SPL.DWG

PLANTING GENERAL NOTES

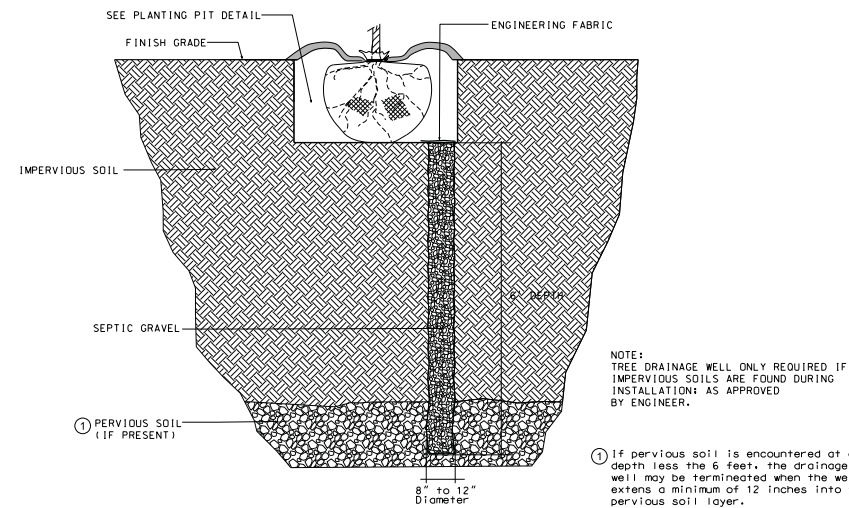
- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2013 ADDITION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANT MATERIAL TO A MINIMUM OF 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS AS SHOWN. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE MULCH BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- CONTRACTOR TO PROVIDE A SAMPLE OF MULCH TO OWNER FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. OWNER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.

SEEDING CONSTRUCTION NOTES

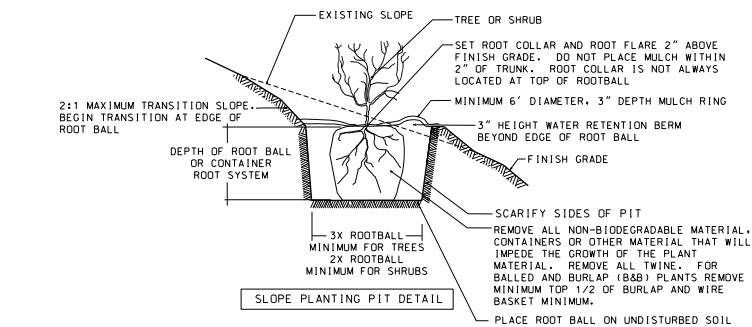
- AREAS LABELED WETLAND EDGE MIX TO BE SEEDED WITH DETENTION BASIN WET PRAIRIE MIX AS MANUFACTURED BY PRAIRIE NURSERY, P.O. Box 306 Westfield, WI 53964, 1-800-476-9453, OR APPROVED EQUAL. SEED RATE APPLICATION AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.
- ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED WITH LAWN SEED MIX IN ACCORDANCE WITH THE PROPOSED EROSION CONTROL PLAN, UNLESS OTHERWISE NOTED.
- ALLOWABLE SEED DATES SHALL BE DETERMINED BY THE MANUFACTURER'S RECOMMENDATIONS.



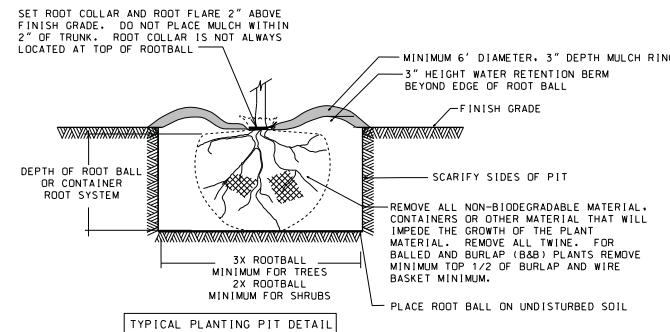
1 DECIDUOUS TREE STAKING DETAIL
L101 NO SCALE



