



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 409 Elmside Blvd

Name of Owner: James Voeltz / Laura Rochon

Address of Owner (if different than above): _____

Daytime Phone: 608-630-6811 Evening Phone: 608-249-2248

Email Address: jamesvoeltz@gmail.com
lrochon13@yahoo.com

Name of Applicant (Owner's Representative): _____

Address of Applicant: _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Description of Requested Variance: To add a single story
backyard addition (with basement); to include a
first floor bathroom, closet space
and entryway/mudroom.

(See reverse side for more instructions)

FOR OFFICE USE ONLY	
Amount Paid: <u>\$300</u>	Hearing Date: <u>6/20/19</u>
Receipt: <u>091469-0010</u>	Published Date: <u>7-11-19</u>
Filing Date: <u>5/23/19</u>	Appeal Number: <u>LNDVAR-2019-00009</u>
Received By: <u>[Signature]</u>	GQ: <u>WP-08</u>
Parcel Number: <u>0710-053-2613-9</u>	Code Section(s): <u>28.047 (2)</u>
Zoning District: <u>TR-V1</u>	
Alder District: <u>6-Rummel</u>	

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

Odd shaped lot with no clear back property line to comply. Ordinance would require an odd shaped and unworkable addition.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

Addition adds function and worth to domicile. There is no sightline or sunshine interference for neighbors. Additional house features will be more in accordance with other houses in the neighborhood.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

To comply with ordinance would require an odd shaped addition, which would limit the scope and number of areas (Bathroom, closet, space, entryway) to be added. Because of this the addition will not be possible w/o variance.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

Prior to the 2016 ordinance change, that affects this odd shaped lot, the proposed addition would not have needed a variance.

5. The proposed variance shall not create substantial detriment to adjacent property.

This is a single story addition with no light, air or visual detriments.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

There is nothing out of the norm for the neighborhood.

Application Requirements

Please provide the following information: Incomplete applications could result in referral or denial by the Zoning Board of Appeals. (Maximum size for all drawings is 11" x 17".)

<input checked="" type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant has met to discuss the proposed project and submittal material with the Zoning Administrator.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following: <ul style="list-style-type: none"> <input type="checkbox"/> Lot lines <input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred) <input type="checkbox"/> North arrow
<input checked="" type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s).
<input checked="" type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans).
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	Digital copies of all plans and drawings should be emailed to: zoning@cityofmadison.com
<input checked="" type="checkbox"/>	CHECK HERE. I understand that in order to process my variance application, City Staff will need access to my property so that they can take photographs and conduct a pre-hearing inspection of the property. I therefore give City Staff my permission to enter my property for the purpose of conducting a pre-hearing inspection and taking photographs.
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

