



SIP PACKAGE MADISON YARDS: BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

KAHLER SLATER PROJECT:
FEBRUARY 1, 2021

ARCHITECT:
KAHLER SLATER, INC.
111 WEST WISCONSIN AVENUE
MILWAUKEE, WISCONSIN 53203
414.272.2000



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SHEET INDEX - ARCHITECTURAL

SHEET NO.	SHEET NAME
A5100	ARCHITECTURAL SITE PLAN
A300	OVERALL SECTIONS

SHEET INDEX - CIVIL & LANDSCAPE

SHEET NO.	SHEET NAME
1 OF 1	TOPOGRAPHIC MAP
B1-C0.1	BLOCK 1 NOTES & LEGEND
B1-C1.0	BLOCK 1 OVERALL SITE PLAN
B1-C1.1	BLOCK 1 DETAILED SITE PLAN - NORTHWEST
B1-C1.2	BLOCK 1 DETAILED SITE PLAN - NORTHEAST
B1-C1.3	BLOCK 1 DETAILED SITE PLAN - SOUTHEAST
B1-C1.4	BLOCK 1 DETAILED SITE PLAN - SOUTHWEST
B1-C2.0	BLOCK 1 GRADING & EROSION CONTROL PLAN
B1-C2.1	BLOCK 1 DETAILED GRADING PLAN - NORTHWEST
B1-C2.2	BLOCK 1 DETAILED GRADING PLAN - NORTHEAST
B1-C2.3	BLOCK 1 DETAILED GRADING PLAN - SOUTHEAST
B1-C2.4	BLOCK 1 DETAILED GRADING PLAN - SOUTHWEST
B1-C3.0	BLOCK 1 UTILITY PLAN
B1-C4.0	BLOCK 1 DETAILS - EROSION CONTROL & UTILITIES
B1-C4.1	BLOCK 1 DETAILS - SITE
B1-L1.0	BLOCK 1 OVERALL LANDSCAPE PLAN
B1-L1.1	BLOCK 1 DETAILED LANDSCAPE PLAN - NORTHWEST
B1-L1.2	BLOCK 1 DETAILED LANDSCAPE PLAN - NORTHEAST
B1-L1.3	BLOCK 1 DETAILED LANDSCAPE PLAN - SOUTHEAST
B1-L1.4	BLOCK 1 DETAILED LANDSCAPE PLAN - SOUTHWEST
B1-L2.0	BLOCK 1 LANDSCAPE DETAILS & NOTES

SHEET INDEX - ARCHITECTURAL BUILDING A

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A111A	1ST FLOOR PLAN
A112A	2ND FLOOR PLAN
A113A	3RD FLOOR PLAN
A114A	4TH FLOOR PLAN
A115A	5TH FLOOR PLAN
A116A	6TH FLOOR PLAN
A117A	7TH FLOOR PLAN
A118A	ROOF PLAN
A210A	EXTERIOR ELEVATIONS
A211A	EXTERIOR ELEVATIONS
A310A	BUILDING SECTIONS
A320A	WALL SECTIONS

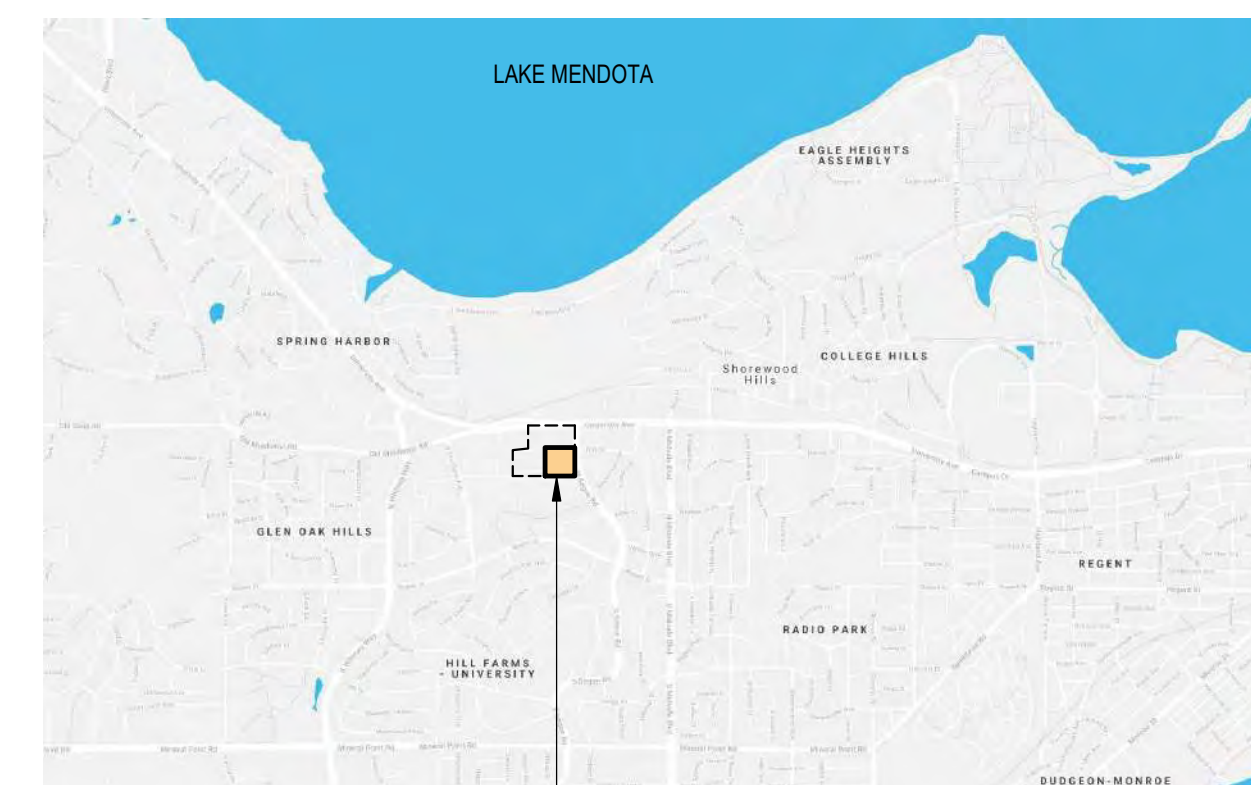
SHEET INDEX - ARCHITECTURAL BUILDING B

SHEET NO.	SHEET NAME
A111B	1ST FLOOR PLAN
A112B	2ND FLOOR PLAN
A113B	3RD FLOOR PLAN
A114B	4TH FLOOR PLAN
A115B	5TH FLOOR PLAN
A116B	ROOF PLAN
A210B	EXTERIOR ELEVATIONS
A310B	SECTIONS

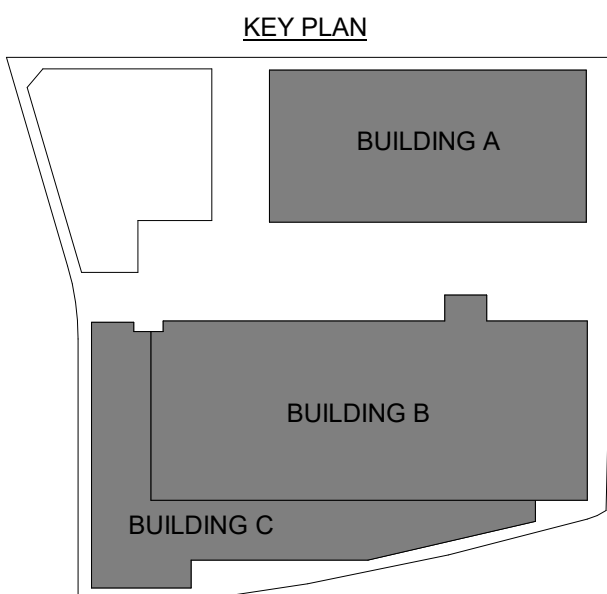
SHEET INDEX - ARCHITECTURAL BUILDING C

SHEET NO.	SHEET NAME
A111C	1ST FLOOR PLAN
A112C	2ND FLOOR PLAN
A113C	3RD FLOOR PLAN
A114C	4TH FLOOR PLAN
A115C	5TH FLOOR PLAN
A116C	ROOF PLAN
A210C	EXTERIOR ELEVATIONS

A21	OVERALL EXTERIOR ELEVATIONS
A22	OVERALL EXTERIOR ELEVATIONS
A23	OVERALL EXTERIOR ELEVATIONS
A30	EXTERIOR PERSPECTIVES
A31	EXTERIOR PERSPECTIVES
A32	EXTERIOR PERSPECTIVES
A33	EXTERIOR PERSPECTIVES
A34	EXTERIOR PERSPECTIVES
A35	EXTERIOR PERSPECTIVES
A36	EXTERIOR PERSPECTIVES



SITE LOCAON MAP



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Drawing Date
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**MADISON YARDS:
BLOCK 1**

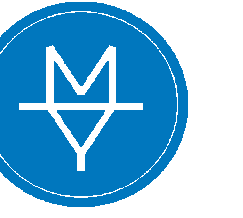
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
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Sheet Title
COVER SHEET

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Telephone 608.263.8300 Fax 608.263.8317
125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

Sheet No.
G000



ASSEMBLIES & COMPONENTS

FDC	FIRE DEPARTMENT CONNECTION - REFER TO DESIGN BUILD FIRE PROTECTION DOCUMENTS
KNOX BOX	FIRE DEPARTMENT KNOX BOX SAFE LOCATION

KEYNOTES - FLOOR PLAN

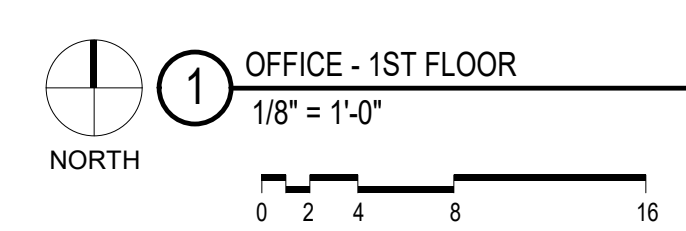
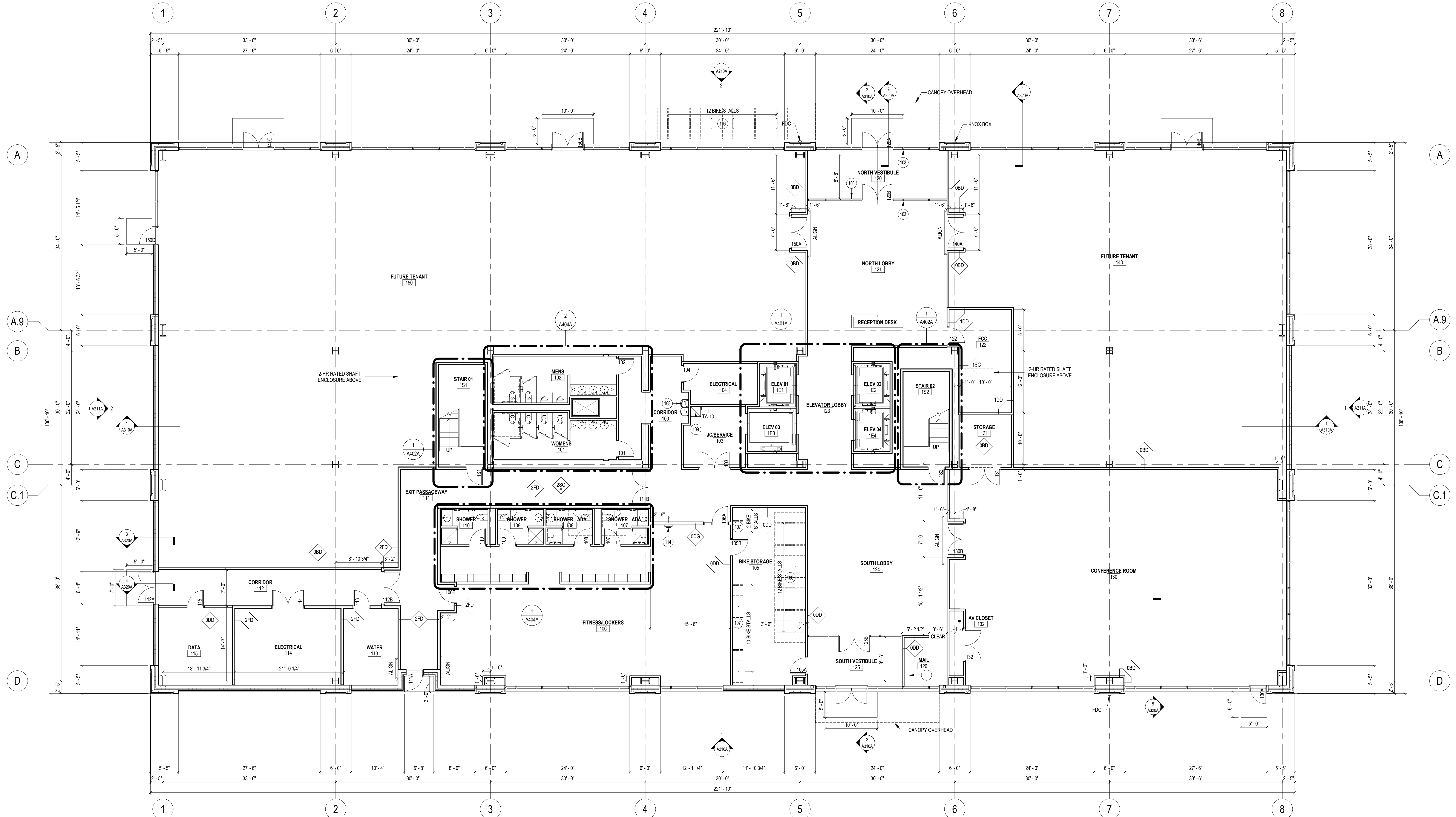
103	AUTOMATIC DOOR OPERATOR ACTUATOR - MULLION MOUNTED
106	FLOOR MOUNTED BIKE RACK
107	WALL MOUNTED BIKE RACK
108	B/L-LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
109	24"x24" MOP SINK
114	BOTTLE FILLER

FLOOR PLAN LEGEND

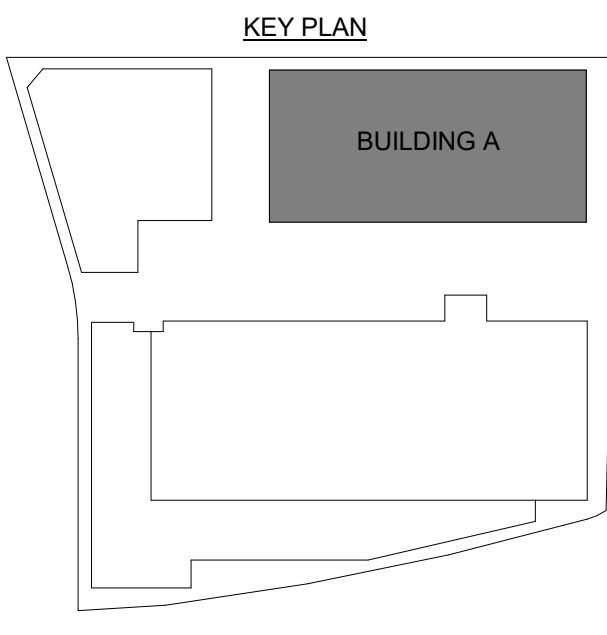
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G660 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DRD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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**MADISON YARDS:
BLOCK 1**

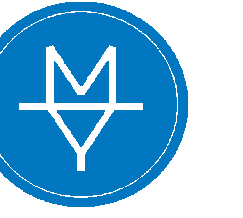
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
1ST FLOOR PLAN

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4316

Sheet No.
A111A



KEYNOTES - FLOOR PLAN

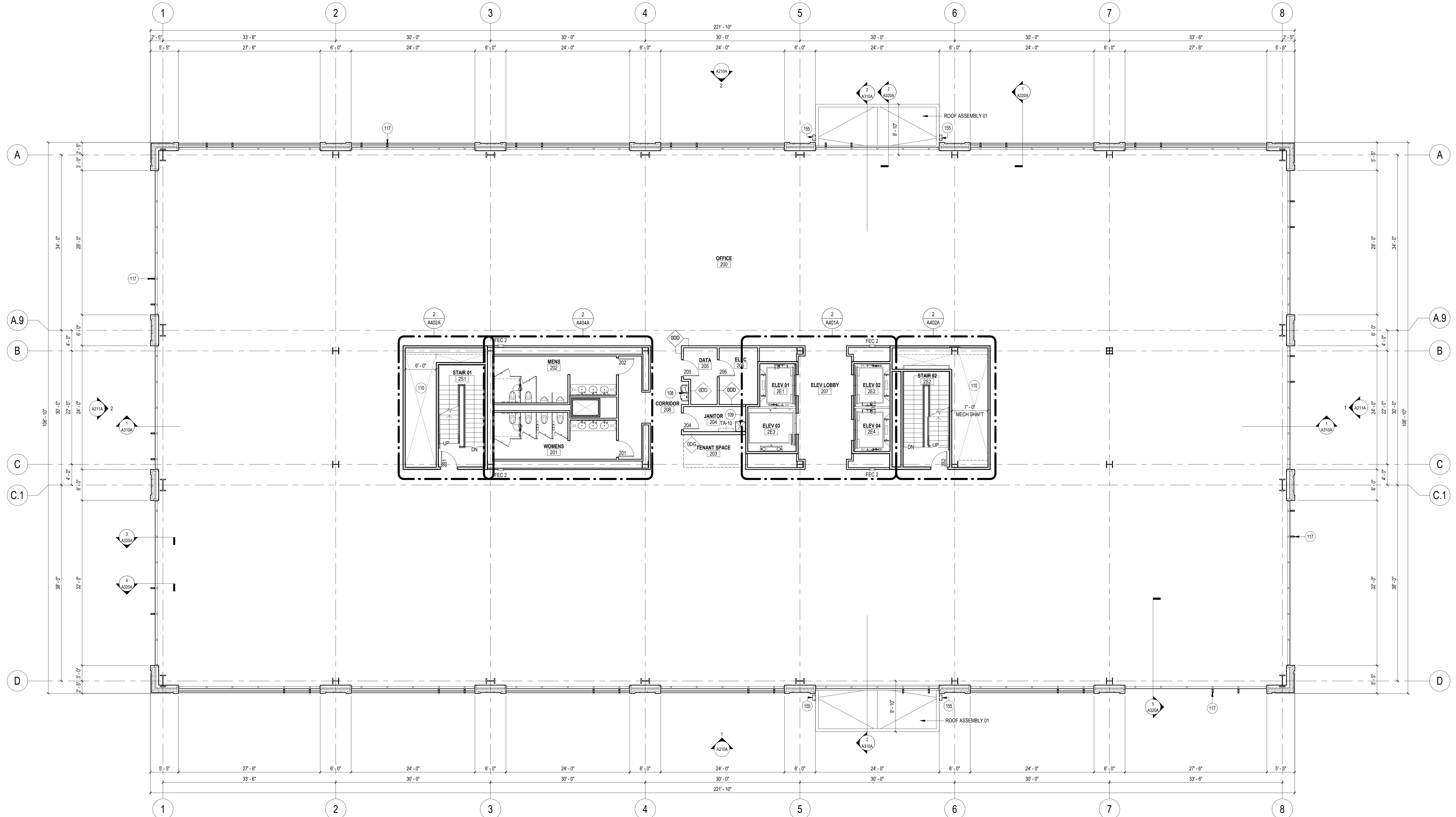
108	8 1/2" LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
109	24"x24" MCP SINK
110	MECHANICAL SHAFT OPENING IN FLOOR. COORDINATE W/ MECHANICAL & STRUCTURAL
117	EXTRUDED MULLION GAP EXTENSION
155	THROUGH WALL OVERFLOW SCUPPER

FLOOR PLAN LEGEND

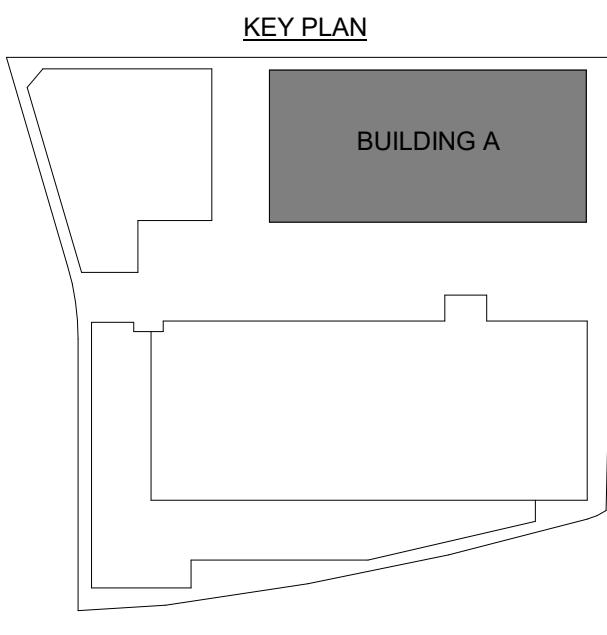
	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
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4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE BLD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

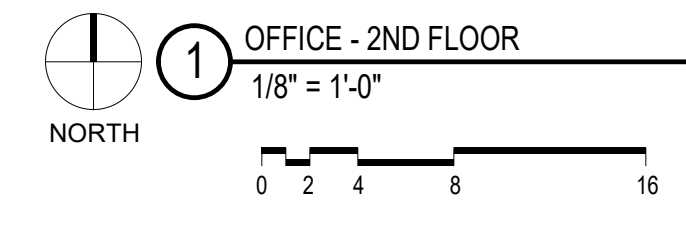
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

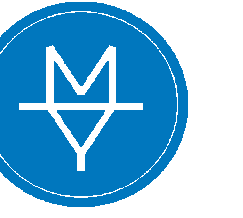
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Sheet Title
2ND FLOOR PLAN

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A112A





KEYNOTES - FLOOR PLAN

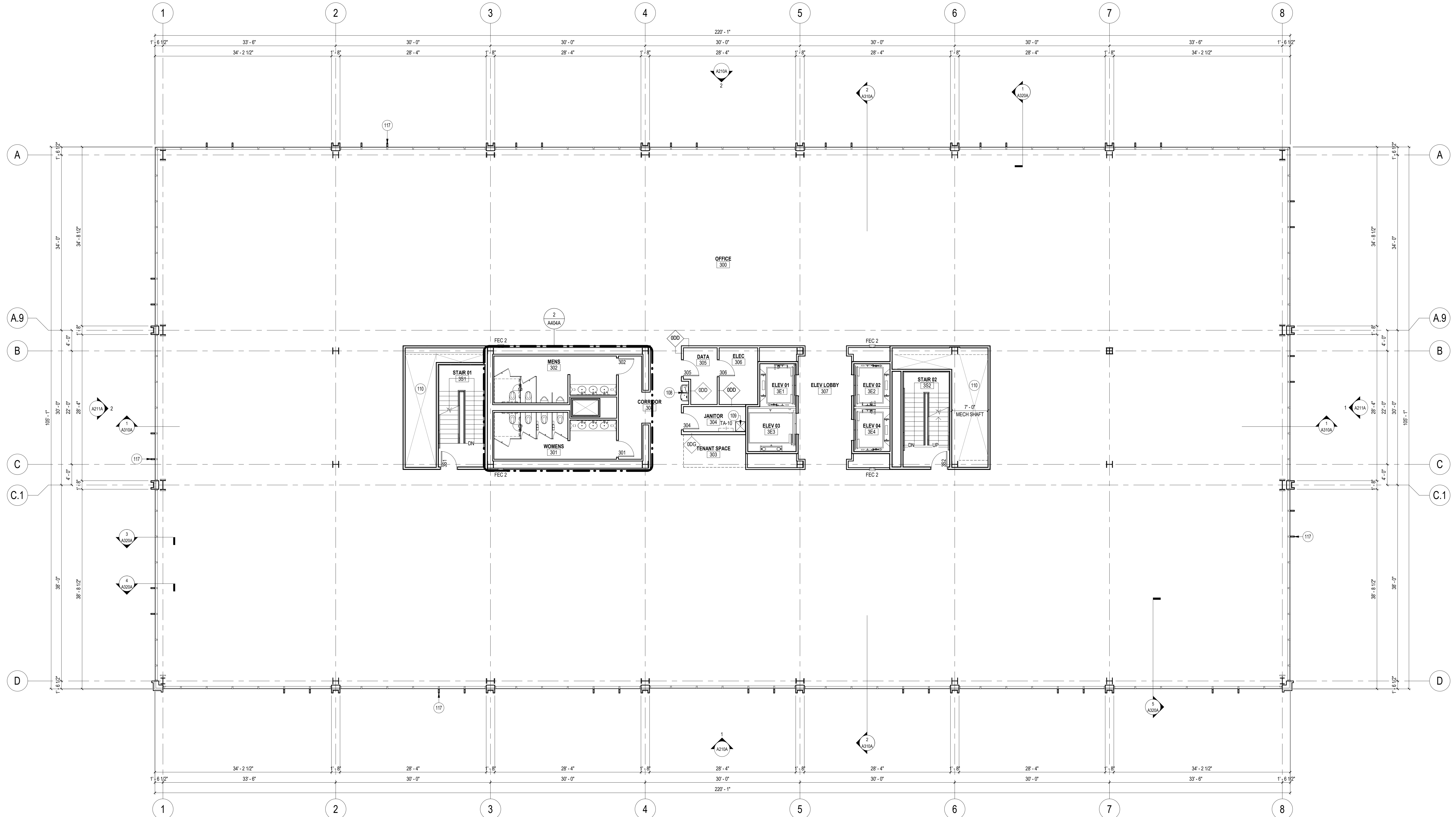
108	8 1/2" LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
109	24"x24" MCP SINK
110	MECHANICAL SHAFT OPENING IN FLOOR. COORDINATE W/ MECHANICAL & STRUCTURAL
117	EXTRUDED MULLION CAP EXTENSION

FLOOR PLAN LEGEND

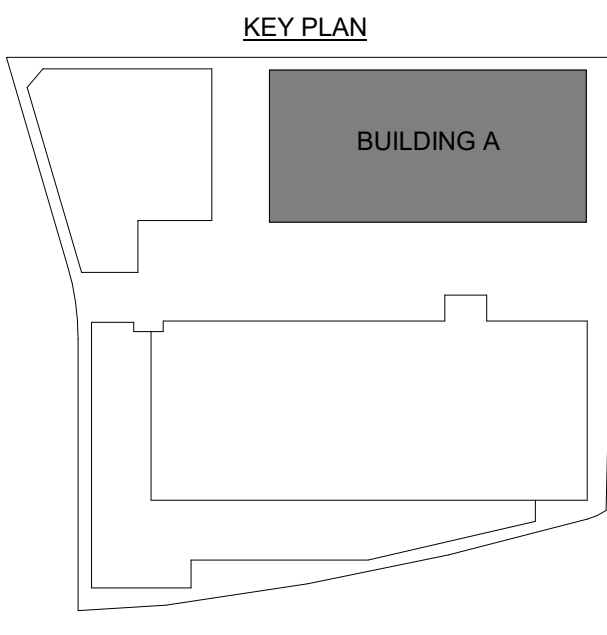
	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

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3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DRD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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MADISON YARDS:
BLOCK 1

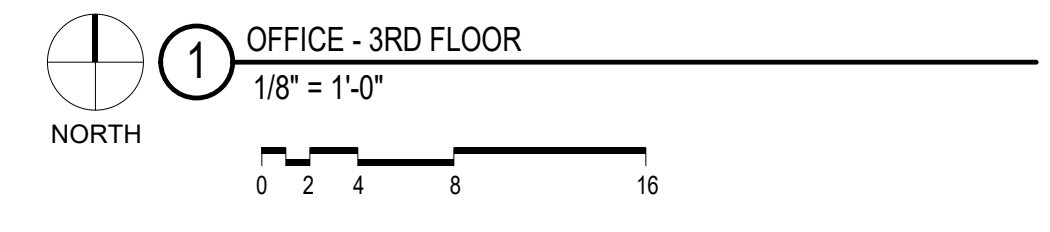
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