2 TREE DRAINAGE WELL DETAIL
L101 NO SCALE



3 PLANTING PIT DETAILS
L101 NO SCALE



PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE (h x w)
AR	<i>Acer rubrum</i> 'Karpick'	RED KARPICK MAPLE	2" CAL.	B&B	40' x 15'
BN	<i>Betula nigra</i> 'Heritage'	HERITAGE RIVER BIRCH	2" CAL.	B&B	50' x 40'
GD	<i>Cymocladus dioica</i> 'Espresso'	ESPRESSO KENTUCKY COFFEETREE	2" CAL.	B&B, SEEDLESS	50' x 40'
QW	<i>Quercus x warei</i> 'Long'	REGAL PRINCE OAK	2" CAL.	B&B	50' x 20'
PD	<i>Picea glauca</i> var. <i>densata</i>	BLACK HILLS SPRUCE	5' HT.	B&B	30' x 15'
PC	<i>Picea glauca</i> 'Pendula'	WEeping WHITE SPRUCE	5' HT.	B&B, COLUMNAR	40' x 8'
AC	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	5' HT.	B&B, MULTI-STEM	10' x 20'
BP	<i>Betula papyrifera</i> 'Dakota Pinnacle'	DAKOTA PINNACLE BIRCH	5' HT.	B&B, COLUMNAR	8' x 20'
MP	<i>Malus</i> 'Prariefire'	PRAIRIEFIRE CRABAPPLE	6' HT.	B&B, SINGLE-STEM	20' x 20'
AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	RED CHOKEBERRY 'BRILLIANTISSIMA'	36" HI.	CONT. (4' O.C.)	6' x 4'
CL	<i>Clethra alnifolia</i> 'Hummingbird'	HUMMINGBIRD CLETHRA	24" HI.	CONT. (3' O.C.)	3' x 3'
HP	<i>Hydrangea paniculata</i> 'Little Lamb'	LITTLE LAMB HYDRANGEA	36" HI.	CONT. (4' O.C.)	6' x 4'
RA	<i>Rhus aromatica</i> 'Gro-Low'	GRO-LOW SUMAC	18" HI.	CONT. (6' O.C.)	2' x 6'
SB	<i>Spiraea betulifolia</i> 'Tor'	BIRCHLEAF SPIREA	18" HI.	CONT. (3' O.C.)	2' x 3'
TM	<i>Toxus x media</i> 'Toultan'	TAULTON YEW	24" HI.	CONT. (4' O.C.)	3' x 4'
VC	<i>Viburnum carlesii</i> 'Aurora'	AURORA KOREAN SPICE VIBURNUM	36" HI.	CONT. (4' O.C.)	4' x 4'
BA	<i>Baptisia australis</i>	BLUE FALSE INDIGO	1 GAL.	CONT. (3' O.C.)	3' x 3'
EP	<i>Echinacea purpurea</i> 'Leuchtstern'	BRIGHT STAR PURPLE CONEFLOWER	1 GAL.	CONT. (1' O.C.)	3' x 1.5'
HP	<i>Hosta</i> 'Patriot'	PATRIOT HOSTA	1 GAL.	CONT. (2' O.C.)	1' x 2'
HS	<i>Hosta</i> 'Sum & Substance'	SUM & SUBSTANCE HOSTA	1 GAL.	CONT. (5' O.C.)	2.5' x 5'
HR	<i>Hemerocallis</i> 'Rocket City'	ROCKET CITY DAYLILY	1 GAL.	CONT. (2' O.C.)	3' x 2'
NR	<i>Nepeta racemosa</i> 'Walker's Low'	WALKER'S LOW CATMINT	1 GAL.	CONT. (2' O.C.)	2' x 2'
SN	<i>Salvia nemorosa</i> 'May Night'	MAY NIGHT SALVIA	1 GAL.	CONT. (1' O.C.)	1.5' x 1'
SS	<i>Schizachyrium scoparium</i> 'Carousel'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2.5' O.C.)	2.5' x 2.5'