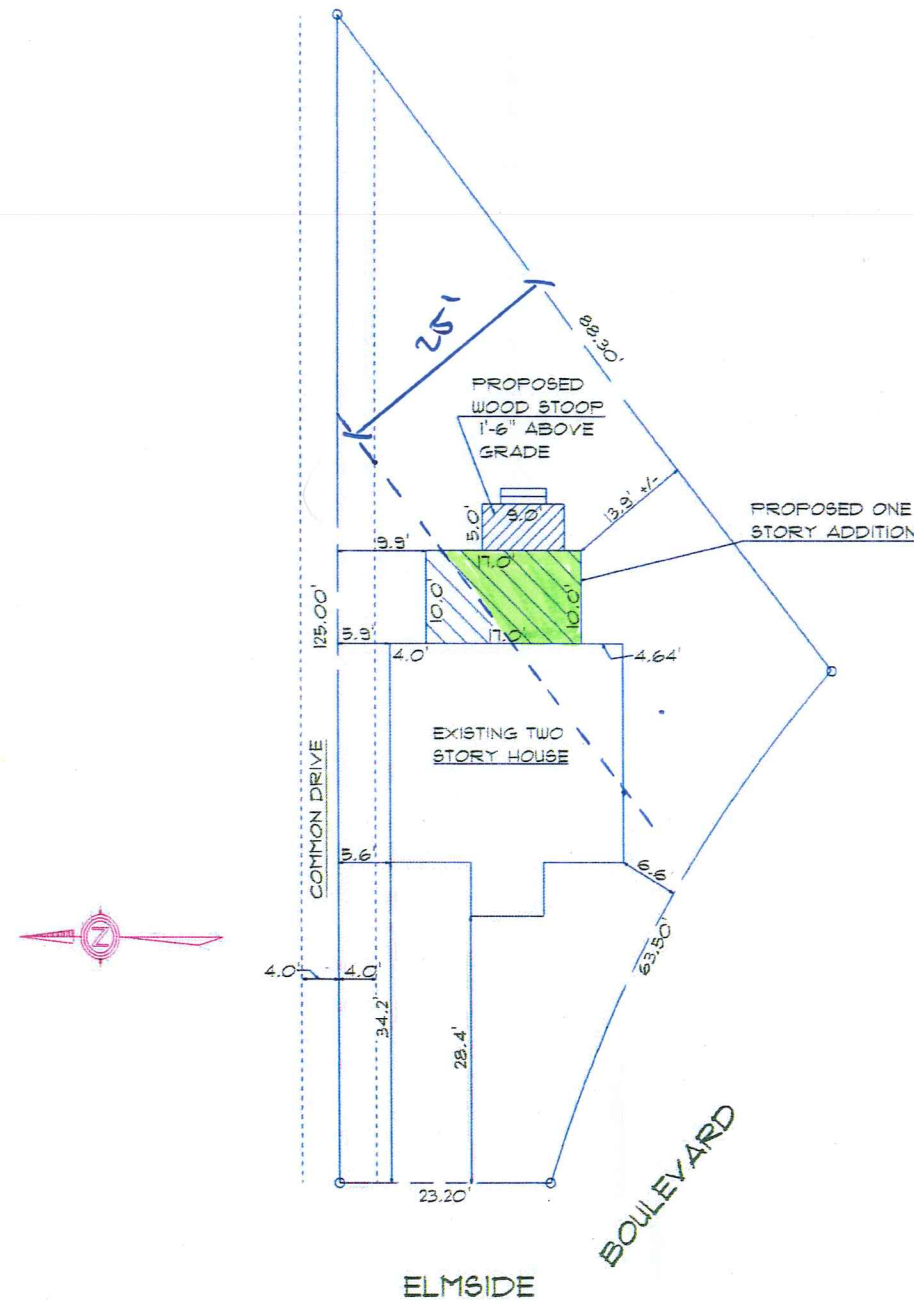
Owner's Signature: *Jessica K. Rochon* **Date:** 5/23/19
 ----- (For Office Use Only) -----

<u>DECISION</u>	
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.	
The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved	
Zoning Board of Appeals Chair:	Date:

Two-story Single-Family Dwelling
 Single-Story Addition
 Rear Yard

25.0' Required
 13.9' Provided

11.1' Variance



PLOT PLAN
 Scale: 1" = 20'-0"

LEGAL DESCRIPTION
 409 ELMSIDE BOULEVARD
 LOT II, BLOCK 3, ELMSIDE
 CITY OF MADISON
 DANE COUNTY, WISCONSIN



Lumber and Home Works

613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: As Shown
 Date: 05/22/19

PLOT PLAN

DRAWN BY: Brian K. & Chris D.