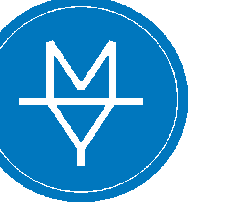
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Sheet Title
3RD FLOOR PLAN

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 125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
 Telephone 312.789.4516

Sheet No.
A113A





KEYNOTES - FLOOR PLAN

- 108 8" LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
- 109 24"x24" MCP SINK
- 110 MECHANICAL SHAFT OPENING IN FLOOR. COORDINATE W/ MECHANICAL & STRUCTURAL

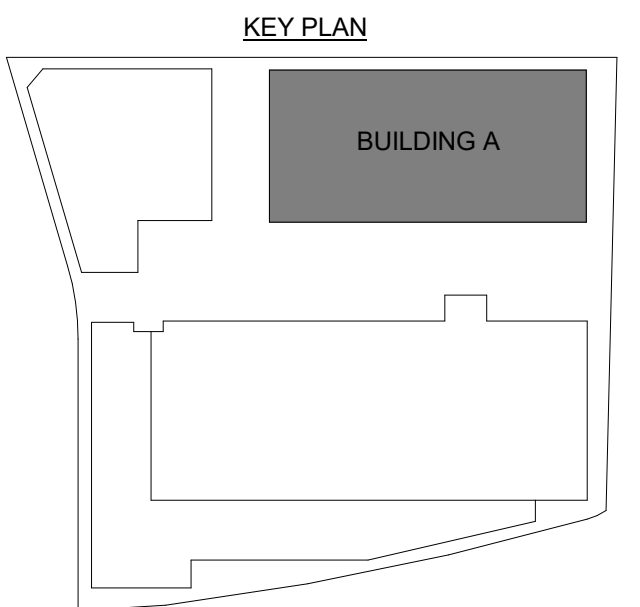
FLOOR PLAN LEGEND

- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

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FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

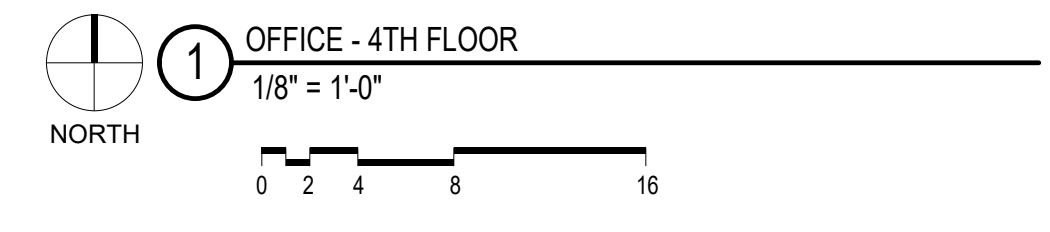
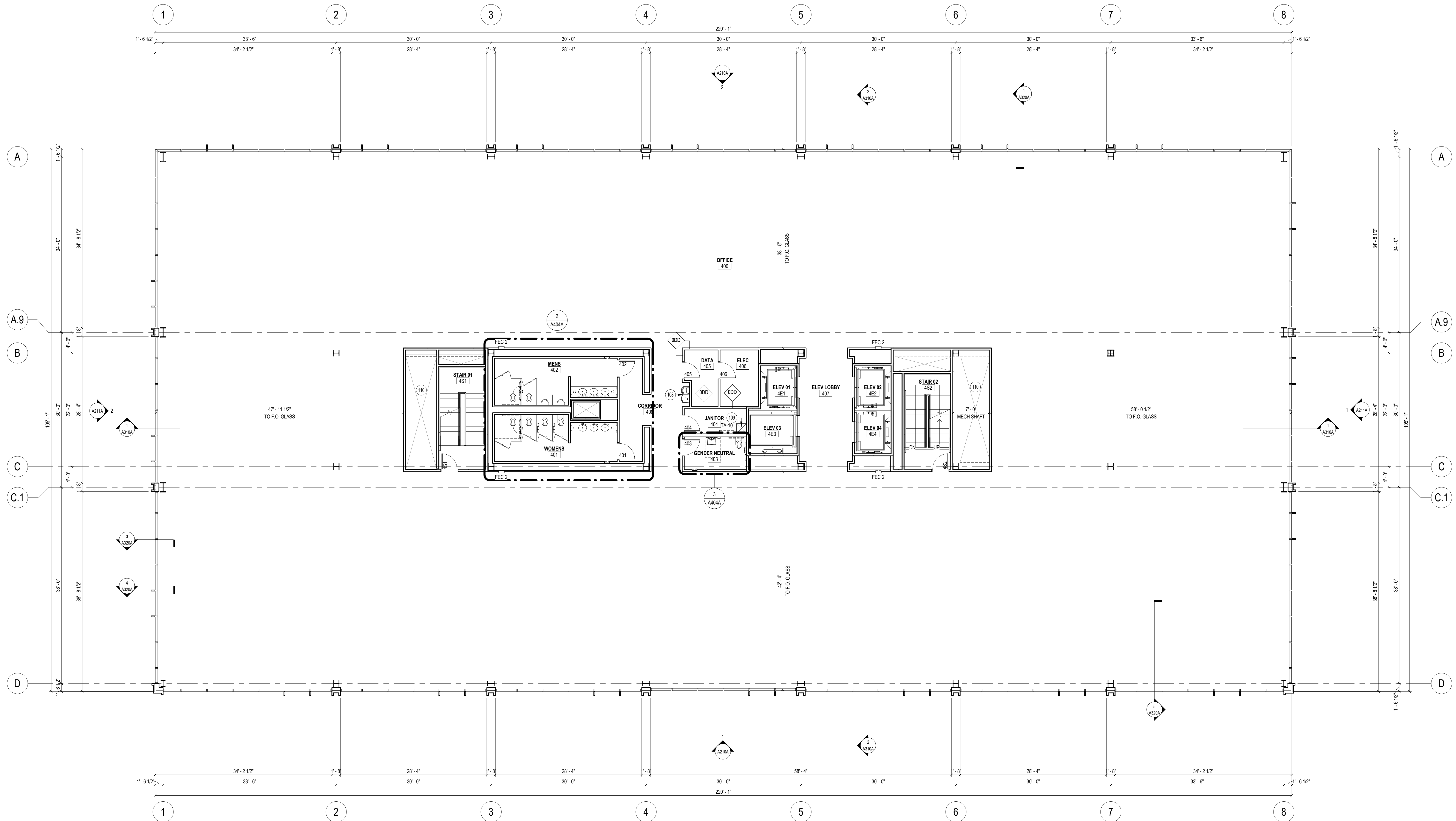
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

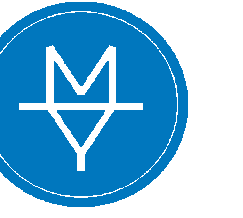
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Sheet Title
4TH FLOOR PLAN

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A114A





KEYNOTES - FLOOR PLAN

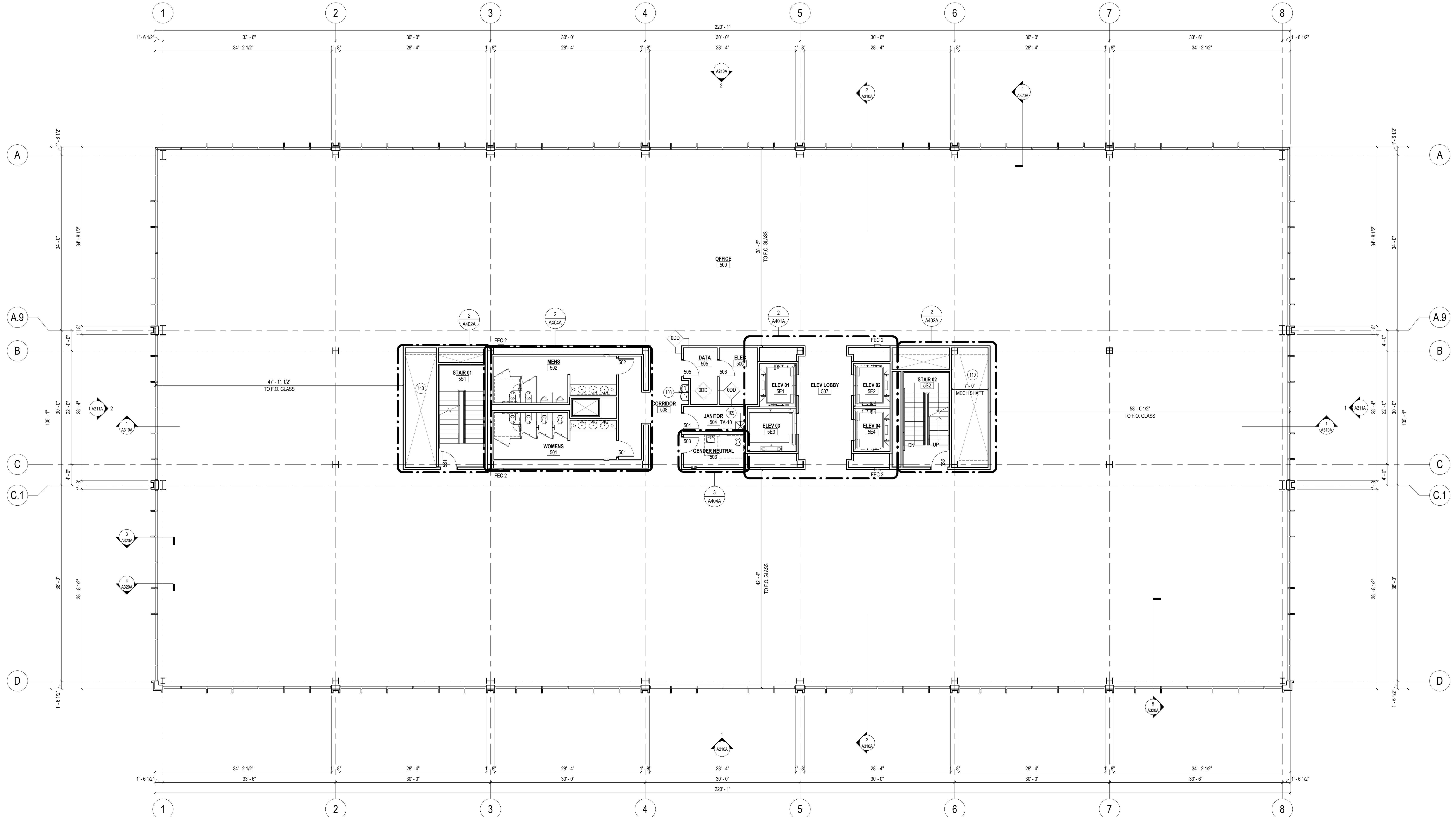
- 108 8 1/2" LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
- 109 24"x24" MCP SINK
- 110 MECHANICAL SHAFT OPENING IN FLOOR. COORDINATE W/ MECHANICAL & STRUCTURAL

FLOOR PLAN LEGEND

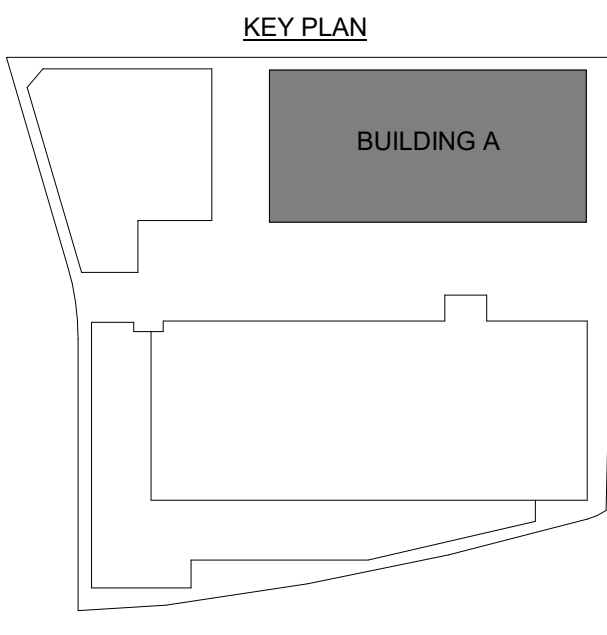
- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

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**MADISON YARDS:
BLOCK 1**

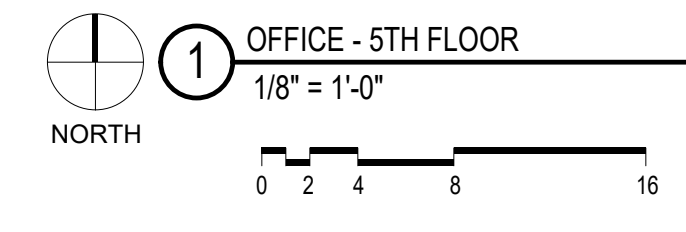
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

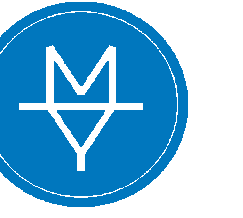
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220126.00

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5TH FLOOR PLAN

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Sheet No.
A115A





KEYNOTES - FLOOR PLAN

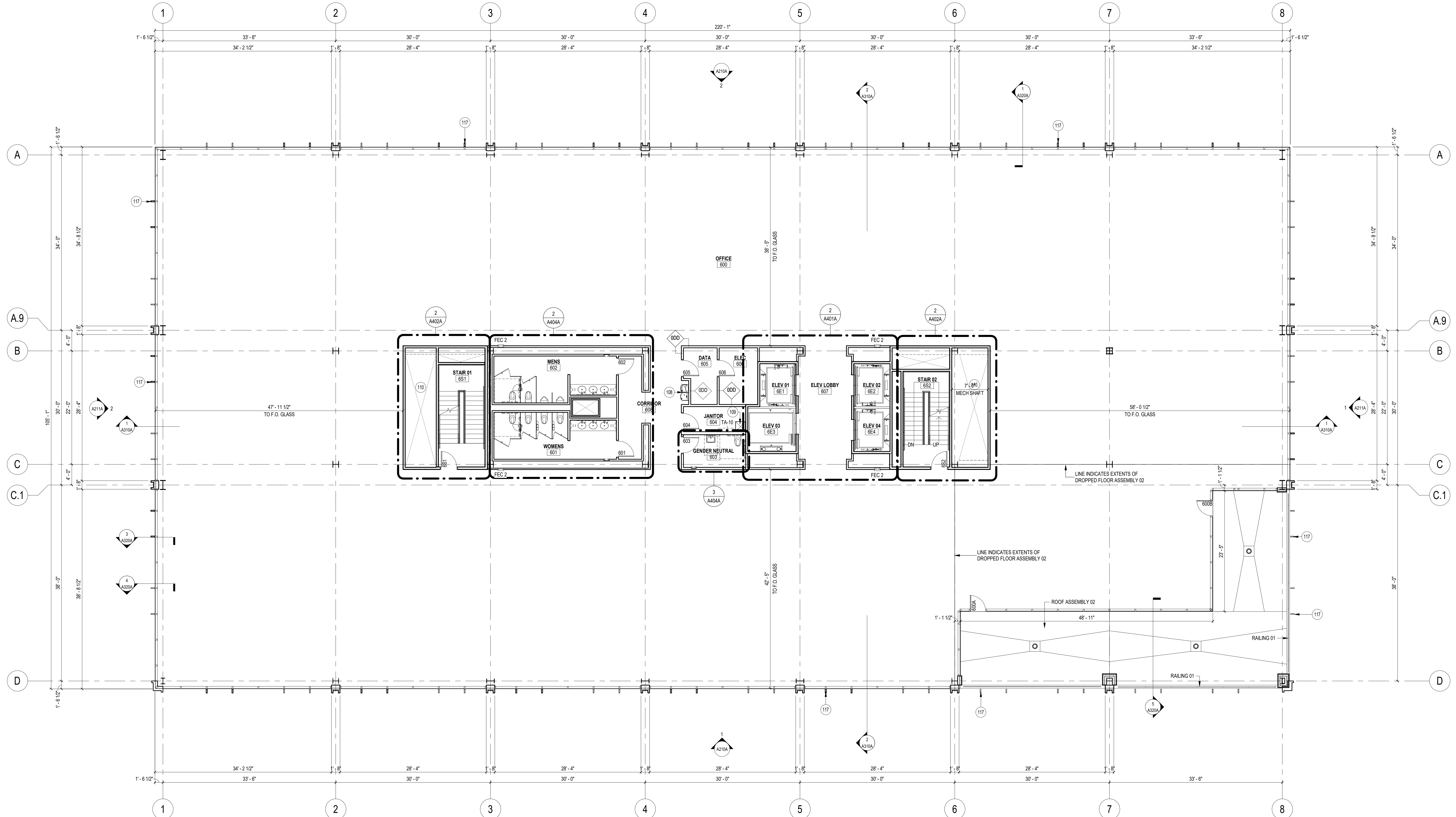
108	8 1/2" LEVEL FILTERED WATER COOLER WITH BOTTLE FILLING STATION BY ELKAY OR EQUAL
109	24"x24" MCP SINK
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117	EXTRUDED MULLION CAP EXTENSION

FLOOR PLAN LEGEND

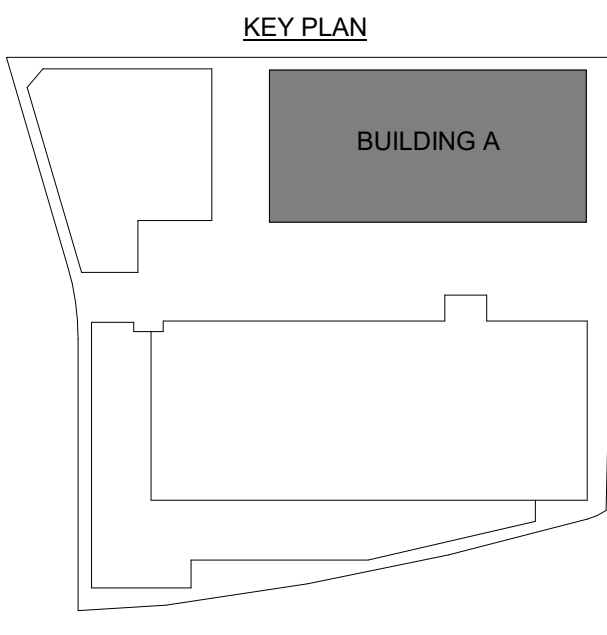
	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
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3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
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5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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BLOCK 1**

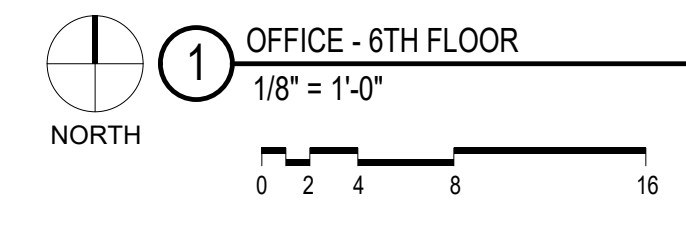
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

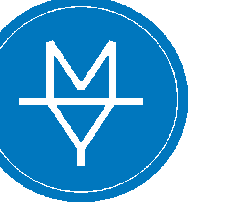
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Sheet Title
6TH FLOOR PLAN

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A116A





KEYNOTES - FLOOR PLAN

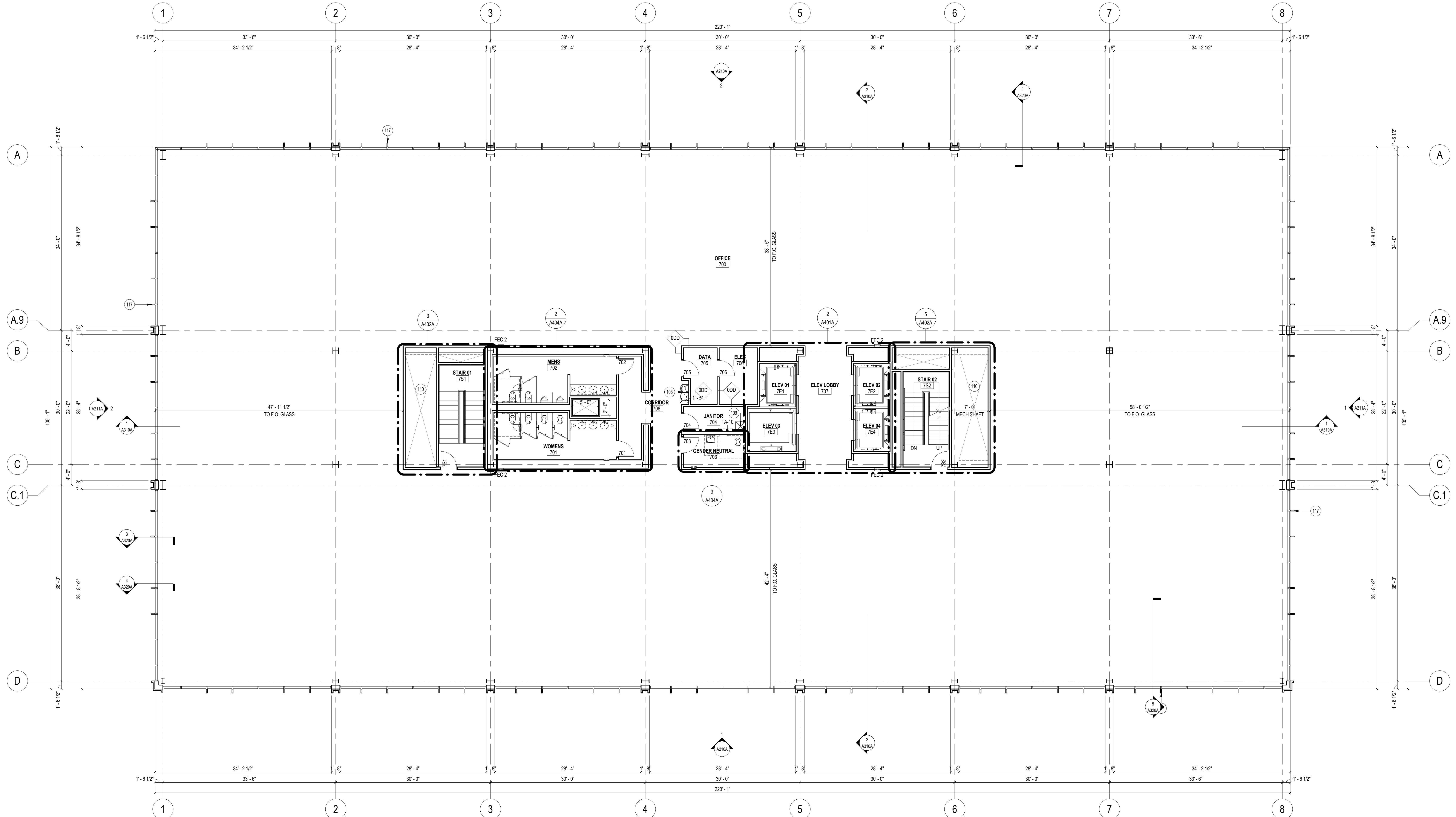
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FLOOR PLAN LEGEND

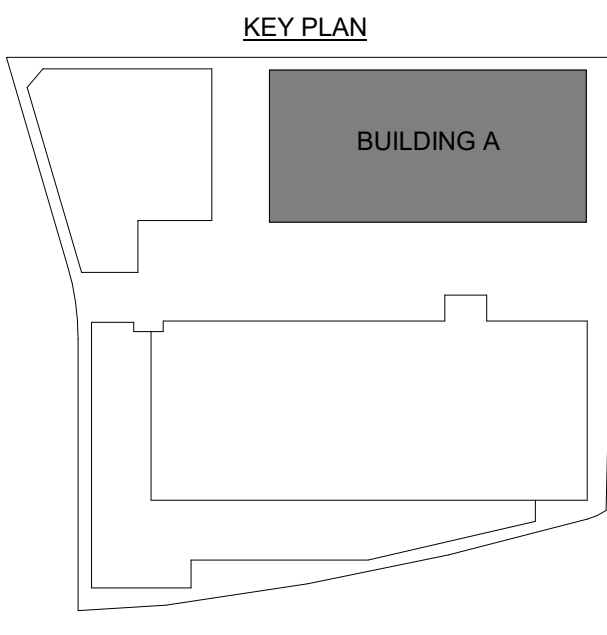
	ALIGN FACE OF INDICATED ELEMENTS
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	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DRD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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CONSTRUCTION



Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

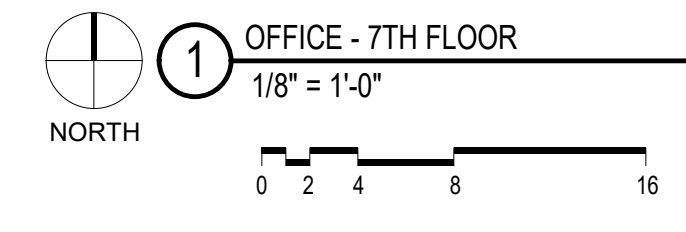
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