Project Title
Reston Heights
Lot 254

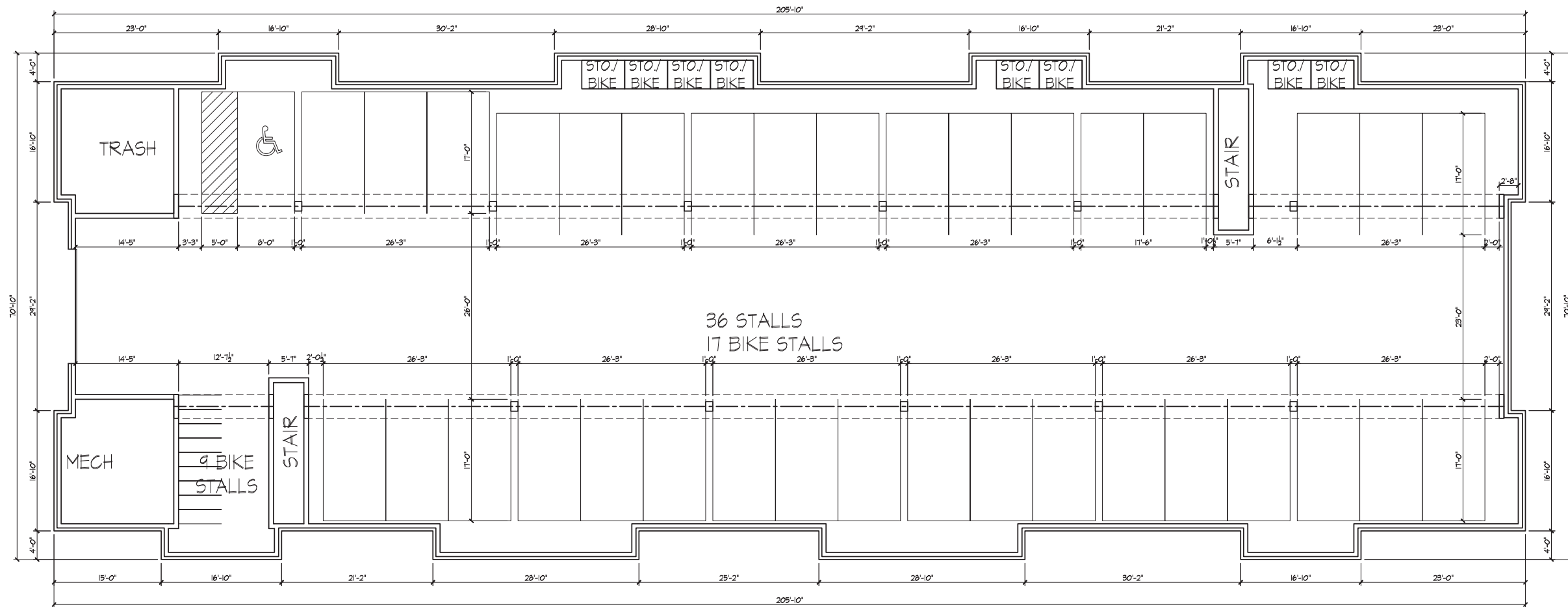
Drawing Title
Landscape Plan
Details & Notes

Project No. Drawing No.

1228

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Revisions
SIP Submittal - January 2, 2013



