

# LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison  
Planning Division  
215 Martin Luther King Jr Blvd, Ste 017  
PO Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## 1. LOCATION


Project Address: 2129 Kendall Ave Aldermanic District: 5

## 2. PROJECT

Project Title/Description: Rehabilitation of Exterior Windows, Siding and Roofing

This is an application for: (check all that apply)

- New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify)\*\*:**
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)\*\*:**
  - Mansion Hill       Third Lake Ridge       First Settlement
  - University Heights       Marquette Bungalows       Landmark
- Demolition**
- Alteration/Addition to a building adjacent to a Designated Landmark**
- Variance from the Historic Preservation Ordinance (Chapter 41)**
- Landmark Nomination/Rescission or Historic District Nomination/Amendment**  
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):**

DPCED USE ONLY	Registrar #: 64703
	<b>DATE STAMP</b>  <b>3/12/21</b> <b>11:29 am</b>
	<b>Preliminary Zoning Review</b> Zoning Staff Initial: Date:        /        /

## 3. APPLICANT

Applicant's Name: Aaron Bowe Company: \_\_\_\_\_

Address: 2129 Kendall Avenue Madison, WI 53726  
Street City State Zip

Telephone: 608-770-2319 Email: ajbowe@gmail.com

Property Owner (if not applicant): \_\_\_\_\_

Address: \_\_\_\_\_  
Street City State Zip

Property Owner's Signature: Aaron Bowe Date: March 12, 2021

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## 4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: [http://www.cityofmadison.com/dpced/planning/documents/LC\\_Meeting\\_Schedule\\_Dates.pdf](http://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf)

**APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:**

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner. **All application materials should be submitted electronically to [landmarkscommission@cityofmadison.com](mailto:landmarkscommission@cityofmadison.com)**. Please note that an individual email cannot exceed 20 MB.

- Landmarks Commission Application w/signature of the property owner.
- Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
  - Photographs of existing conditions;
  - Photographs of existing context;
- Architectural drawings reduced to 11" x 17" or smaller pages which may include:
  - Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, signage, and other features;
  - Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
  - Floor Plan views of levels and roof;
  - For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- \*\***Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process;
- Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
  - Perspective drawing
  - Photographs of examples on another historic resource
  - Manufacturer's product information showing dimensions and materials;
  - Other \_\_\_\_\_

**CONTACT THE PRESERVATION PLANNER:**

Please contact the Preservation Planner with any questions.

City of Madison Planning Division  
215 Martin Luther King Jr Blvd, Suite 017  
PO Box 2985 (mailing address)  
Madison, WI 53701-2985  
[landmarkscommission@cityofmadison.com](mailto:landmarkscommission@cityofmadison.com)  
(608) 266-6552

March 11, 2021

LETTER OF INTENT

Project Location: 2129 Kendall Avenue  
Madison, WI 53726

TO LANDMARKS COMMISSION:

The property listed above is known as the Ernest Kirsh House from 1915 and is listed in the National and State Register located in the University Heights Historic District. The intent of the proposed scope of work by myself, is to perform critical maintenance of the property while preserving its historical significance. Due to long term deferred general maintenance, the siding has deterioration from lack of painting and vegetation coverage, window sills/trim has significant water damage, broken frames, and missing panes and all are single pane windows, so these elements need to be replaced. Additionally, the exterior materials used for the house addition from 1974-1976 has seen significant deterioration with several locations having completely rotted away or been targeted by wildlife.

The proposed scope of work involves full replacement of the exterior siding and trim with smooth LP Smart Siding. Lower 6" lap siding and upper 4" lap siding dimensions will be matched to maintain historical significance. Additional white transition trim band and detailing will be replaced with common materials for detail matching. The exterior siding will be smooth LP Smart Siding color Cavern Steel.

All windows are proposed to be replaced with Pella Lifestyle wood windows with True Divided Light Grilles where applicable in a black exterior clad finish with white trim matching existing sizes and detailing. Two (2) windows located in the ½ bathroom and upper front room closet are proposed to be boxed up and noted in the west and east elevation views included. Rough opening and locations of windows in the non-historic addition of the house will be rebuilt and relocated to better match the historical window appearance and better align with the current interior space. Lastly, a rear door will be added to the back of the house to allow for egress and accessibility.

Due to lack of roof maintenance and original construction, the roof substructure, eaves and soffits are rotting. The flat roof is proposed to be removed and replaced with a traditional gable roof. The proposed elevations show this removal and replacement. The rear of the house will have a similar appearance as the front upper dormer.

Thank you for your consideration of this project. Photos of the existing property as well as exterior elevations of the proposed work are attached with the submission. Please contact me with any additional information required.