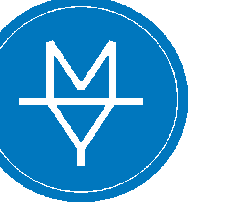
Project No.
220126.00

Sheet Title
7TH FLOOR PLAN

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A117A





KEYNOTES - FLOOR PLAN

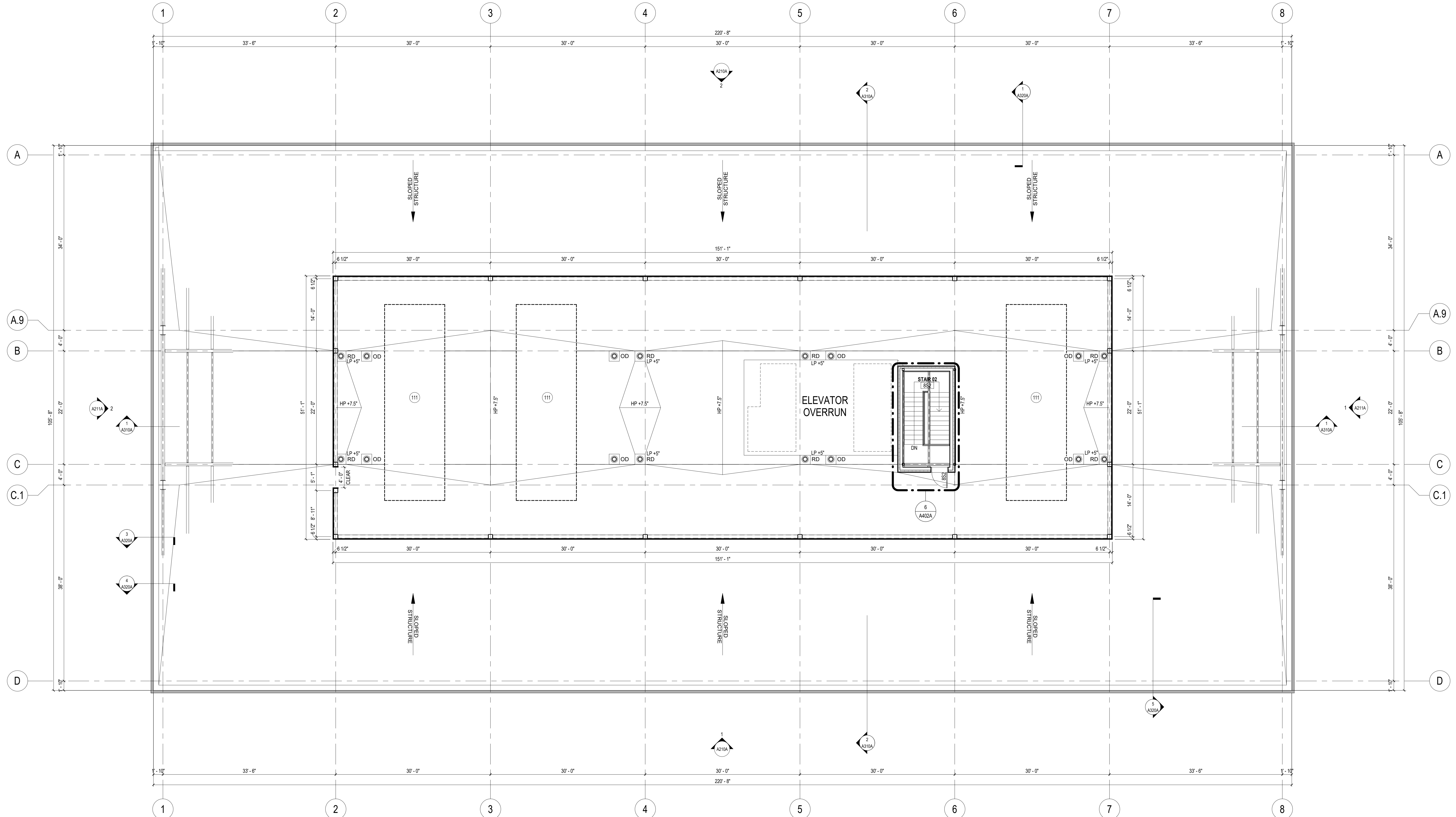
111 ROOF TOP UNIT

FLOOR PLAN LEGEND

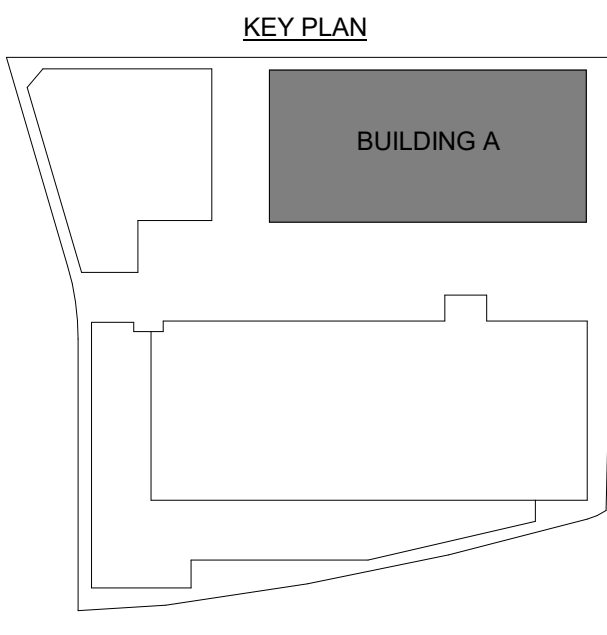
- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON 0600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE BLD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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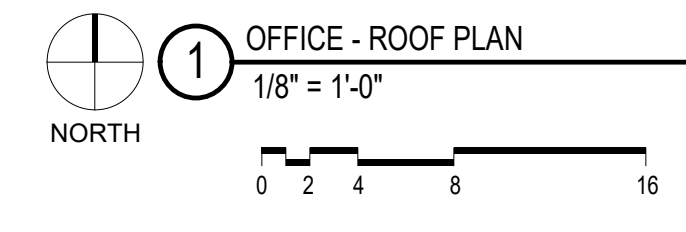
Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

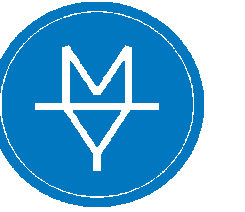
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Sheet Title
ROOF PLAN



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Telephone 312.789.4316

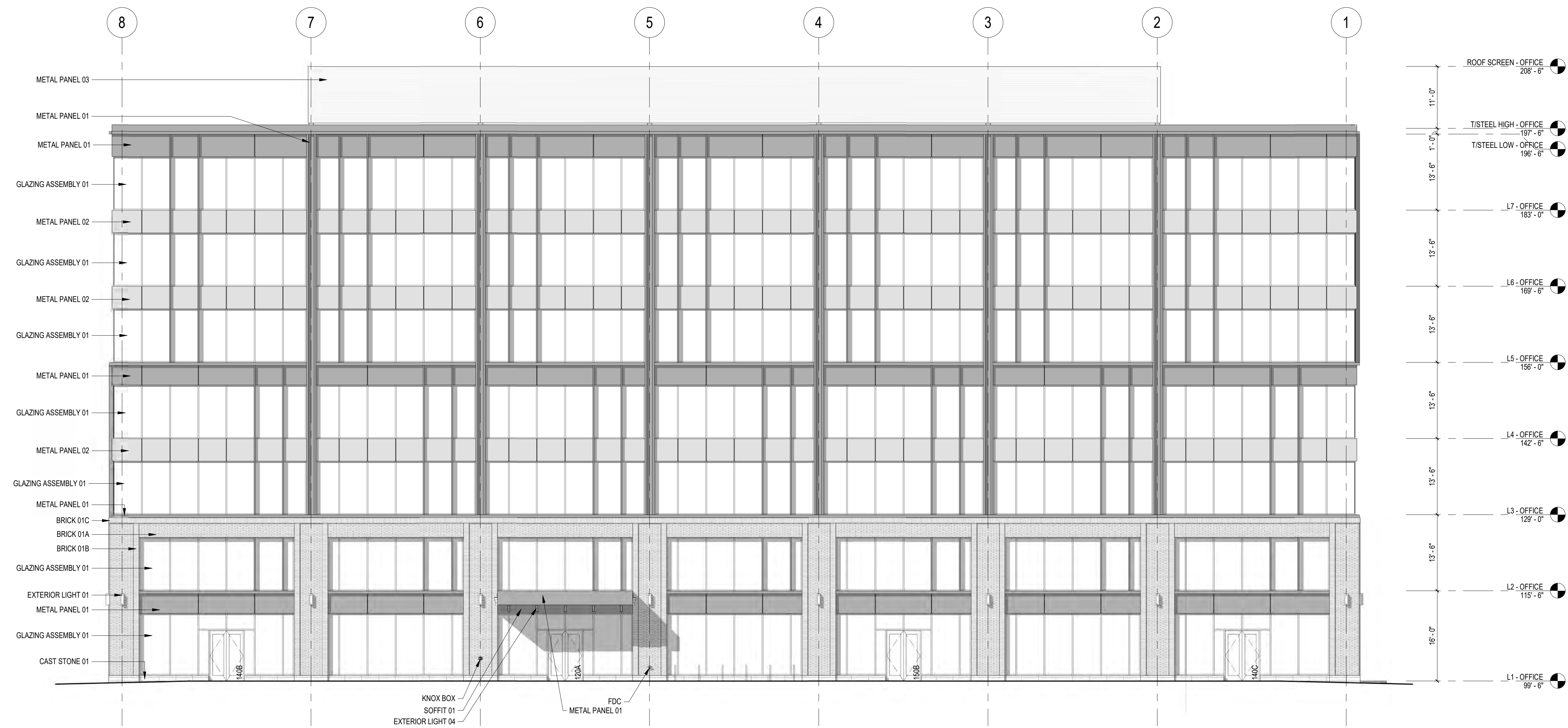
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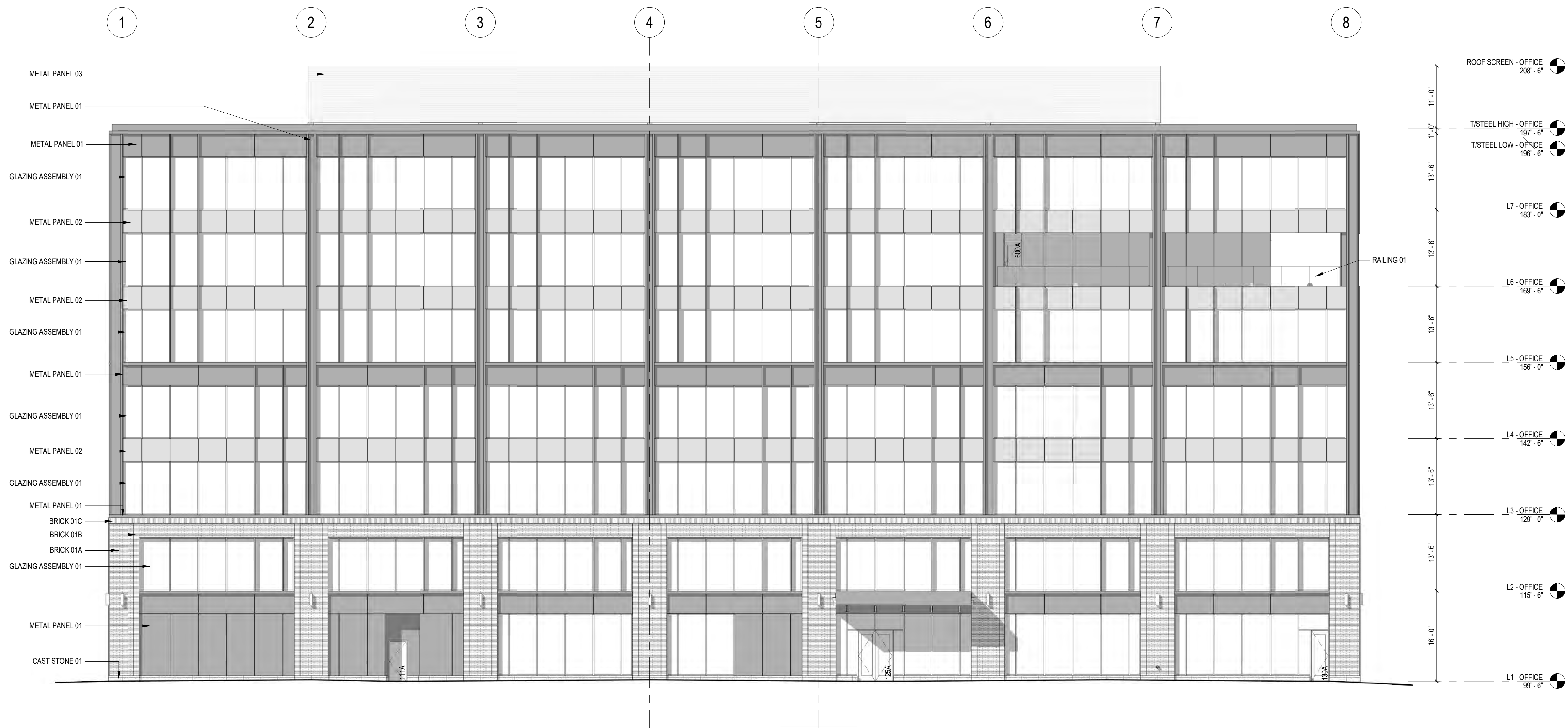
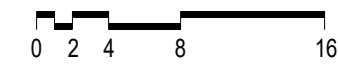
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ASSEMBLIES & COMPONENTS

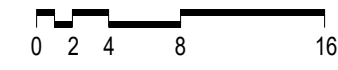
BRICK 01A	UNIT MASONRY FACE BRICK - RUNNING BOND
BRICK 01B	UNIT MASONRY FACE BRICK - STACK BOND
BRICK 01C	UNIT MASONRY FACE BRICK - SOLDIER COURSE
CAST STONE 01	CAST STONE MASONRY
EXTERIOR LIGHT 01	EXTERIOR UP-DOWN SCONCE LIGHTING FIXTURE
EXTERIOR LIGHT 04	EXTERIOR RECESSED LINEAR LIGHTING FIXTURE
FDC	FIRE DEPARTMENT CONNECTION - REFER TO DESIGN BUILD FIRE PROTECTION DOCUMENTS
GLAZING ASSEMBLY 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS, BASIS OF DESIGN: KAWNEER BRUIIT GLAZING SYSTEM
KNOX BOX	FIRE DEPARTMENT KNOX BOX SAFE LOCATION
METAL PANEL 01	METAL COMPOSITE MATERIAL WALL PANEL SYSTEM, COLOR TO MATCH MF-1
METAL PANEL 02	METAL COMPOSITE MATERIAL WALL PANEL SYSTEM, COLOR TO MATCH MF-2
METAL PANEL 03	FORMED METAL PANEL WALL SYSTEM, COLOR TO MATCH MF-3
RAILING 01	
SOFFIT 01	METAL COMPOSITE MATERIAL SOFFIT, COLOR TO MATCH MF-1



2 BUILDING A ELEVATION - NORTH
3/32" = 1'-0"



1 BUILDING A ELEVATION - SOUTH
3/32" = 1'-0"



Revisions

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Drawing Date
FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

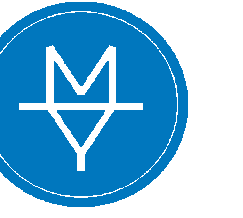
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
EXTERIOR ELEVATIONS

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Telephone 312.789.4516

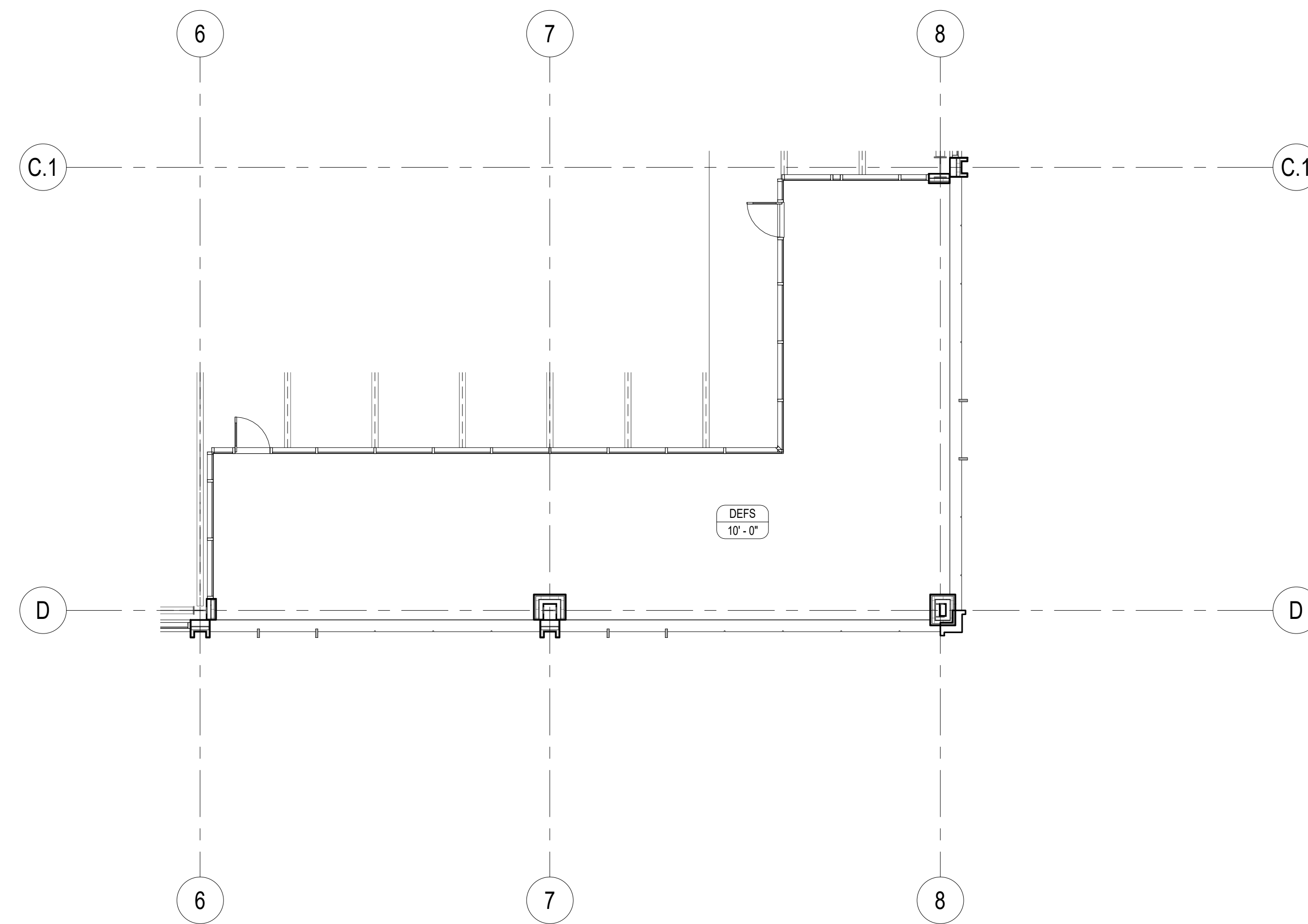
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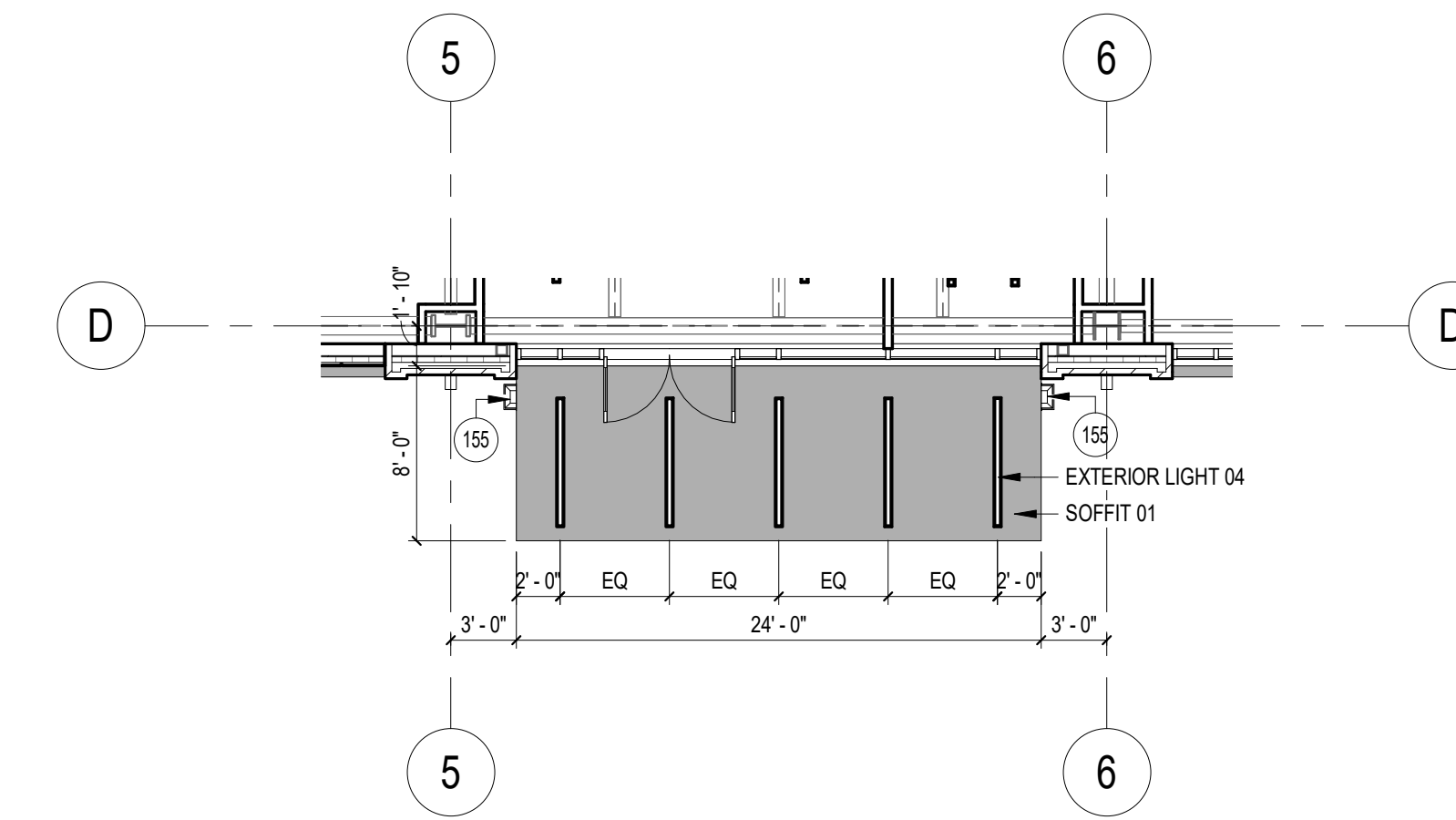
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ASSEMBLIES & COMPONENTS

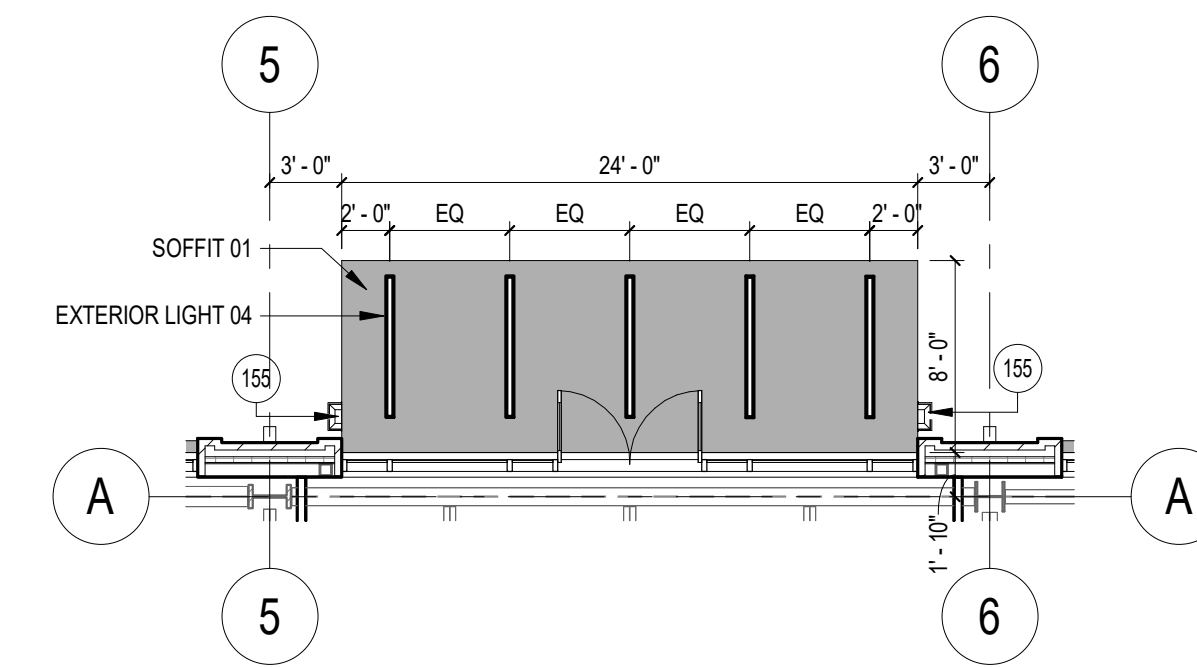
BRICK 01A	UNIT MASONRY FACE BRICK - RUNNING BOND
BRICK 01B	UNIT MASONRY FACE BRICK - STACK BOND
BRICK 01C	UNIT MASONRY FACE BRICK - SOLDIER COURSE
CAST STONE 01	CAST STONE MASONRY
EXTERIOR LIGHT 01	EXTERIOR UP-DOWN SCANCE LIGHTING FIXTURE
EXTERIOR LIGHT 03	EXTERIOR RECESSED ROUND LIGHTING FIXTURE
EXTERIOR LIGHT 04	EXTERIOR RECESSED LINEAR LIGHTING FIXTURE
GLAZING ASSEMBLY 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 60"UT GLAZING SYSTEM
METAL PANEL 01	METAL COMPOSITE MATERIAL WALL PANEL SYSTEM. COLOR TO MATCH MF-1
METAL PANEL 02	METAL COMPOSITE MATERIAL WALL PANEL SYSTEM. COLOR TO MATCH MF-2
METAL PANEL 03	FORMED METAL PANEL WALL SYSTEM. COLOR TO MATCH MF-3
RAILING 01	
SOFFIT 01	METAL COMPOSITE MATERIAL SOFFIT. COLOR TO MATCH MF-1



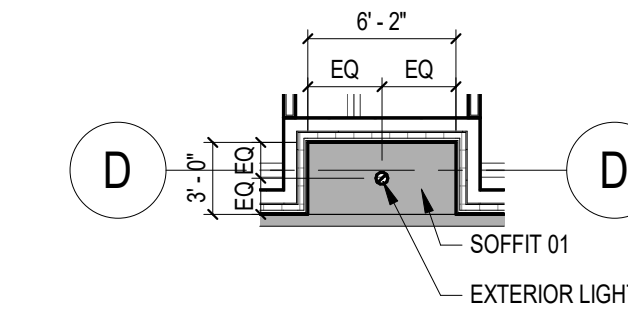
6 BUILDING A - EXTERIOR SOFFIT PLAN - TERRACE
1/8" = 1'-0"



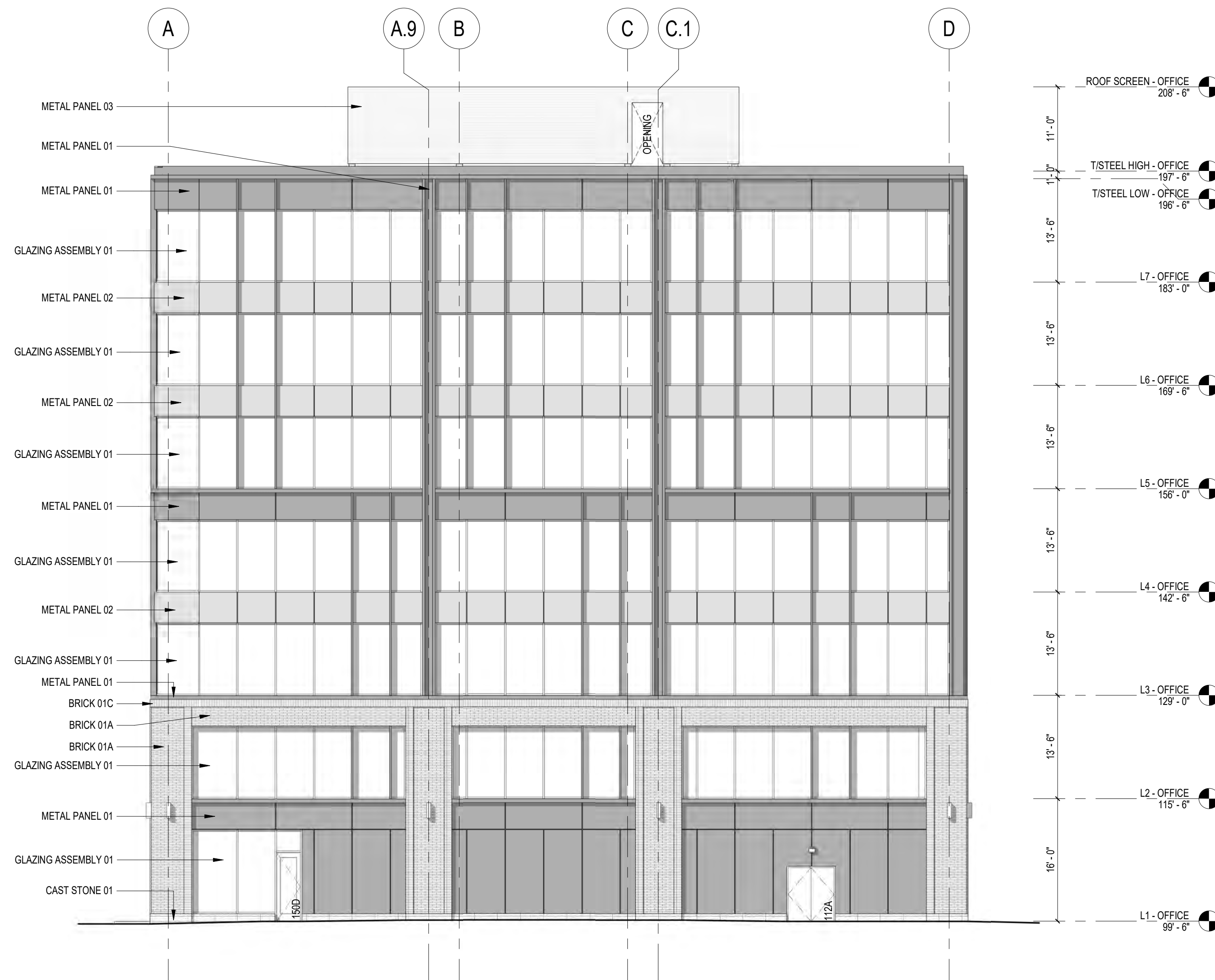
5 BUILDING A - EXTERIOR SOFFIT PLAN - SOUTH CANOPY
1/8" = 1'-0"