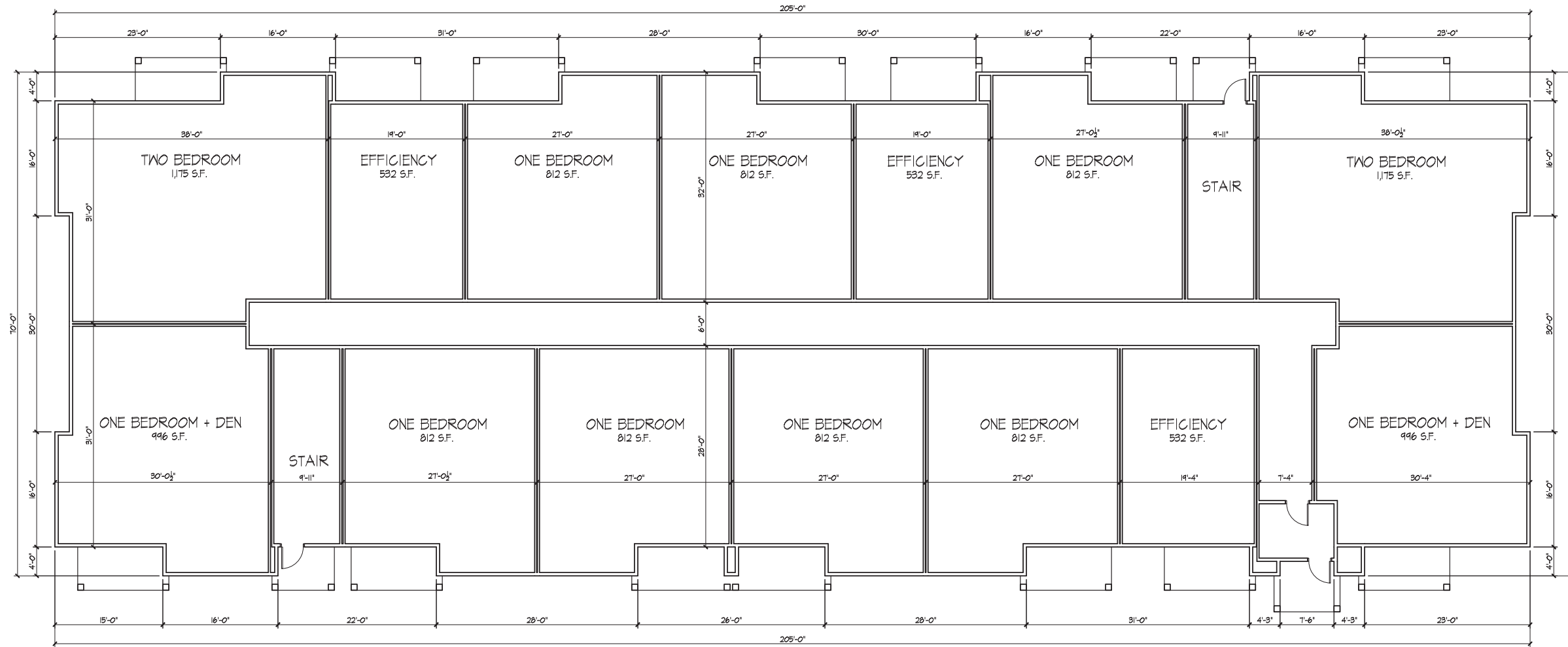
BASEMENT PLAN
1/8" = 1'-0"

Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**Basement Plan
28 Unit Building**

Project No. _____ Drawing No. _____

1228



Revisions
SFP Submittal - January 2, 2013



FIRST FLOOR PLAN
1/8" = 1'-0"