Aaron Bowe  
[ajbowe@gmail.com](mailto:ajbowe@gmail.com)  
608-770-2319





**EXTERIOR GENERAL NOTES**

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

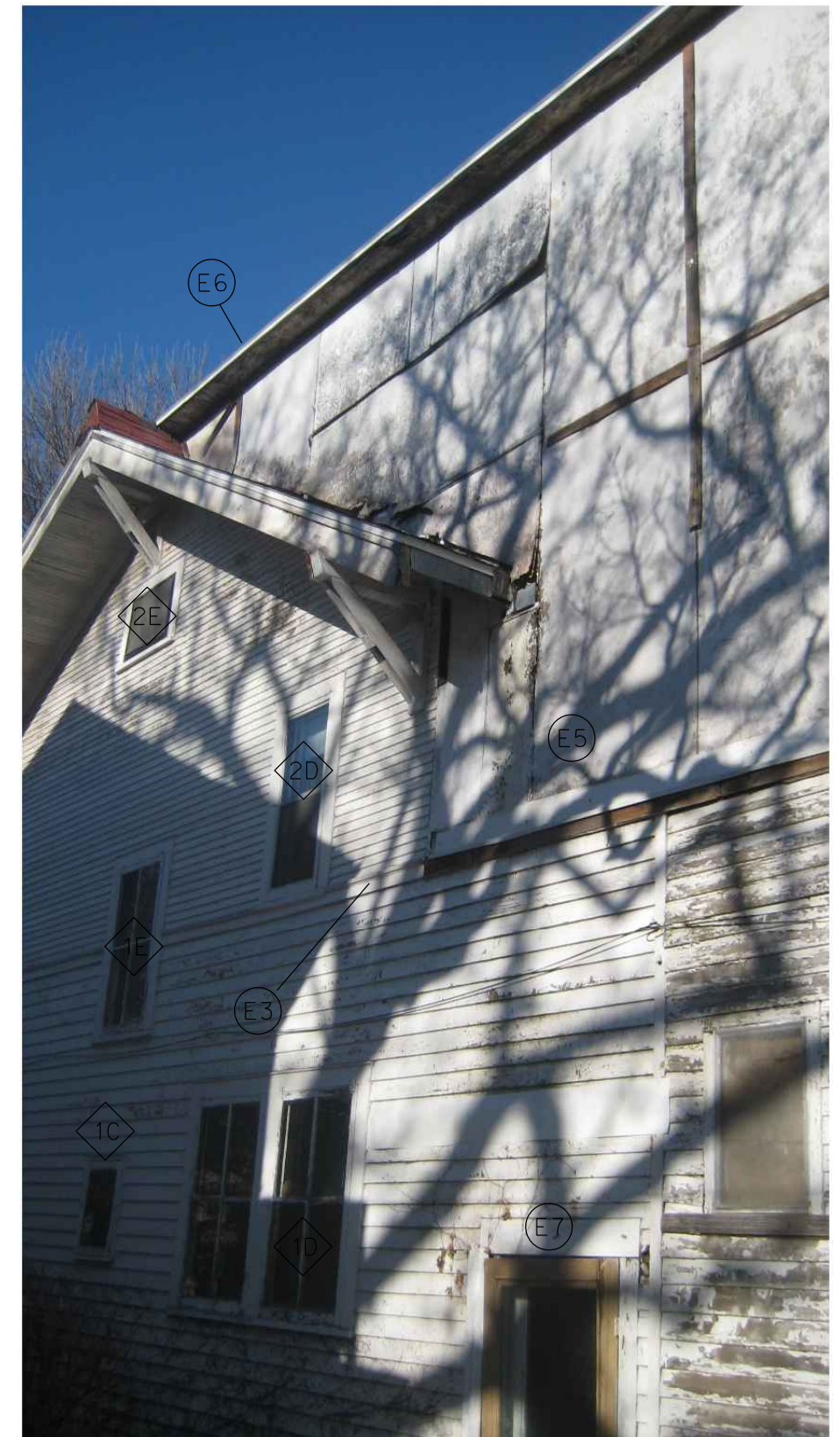
**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING DOOR.

**1** FRONT ELEVATION - PROPOSED SCOPE OF WORK  
N.T.S

WINDOW SCHEDULE <span style="border: 1px solid black; padding: 0 2px;">1A</span>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1A	32"	X 60"	DOUBLE HUNG	DOUBLE	
2A	38"	X 57"	DOUBLE HUNG	SINGLE	3:1 TDL
2B	38"	X 57"	DOUBLE HUNG	SINGLE	3:1 TDL





**EXTERIOR GENERAL NOTES**

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING ROTTING PANEL BOARD AND REPLACE WITH 4" LP SMART SIDING.
- (E6) REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.
- (E7) REMOVE AND REPLACE EXISTING DOOR.

**1 WEST ELEVATION - PROPOSED SCOPE OF WORK**  
N.T.S.

WINDOW SCHEDULE <sup>1A</sup>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1B	32"	X	60"	DOUBLE HUNG	SINGLE
1C					REMOVE
1D	38"	X	60"	DOUBLE HUNG	DOUBLE
1E	32"	X	48"	DOUBLE HUNG	SINGLE
2C	38"	X	57"	DOUBLE HUNG	SINGLE
2D	30"	X	57"	DOUBLE HUNG	SINGLE
2E	24"	X	24"	PICTURE	SINGLE

**2 WEST ELEVATION - PROPOSED SCOPE OF WORK**  
N.T.S.





**EXTERIOR GENERAL NOTES**

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING PANEL BOARDS AND REPLACE WITH 4" LP SMART SIDING.
- (E3) INSTALL NEW TRIM BAND TO MATCH EXISTING TRIM BAND.
- (E4) REMOVE EXSITING WINDOWS AND INSTALL NEW EXTERIOR DOOR WITH STEPS.
- (E5) REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.