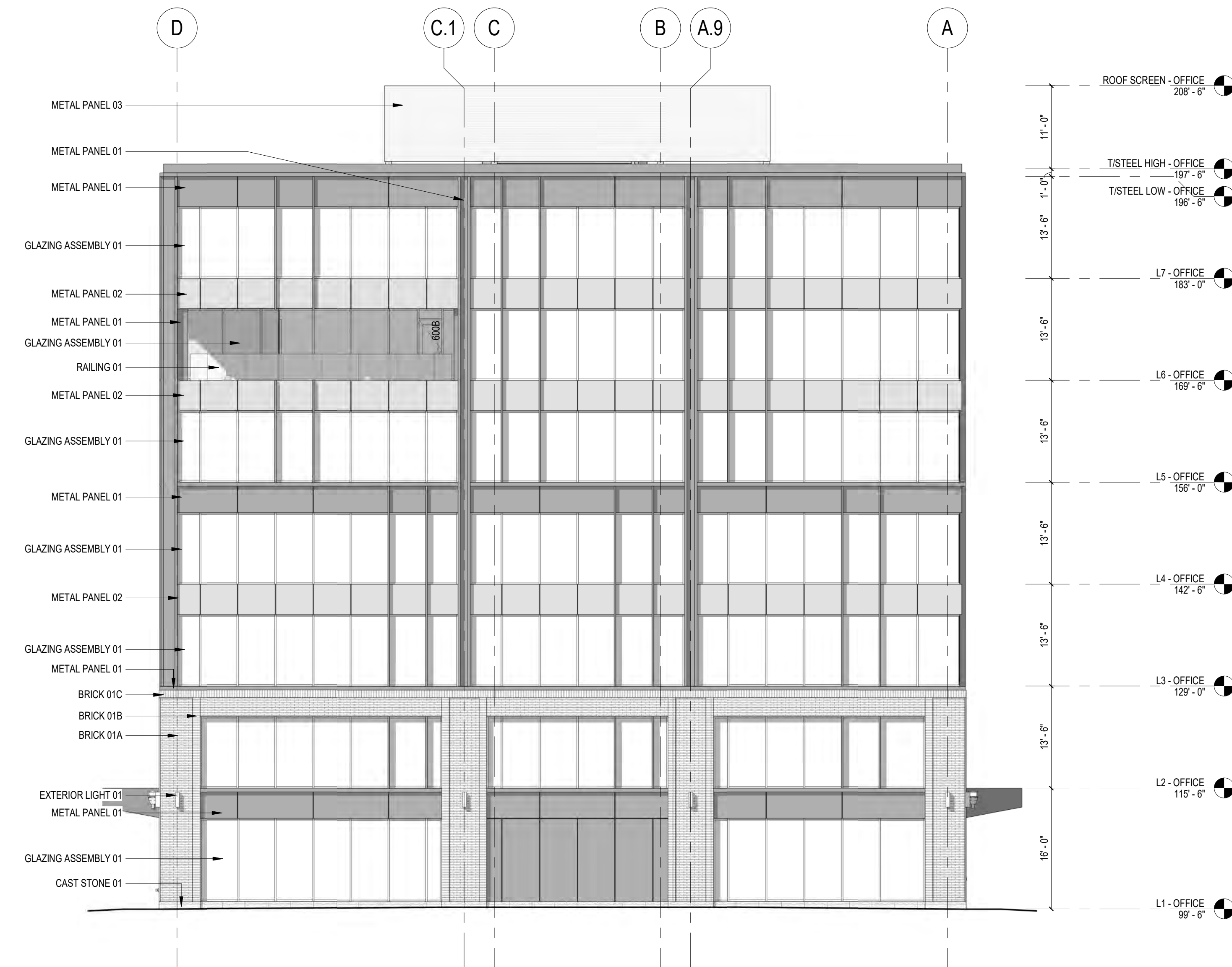
4 BUILDING A - EXTERIOR SOFFIT PLAN - NORTH CANOPY
1/8" = 1'-0"



3 BUILDING A - EXTERIOR SOFFIT PLAN - EXIT PASSAGEWAY
1/8" = 1'-0"



2 BUILDING A ELEVATION - WEST
3/32" = 1'-0"



1 BUILDING A ELEVATION - EAST
3/32" = 1'-0"

Revisions

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Drawing Date
FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

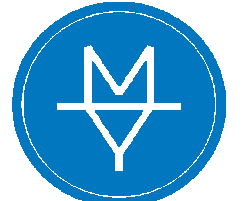
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EXTERIOR ELEVATIONS

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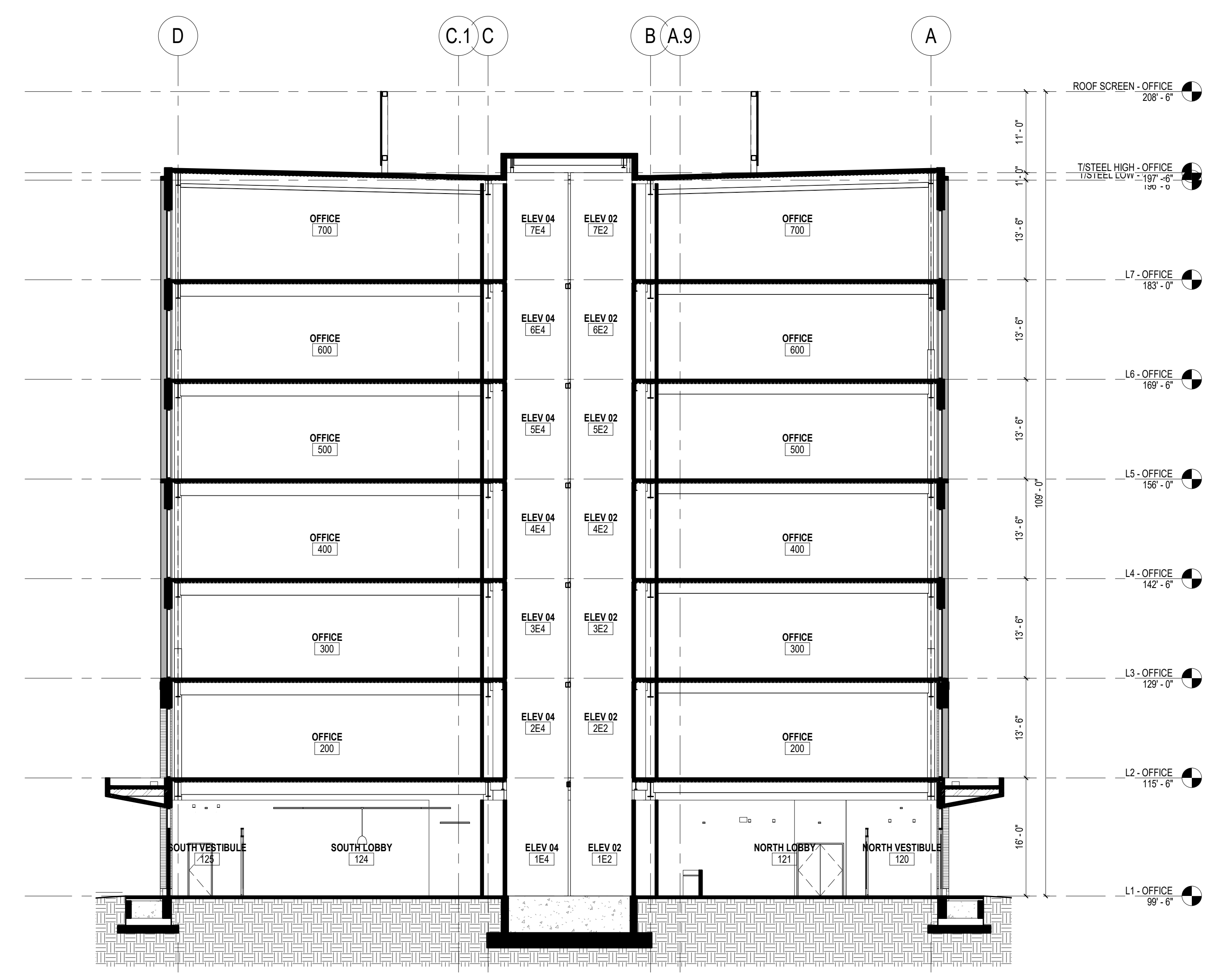
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ASSEMBLIES & COMPONENTS

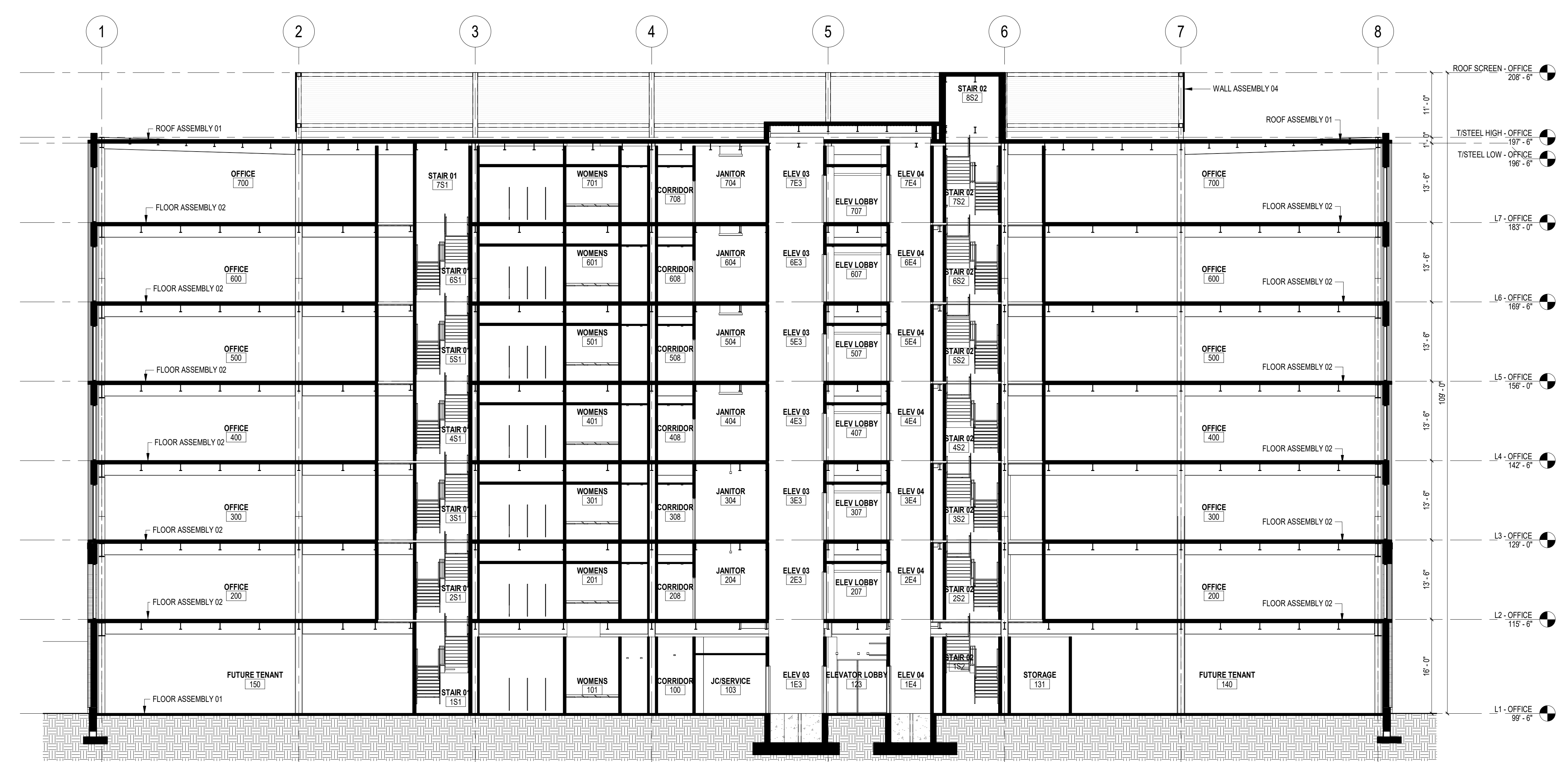
FLOOR ASSEMBLY 01	CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL - SEE STRUCTURAL
FLOOR ASSEMBLY 02	CONCRETE COMPOSITE METAL DECK - SEE STRUCTURAL
ROOF ASSEMBLY 01	FULLY ADHERED TPO MEMBRANE ON ROOF INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)
WALL ASSEMBLY 04	METAL PANEL 03 ON STEEL GIRT FRAMING - SEE ASSEMBLIES SHEET



**NOT FOR
CONSTRUCTION**



2 BUILDING A - BUILDING SECTION - N/S
3/32" = 1'-0"



1 BUILDING A - BUILDING SECTION - E/W
3/32" = 1'-0"

Revisions

GMP PACKAGE

Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

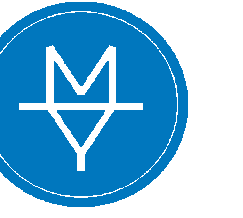
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

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BUILDING SECTIONS

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Sheet No.
A310A



PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	13
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 8'-0" ACCESS AISLE	2
TOTAL STALLS			637

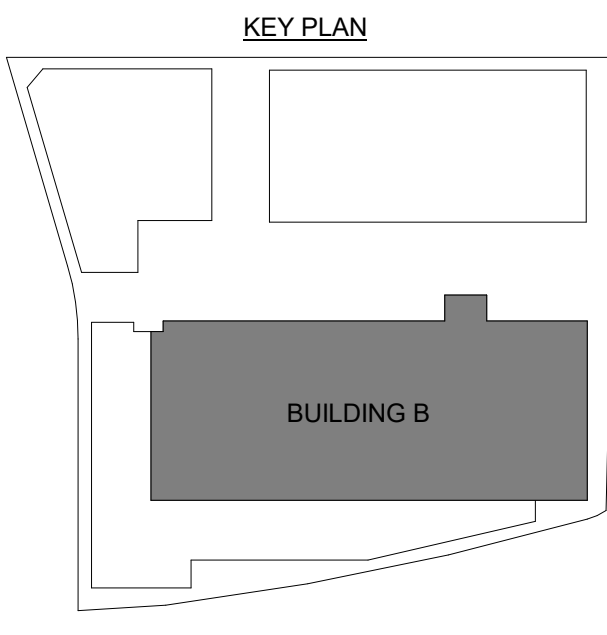
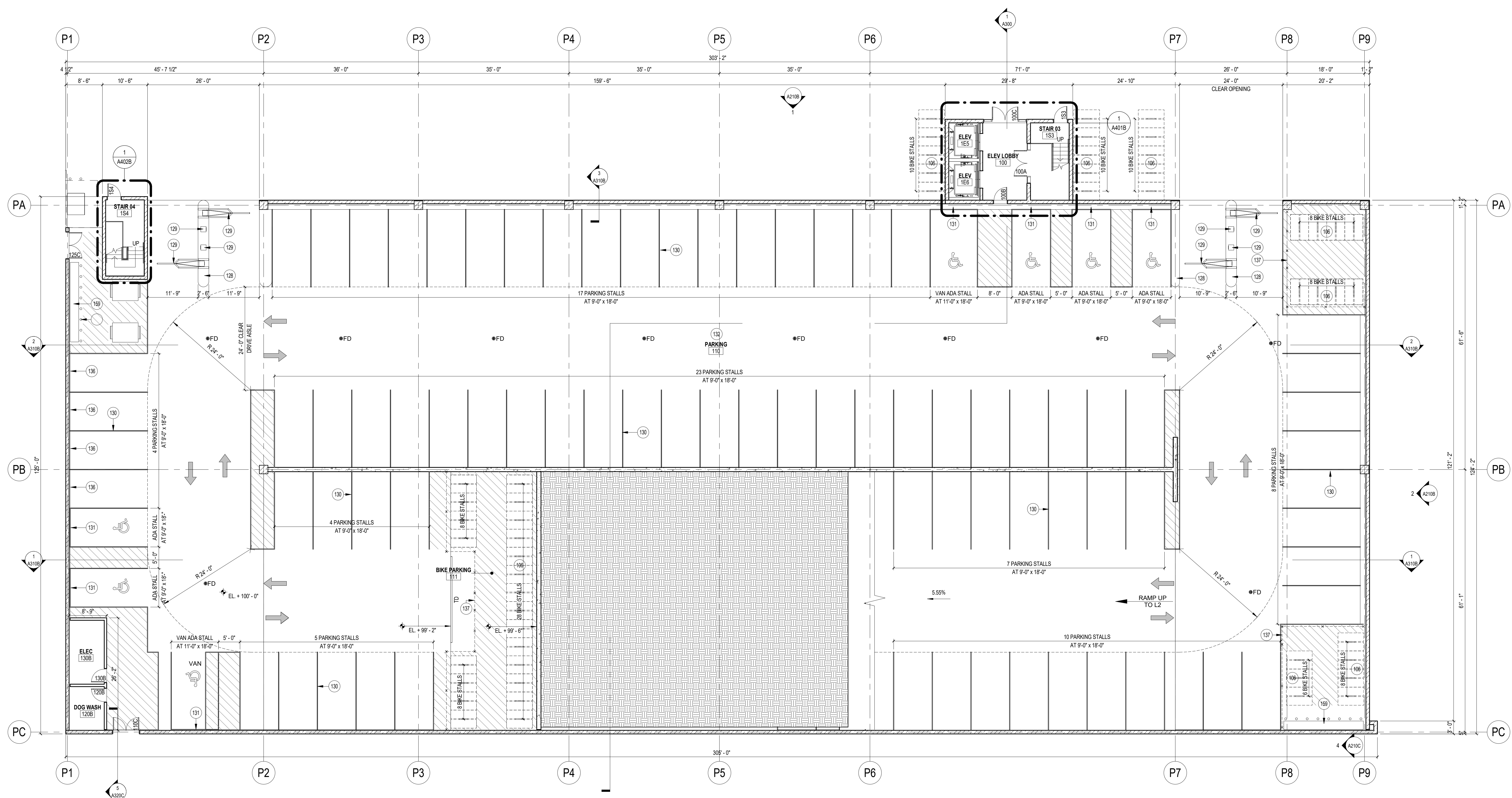
ASSEMBLIES & COMPONENTS	
106	FLOOR MOUNTED BIKE RACK
128	6" CONCRETE CURB
129	ACCESS CONTROL ENTER-EXIT GATE - COORDINATE POWER & DATA
130	4" HEAVY DUTY STRIPING, TYPICAL
131	HANDICAP STALL SIGNAGE
132	TRAFFIC BEARING MEMBRANE COATING
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
137	CHAIN-LINK FENCE BICYCLE ENCLOSURE W/ LOCKABLE GATE
159	WALL MOUNTED RESIDENTIAL GAS METERS

KEYNOTES - FLOOR PLAN	
106	FLOOR MOUNTED BIKE RACK
128	6" CONCRETE CURB
129	ACCESS CONTROL ENTER-EXIT GATE - COORDINATE POWER & DATA
130	4" HEAVY DUTY STRIPING, TYPICAL
131	HANDICAP STALL SIGNAGE
132	TRAFFIC BEARING MEMBRANE COATING
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
137	CHAIN-LINK FENCE BICYCLE ENCLOSURE W/ LOCKABLE GATE
159	WALL MOUNTED RESIDENTIAL GAS METERS

FLOOR PLAN LEGEND	
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

- FLOOR PLAN GENERAL NOTES**
1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
 2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
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 5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

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FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

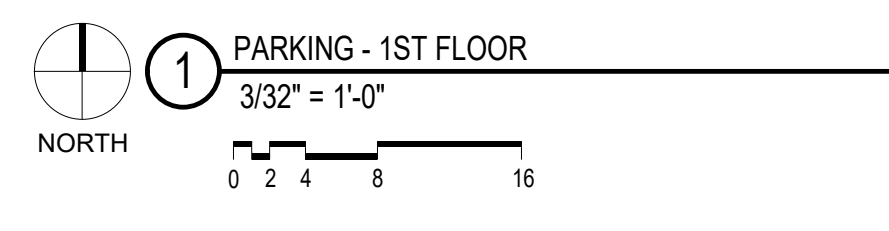
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

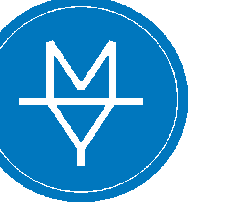
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1ST FLOOR PLAN

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A111B





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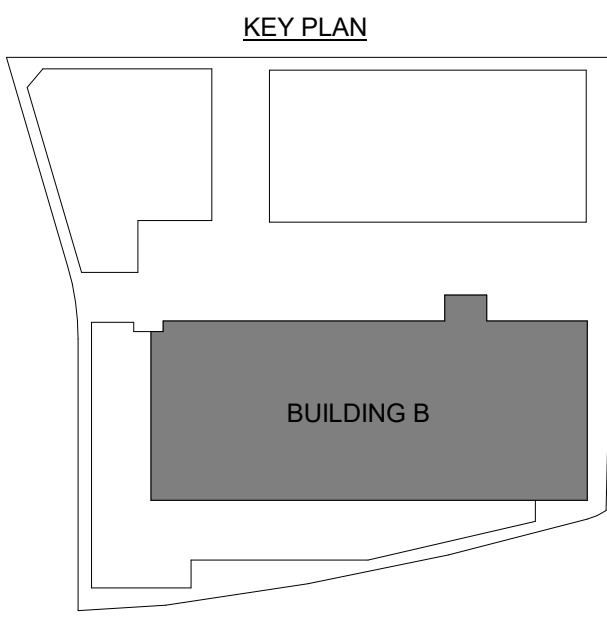
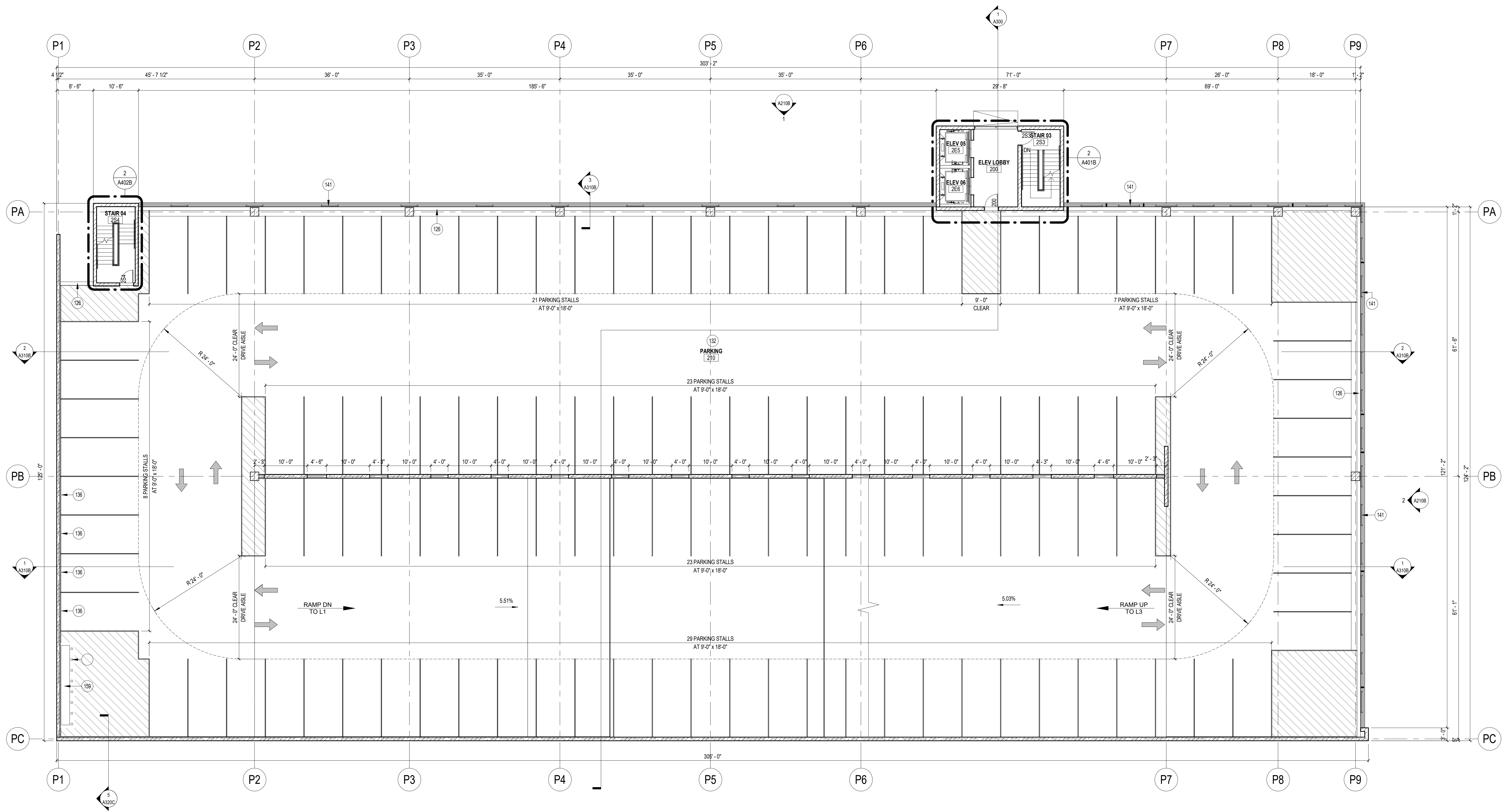
PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	133
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 8'-0" ACCESS AISLE	2
TOTAL STALLS			637

ASSEMBLIES & COMPONENTS	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
132	TRAFFIC BEARING MEMBRANE COATING
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
141	PERFORATED ALUMINUM SCREEN PANELS - 80D PAC-CLAD 1/2" CORRUGATED PERF PATTERN 1" 40% OPEN PAINTED FINISH COLOR AS SELECTED BY ARCHITECT MOUNTED TO A PAINTED ALUMINUM SUB FRAME CLIPPED TO PRECAST SPANDRELS
159	WALL MOUNTED RESIDENTIAL GAS METERS

KEYNOTES - FLOOR PLAN	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
132	TRAFFIC BEARING MEMBRANE COATING
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
141	PERFORATED ALUMINUM SCREEN PANELS - 80D PAC-CLAD 1/2" CORRUGATED PERF PATTERN 1" 40% OPEN PAINTED FINISH COLOR AS SELECTED BY ARCHITECT MOUNTED TO A PAINTED ALUMINUM SUB FRAME CLIPPED TO PRECAST SPANDRELS
159	WALL MOUNTED RESIDENTIAL GAS METERS

FLOOR PLAN LEGEND	
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

- FLOOR PLAN GENERAL NOTES**
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 5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

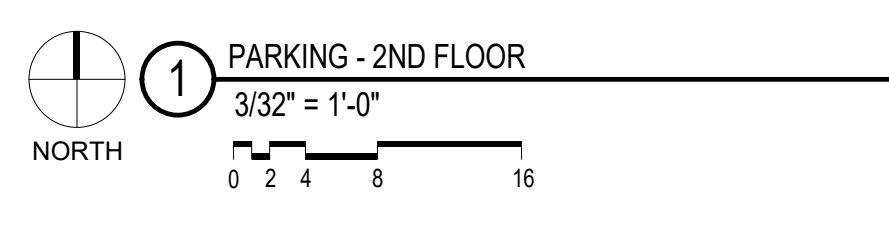
BLOCK 1 AT MADISON YARDS
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Sheet Title
2ND FLOOR PLAN