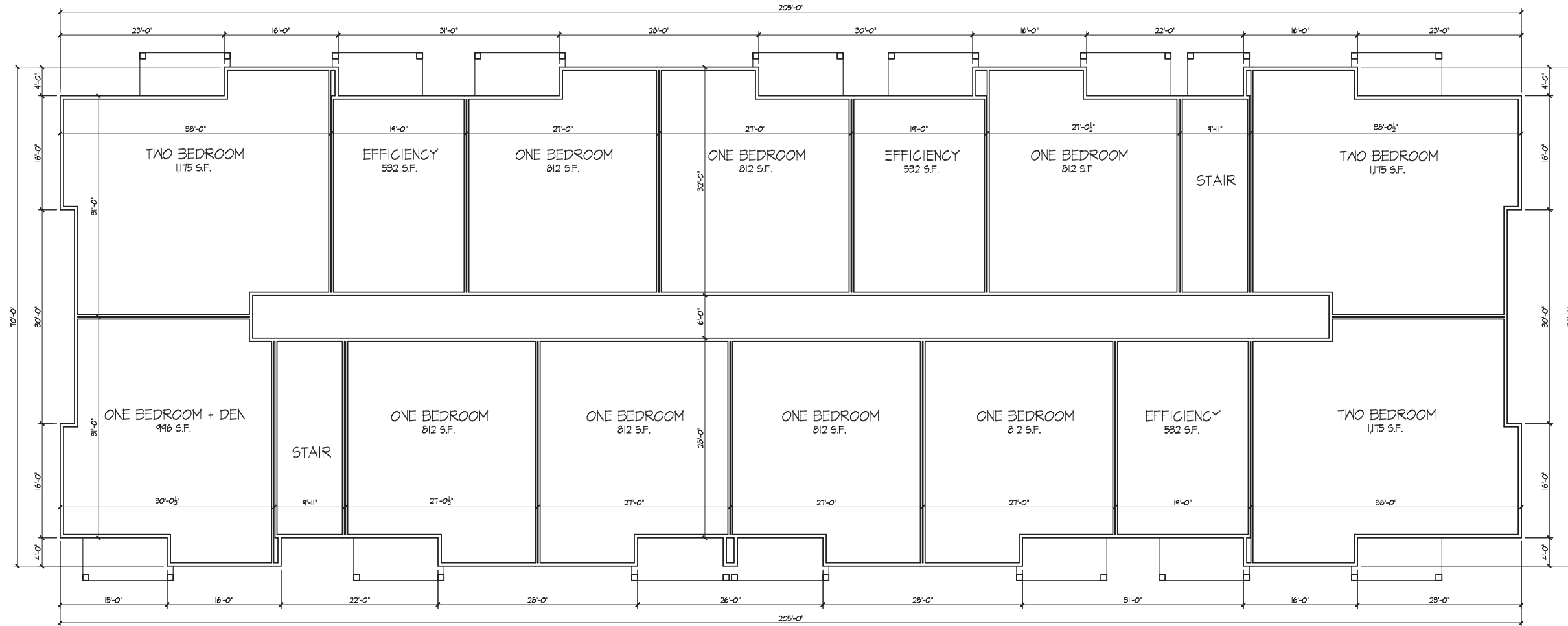
Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**First Floor Plan
28 Unit Building**

Project No. Drawing No.

1228

2



Revisions
SFP Submittal - January 2, 2013



SECOND FLOOR PLAN
1/8" = 1'-0"