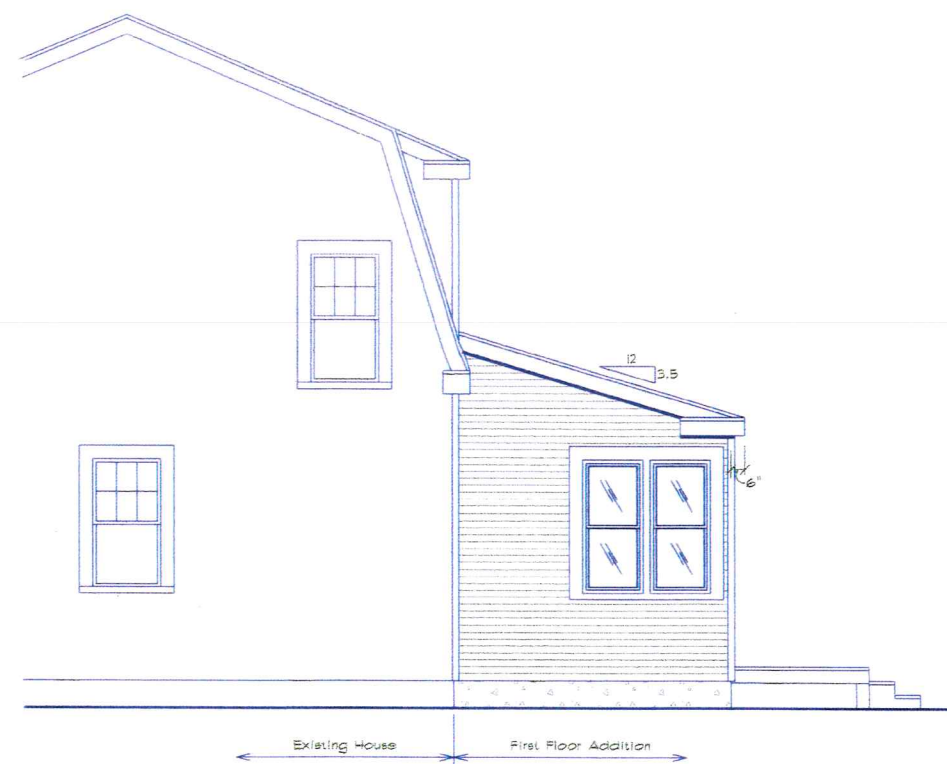
JIM VOELZ & LAURA ROCHON

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

DRAWING NUMBER:



REAR ELEVATION



RIGHT ELEVATION

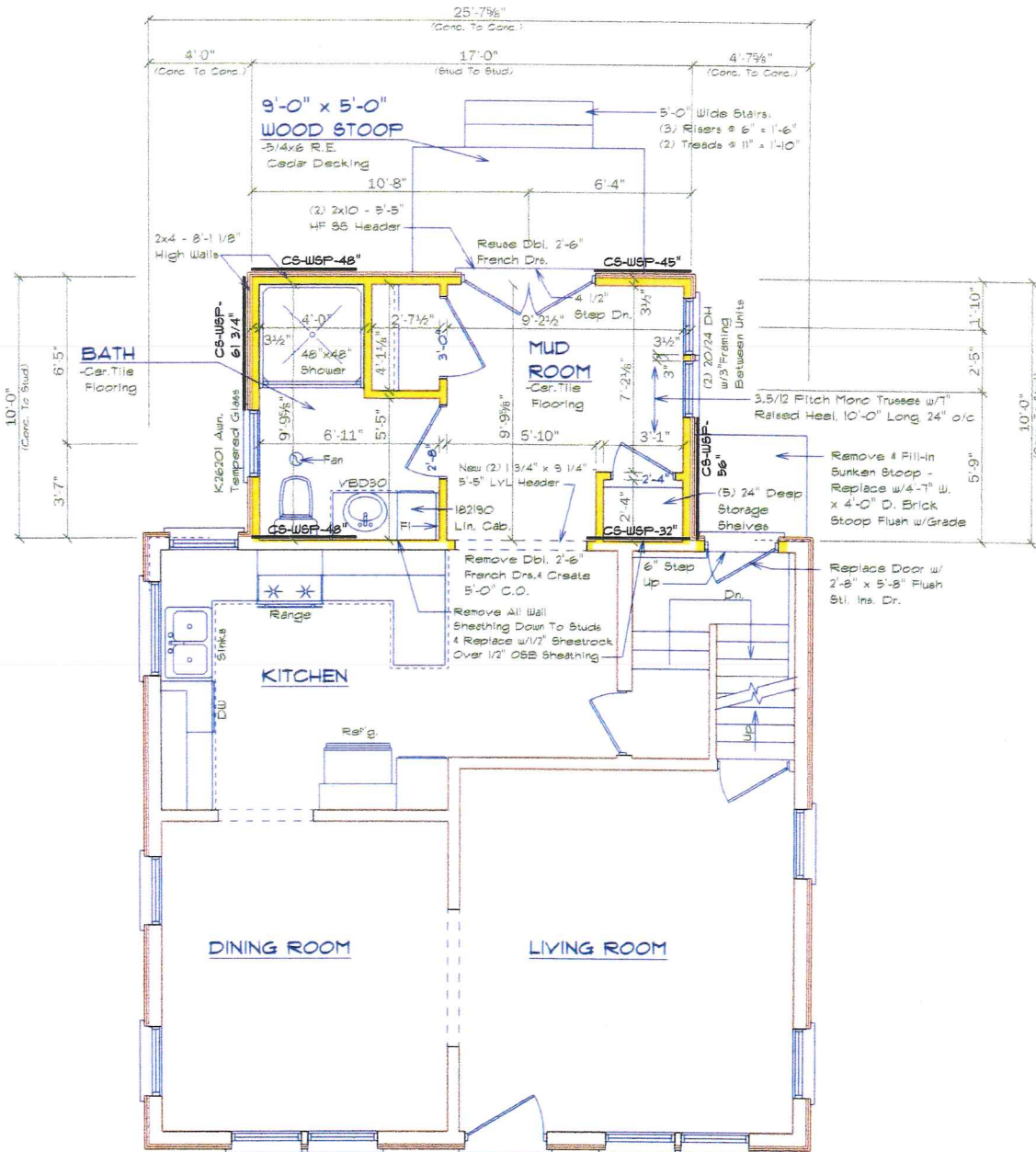


LEFT ELEVATION

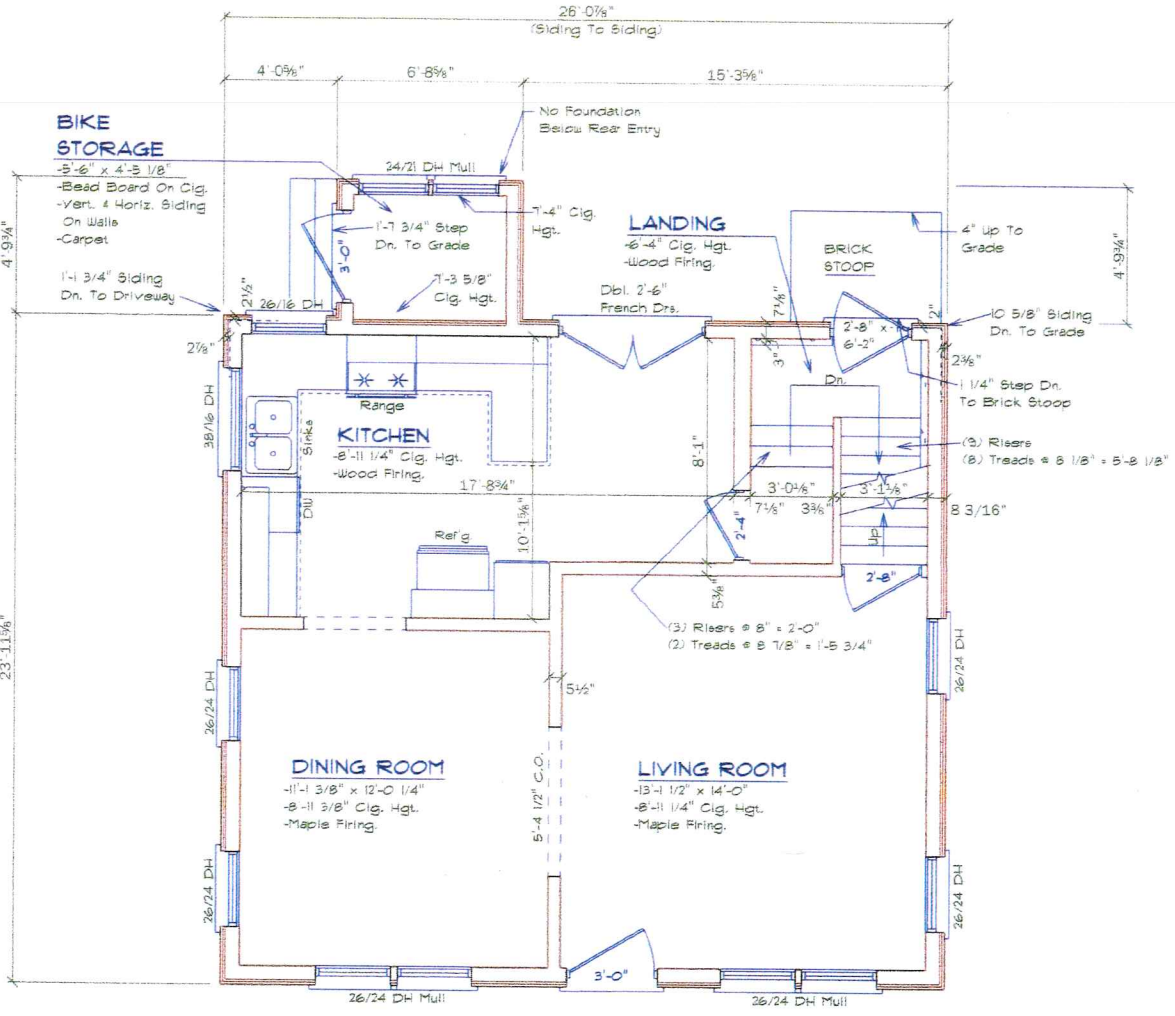
PLAN #205-08

Revised: 05/22/19

 613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777		ELEVATIONS	
Scale: 1/4"=1'-0"	Date: 02/04/08	DRAWN BY: Brian K. & Chris D.	
JIM VOELZ & LAURA ROCHON			DRAWING NUMBER: 1 OF 4
<small>ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.</small>			