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Sheet No.
A112B



2/2/2021 10:05:29 AM

PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	33
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
TOTAL STALLS			637

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

- 126 PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
- 132 TRAFFIC BEARING MEMBRANE COATING
- 136 VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
- 141 PERFORATED ALUMINUM SCREEN PANELS - BOD PAC-CLAD 1/2" CORRUGATED PERF PATTERN "F" 40% OPEN PAINTED FINISH COLOR AS SELECTED BY ARCHITECT MOUNTED TO A PAINTED ALUMINUM SUB FRAME CLIPPED TO PRECAST SPANDRELS

FLOOR PLAN LEGEND

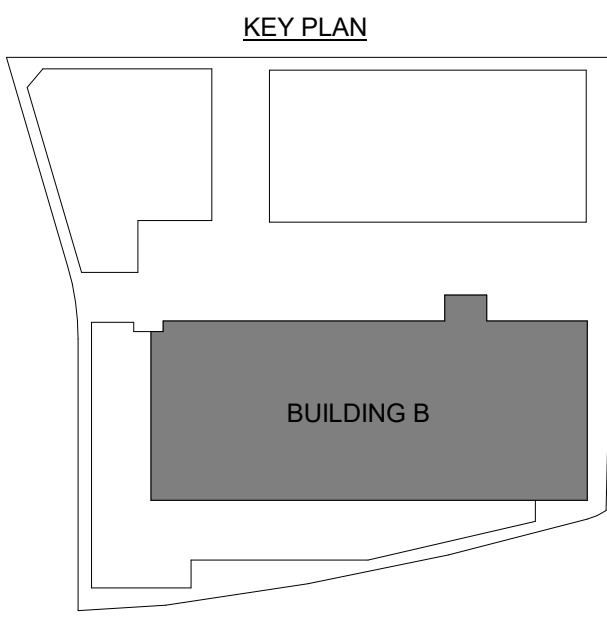
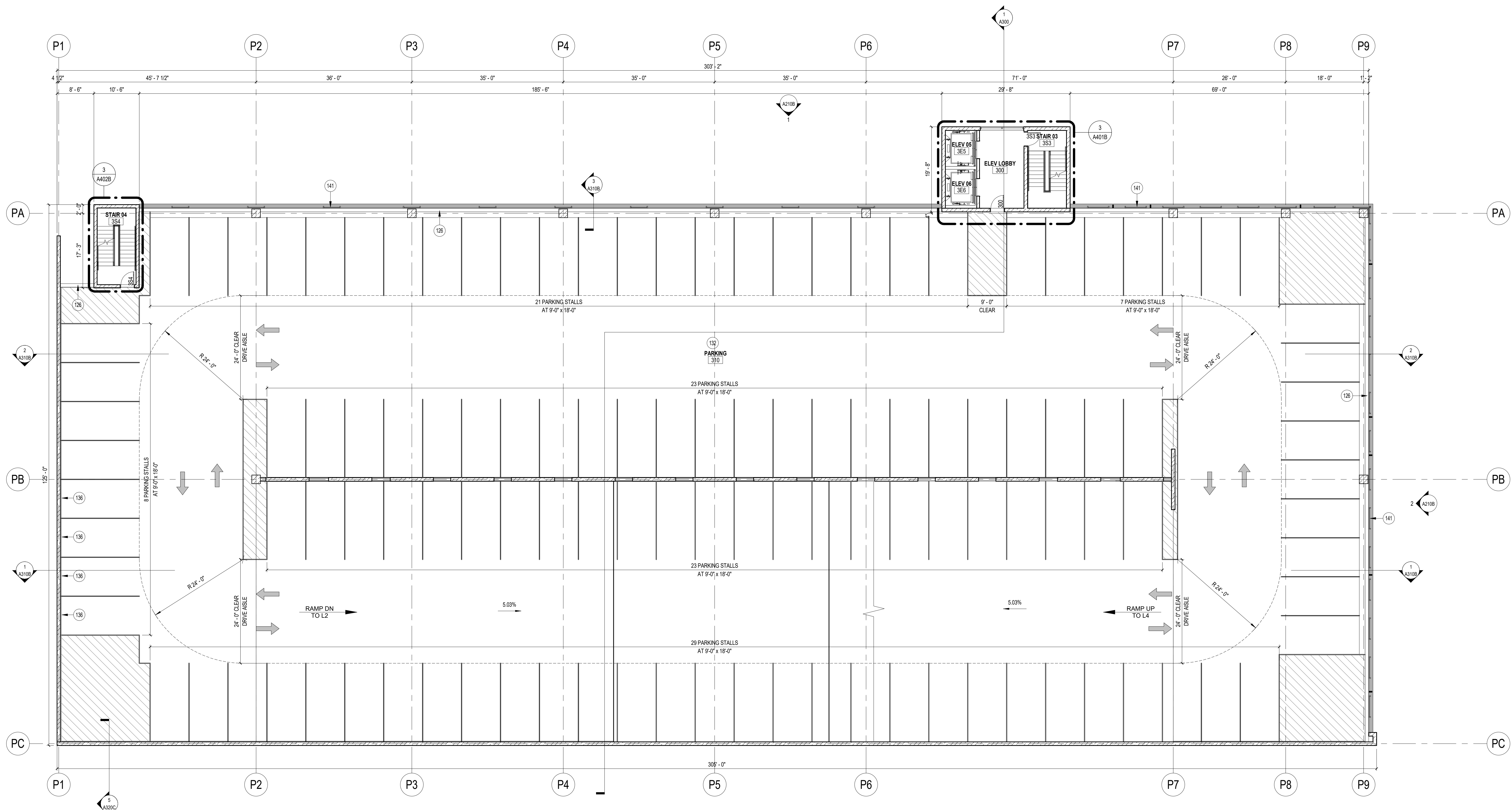
- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DR I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

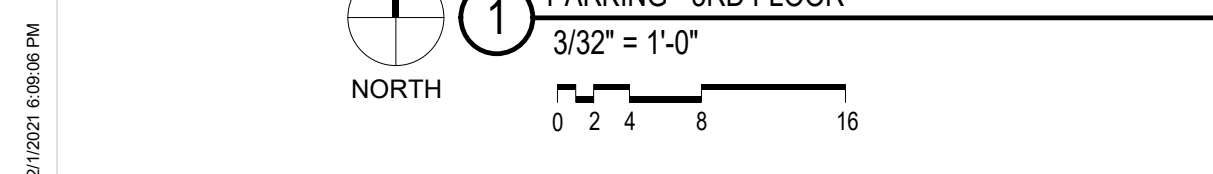
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

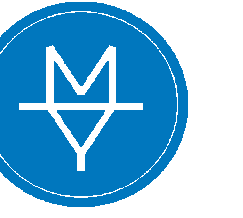
Project No.
220126.00

Sheet Title
3RD FLOOR PLAN

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Sheet No.
A113B





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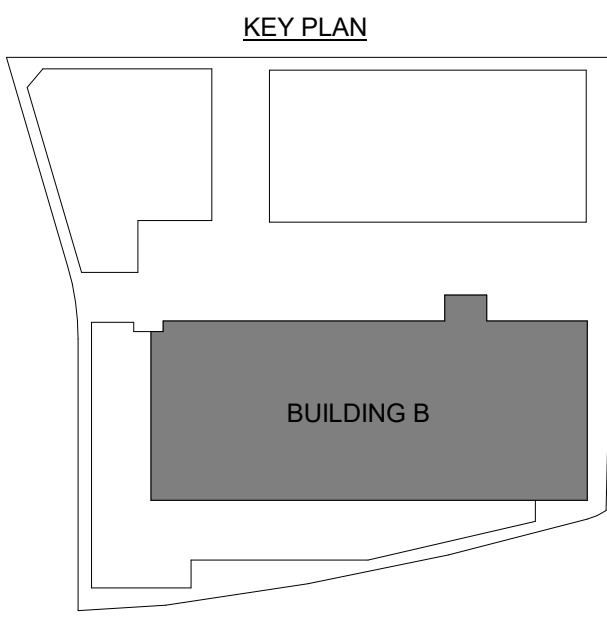
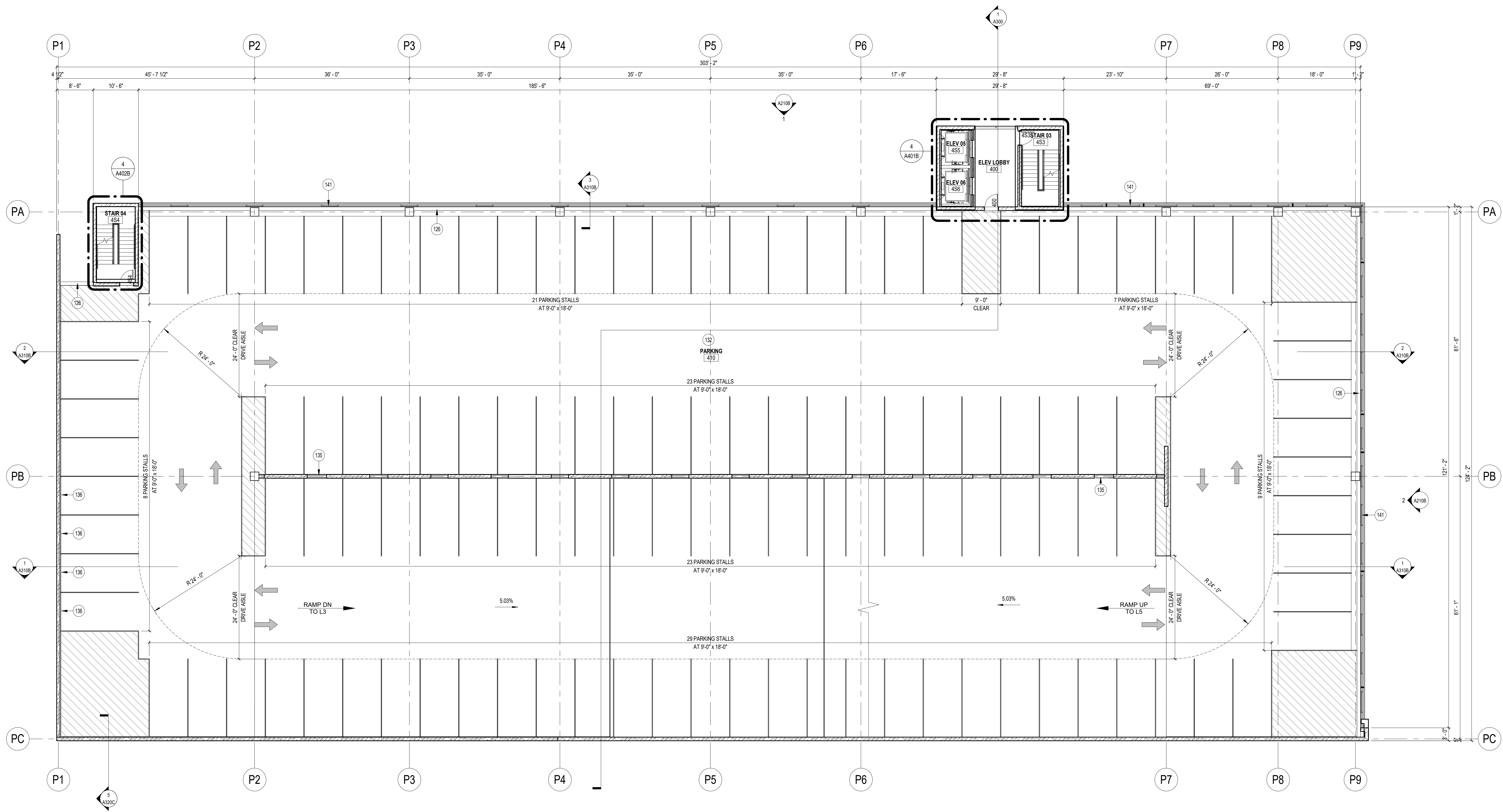
PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	135
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 8'-0" ACCESS AISLE	2
TOTAL STALLS			637

ASSEMBLIES & COMPONENTS	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
132	TRAFFIC BEARING MEMBRANE COATING
135	METAL FABRICATION - 42" GUARD RAIL
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
141	PERFORATED ALUMINUM SCREEN PANELS - 80D PIG-COLORED CORRUGATED PERFORATED PATTERN 1" 40% OPEN PAINTED FINISH COLOR AS SELECTED BY ARCHITECT MOUNTED TO A PAINTED ALUMINUM SUB-FRAME CLIPPED TO PRECAST SPANDRELS

KEYNOTES - FLOOR PLAN	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
132	TRAFFIC BEARING MEMBRANE COATING
135	METAL FABRICATION - 42" GUARD RAIL
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
141	PERFORATED ALUMINUM SCREEN PANELS - 80D PIG-COLORED CORRUGATED PERFORATED PATTERN 1" 40% OPEN PAINTED FINISH COLOR AS SELECTED BY ARCHITECT MOUNTED TO A PAINTED ALUMINUM SUB-FRAME CLIPPED TO PRECAST SPANDRELS

FLOOR PLAN LEGEND	
	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

- FLOOR PLAN GENERAL NOTES**
- VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
 - DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
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 - REFER TO PARTITION SCHEDULE ON G660 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DED L.I.C.
 - SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
4TH FLOOR PLAN

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Sheet No.
A114B



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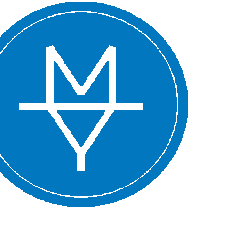
PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	133
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
TOTAL STALLS			637

ASSEMBLIES & COMPONENTS	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
127	SURFACE MOUNTED BOLLARD VEHICLE CRASH BARRIER
130	4" HEAVY DUTY STRIPING, TYPICAL
132	TRAFFIC BEARING MEMBRANE COATING
133	PARKING WHEEL STOP BUMPER, TYPICAL
134	WALL MOUNTED FIBERGLASS PLANTER BOX, BOD, DEEPSTREAM-HANGING GARDEN PLANTER BOX
135	METAL FABRICATION - 4" GUARD RAIL
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
155	THROUGH WALL OVERFLOW SCUPPER

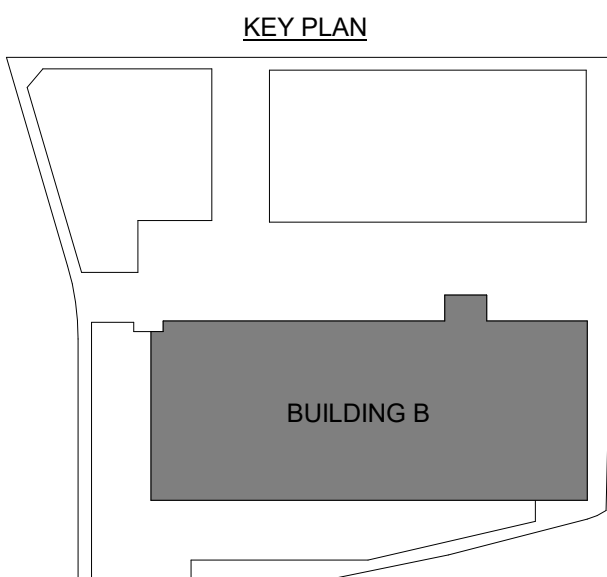
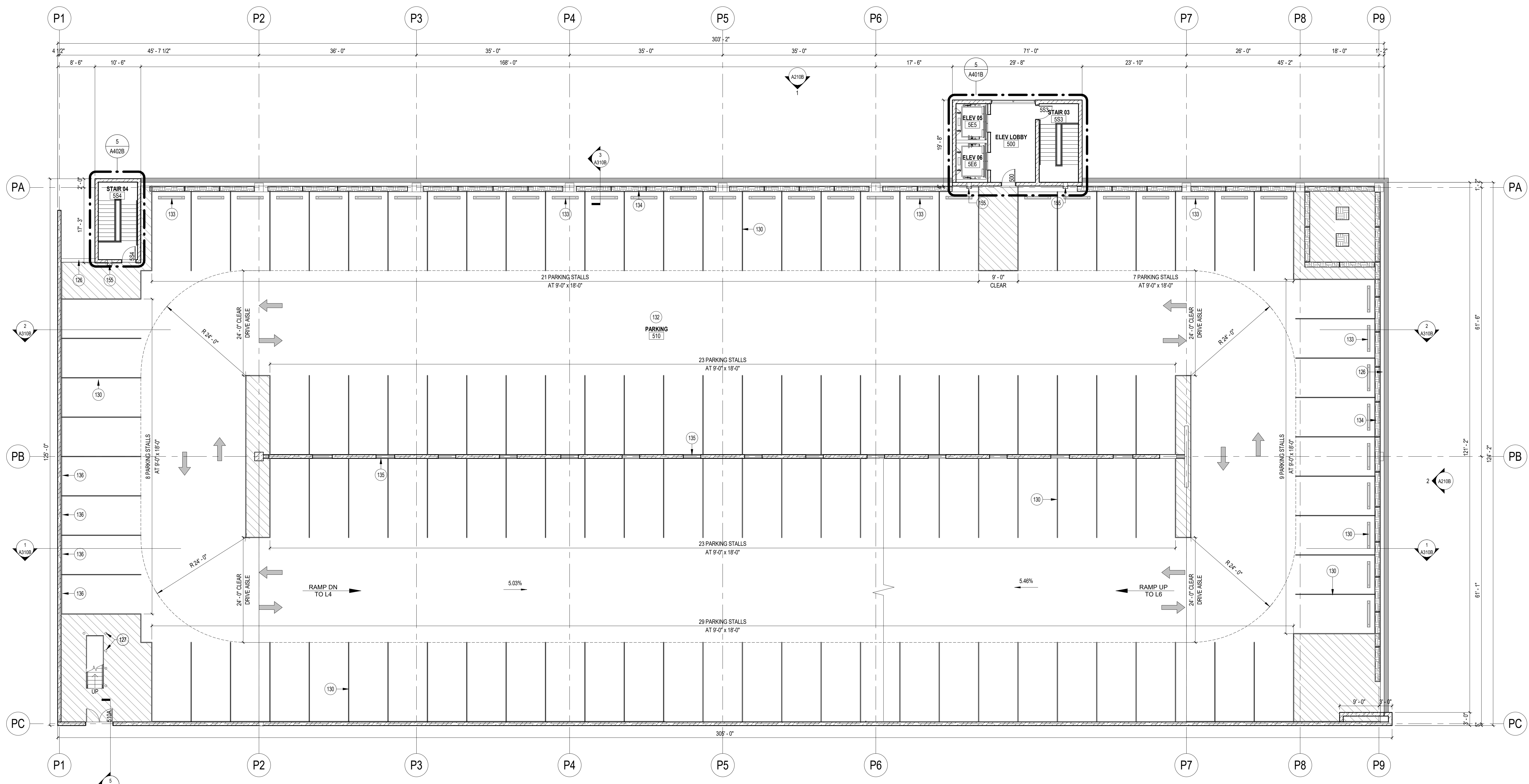
KEYNOTES - FLOOR PLAN	
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
127	SURFACE MOUNTED BOLLARD VEHICLE CRASH BARRIER
130	4" HEAVY DUTY STRIPING, TYPICAL
132	TRAFFIC BEARING MEMBRANE COATING
133	PARKING WHEEL STOP BUMPER, TYPICAL
134	WALL MOUNTED FIBERGLASS PLANTER BOX, BOD, DEEPSTREAM-HANGING GARDEN PLANTER BOX
135	METAL FABRICATION - 4" GUARD RAIL
136	VEHICLE CHARGING STATION READY STALLS - COORDINATE POWER & DATA REQUIREMENTS W/ OWNER
155	THROUGH WALL OVERFLOW SCUPPER

FLOOR PLAN LEGEND	
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

- ### FLOOR PLAN GENERAL NOTES
- VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
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 - SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



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Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

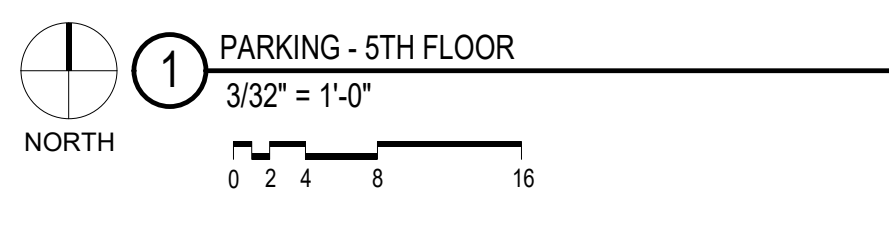
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

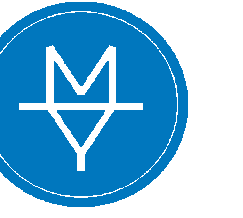
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Sheet Title
5TH FLOOR PLAN

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Sheet No.
A115B





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PARKING MATRIX			
LEVEL	STALL TYPE	SIZE	NO. OF STALLS
PARKING DECK			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	5
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	84
L1 - PARKING	VAN ACCESSIBLE STALL	11'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
L2 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L3 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L4 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L5 - PARKING	STANDARD STALL	9'-0" x 18'-0"	120
L6 - PARKING	STANDARD STALL	9'-0" x 18'-0"	13
SURFACE PARKING			
L1 - PARKING	ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	4
L1 - PARKING	STANDARD STALL	9'-0" x 18'-0"	27
L1 - PARKING	VAN ACCESSIBLE STALL	9'-0" x 18'-0" + 5'-0" ACCESS AISLE	2
TOTAL STALLS			637

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

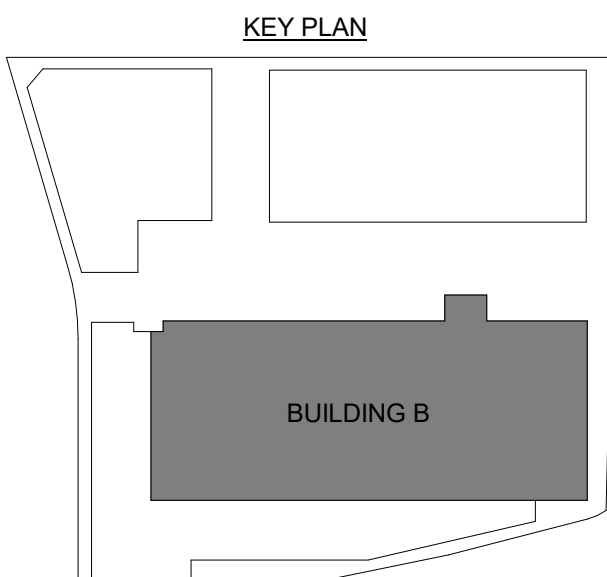
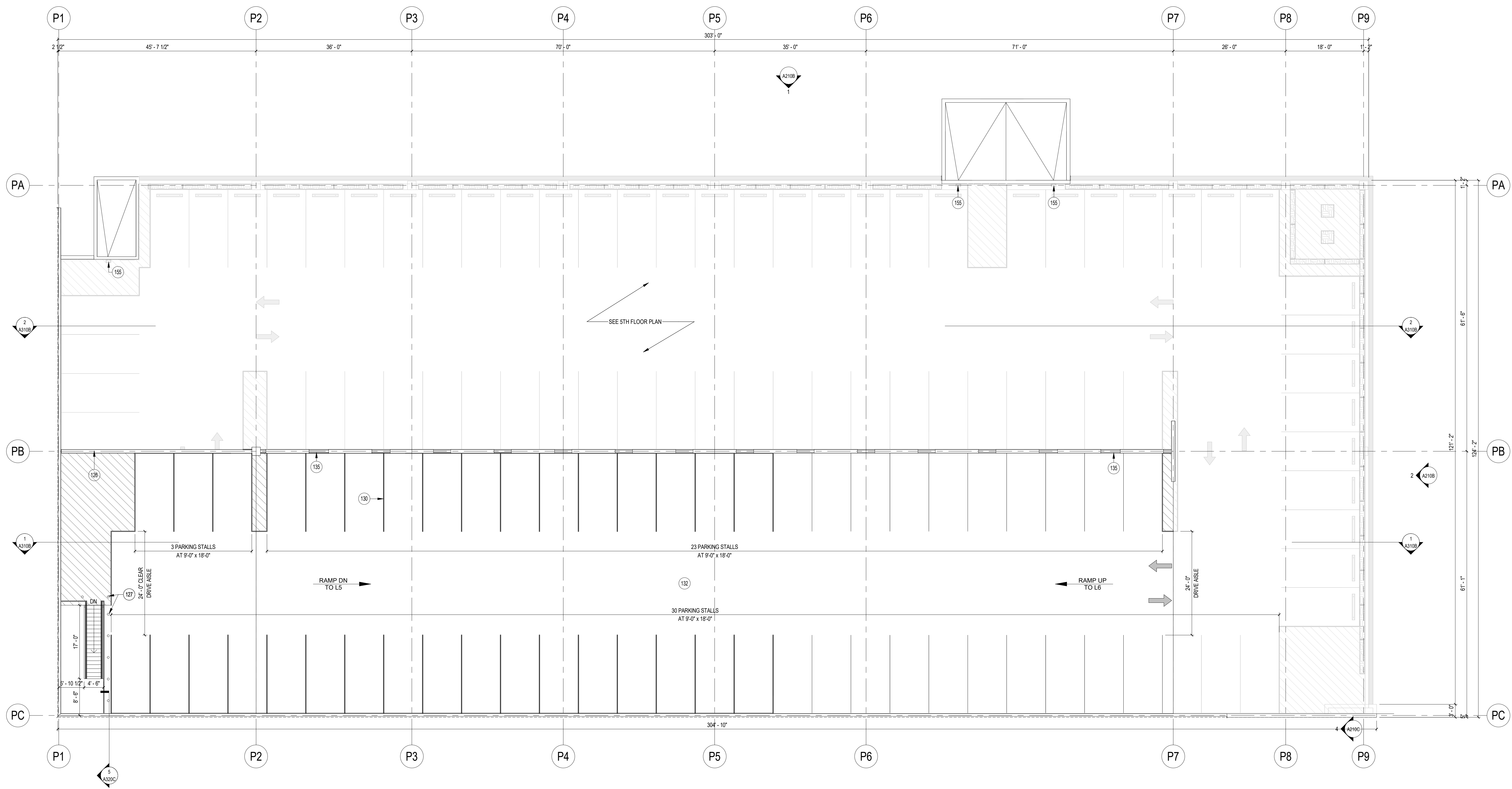
126	PRECAST SPANDREL VEHICLE CRASH BARRIER - SEE STRUCTURAL
127	SURFACE MOUNTED BOLLARD VEHICLE CRASH BARRIER
130	4" HEAVY DUTY STRIPING, TYPICAL
132	TRAFFIC BEARING MEMBRANE COATING
135	METAL FABRICATION - 42" GUARD RAIL
155	THROUGH WALL OVERFLOW SCUPPER

FLOOR PLAN LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
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5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.



Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

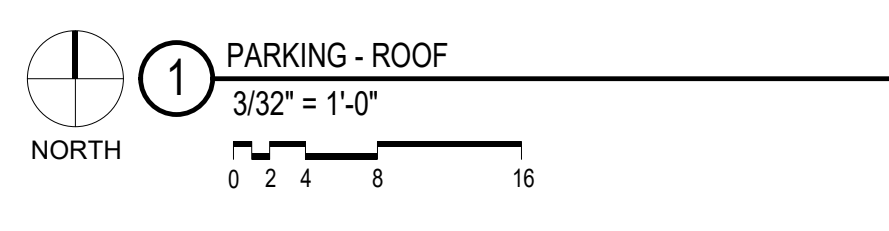
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
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Sheet Title
ROOF PLAN

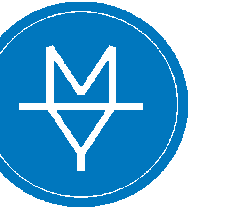
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Sheet No.
A116B

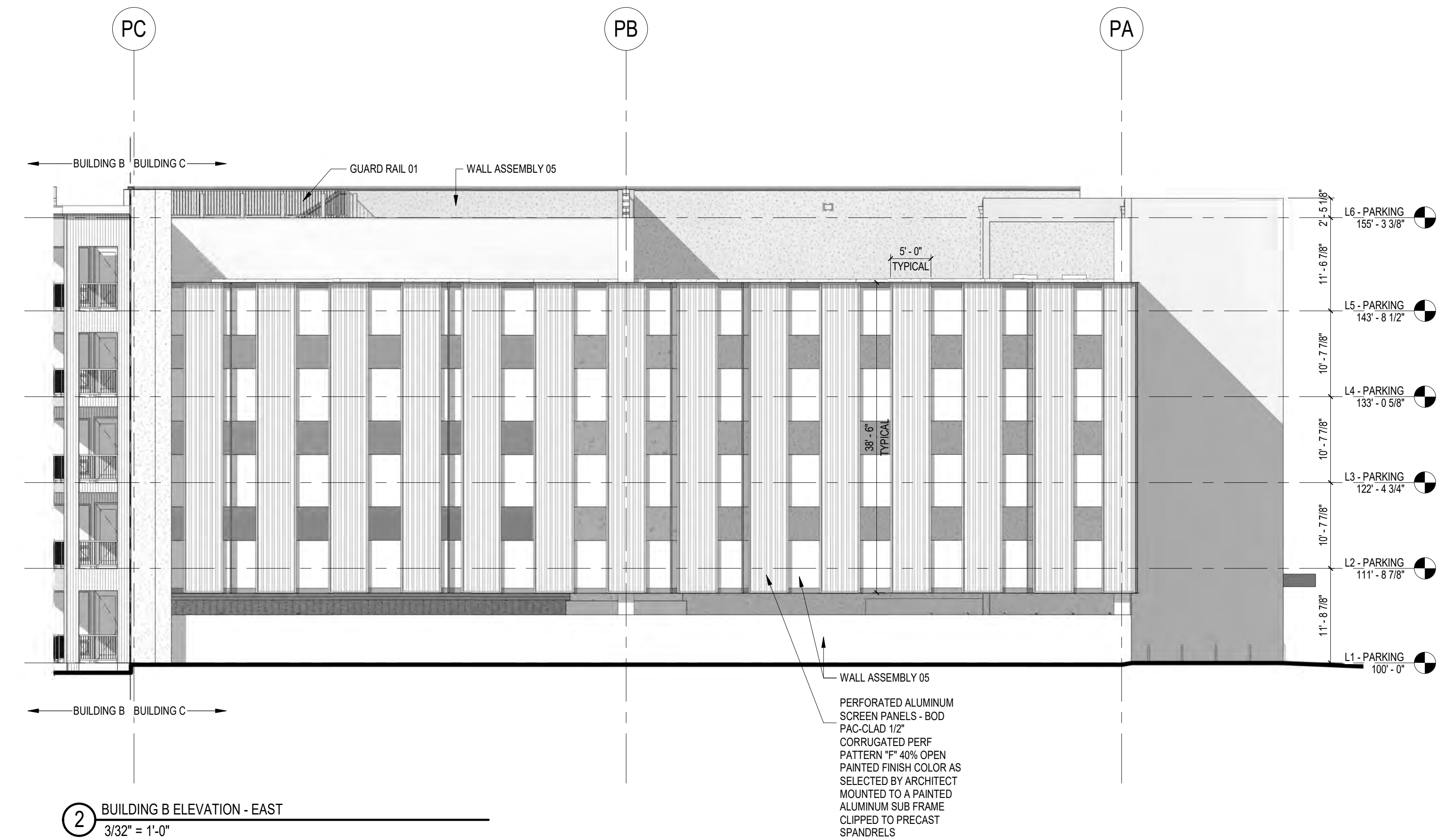


ASSEMBLIES & COMPONENTS

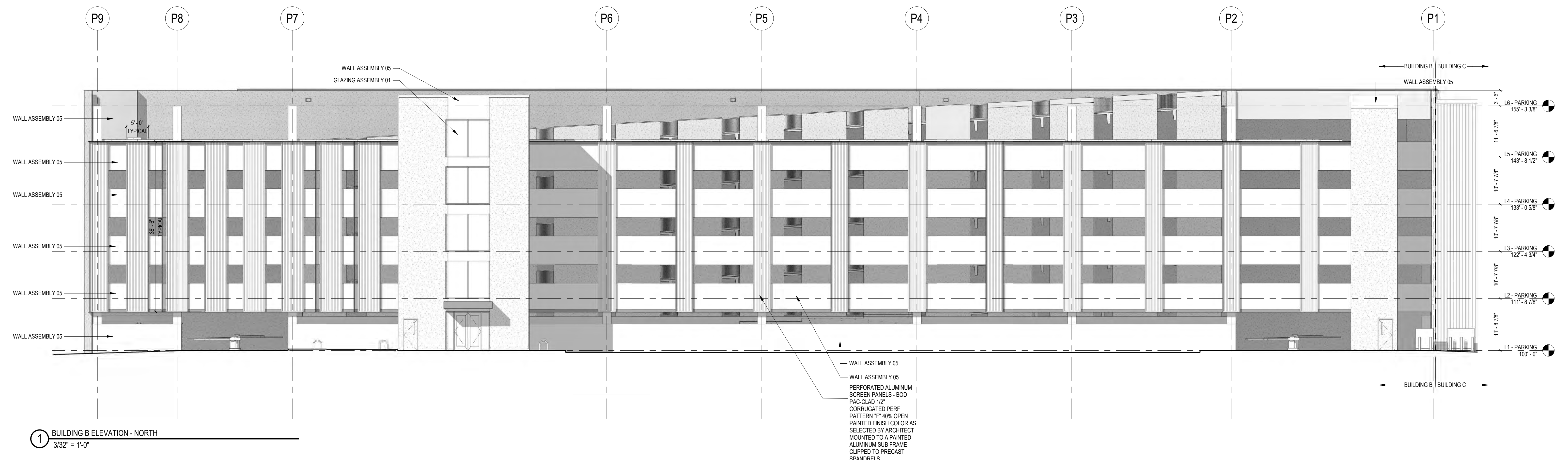
GLAZING ASSEMBLY 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 60/UT GLAZING SYSTEM
GUARD RAIL 01	PIPE AND TUBE RAILINGS - VERTICAL PICKET GUARDRAIL WITH HAND RAIL - PAINTED FINISH
WALL ASSEMBLY 05	PRECAST CONCRETE WALL - SEE STRUCTURAL



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2 BUILDING B ELEVATION - EAST
3/32" = 1'-0"



1 BUILDING B ELEVATION - NORTH
3/32" = 1'-0"

Revisions

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Drawing Date
FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

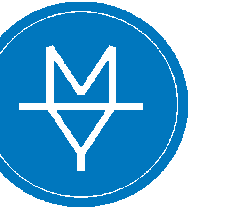
Sheet Title
EXTERIOR ELEVATIONS

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125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516

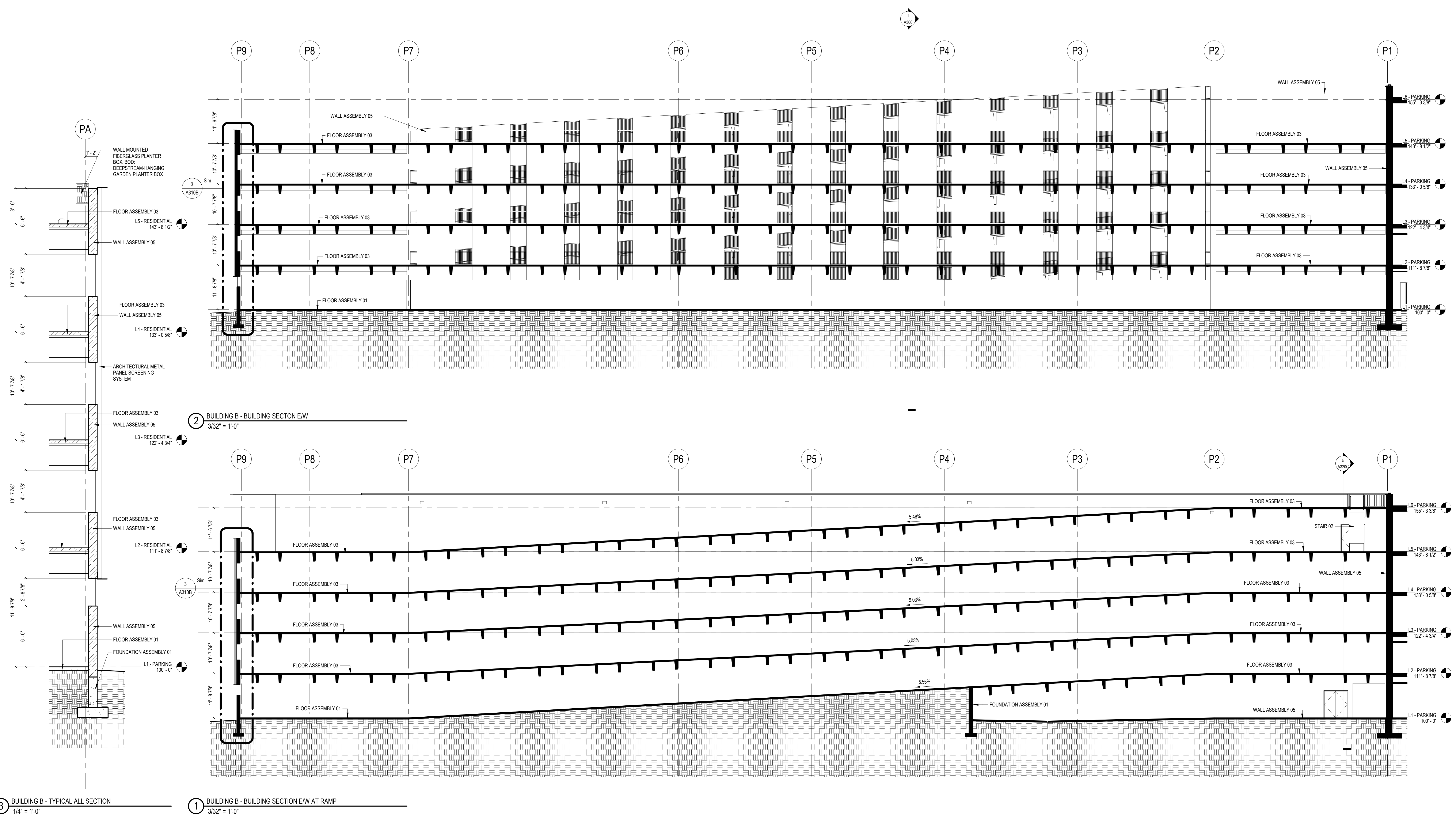
Sheet No.
A210B

ASSEMBLIES & COMPONENTS

FLOOR ASSEMBLY 01	CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL - SEE STRUCTURAL
FLOOR ASSEMBLY 03	PRECAST CONCRETE DOUBLE TEE - SEE STRUCTURAL
FOUNDATION ASSEMBLY 01	CAST-IN-PLACE CONCRETE FOUNDATION WALL - SEE ASSEMBLY SHEET
STAIR 02	PRECAST STRUCTURAL CONCRETE - PRECAST STAIR ASSEMBLY
WALL ASSEMBLY 05	PRECAST CONCRETE WALL - SEE STRUCTURAL



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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
SECTIONS

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Sheet No.
A310B

3 BUILDING B - TYPICAL ALL SECTION
1/4" = 1'-0"

2 BUILDING B - BUILDING SECTION E/W
3/32" = 1'-0"

1 BUILDING B - BUILDING SECTION E/W AT RAMP
3/32" = 1'-0"

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

159	WALL MOUNTED RESIDENTIAL GAS METERS
161	POSTAL SPECIALTIES - RECESSED 15 MAILBOX UNIT WITH PACKAGE BOX
162	PET WASH STATION - FLYING PIG GROOMING 62" SST DOG PET GROOMING BATH TUB WITH RAMP
163	TRASH COMPACTOR
164	EMERGENCY GENERATOR
165	TRANSFORMERS
166	PACKAGE ROOM DOOR HARDWARE - BOD LUXER PACKAGE ROOM DOOR SYSTEM
167	RESIDENTIAL ACCESS CONTROL / INTERCOM
168	FP ANNUNCIATOR PANEL
169	EXPANSION JOINT COVER - VERTICAL WALL TO WALL
170	LOBBY SEPARATION DOOR ON MAGNETIC HOLD OPENS TIED INTO FIRE/SMOKE ALARM

FLOOR PLAN LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

- VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
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- SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

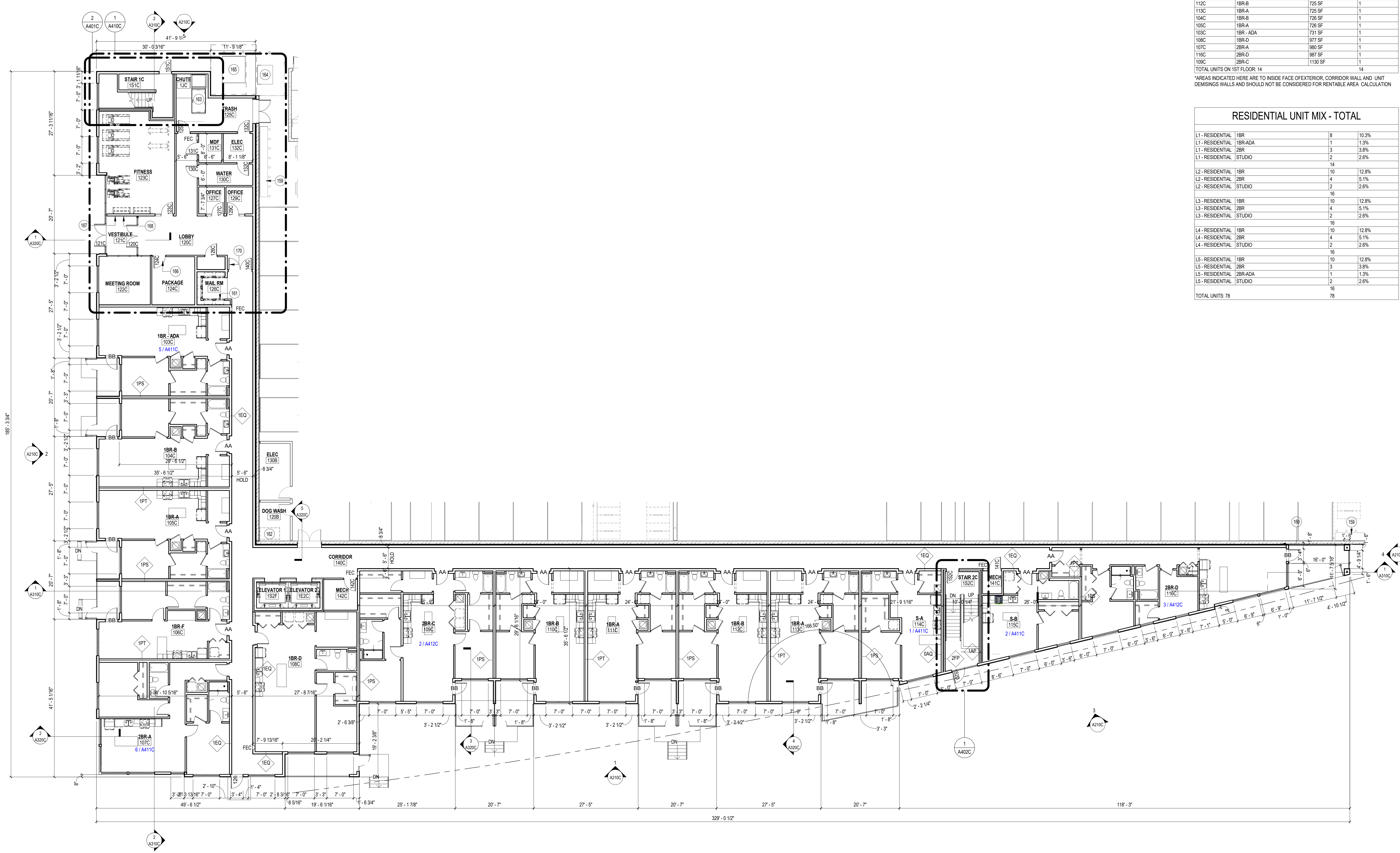
RESIDENTIAL UNIT MATRIX - 1ST FLOOR

UNIT	TYPE	AREA (SF)	COUNT
115C	S-B	472 SF	1
114C	S-A	582 SF	1
109C	1BR-F	628 SF	1
110C	1BR-B	725 SF	1
111C	1BR-A	725 SF	1
112C	1BR-B	725 SF	1
113C	1BR-A	725 SF	1
104C	1BR-B	726 SF	1
105C	1BR-A	726 SF	1
103C	1BR-ADA	731 SF	1
108C	1BR-D	977 SF	1
107C	2BR-A	980 SF	1
116C	2BR-D	987 SF	1
106C	2BR-C	1130 SF	1
TOTAL UNITS ON 1ST FLOOR:			14

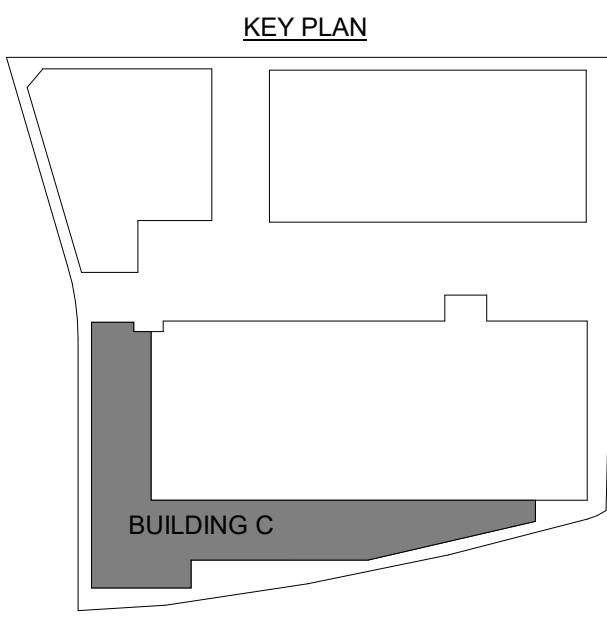
*AREAS INDICATED HERE ARE TO INSIDE FACE OF EXTERIOR CORRIDOR WALL AND UNIT DEMISING WALLS AND SHOULD NOT BE CONSIDERED FOR RENTABLE AREA CALCULATION

RESIDENTIAL UNIT MIX - TOTAL

UNIT TYPE	COUNT	PERCENTAGE	
L1 - RESIDENTIAL 1BR	9	10.3%	
L1 - RESIDENTIAL 1BR-ADA	1	1.3%	
L1 - RESIDENTIAL 2BR	3	3.8%	
L1 - RESIDENTIAL STUDIO	2	2.6%	
L2 - RESIDENTIAL 1BR			14
L2 - RESIDENTIAL 2BR	4	12.9%	
L2 - RESIDENTIAL STUDIO	2	2.6%	
L3 - RESIDENTIAL 1BR			10
L3 - RESIDENTIAL 2BR	4	5.1%	
L3 - RESIDENTIAL STUDIO	2	2.6%	
L4 - RESIDENTIAL 1BR			10
L4 - RESIDENTIAL 2BR	4	5.1%	
L4 - RESIDENTIAL STUDIO	2	2.6%	
L5 - RESIDENTIAL 1BR			10
L5 - RESIDENTIAL 2BR	3	3.8%	
L5 - RESIDENTIAL 2BR-ADA	1	1.3%	
L5 - RESIDENTIAL STUDIO	2	2.6%	
TOTAL UNITS: 78			78



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Revisions

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Drawing Date
FEBRUARY 1, 2021

**MADISON YARDS:
BLOCK 1**

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
1ST FLOOR PLAN

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Sheet No.
A111C

RESIDENTIAL - 1ST FLOOR
3/32" = 1'-0"
NORTH

2/20/21 10:50:29 AM

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

154	TRASH CHUTE - 24" W/ SOUND ATTENUATING COATING
159	WALL MOUNTED RESIDENTIAL GAS METERS
169	EXPANSION JOINT COVER - VERTICAL WALL TO WALL

FLOOR PLAN LEGEND

	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DED U.I.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

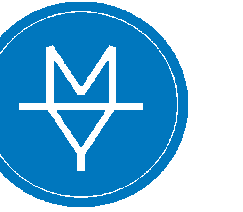
RESIDENTIAL UNIT MATRIX - 2ND FLOOR

UNIT	TYPE	SQ. FT.	COUNT
215C	1BR	473 SF	1
214C	1BR	582 SF	1
209C	1BR	623 SF	1
211C	1BR	725 SF	1
212C	1BR	725 SF	1
213C	1BR	725 SF	1
210C	1BR	725 SF	1
202C	1BR	726 SF	1
203C	1BR	726 SF	1
204C	1BR	726 SF	1
205C	1BR	726 SF	1
201C	1BR	792 SF	1
216C	2BR	968 SF	1
207C	2BR	1034 SF	1
208C	2BR	1138 SF	1
208C	2BR	1140 SF	1
TOTAL UNITS ON 2ND FLOOR:			16

*AREAS INDICATED HERE ARE TO INSIDE FACE OF EXTERIOR, CORRIDOR WALL AND UNIT DEMISING WALLS AND SHOULD NOT BE CONSIDERED FOR RENTABLE AREA CALCULATION

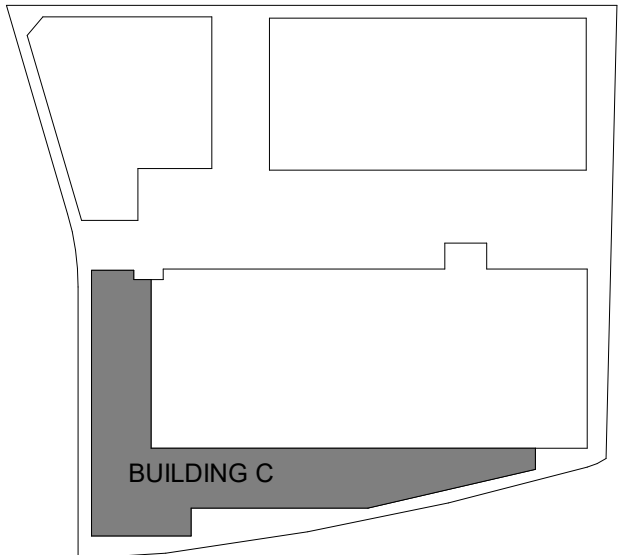
RESIDENTIAL UNIT MIX - TOTAL

UNIT TYPE	COUNT	PERCENT		
L1 - RESIDENTIAL 1BR	9	10.3%		
L1 - RESIDENTIAL 1BR-ADA	1	1.3%		
L1 - RESIDENTIAL 2BR	3	3.8%		
L1 - RESIDENTIAL STUDIO	2	2.6%		
L1 TOTAL			14	
L2 - RESIDENTIAL 1BR	10	12.8%		
L2 - RESIDENTIAL 2BR	4	5.1%		
L2 - RESIDENTIAL STUDIO	2	2.6%		
L2 TOTAL			16	
L3 - RESIDENTIAL 1BR	10	12.8%		
L3 - RESIDENTIAL 2BR	4	5.1%		
L3 - RESIDENTIAL STUDIO	2	2.6%		
L3 TOTAL			16	
L4 - RESIDENTIAL 1BR	10	12.8%		
L4 - RESIDENTIAL 2BR	4	5.1%		
L4 - RESIDENTIAL STUDIO	2	2.6%		
L4 TOTAL			16	
L5 - RESIDENTIAL 1BR	10	12.8%		
L5 - RESIDENTIAL 2BR	3	3.8%		
L5 - RESIDENTIAL 2BR-ADA	1	1.3%		
L5 - RESIDENTIAL STUDIO	2	2.6%		
L5 TOTAL			16	
TOTAL UNITS:			78	



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KEY PLAN



Revisions

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Drawing Date
FEBRUARY 1, 2021

MADISON YARDS: BLOCK 1

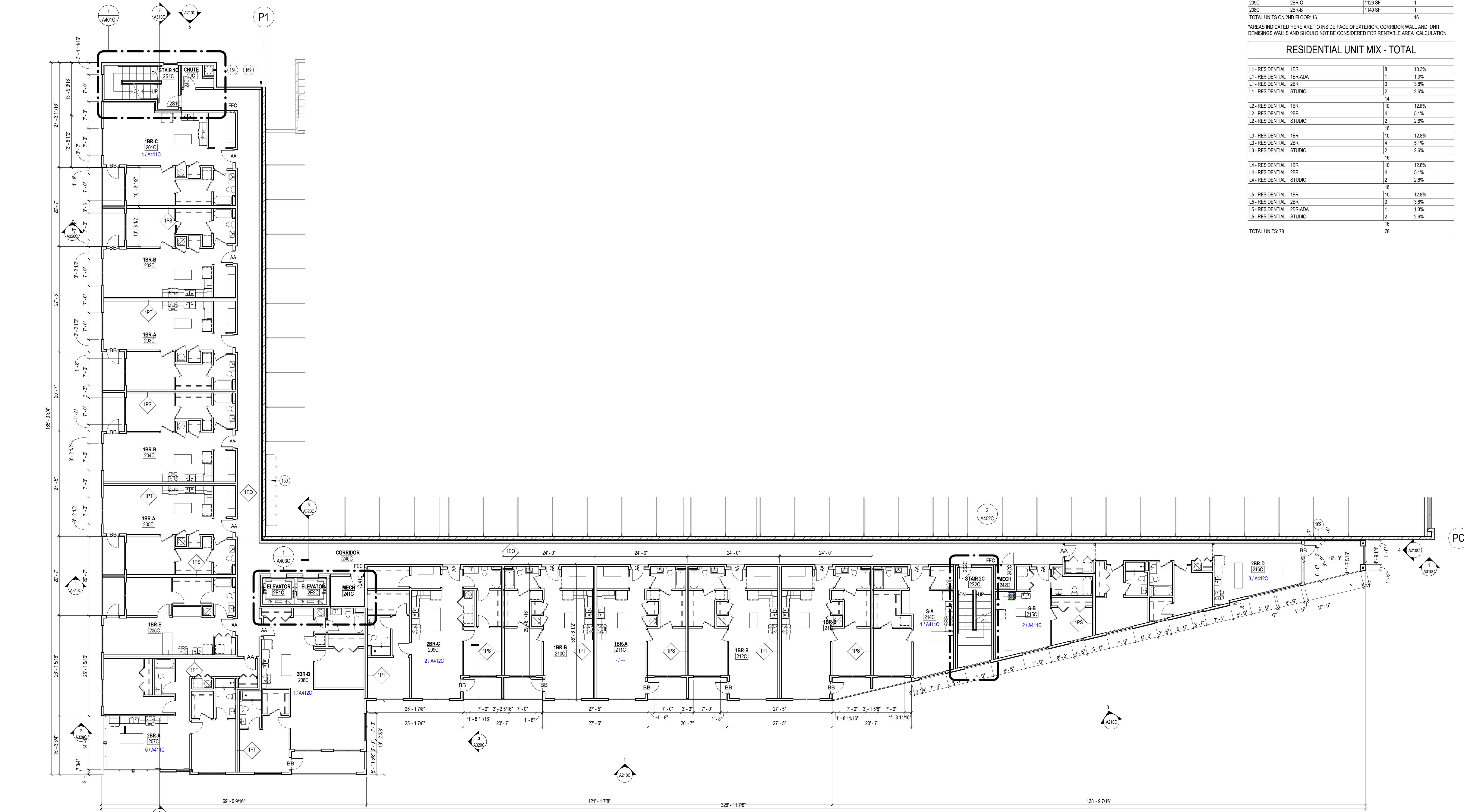
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
2ND FLOOR PLAN