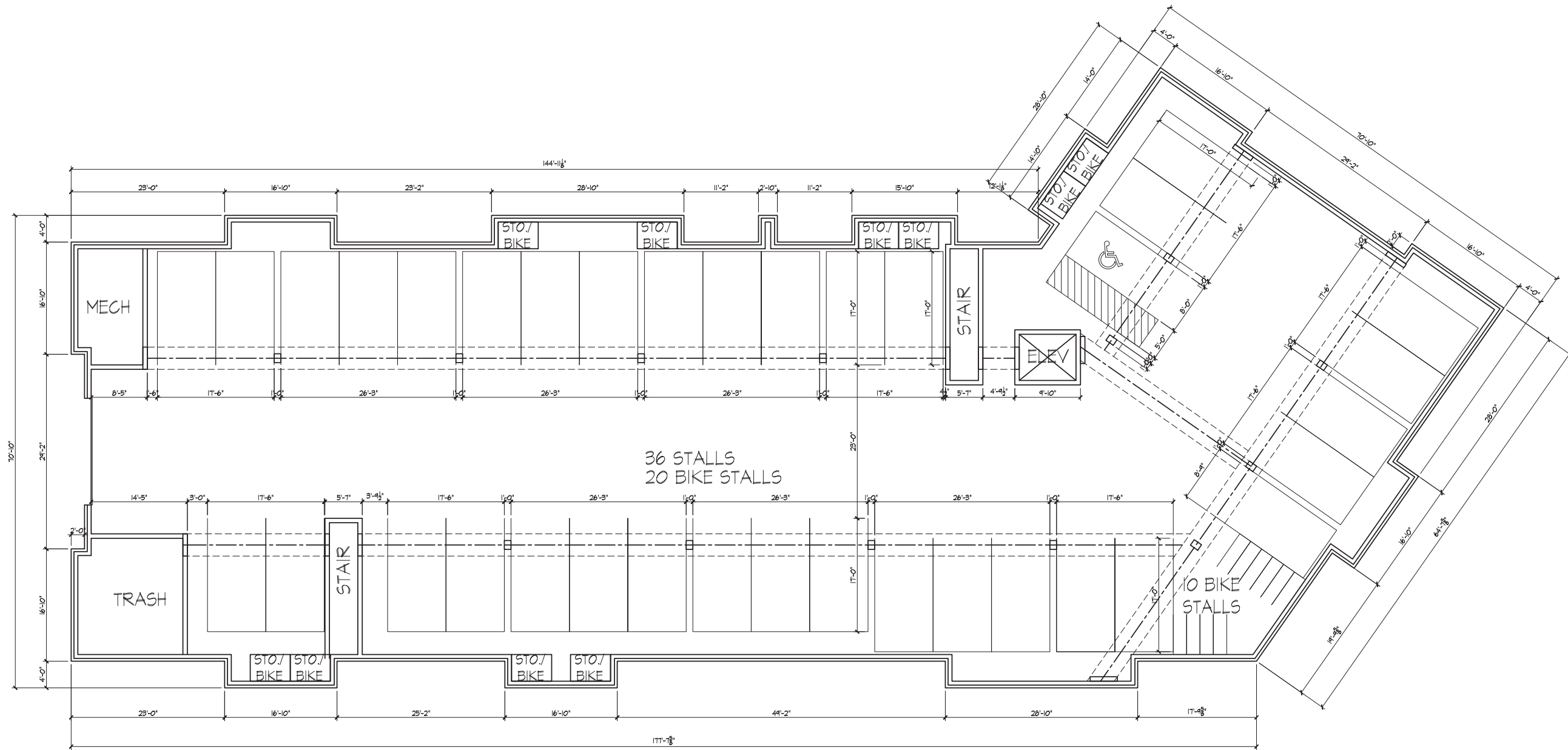
Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**Second Floor Plan
28 Unit Building**