PROPOSED FIRST FLOOR PLAN



EXISTING FIRST FLOOR PLAN

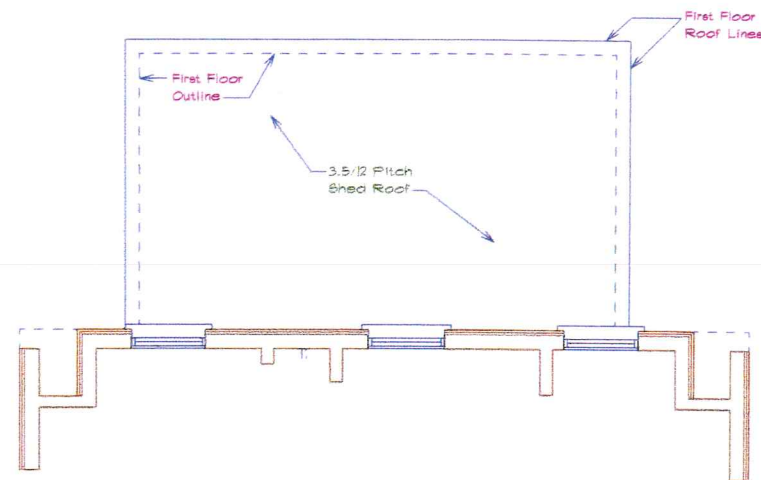
- Notes:
- Existing Frame Walls
 - New & Reroofed Frame Walls
 - New Window Header Hgt. To Be 1'-0" 3/4" +/- (Match Existing)
 - All Headers In Load Bearing Walls Not Noted To Be (2) 2x10 HF BS
 - New Windows To Be Kolbe & Kolbe Ultra Sterling Double Hung Units & Aiming w/Insulated - LoE 366² Argon Gas Filled Glass, No Grilles & Full Screens.
 - New Interior & Exterior Materials 4 Trim To Match Existing
 - All LVL Beams Shown Are 2.0E 2800 Fb Manufactured By LP SolidStart Engineered Wood Products
 - HVAC Contractor To Talk w/Owners - Relocating Existing Heat Registers
 - Seal Openings (Air Leaks) Around Plumbing Stacks, Exhaust Fan Housing, Electrical Wires, Recessed Lights, Interior Partitions, HVAC Ducts, Attic Scuttles, Chimneys, And Any Other Penetrations Into Attic.

- WALL BRACING NOTES:
- Continuous Sheathing - Wood Structural Panels (CS-WSP) Minimum Bracing Thickness - 3/8" For A Max. Of 16" o/c Stud Spacing & 7/16" For A Max. Of 24" o/c Stud Spacing w/ Continuous Wall Sheathing - Fasteners: 6d Common Nail Or 8d Box Nail (2 3/8" Long x 0.113" Diam.) Or 7/16" Or 1/2" Crown 16 Gauge Staples, 1 1/4" Long, 6" o/c On All Edges & 12" o/c Field (Nails), 3" o/c On All Edges & 6" o/c Field (Staples).
 - All Vertical Joints Of Braced Wall Panels Shall Occur Over Common Stud. Horizontal Joints Shall Be Backed w/1 1/2" Thick Blocking.
 - The Interior Side Of All Exterior Walls Shall Be Sheathed w/Min. 1/2" Gypsum Wall Board Unless Otherwise Permitted. All Edges Of Panel Type Wall Bracing Shall Be Attached To Framing Or Blocking.
 - Each Braced Panel May Contain No More Than One Hole, Having A Maximum Dimension Of No More Than 10% Of The Least Dimension Of The Panel & Confined To The Middle 3/4 Of The Panel.