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Sheet No.
A112C



RESIDENTIAL - 2ND FLOOR
3/32" = 1'-0"
NORTH

220126.00 118 10/19/21

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

- 154 TRASH CHUTE - 2" W/ SOUND ATTENUATING COATING
- 169 EXPANSION JOINT COVER - VERTICAL WALL TO WALL

FLOOR PLAN LEGEND

- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G060 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DR/ I.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

RESIDENTIAL UNIT MATRIX - 3RD FLOOR

L3 - RESIDENTIAL			
315C	S-B	473 SF	1
314C	S-A	582 SF	1
300C	1BR-E	623 SF	1
310C	1BR-B	725 SF	1
311C	1BR-A	725 SF	1
312C	1BR-B	725 SF	1
313C	1BR-A	725 SF	1
302C	1BR-B	726 SF	1
303C	1BR-A	726 SF	1
304C	1BR-B	726 SF	1
305C	1BR-A	726 SF	1
301C	1BR-C	782 SF	1
316C	2BR-D	967 SF	1
307C	2BR-A	1034 SF	1
308C	2BR-C	1138 SF	1
308C	2BR-B	1140 SF	1
TOTAL UNITS ON 3RD FLOOR: 16			16

*AREAS INDICATED HERE ARE TO INSIDE FACE OF EXTERIOR, CORRIDOR WALL AND UNIT DEMISING WALLS AND SHOULD NOT BE CONSIDERED FOR RENTABLE AREA CALCULATION

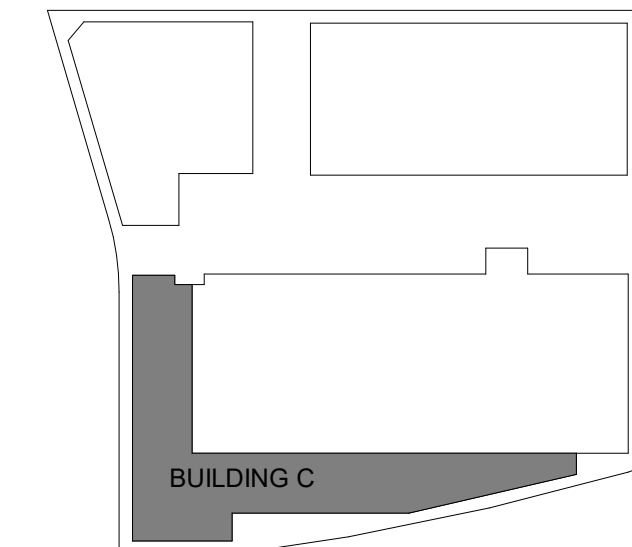
RESIDENTIAL UNIT MIX - TOTAL

L1 - RESIDENTIAL 1BR	8	10.3%
L1 - RESIDENTIAL 1BR-ADA	1	1.3%
L1 - RESIDENTIAL 2BR	3	3.8%
L1 - RESIDENTIAL STUDIO	2	2.6%
14		
L2 - RESIDENTIAL 1BR	10	12.8%
L2 - RESIDENTIAL 2BR	4	5.1%
L2 - RESIDENTIAL STUDIO	2	2.6%
16		
L3 - RESIDENTIAL 1BR	10	12.8%
L3 - RESIDENTIAL 2BR	4	5.1%
L3 - RESIDENTIAL STUDIO	2	2.6%
16		
L4 - RESIDENTIAL 1BR	10	12.8%
L4 - RESIDENTIAL 2BR	4	5.1%
L4 - RESIDENTIAL STUDIO	2	2.6%
16		
L5 - RESIDENTIAL 1BR	10	12.8%
L5 - RESIDENTIAL 2BR	3	3.8%
L5 - RESIDENTIAL 2BR-ADA	1	1.3%
L5 - RESIDENTIAL STUDIO	2	2.6%
16		
TOTAL UNITS: 78		78



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KEY PLAN



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FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

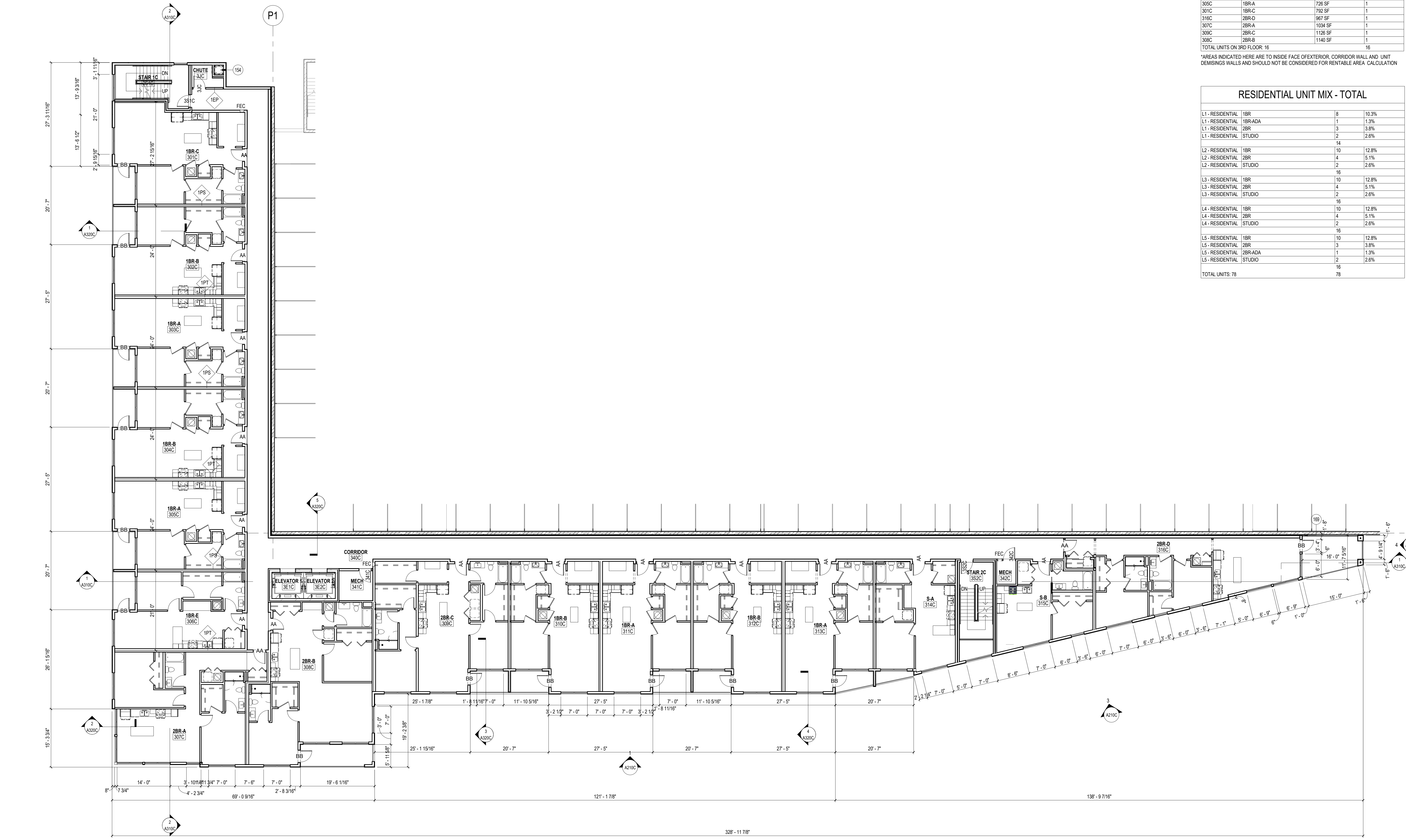
BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
3RD FLOOR PLAN

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Sheet No.
A113C



RESIDENTIAL - 3RD FLOOR
3/32" = 1'-0"
NORTH

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ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

- 154 TRASH CHUTE - 2" W/ SOUND ATTENUATING COATING
- 169 EXPANSION JOINT COVER - VERTICAL WALL TO WALL

FLOOR PLAN LEGEND

- ALIGN ALIGN FACE OF INDICATED ELEMENTS
- ROOF DRAIN
- OVERFLOW ROOF DRAIN
- FLOOR DRAIN
- TRENCH DRAIN
- RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON 0600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DR/1.0.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

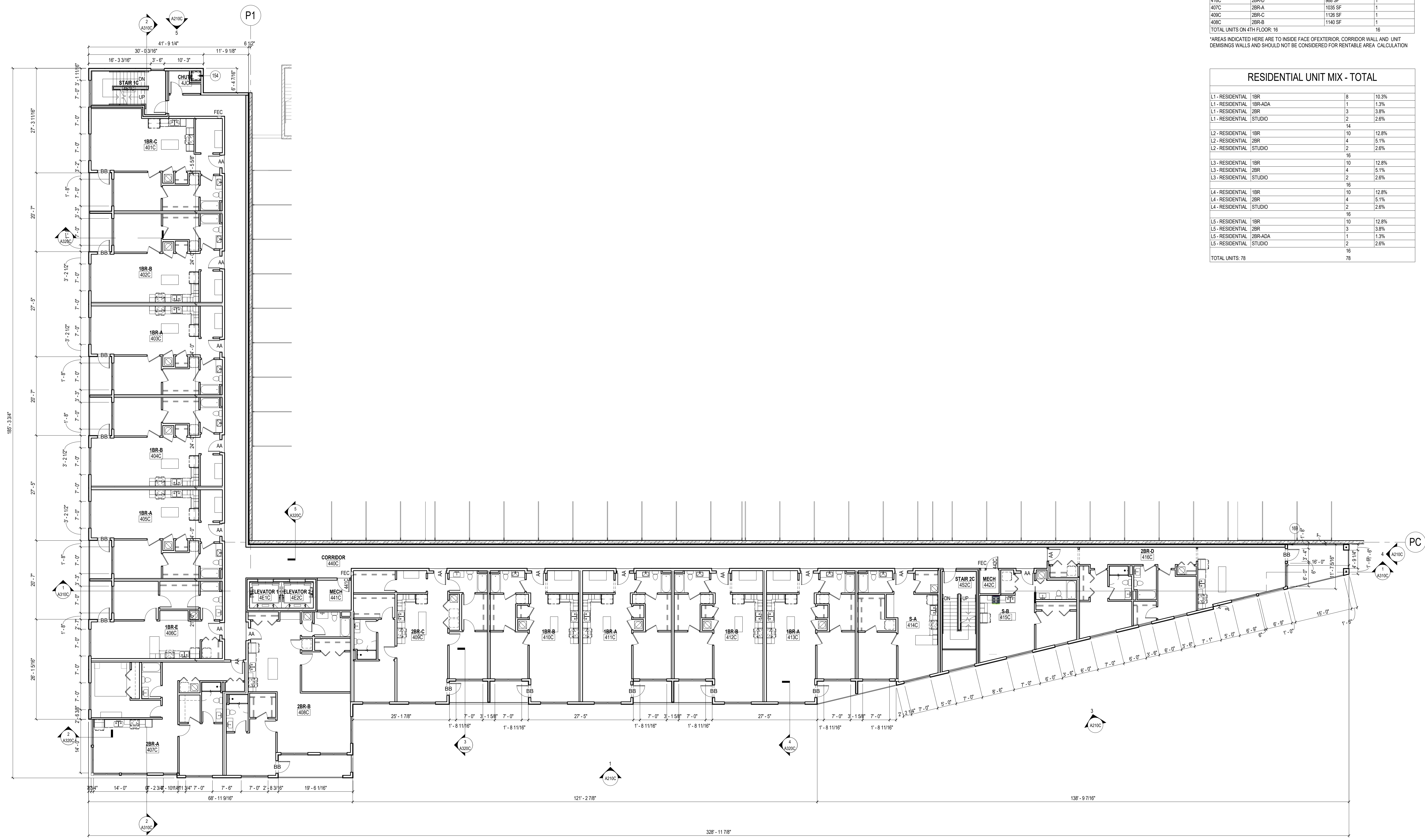
RESIDENTIAL UNIT MATRIX - 4TH FLOOR

L4 - RESIDENTIAL			
415C	S-B	473 SF	1
414C	S-A	582 SF	1
409C	1BR-E	623 SF	1
413C	1BR-A	725 SF	1
412C	1BR-B	725 SF	1
411C	1BR-A	725 SF	1
410C	1BR-B	725 SF	1
402C	1BR-B	726 SF	1
403C	1BR-A	726 SF	1
404C	1BR-B	726 SF	1
405C	1BR-A	726 SF	1
401C	1BR-C	792 SF	1
416C	2BR-D	968 SF	1
407C	2BR-A	1035 SF	1
408C	2BR-C	1128 SF	1
408C	2BR-B	1140 SF	1
TOTAL UNITS ON 4TH FLOOR: 16			16

*AREAS INDICATED HERE ARE TO INSIDE FACE OF EXTERIOR, CORRIDOR WALL AND UNIT DEMISING WALLS AND SHOULD NOT BE CONSIDERED FOR RENTABLE AREA CALCULATION

RESIDENTIAL UNIT MIX - TOTAL

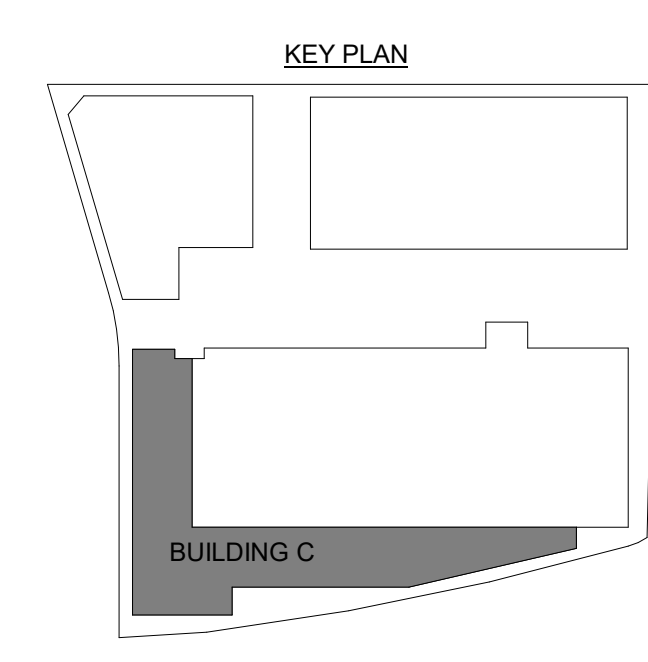
L1 - RESIDENTIAL 1BR	8	10.3%
L1 - RESIDENTIAL 1BR-ADA	1	1.3%
L1 - RESIDENTIAL 2BR	3	3.8%
L1 - RESIDENTIAL STUDIO	2	2.6%
14		
L2 - RESIDENTIAL 1BR	10	12.8%
L2 - RESIDENTIAL 2BR	4	5.1%
L2 - RESIDENTIAL STUDIO	2	2.6%
16		
L3 - RESIDENTIAL 1BR	10	12.8%
L3 - RESIDENTIAL 2BR	4	5.1%
L3 - RESIDENTIAL STUDIO	2	2.6%
16		
L4 - RESIDENTIAL 1BR	10	12.8%
L4 - RESIDENTIAL 2BR	4	5.1%
L4 - RESIDENTIAL STUDIO	2	2.6%
16		
L5 - RESIDENTIAL 1BR	10	12.8%
L5 - RESIDENTIAL 2BR	3	3.8%
L5 - RESIDENTIAL 2BR-ADA	1	1.3%
L5 - RESIDENTIAL STUDIO	2	2.6%
16		
TOTAL UNITS: 78		



1 RESIDENTIAL - 4TH FLOOR
3/32" = 1'-0"
NORTH



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MADISON YARDS:
BLOCK 1

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Project No.
220126.00

Sheet Title
4TH FLOOR PLAN

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Telephone 312.789.4516

Sheet No.
A114C

ASSEMBLIES & COMPONENTS

KEYNOTES - FLOOR PLAN

154	TRASH CHUTE - 2" W/ SOUND ATTENUATING COATING
169	EXPANSION JOINT COVER - VERTICAL WALL TO WALL

FLOOR PLAN LEGEND

	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON 0600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DRY I.L.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

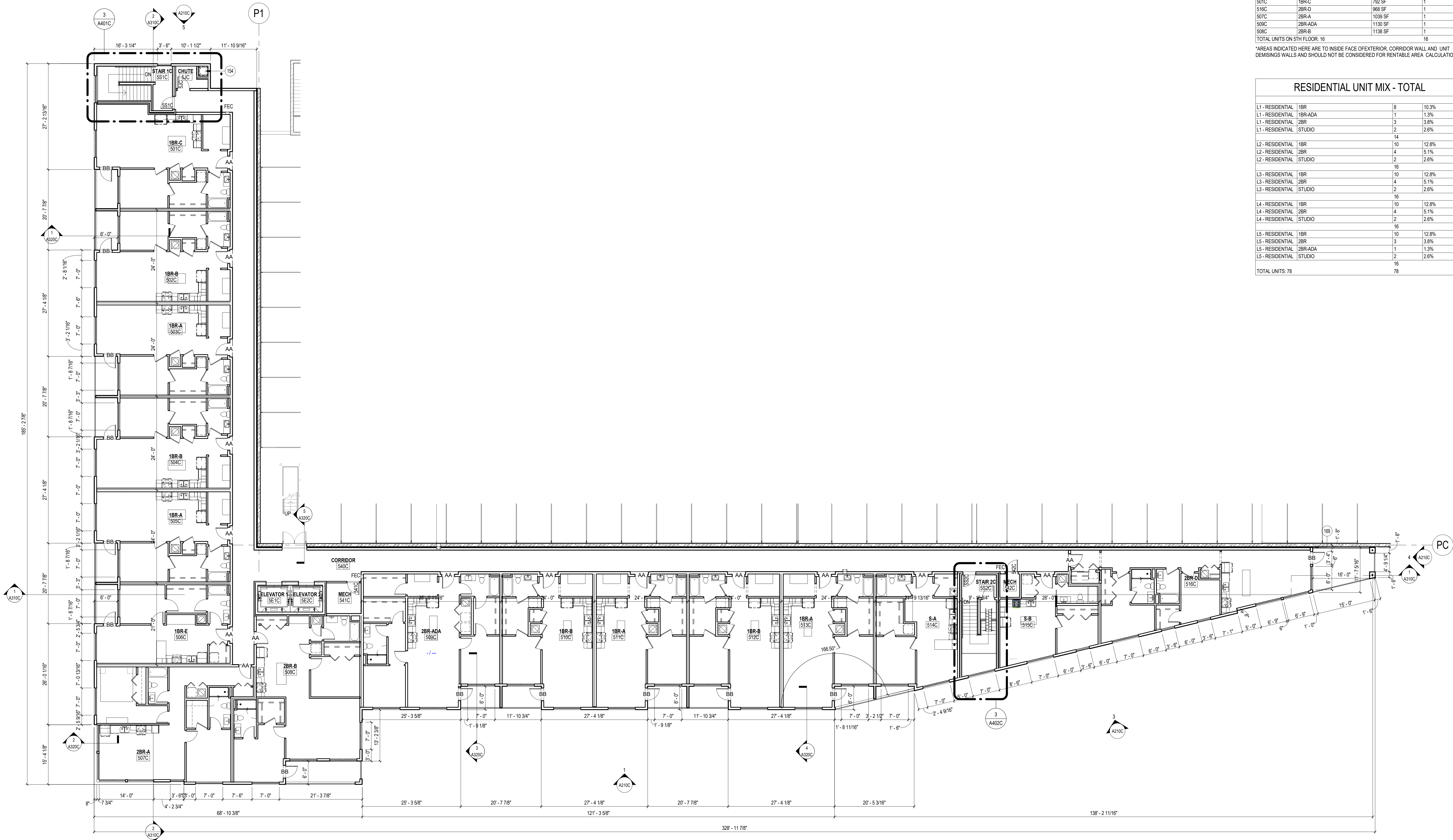
RESIDENTIAL UNIT MATRIX - 5TH FLOOR

L5 - RESIDENTIAL			
515C	S-B	467 SF	1
514C	S-A	582 SF	1
509C	1BR-E	623 SF	1
510C	1BR-B	725 SF	1
511C	1BR-A	725 SF	1
512C	1BR-B	725 SF	1
513C	1BR-A	725 SF	1
502C	1BR-B	726 SF	1
503C	1BR-A	726 SF	1
504C	1BR-B	726 SF	1
505C	1BR-A	726 SF	1
501C	1BR-C	792 SF	1
516C	2BR-D	968 SF	1
507C	2BR-A	1039 SF	1
506C	2BR-ADA	1139 SF	1
508C	2BR-B	1138 SF	1
TOTAL UNITS ON 5TH FLOOR: 16			16

*AREAS INDICATED HERE ARE TO INSIDE FACE OF EXTERIOR, CORRIDOR WALL AND UNIT DEMISING WALLS AND SHOULD NOT BE CONSIDERED FOR RENTABLE AREA CALCULATION

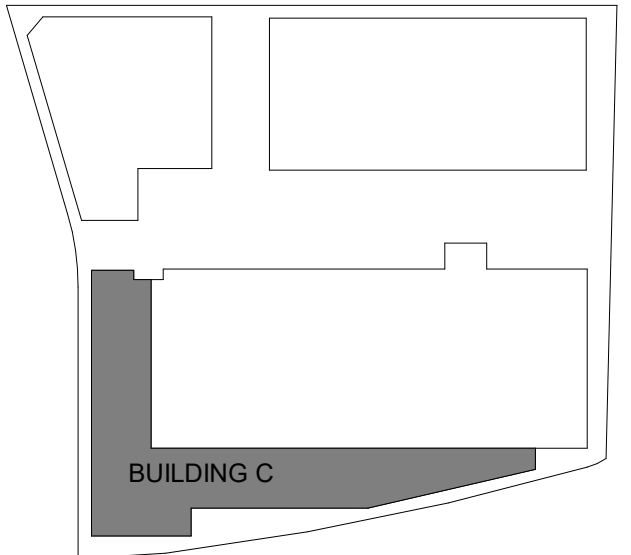
RESIDENTIAL UNIT MIX - TOTAL

L1 - RESIDENTIAL 1BR	8	10.3%
L1 - RESIDENTIAL 1BR-ADA	1	1.3%
L1 - RESIDENTIAL 2BR	3	3.8%
L1 - RESIDENTIAL STUDIO	2	2.6%
14		
L2 - RESIDENTIAL 1BR	10	12.8%
L2 - RESIDENTIAL 2BR	4	5.1%
L2 - RESIDENTIAL STUDIO	2	2.6%
16		
L3 - RESIDENTIAL 1BR	10	12.8%
L3 - RESIDENTIAL 2BR	4	5.1%
L3 - RESIDENTIAL STUDIO	2	2.6%
16		
L4 - RESIDENTIAL 1BR	10	12.8%
L4 - RESIDENTIAL 2BR	4	5.1%
L4 - RESIDENTIAL STUDIO	2	2.6%
16		
L5 - RESIDENTIAL 1BR	10	12.8%
L5 - RESIDENTIAL 2BR	3	3.8%
L5 - RESIDENTIAL 2BR-ADA	1	1.3%
L5 - RESIDENTIAL STUDIO	2	2.6%
16		
TOTAL UNITS: 78		



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KEY PLAN



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MADISON YARDS:
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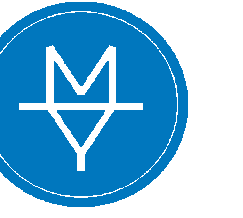
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Project No.
220126.00

Sheet Title
5TH FLOOR PLAN

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Sheet No.
A115C



ASSEMBLIES & COMPONENTS

155	THROUGH WALL OVERFLOW SCUPPER
156	METAL FABRICATION - ROOF HATCH 30"x34"
157	TRELLIS - 800 LONG BOARD 1"x8 BEAMS - PAINTED ALUMINUM

KEYNOTES - FLOOR PLAN

1	THROUGH WALL OVERFLOW SCUPPER
2	METAL FABRICATION - ROOF HATCH 30"x34"
3	TRELLIS - 800 LONG BOARD 1"x8 BEAMS - PAINTED ALUMINUM

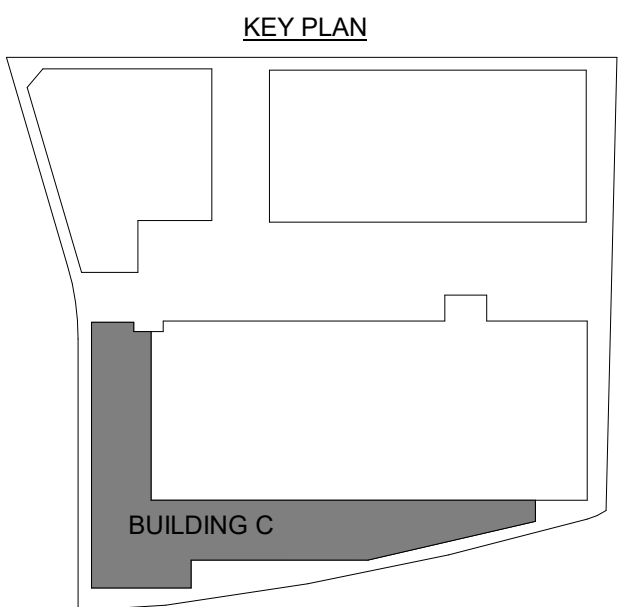
FLOOR PLAN LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS
	ROOF DRAIN
	OVERFLOW ROOF DRAIN
	FLOOR DRAIN
	TRENCH DRAIN
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET

FLOOR PLAN GENERAL NOTES

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4. REFER TO PARTITION SCHEDULE ON 0600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE DRD I.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 5" INSULATION.