WINDOW SCHEDULE <span style="border: 1px solid black; padding: 0 2px;">1A</span>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
3C	44" & 40"	60"	DOUBLE HUNG & PICTURE	TRIPLE	CENTER w/ FLANKERS CENTER w/ UPPER HORIZ. TDL
3D	38"	57"	DOUBLE HUNG	SINGLE	
3E	38"	57"	DOUBLE HUNG	DOUBLE	

**1** BACK ELEVATION - PROPOSED SCOPE OF WORK  
N.T.S.





WINDOW SCHEDULE <sup>1A</sup>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1F	44" & 40" X	60"	DOUBLE HUNG & PICTURE	TRIPLE	CENTER w/ FLANKERS CENTER w/ UPPER HORIZ. TDL
1G	32" X	32"	PICTURE	TRIPLE	
2F	24" X	24"	PICTURE	SINGLE	
2G	38" X	57"	DOUBLE HUNG	SINGLE	
2I					REMOVE
2H	38" X	57"	DOUBLE HUNG	SINGLE	
3F	38" X	57"	DOUBLE HUNG	SINGLE	

**1** EAST ELEVATION - PROPOSED SCOPE OF WORK  
N.T.S.

**EXTERIOR GENERAL NOTES**

- ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
- GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
- MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
- PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
- PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
- RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING ROTTING PANEL BOARD AND REPLACE WITH 4" LP SMART SIDING.
- (E6) REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.
- (E7) REMOVE AND BOARD UP EXISTING WINDOW.



**2** EAST ELEVATION - PROPOSED SCOPE OF WORK  
N.T.S.



**1** FRONT ELEVATION - PROPOSED  
1/4" = 1'-0"

**EXTERIOR GENERAL NOTES**

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING DOOR.

WINDOW SCHEDULE					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1A	32"	X 60"	DOUBLE HUNG	DOUBLE	
2A	38"	X 57"	DOUBLE HUNG	SINGLE	3:1 TDL
2B	38"	X 57"	DOUBLE HUNG	SINGLE	3:1 TDL





**1** WEST ELEVATION - PROPOSED  
1/4" = 1'-0"

**EXTERIOR GENERAL NOTES**

- ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
- GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
- MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
- PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
- PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
- RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- (E5) REMOVE AND REPLACE EXISTING ROTTING PANEL BOARD AND REPLACE WITH 4" LP SMART SIDING.
- (E6) REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.
- (E7) REMOVE AND REPLACE EXISTING DOOR.

WINDOW SCHEDULE <span style="border: 1px solid black; padding: 0 2px;">1A</span>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1B	32"	X 60"	DOUBLE HUNG	SINGLE	
1C					REMOVE
1D	38"	X 60"	DOUBLE HUNG	DOUBLE	
1E	32"	X 48"	DOUBLE HUNG	SINGLE	
2C	38"	X 57"	DOUBLE HUNG	SINGLE	
2D	30"	X 57"	DOUBLE HUNG	SINGLE	
2E	24"	X 24"	PICTURE	SINGLE	
3A	44" & 40"	X 60"	DOUBLE HUNG & PICTURE	TRIPLE	CENTER w/ FLANKERS CENTER w/ UPPER HORIZ. TDL
3B	38"	X 57"	DOUBLE HUNG	SINGLE	





**1** BACK ELEVATION - PROPOSED  
1/4" = 1'-0"

**EXTERIOR GENERAL NOTES**

1. ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
2. GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
3. MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
4. PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
5. PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
6. RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- (E1) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- (E2) REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- (E3) REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- (E4) REMOVE EXSITING WINDOWS AND INSTALL NEW EXTERIOR DOOR WITH STEPS.
- (E5) REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.

WINDOW SCHEDULE <span style="border: 1px solid black; padding: 0 2px;">1A</span>					
ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
3C	44" & 40"	60"	DOUBLE HUNG & PICTURE	TRIPLE	CENTER w/ FLANKERS CENTER w/ UPPER HORIZ. TDL
3D	38"	57"	DOUBLE HUNG	SINGLE	
3E	38"	57"	DOUBLE HUNG	DOUBLE	