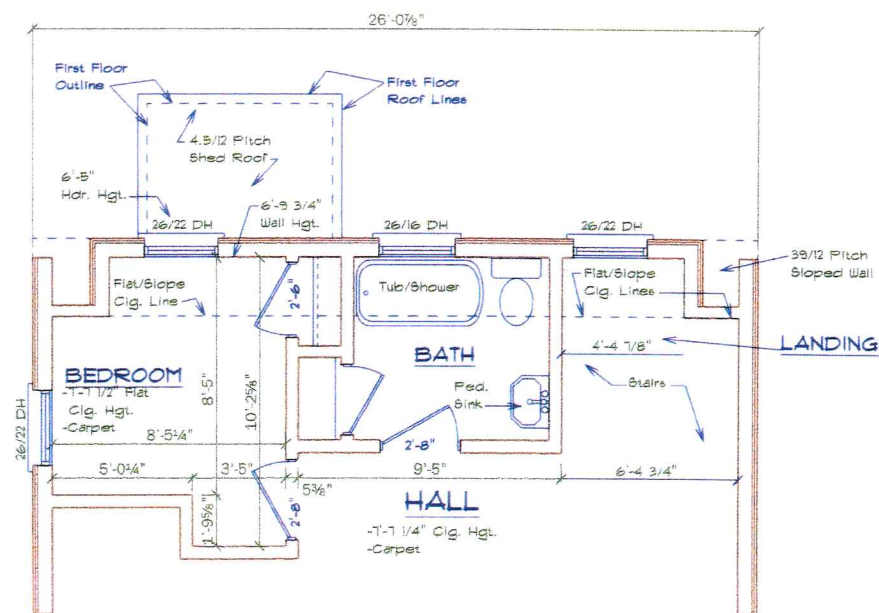
- *17'-0" x 10'-0" Rectangle (Stud To Stud)
- *Front Wall
Wall Length - 17'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length 10'-0", Roof Less Than 10'-0" High, 10' Wall =
2.0' Bracing, x 1.6 (Wind Exposure 'D') x 90 (8' High Wall)
x 1.0 (Interior Wall Surface) = 2.88' Or 4'-0" Required Bracing
- *Rear Wall
Wall Length - 17'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length 10'-0", Roof Less Than 10'-0" High, 10' Wall =
2.0' Bracing, x 1.6 (Wind Exposure 'D') x 90 (8' High Wall)
x 1.0 (Interior Wall Surface) = 2.88' Or 4'-0" Required Bracing
- *Left Wall
Wall Length - 10'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length 17'-0", Roof Less Than 10'-0" High, 20' Wall =
3.5', 10'-0" Wall = 2.0', 3.5' - 2.0' / 10 = 1 13/16" x 7 = 12 5/8"
+ 2.0' = 3'-0 5/8" Bracing, x 1.6 (Wind Exposure 'D') x 90
(8' High Wall) x 1.0 (Interior Wall Surface) = 4'-4 11/16"
Required Bracing
- *Right Wall
Wall Length - 10'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length 17'-0", Roof Less Than 10'-0" High, 20' Wall =
3.5', 10'-0" Wall = 2.0', 3.5' - 2.0' / 10 = 1 13/16" x 7 = 12 5/8"
+ 2.0' = 3'-0 5/8" Bracing, x 1.6 (Wind Exposure 'D') x 90
(8' High Wall) x 1.0 (Interior Wall Surface) = 4'-4 11/16"
Required Bracing

Revised: 05/22/19

		613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777	
Scale: 1/4"=1'-0"	PROPOSED & EXISTING	DATE: 02/04/08	DRAWN BY: Brian K. & Chris D.
FIRST FLOOR PLANS		JIM VOELZ & LAURA ROCHON	
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.			DRAWING NUMBER: 2 OF 4