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Drawing Date
FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
ROOF PLAN

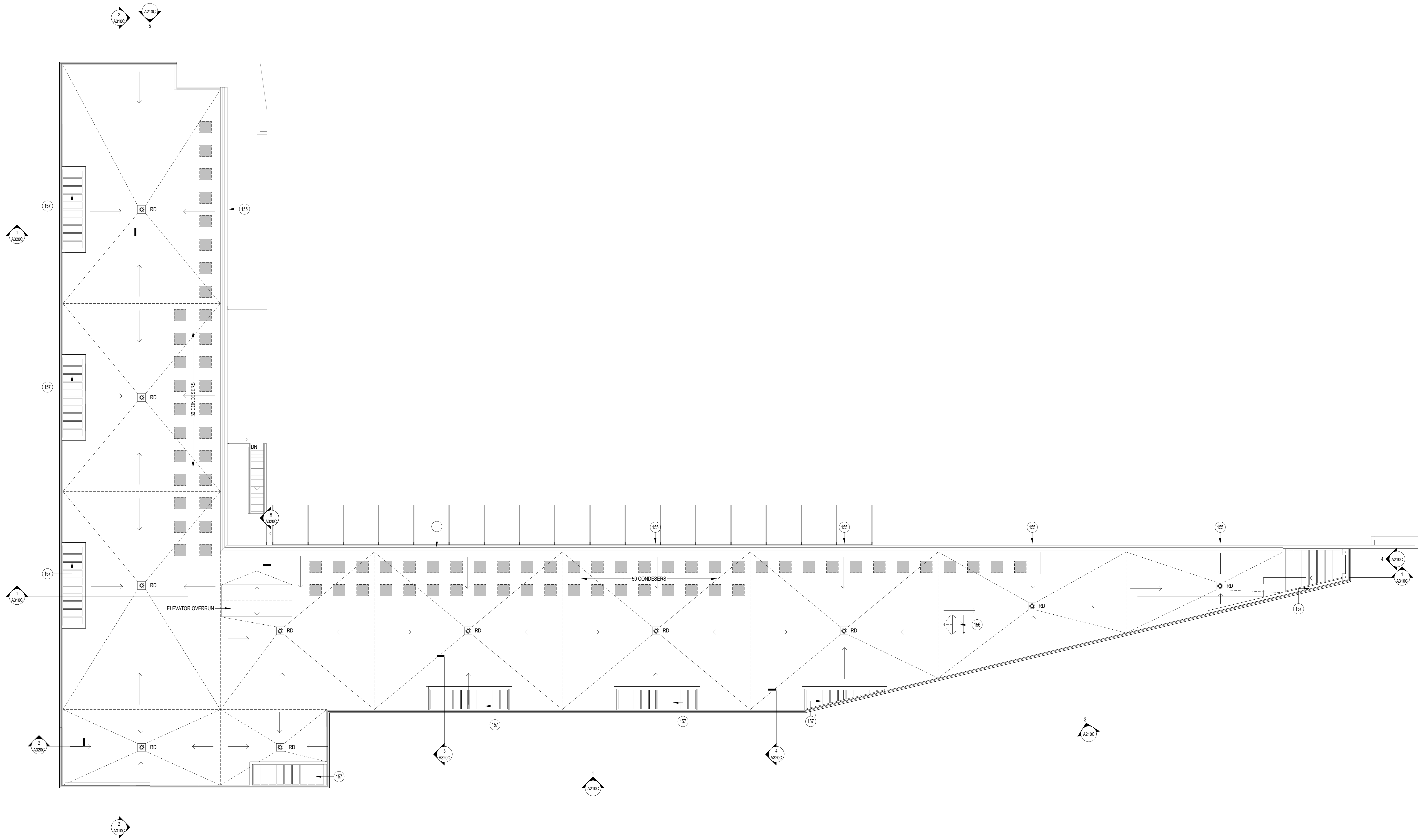
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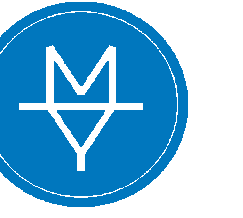
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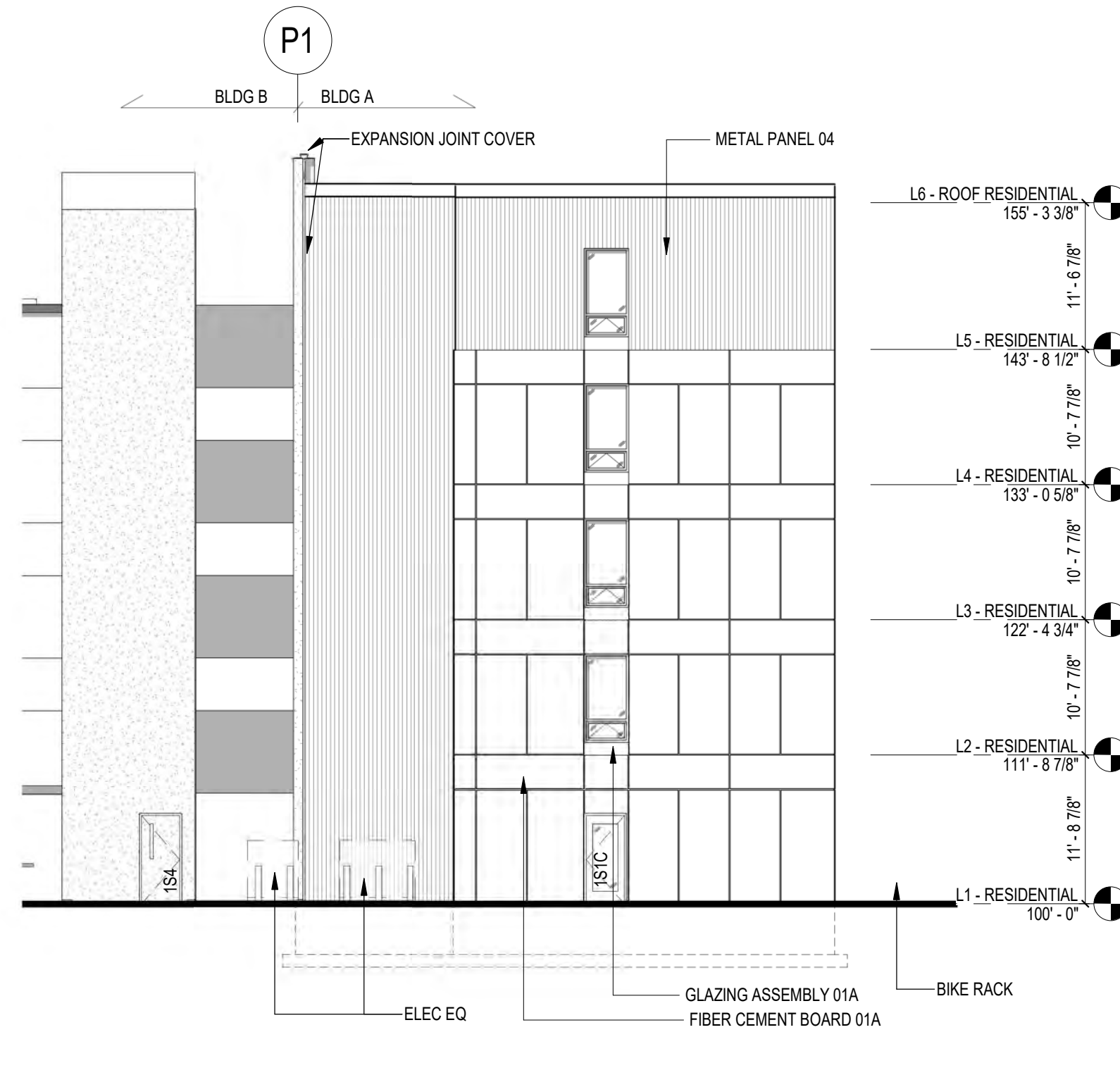
Sheet No.
A116C



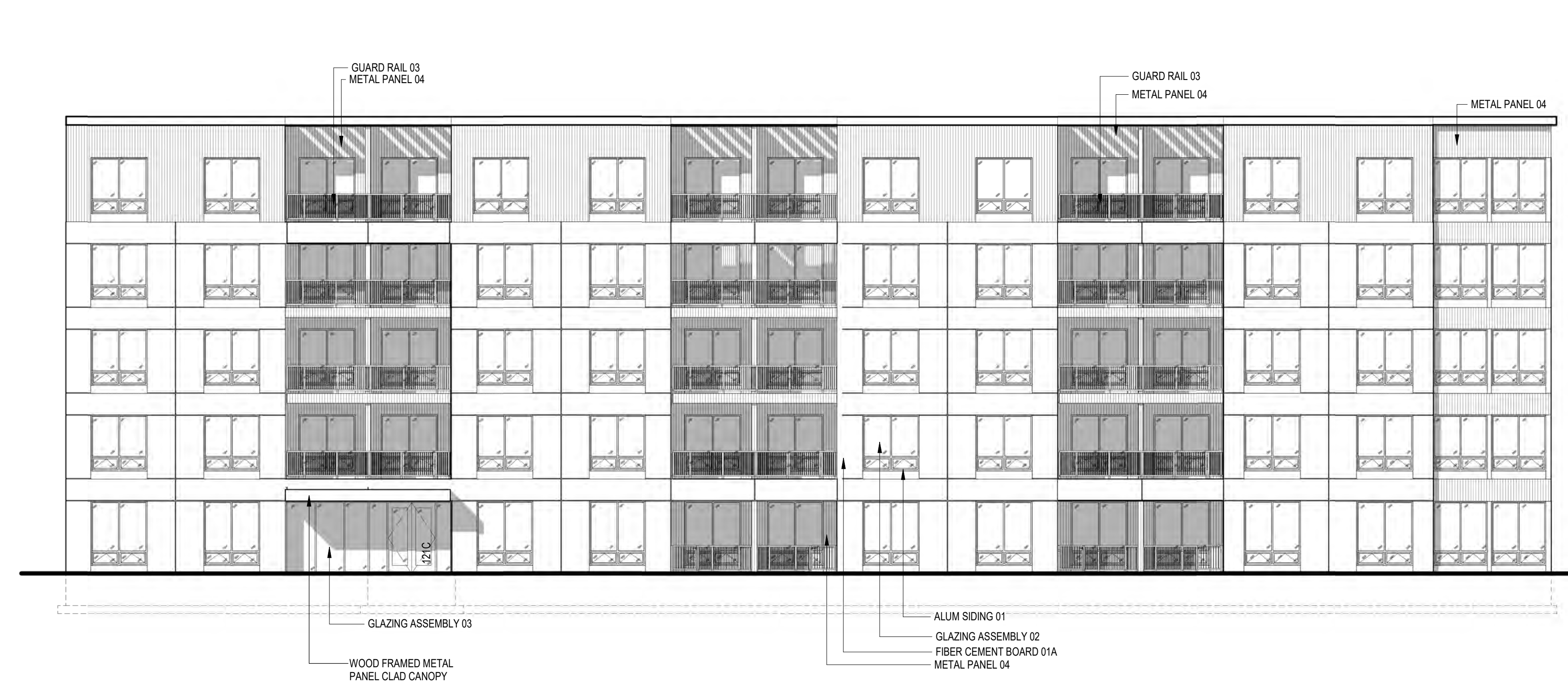


ASSEMBLIES & COMPONENTS

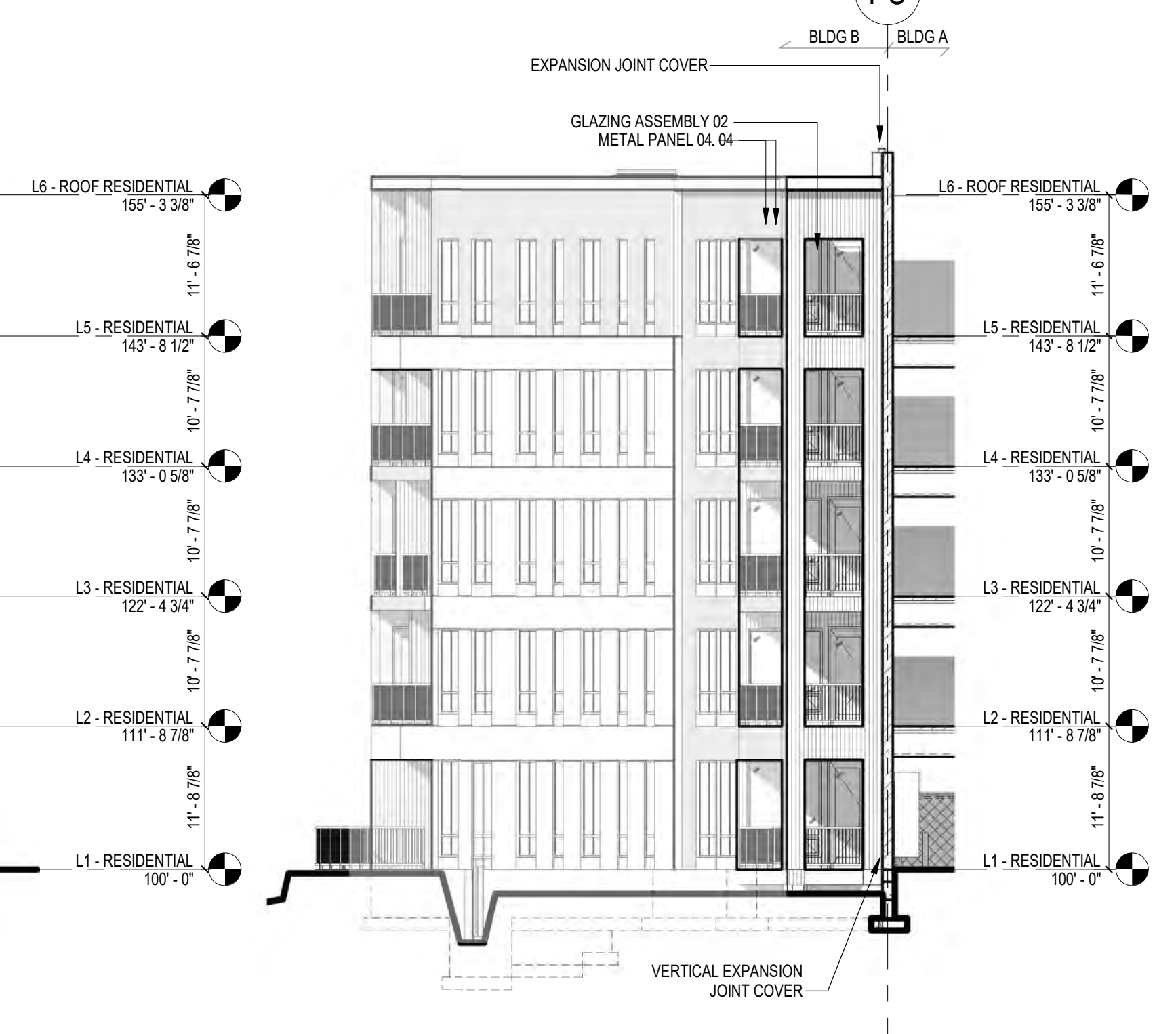
ALUM SIDING 01	ALUMINUM WALL PANEL, BASIS OF DESIGN: PAC-CLAD 12" FLUSH WALL PANEL, COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE OF STANDARD COLORS
ALUM SIDING 02	ALUMINUM WALL PANEL, BASIS OF DESIGN: PAC-CLAD 12" FLUSH WALL PANEL, FINISH TO MATCH METAL PANEL 04
FIBER CEMENT BOARD 01A	SMOOTH FIBER CEMENT SIDING PANEL, BY MATCHING ALUMINUM REVEALS, BASIS OF DESIGN: JAMES HARDIE REVEAL PANEL SYSTEM, COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL STANDARD COLORS
GLAZING ASSEMBLY 01A	FIBERGLASS FINISH WINDOWS, BASIS OF DESIGN: PELLA IMPERIVA
GLAZING ASSEMBLY 02	FIBERGLASS PATIO WINDOW - NON OPERABLE, BASIS OF DESIGN: PELLA IMPERIVA
GLAZING ASSEMBLY 03	DECORATIVE METAL RAILINGS - ALUMINUM VERTICAL PICKET BALCONY GUARDRAIL - PAINTED FINISH
GUARD RAIL 03	VERTICAL CORRUGATED ALUMINUM PANEL, BASIS OF DESIGN: PAC-CLAD 12" CORRUGATED EXPOSED FASTENER PANELS, COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE OF STANDARD COLORS
METAL PANEL 04	



5 BUILDING C ELEVATION - NORTH
3/32" = 1'-0"

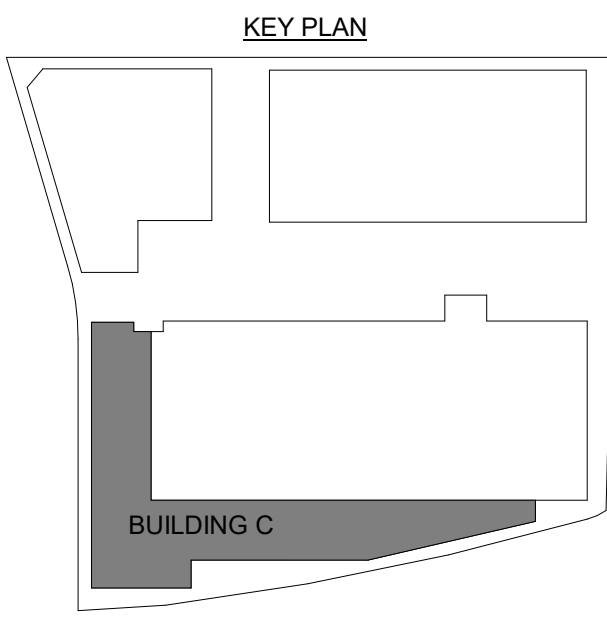


2 BUILDING C ELEVATION - WEST
3/32" = 1'-0"



4 BUILDING C ELEVATION - EAST
3/32" = 1'-0"

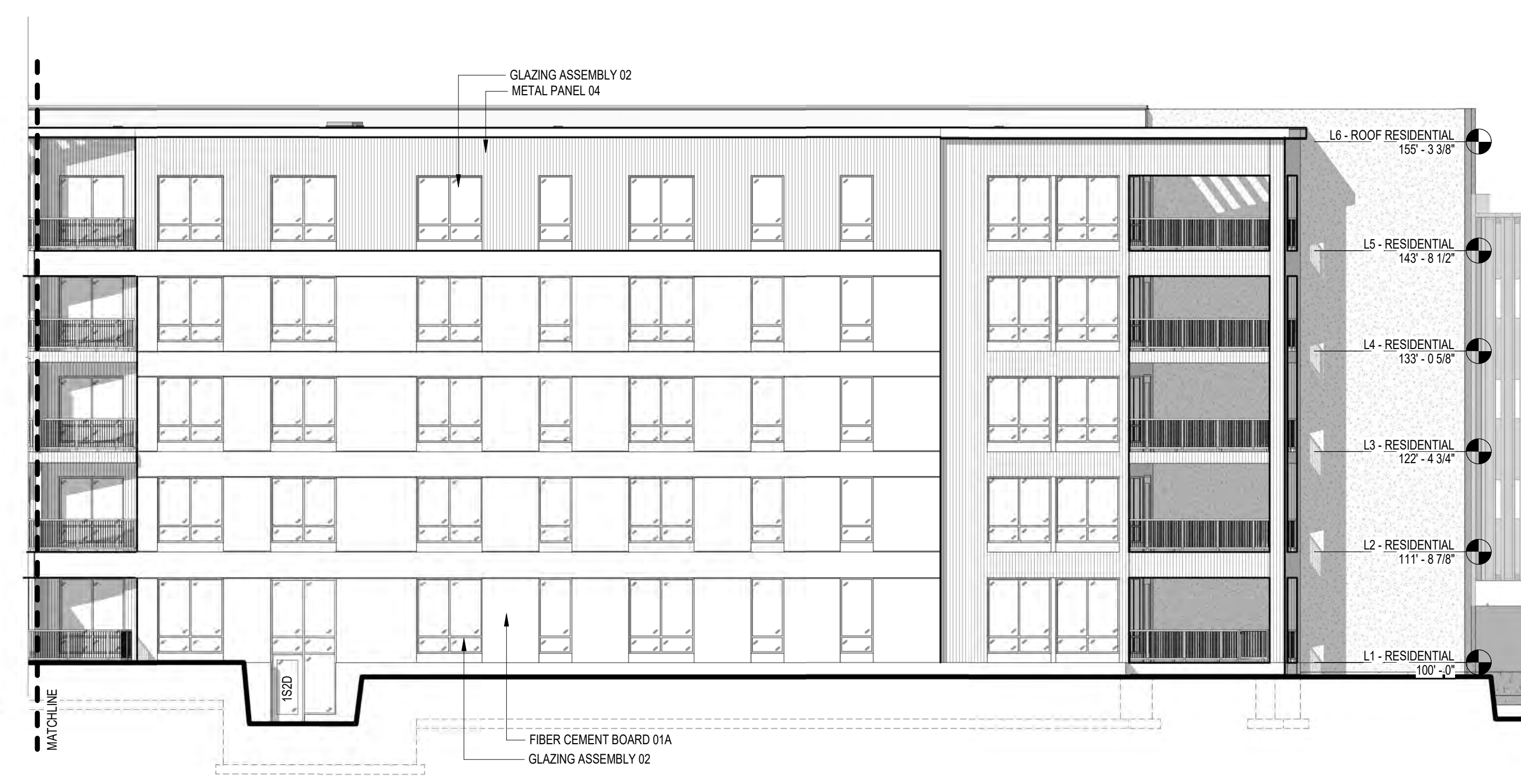
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1 BUILDING C ELEVATION - SOUTH
3/32" = 1'-0"



3 BUILDING C ELEVATION - SOUTHEAST
3/32" = 1'-0"

GMP PACKAGE

Drawing Date
FEBRUARY 1, 2021

MADISON YARDS:
BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

Sheet Title
EXTERIOR ELEVATIONS

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A210C

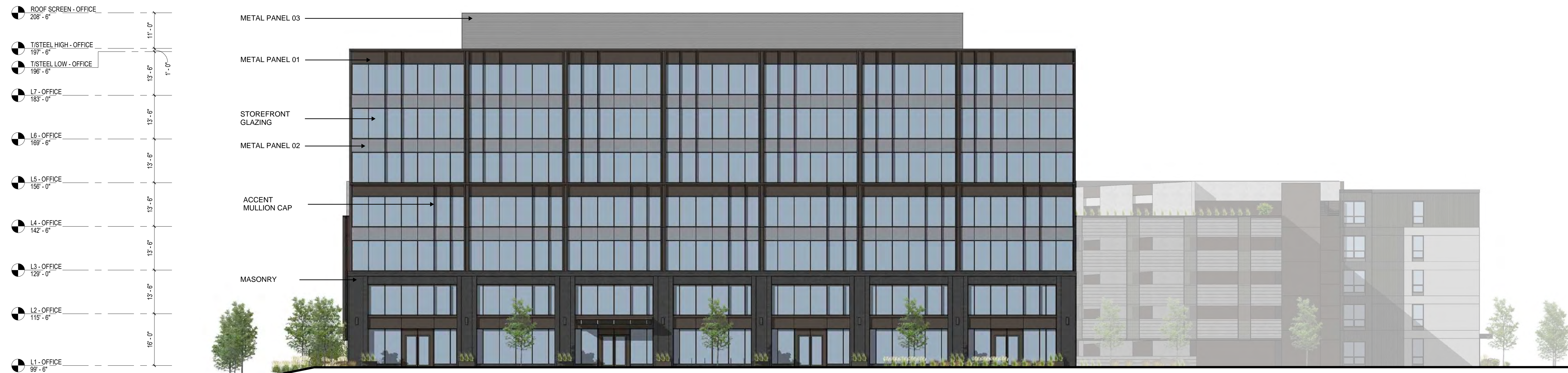


- L6 - ROOF RESIDENTIAL
155'-3.36"
- L5 - RESIDENTIAL
143'-8.12"
- L4 - RESIDENTIAL
133'-0.96"
- L3 - RESIDENTIAL
122'-4.34"
- L2 - RESIDENTIAL
111'-8.72"
- L1 - RESIDENTIAL
100'-0"

- METAL PANEL 04
- WALL MURAL
- GREEN SCREEN WALL

2 OVERALL ELEVATION - SOUTH
1/16" = 1'-0"
0 4 8 16 32

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- ROOF SCREEN - OFFICE
208'-6"
- T/STEEL HIGH - OFFICE
197'-6"
- T/STEEL LOW - OFFICE
196'-0"
- L7 - OFFICE
183'-0"
- L6 - OFFICE
169'-6"
- L5 - OFFICE
156'-0"
- L4 - OFFICE
142'-6"
- L3 - OFFICE
129'-0"
- L2 - OFFICE
115'-0"
- L1 - OFFICE
99'-6"

- METAL PANEL 03
- METAL PANEL 01
- STOREFRONT
GLAZING
- METAL PANEL 02
- ACCENT
MULLION CAP
- MASONRY

1 OVERALL ELEVATION - NORTH
1/16" = 1'-0"
0 4 8 16 32

Revisions

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Drawing Date
FEBRUARY 2, 2021

MADISON YARDS:
BLOCK 1

BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

Project No.
220126.00

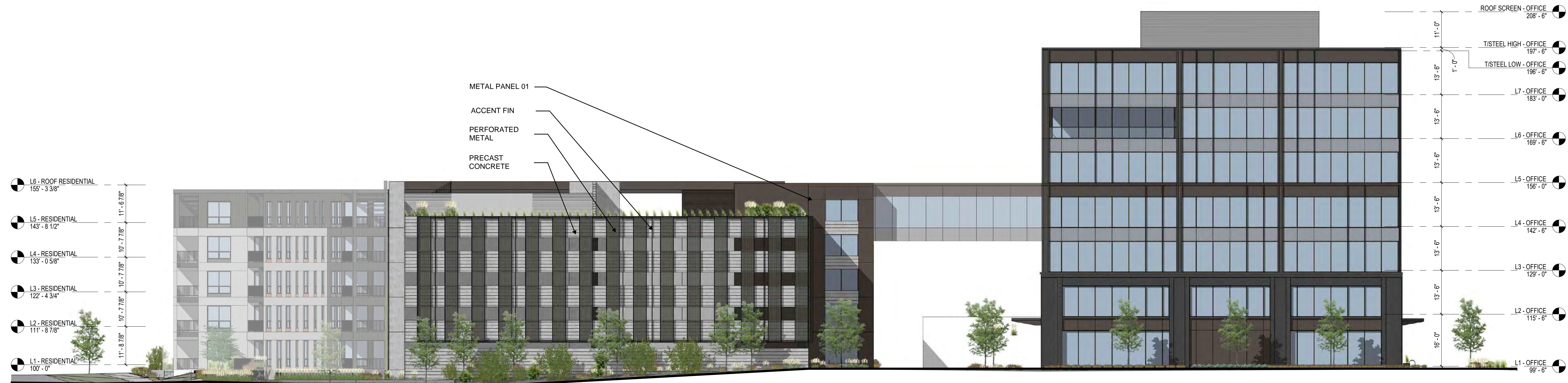
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② OVERALL ELEVATION - EAST
1/16" = 1'-0"



① OVERALL ELEVATION - WEST
1/16" = 1'-0"

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MADISON YARDS:
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② OVERALL ELEVATION - NORTH (ALLEYWAY)
1/16" = 1'-0"
0 4 8 16 32

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① OVERALL ELEVATION - SOUTH (ALLEYWAY)
1/16" = 1'-0"
0 4 8 16 32

Revisions

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**MADISON YARDS:
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BLOCK 1 AT MADISON YARDS
MADISON, WISCONSIN

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METAL 01 - DARK BRONZE



METAL 02 - MID - TONE GRAY



LOW-E GLAZING



DARK NORMAN SIZED BRICK WITH
COLOR MATCHED MORTOR



WALL SCONCE - DOWN LIGHT



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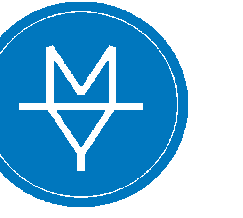
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DARK BRONZE CORRUGATED METAL



FIBER BOARD PANEL WITH
MATCHING TRIM



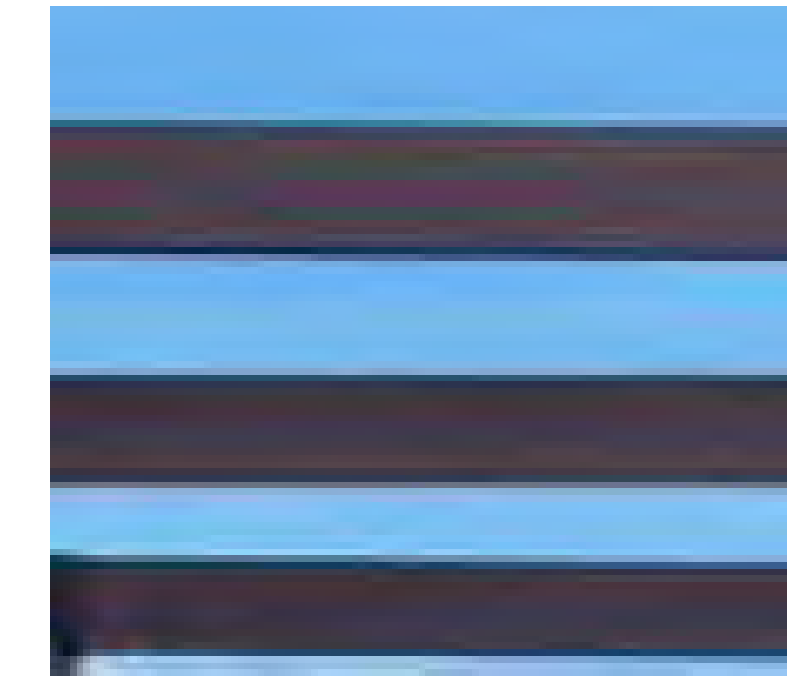
LOW-E GLAZING



METAL ACCENT PANEL



DARK BRONZE VERTICAL
PICKET RAILING



DARK BRONZE
ALUMINUM TRELLIS

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