**1** EAST ELEVATION - PROPOSED  
1/4" = 1'-0"

**EXTERIOR GENERAL NOTES**

- ALL WINDOWS SPECIFIED REFER TO PELLA LIFESTYLE DOUBLE HUNG OR PICTURE. EXTERIOR: BLACK, INTERIOR: FINISHED WHITE OR UNFINISHED PINE TO BE STAINED TO MATCH EXISTING TRIM PENDING WINDOW LOCATION.
- GLASS SHALL BE LOW E4 WITH ARGON INSULATING GLASS. PROVIDE TEMPERED GLASS WHERE REQ'D BY CODE.
- MATCH EXISTING LAP SIDING DIMENSIONS IN THE LOWER AND UPPER PORTIONS OF THE HOUSE.
- PROPOSED SIDING SHALL BE SMOOTH LP SMART SIDING IN COLOR CAVERN STEEL. TRIM WILL BE SMOOTH AND SIZED TO MATCH ORIGINAL EXISTING TRIM.
- PROPOSED TO REPLACE DAMAGED SOFFITS AND FASCIA BOARDS WHERE REQUIRED WITH SIMILAR MATERIALS.
- RAIN GUTTERS AND DOWNSPOUTS WILL BE INSTALLED TO PREVENT FUTURE WATER DAMAGE AND DRAINAGE FACILITATION.

**EXTERIOR KEYNOTES**

- REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 6" LP SMART SIDING.
- REMOVE EXISTING WOOD LAP SIDING AND REPLACE WITH 4" LP SMART SIDING.
- REMOVE AND REPLACE EXISTING TRIM BAND. REPLACEMENT TO MATCH EXISTING.
- REHAB EXISTING PORCH ENCLOSURE, FLOORING, WOOD PILARS, CONCRETE SUPPORTS, STEPS, AND RAILING.
- REMOVE AND REPLACE EXISTING ROTTING PANEL BOARD AND REPLACE WITH 4" LP SMART SIDING.
- REMOVE EXISTING FLAT ROOF AND WATER DAMAGED THIRD FLOOR. REPLACE WITH TRADITIONAL GABLE ROOF MATCHING EXISTING HOUSE CHARACTERISTICS.

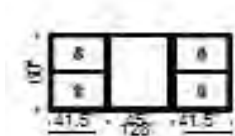
**WINDOW SCHEDULE** 1A

ID	WINDOW			ASSEMBLY	NOTES
	W	H	TYPE		
1F	44" & 40"	60"	DOUBLE HUNG & PICTURE	TRIPLE	CENTER w/ FLANKERS CENTER w/ UPPER HORIZ. TDL
1G	32"	32"	PICTURE	TRIPLE	
2G	38"	57"	DOUBLE HUNG	SINGLE	
2H	38"	57"	DOUBLE HUNG	SINGLE	
2I					REMOVE
3F	38"	57"	DOUBLE HUNG	SINGLE	
3G					REMOVE



Line #	Location:	Attributes
--------	-----------	------------

10 None Assigned

PK #  
2080

Viewed From Exterior

window 1F  
note center window will  
have upper horizontal  
sash to match existing

### Lifestyle, Double Hung, Support Product, Direct Set, Lifestyle, Double Hung, 128 X 60, Without HGP, White

#### 1: Non-Standard Size Non-Standard Size Double Hung, Equal

**Frame Size:** 41 1/2 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Full Screen, White, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical 5.7 sqft (E) (United States Only)

**Grille:** No Grille,

**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 2: 4560 Fixed Frame

**Frame Size:** 45 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Performance Information:** U-Factor 0.29, SHGC 0.32, VLT 0.62, CPD PEL-N-18-02773-00001

**Grille:** No Grille,

**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 3: Non-Standard Size Non-Standard Size Double Hung, Equal

**Frame Size:** 41 1/2 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Full Screen, White, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical 5.7 sqft (E) (United States Only)

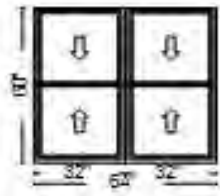
**Grille:** No Grille,

**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 376".

Rough Opening: 129" X 60.75"

Line #	Location:	Attributes
--------	-----------	------------

15 None Assigned

PK #  
2080

Viewed From Exterior

Windows 1A &amp; 3E

**Lifestyle, 2-Wide Double Hung, 64 X 60, Without HGP, White****1: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 32 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical for ground floor 5.0 sqft (E1)

(United States Only)

**Grille:** No Grille,**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**2: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 32 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical for ground floor 5.0 sqft (E1)

(United States Only)

**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 248".**Rough Opening:** 64 - 3/4" X 60 - 3/4"



Line #	Location:	Attributes
--------	-----------	------------

20 None Assigned

### Lifestyle, 3-Wide Awning, 96 X 32, With HGP, White



PK #  
2080

Viewed From Exterior

Window 1G

#### 1: 3232 Vent Awning

**Frame Size:** 32 X 32

**General Information:** No Package, With Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hinge Panel:** Clear, Annealed

**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor, Sill

**Screen:** Full Screen, White, InView™

**Unit Accessories:** No Accessory Option

**Performance Information:** U-Factor 0.25, SHGC 0.22, VLT 0.41, CPD PEL-N-246-00101-00003, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Not Applicable

**Grille:** No Grille,

**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 2: 3232 Fixed Sash Set

**Frame Size:** 32 X 32

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Performance Information:** U-Factor 0.28, SHGC 0.31, VLT 0.58, CPD PEL-N-22-00624-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11