Project No. _____ Drawing No. _____

1228

3



Revisions
SIP Submittal - January 2, 2013

Project Title
Reston Heights
Lot 254



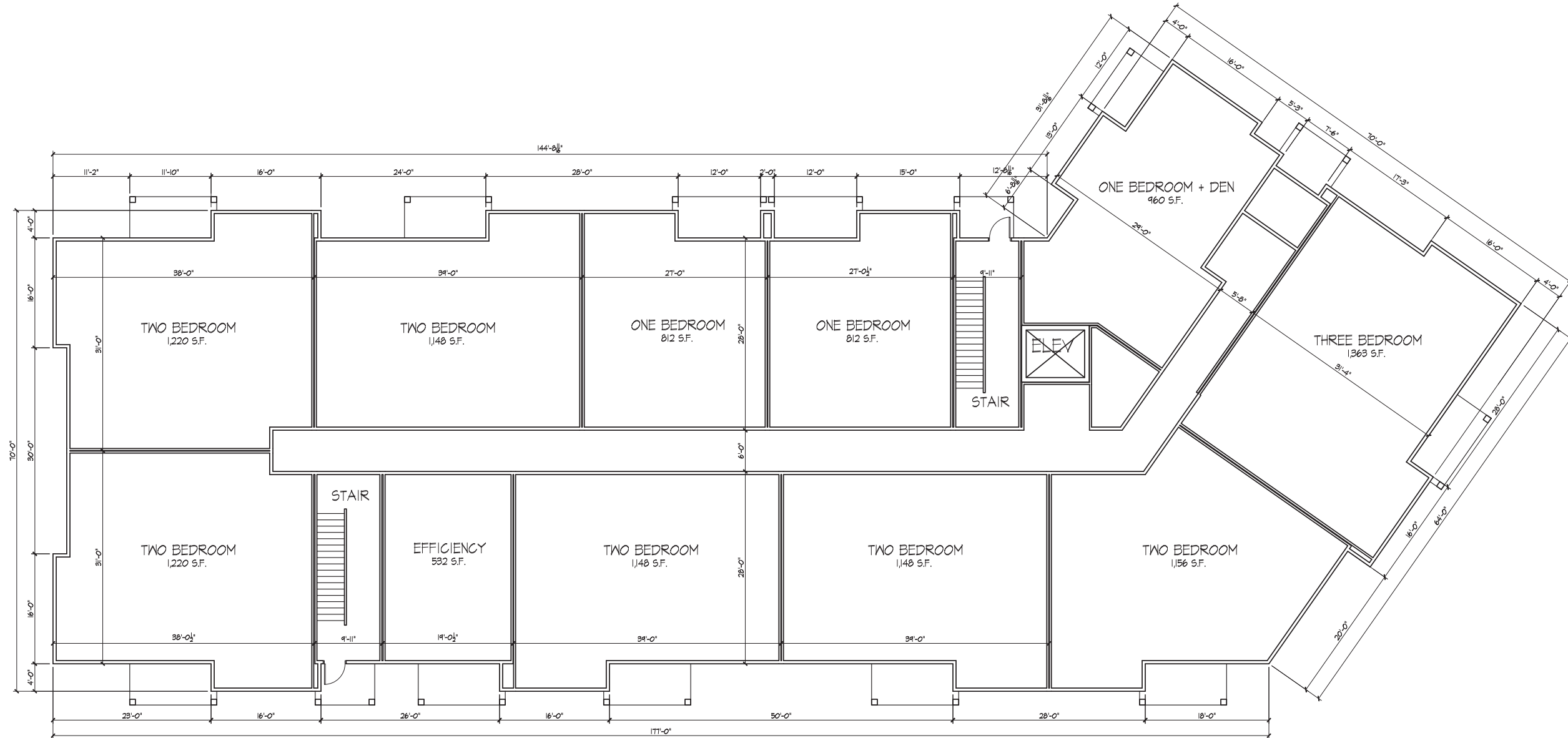
BASEMENT PLAN
1/8" = 1'-0"

Madison, WI
Drawing Title
Basement Plan
33 Unit Building

Project No. Drawing No.