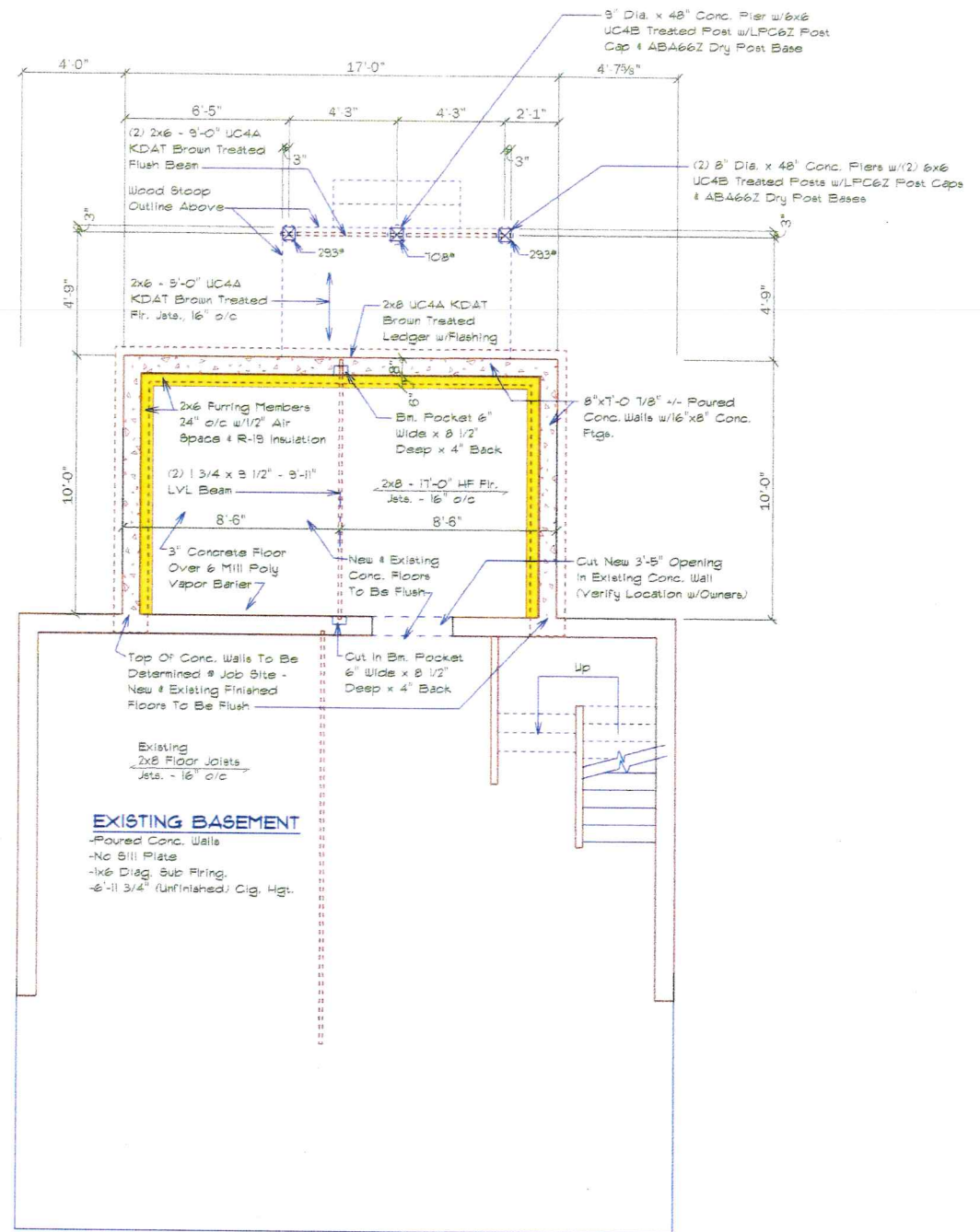


PROPOSED SECOND FLOOR PLAN



EXISTING SECOND FLOOR PLAN

Note:
-9'-11 3/4" Second Floor To First Floor



EXISTING BASEMENT

-Poured Conc. Walls
-No Sill Plate
-1x6 Diag. Sub Firing
-6"-11 3/4" (Unfinished) Cig. Hgt.

PROPOSED FOUNDATION PLAN

Notes:

- Existing Concrete Walls
- New & Renodeled Concrete Walls

-All Dimensions Are Concrete To Concrete Or Concrete To Centerline Of Posts.

-All Concrete Footings To Be 48" (Min.) Below Finished Grade

-All Concrete Walls To Be 8" (Min.) Above Finished Grade.

-All Concrete Pier Diameters Noted On Foundation Plan Are "Minimum Diameters"

Revised: 05/22/19



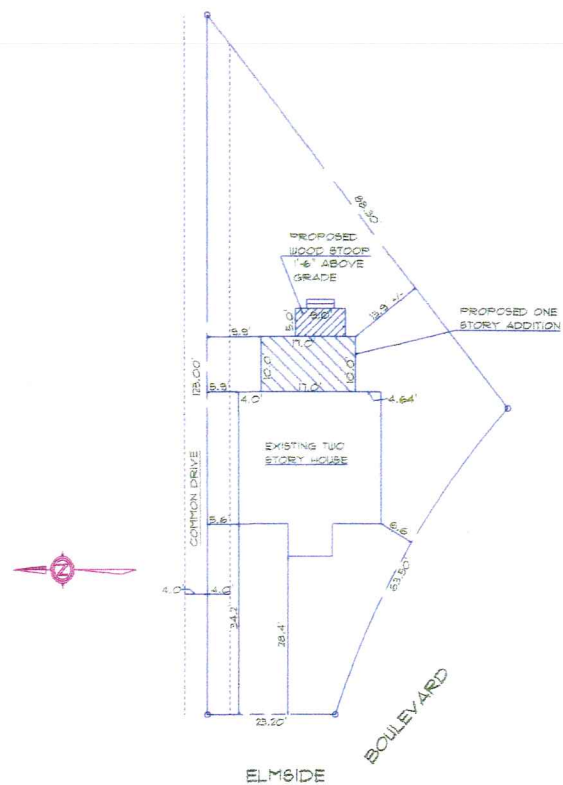
Lumber and HomeWorks
613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"	PROPOSED & EXISTING SECOND FLOOR PLANS & PROPOSED FOUNDATION PLAN	DRAWN BY: Brian K. & Chris D.
Date: 02/04/08		