**Grille:** No Grille,

**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 3: 3232 Vent Awning

**Frame Size:** 32 X 32

**General Information:** No Package, With Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hinge Panel:** Clear, Annealed

**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor, Sill

**Screen:** Full Screen, White, InView™

**Unit Accessories:** No Accessory Option

**Performance Information:** U-Factor 0.25, SHGC 0.22, VLT 0.41, CPD PEL-N-246-00101-00003, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Not Applicable

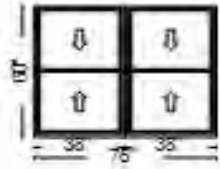
**Grille:** No Grille,

**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 256".

**Rough Opening:** 96 - 3/4" X 32 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

25 None Assigned

**Lifestyle, 2-Wide Double Hung, 76 X 60, Without HGP, White**PK #  
2080

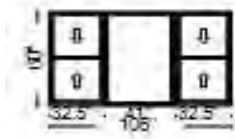
Viewed From Exterior

**Window 1D****1: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 38 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical 5.7 sqft (E) (United States Only)**Grille:** No Grille,**Vertical Mull 1:** Factory Mull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**2: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 38 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical 5.7 sqft (E) (United States Only)**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 272".**Rough Opening:** 76 - 3/4" X 60 - 3/4"



Line #	Location:	Attributes
--------	-----------	------------

30 None Assigned

PK #  
2080

Viewed From Exterior

Window 3C

### Lifestyle, Double Hung, Support Product, Direct Set, Lifestyle, Double Hung, 106 X 60, Without HGP, White

#### 1: Non-Standard Size Non-Standard Size Double Hung, Equal

**Frame Size:** 32 1/2 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Full Screen, White, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical for ground floor 5.0 sqft (E1)

(United States Only)

**Grille:** No Grille,

**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 2: 4160 Fixed Frame

**Frame Size:** 41 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Performance Information:** U-Factor 0.29, SHGC 0.32, VLT 0.62, CPD PEL-N-18-02773-00001

**Grille:** No Grille,

**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

#### 3: Non-Standard Size Non-Standard Size Double Hung, Equal

**Frame Size:** 32 1/2 X 60

**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black

**Exterior Color / Finish:** Standard Enduraclad, White

**Interior Color / Finish:** Prefinished White Paint Interior

**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

**Screen:** Full Screen, White, InView™

**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical for ground floor 5.0 sqft (E1)

(United States Only)

**Grille:** No Grille,

**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 332".

**Rough Opening:** 106 - 3/4" X 60 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

35 None Assigned

PK #  
2080

Viewed From Exterior

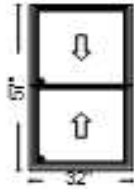
Window 3A

**Lifestyle, 3-Wide Double Hung, 87.75 X 60, Without HGP, White****1: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 29 1/4 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** No Grille,**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**2: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 29 1/4 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** No Grille,**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical**3: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 29 1/4 X 60**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 296".**Rough Opening:** 88 - 1/2" X 60 - 3/4"



Line #	Location:	Attributes
--------	-----------	------------

40 None Assigned

**Lifestyle, Double Hung, 32 X 57, Without HGP, White**PK #  
2080

Viewed From Exterior

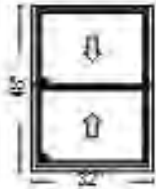
windows 1B

**1: Non-Standard Size Double Hung, Equal****Frame Size:** 32 X 57**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00365-00001, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 178".

Rough Opening: 32 - 3/4" X 57 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

45 None Assigned

**Lifestyle, Double Hung, 32 X 48, Without HGP, White**PK #  
2080

Viewed From Exterior

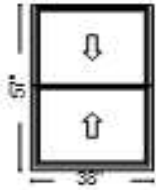
windows 1E

**1: Non-Standard Size Non-Standard Size Double Hung, Equal****Frame Size:** 32 X 48**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00365-00001, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 160".

Rough Opening: 32 - 3/4" X 48 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

50 None Assigned

**Lifestyle, Double Hung, 38 X 57, Without HGP, White**PK #  
2080

Viewed From Exterior

**1: Non-Standard Size Double Hung, Equal****Frame Size:** 38 X 57**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.57, CPD PEL-N-35-00362-00001, Egress Meets Typical 5.7 sqft (E) (United States Only)**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 190".

windows 2A & 2B have 3:1 TDL  
in upper window

Windows 2C, 3B, 3D, 3F, 2G, 2H

**Rough Opening:** 38 - 3/4" X 57 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

55 None Assigned

**Lifestyle, Double Hung, 30 X 57, Without HGP, White**PK #  
2080

Viewed From Exterior

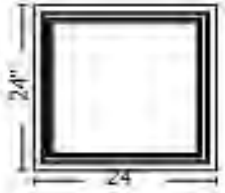
**1: Non-Standard Size Double Hung, Equal****Frame Size:** 30 X 57**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Black**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor**Screen:** Full Screen, White, InView™**Performance Information:** U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00365-00001, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 174".