1228

4



Revisions
SIP Submittal - January 2, 2015

Project Title
**Reston Heights
Lot 254**



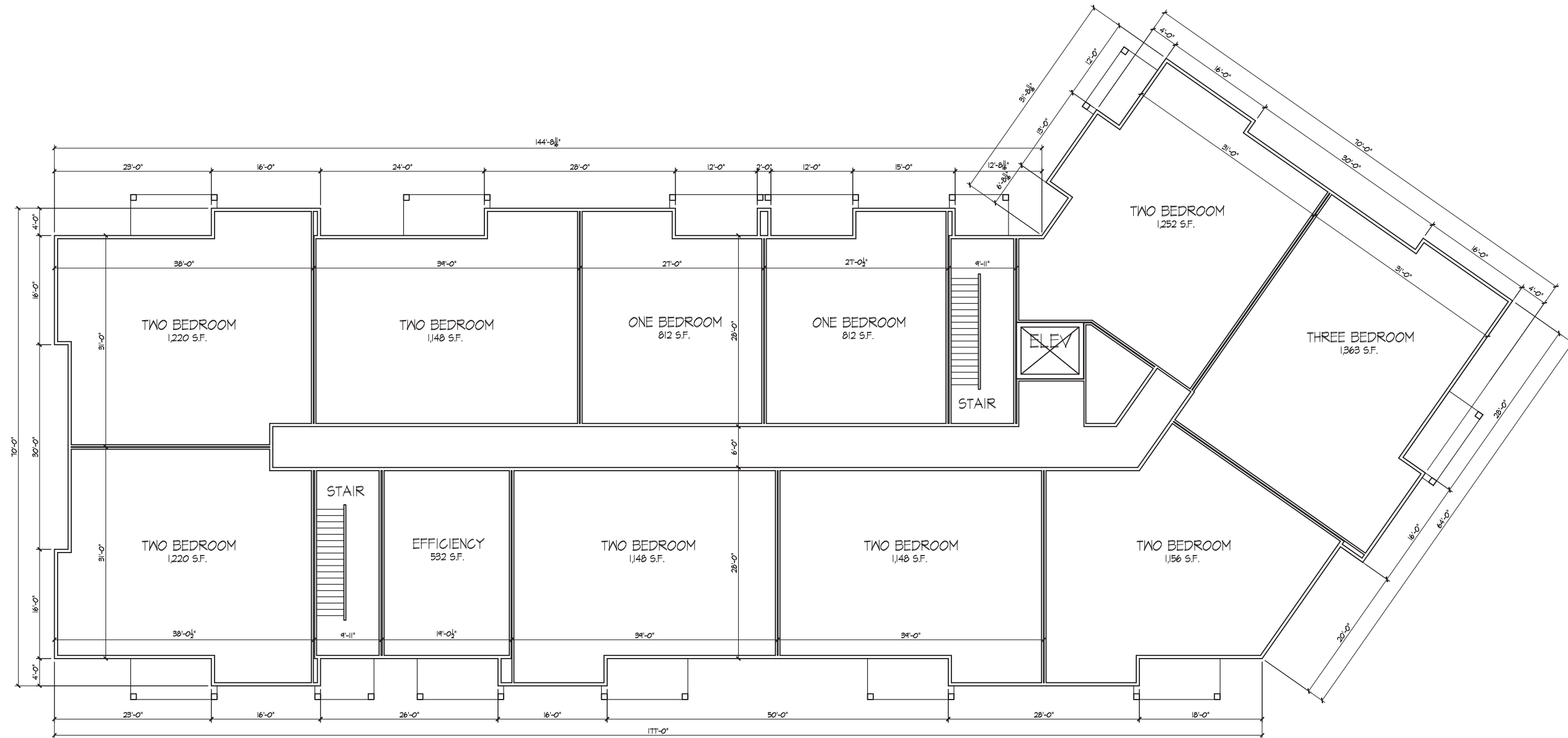
FIRST FLOOR PLAN
1/8" = 1'-0"

Madison, WI
Drawing Title
**First Floor Plan
33 Unit Building**

Project No. Drawing No.

1228

5



Revisions
SFP Submittal - January 2, 2013

Project Title
Reston Heights
Lot 254



SECOND AND THIRD FLOOR PLAN
1/8" = 1'-0"

Madison, WI
Drawing Title
Second/Third Floor Plan
33 Unit Building

Project No. Drawing No.

1228

6



- TYPICAL MATERIALS
- ASPHALT SHINGLES
 - ALUM. WRAPPED FASCIA
 - HORIZONTAL SIDING
 - PRECAST SILL
 - PRECAST HEADS AND SILLS
 - COMPOSITE TRIM
 - ALUM. RAILING
 - BRICK VENEER

NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - January 2, 2018

Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**Elevations
28 Unit Building**

Project No. Drawing No.

1228

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Consultant

Notes



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - January 2, 2013

Project Title
Reston Heights
Lot 254

Madison, WI
Drawing Title
Elevations
28 Unit Building

Project No. Drawing No.

1228

8

Consultant

Notes



SOUTHEAST ELEVATION
1/8" = 1'-0"



NORTHEAST ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - January 2, 2013

- TYPICAL MATERIALS
- ASPHALT SHINGLES
- ALUM. WRAPPED FASCIA
- HORIZONTAL SIDING
- PRECAST SILL
- PRECAST HEADS AND SILLS
- COMPOSITE TRIM
- ALUM. RAILING
- BRICK VENEER

Project Title
**Reston Heights
Lot 254**

Madison, WI
Drawing Title
**Elevations
33 Unit Building**

Project No. Drawing No.

1228

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