windows 2D

**Rough Opening:** 30 - 3/4" X 57 - 3/4"

Line #	Location:	Attributes
--------	-----------	------------

60 None Assigned

**Lifestyle, Sash Set Fixed, 24 X 24, Without HGP, White**PK #  
2080

Viewed From Exterior

**windows 2E & 2F****1: Non-Standard Size Non-Standard Size Fixed Sash Set****Frame Size:** 24 X 24**General Information:** No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Standard Enduraclad, White**Interior Color / Finish:** Prefinished White Paint Interior**Glass:** Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Performance Information:** U-Factor 0.28, SHGC 0.31, VLT 0.58, CPD PEL-N-22-00624-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11**Grille:** No Grille,**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 6 3/16", 7 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 96".**Rough Opening:** 24 - 3/4" X 24 - 3/4"**HARDWARE LOCKING AND HANDLE TO MATCH EXISTING WINDOWS**

Cam-Action Lock - Oil-Rubbed Bronze



Spoon-Style Lock - Oil-Rubbed Bronze



Sash Lift - Oil-Rubbed Bronze



## Bailey, Heather

---

**From:** Aaron Bowe <ajbowe@gmail.com>  
**Sent:** Tuesday, March 30, 2021 4:58 PM  
**To:** Bailey, Heather  
**Subject:** Re: 2129 Kendall Ave Application Submittal

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Heather - I already explored this possibility myself. I attempted to have the door weather stripped to prevent cold air from entering the house this winter and I can personally say it failed. The door is extremely warped at the upper closing corner which prevents it from securing a seal. Also, the locking/door latch has been significantly damaged from poor replacements under prior ownership. Honestly, the door latches less than 25% of the time and is a significant security risk to my family and me. Attached are some photo's of the damaged latch. There does not appear to be any economical way to rehabilitate the existing front door.

Thanks, Aaron





On Tue, Mar 30, 2021 at 12:00 PM Bailey, Heather <[HBailey@cityofmadison.com](mailto:HBailey@cityofmadison.com)> wrote:

I would also encourage rehabilitating the existing front door. It looks like it is likely original to the house and the proposed replacements do not replicate its appearance.



**Heather L. Bailey, Ph.D.** *(she/her)*

Preservation Planner

Neighborhood Planning, Preservation + Design Section

---

Department of Planning + Community + Economic Development

Planning Division





MEMBERED WATCH  
WARNING



# YOUR PROFESSIONAL-CLASS PRODUCT

Signet Smooth Fiberglass Entry Door with Clear Glass



877.389.0835  
2150 State Route 39  
Sugarcreek, OH 44681

## QUOTE INFORMATION

Job: Aaron Bowe



OUTSIDE VIEW



INSIDE VIEW

## DETAILS

### Signet Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size

Unit Size: 37 9/16" x 81 11/16"

Frame Depth: 4 9/16"

2" Standard Brickmold

Right Hand Inswing - Inside Looking Out

420 Style Signet Smooth Fiberglass Door

With Dentil Shelf

ComforTech DC

Colonial SDL Grid - 2V x 0H

Snow Mist White Inside / Deep Blue Outside SDL Grids  
(Dusty Gray Shadow Grids)

With Trim Plugs

Snow Mist White Inside / Deep Blue Outside

### Hardware

All Hardware in Satin Nickel Finish

Plymouth Grip Entrance Handle Outside

Georgian Handle Inside

Thumbturn Deadbolt

### Frame

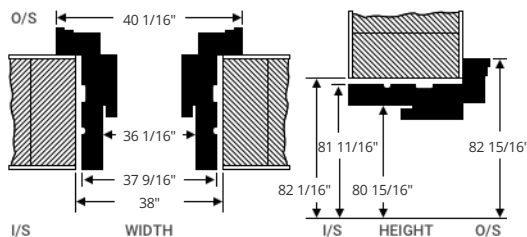
Snow Mist White Inside Frame

Bronze ZAC Auto-Adjusting Threshold (5 5/8" Depth)

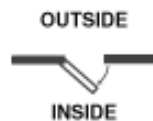
Satin Nickel Ball Bearing Hinges

Security Plate

## SIZING



## HANDING



## ENERGY

### ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I-P)      Solar Heat Gain Coefficient

0.22      0.07

### ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.07      -



ENERGY STAR® Certified  
In All 50 States.

# YOUR PROFESSIONAL-CLASS PRODUCT

Heritage Smooth Fiberglass Entry Door with Clear Glass



877.389.0835  
2150 State Route 39  
Sugarcreek, OH 44681

## QUOTE INFORMATION

Job: Aaron Bowe



OUTSIDE VIEW



INSIDE VIEW

## DETAILS

### Heritage Single Entry Door in FrameSaver Frame

36" x 80" Nominal Size

Unit Size: 37 9/16" x 81 11/16"

Frame Depth: 4 9/16"

2" Standard Brickmold

Right Hand Inswing - Inside Looking Out

1 Panel 430 Style Heritage Smooth Fiberglass Door

ComforTech DC

Snow Mist White Inside / Deep Blue Outside

### Hardware

All Hardware in Satin Nickel Finish

Georgian Lockset

Thumbturn Deadbolt

### Frame

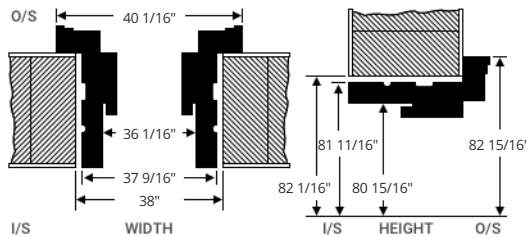
Snow Mist White Inside Frame

Mill Finish ZAI Adjustable Threshold (5 5/8" Depth)

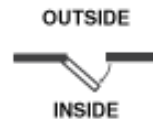
Satin Nickel Ball Bearing Hinges

Security Plate

## SIZING



## HANDING



## ENERGY

### ENERGY PERFORMANCE RATINGS

U-Factor (U.S/I-P)      Solar Heat Gain Coefficient

0.23                      0.15

### ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance

0.15                      -



ENERGY STAR® Certified  
In All 50 States.



March 10, 2021

Landmarks Commission  
City of Madison  
Planning Division  
215 Martin Luther King Jr Blvd, Ste 017  
PO Box 2985 Madison, WI 53701-2985  
(608) 266-4635

Re: Historic Window Assessment  
Aaron Bowe Residence  
2129 Kendall Avenue  
Madison, WI 53726

*Note: Assessment is for the original historical windows on the first and second floor of the original constructed house. Windows done as part of the addition from 1974 – 1976 are not considered part of the assessment. As noted below and due to lack of overall maintenance, several of these windows have experienced similar deterioration if not worse due to materials used on the exterior of the house.*

The window assessment performed on March 10, 2021 at 2129 Kendall Avenue are of the original 1915 era windows found the windows to be overall poor condition. Restoration of the full functionality, original appearance of the windows is not economical given their condition. Due to lack of maintenance from previous owners over the last 53 years, sills', bottom rails, and base of the jambs have seen significant water damage, warping, cracking, and deterioration. Several of the window panes are cracked with no to minimal caulking holding the window into place. Majority of the hardware has been removed, broken or inoperable (*ropes, latches, weights, pulleys, etc.*). In some cases, the windows have been caulked shut to prevent opening, maintenance, and use as an egress in case of an emergency.

It was observed that several of the exterior portions of the windows have wood rotting and peeling due to the storm windows also failing over the course of the previous owners ownership. Exterior trim edges are damaged and weathered. Majority if not all storm windows have been damaged due to vines growing through the window cracks resulting in window panes missing, hardware inoperable and in some cases missing or rotted True Divided Light Grilles.

The cost of restoration will vary per windows based on the current conditions, but in all locations significant window restoration will be required in addition to repairing any rough frame work that was not visible from the inspection but expected due to some of the water damage in several locations. Full restoration, functionality and original appearance will be difficult to achieve given the anticipated scope of work. Scope of work associated with each window is anticipated to involve replacing sill's, jambs, sash's, window panes, weather stripping, interior paint buildup, hardware, mechanics, and damaged rough openings. Estimated cost for full restoration ranges in \$1,800- \$2,800 per window.

This document is for assessment purposes only and is not intended as a proposal or project estimate. Further details and photographs of the windows in this assessment can be provided upon request. Please contact Michael Fuller at 608-219-5277 or [mbfuller01@gmail.com](mailto:mbfuller01@gmail.com) for any further information.

*Note: Window ID starts on the first floor ( i.e. 1A) window facing north along the east side proceeds in a counterclockwise manner. Window ID proceeds in the same manner on the second floor.*

**Window 1A Location:** First Floor facing north; living room

Type: Single Hung      No Upper or lower TDL (True Divided Light) Size: approx. 32" x 60" (each window)

Sill and Jamb Condition: Water Damaged and or Deteriorated.

Sash joint Conditions: OK

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane Storm Cracked

**Window 1B Location:** First Floor facing west; bottom of staircase

Type: Single Hung      No Upper or lower TDL Size: approx. 32" x 60"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: OK

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane Storm Missing Hardware

**Window 1C Location:** First Floor facing west; ½ bathroom window

Window unit not original to structure, to be removed from structure.

**Window 1D Location:** First Floor facing west; study

Type: Single Hung      No Upper or lower TDL      Size: approx. 38" x 60" (each window)

Sill and Jamb Condition: Water Damaged and or Deteriorated.

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Missing

Balance System condition: Inoperable

Notes: Single Pane Storms Rotted and Deteriorated.

**Window 1E Location:** First Floor facing west; mid-height in stairwell

Type: Single Hung      No Upper or lower TDL      Size: approx. 32" x 48"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor, Rotted

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: OK

Notes: Single Pane Storm Deteriorated, Rotted

**Window 1F Location:** First Floor facing east; family room

Type: Center (Picture) w/ Two Flankers (Single Hung)      Center with upper quarter horizontal TDL

Size: approx. 44" x 60" (flankers), 40" x 60" (center)

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Ok

Notes: Single Pane Storms Deteriorated at Bottom Rail



**Window 1G Location:** First Floor facing east; living room

Type: triple window (Picture)    No upper or lower TDL                      Size: approx. 32" x 32" X3 sash

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane, Lower Sash Cracked

Hardware Condition: n/a

Balance System condition: n/a

Notes: Single Pane Storm Deteriorated at lower corner

**Window 2A Location:** Second Floor facing north; front right bedroom

Type: Sing Hung                      Upper Vertical TDL: 3:1                      Size: approx. 38" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Fair

Glass Condition: Single Pane, Lower Sash Cracked

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane Storm Deteriorated at lower corner

**Window 2B Location:** Second Floor facing north; front left bedroom

Type: Sing Hung                      Upper Vertical TDL: 3:1                      Size: approx. 38" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane, Lower Sash Cracked

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane Storm Cracked, Lower Rail Deteriorated

**Window 2C Location:** Second Floor facing west; front left bedroom

Type: Sing Hung          No Upper or lower TDL          Size: approx. 38" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Missing

Balance System condition: Poor

Notes: Single Pane Storm Lower Rail Deteriorated

**Window 2D Location:** Second Floor facing west; bathroom

Type: Sing Hung          No Upper or lower TDL          Size: approx. 30" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Poor

Notes: Aftermarket Single Pane Storm. Need of Replacement

**Window 2E Location:** Second Floor facing west; attic

Type: Picture          No Upper or lower TDL          Size: approx. 24" x 24"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Cracked and Deteriorated

Glass Condition: Single Pane Cracked

Hardware Condition: Poor

Balance System condition: N/A

Notes: Make Shift Sash and Frame. Unit not in good condition.

**Window 2F Location:** Second Floor facing east; attic

Type: Picture                      No Upper or lower TDL                      Size: approx. 24" x 24"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Cracked and Deteriorated

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: N/A

Notes: Unit not in good condition.

**Window 2G Location:** Second Floor facing east; middle bedroom

Type: Single hung                      No Upper or lower TDL                      Size: approx. 38" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane Storm Deteriorated Bottom Rail

**Window 2H Location:** Second Floor facing east; front right bedroom

Type: Single hung                      No Upper or lower TDL                      Size: approx. 38" x 57"

Sill and Jamb Condition: Water Damaged and or Deteriorated

Sash joint Conditions: Poor

Glass Condition: Single Pane

Hardware Condition: Poor

Balance System condition: Poor

Notes: Single Pane 2 Missing in this Storm unit. Lower Rail Deteriorated.



# Window 1A

- Interior



- Exterior



# Window 1B

- Interior



- Exterior



# Window 1C

- Interior



- Exterior



# Window 1D

- Interior



- Exterior





# Window 1E

- Interior



- Exterior



# Window 1F

- Interior



- Exterior



# Window 1G

- Interior

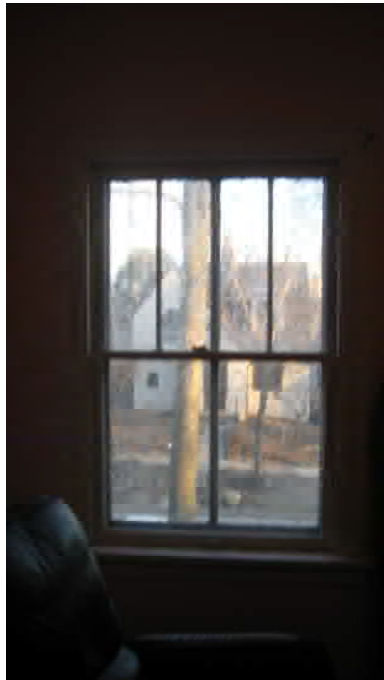


- Exterior



# Window 2A

- Interior



- Exterior





# Window 2B

- Interior



- Exterior



# Window 2C

- Interior

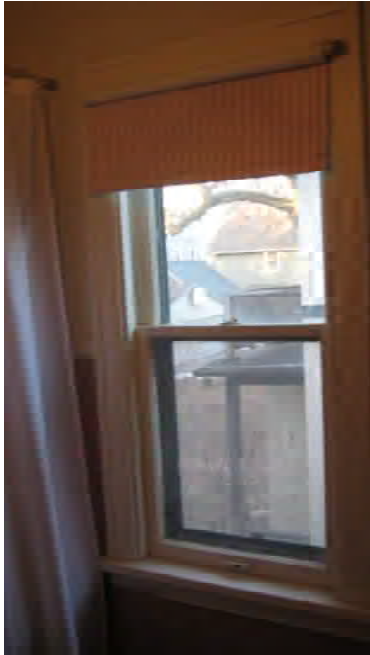


- Exterior



# Window 2D

- Interior



- Exterior



# Window 2E

- Interior



- Exterior





# Window 2F

- Interior



- Exterior



# Window 2G

- Interior



- Exterior



# Window 2H

- Interior



- Exterior



# Window 2I

- Interior



- Exterior