JIM VOELZ & LAURA ROCHON

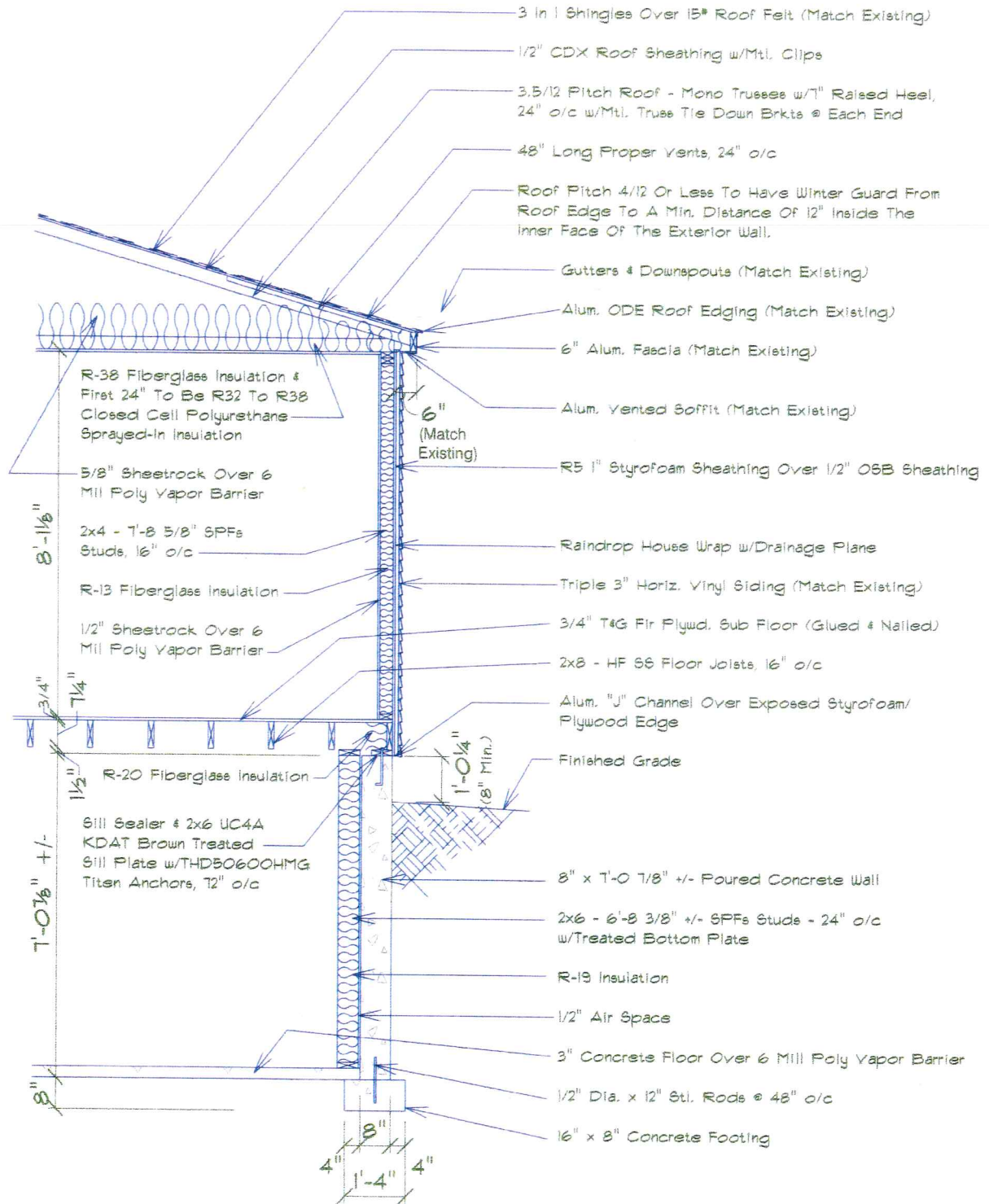
ALTHOUGH AN ENGINEER HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

DRAWING NUMBER:
3 OF 4




PLOT PLAN
Scale: 1" = 20'-0"

LEGAL DESCRIPTION
408 ELMSIDE BOULEVARD
LOT II, BLOCK 3, ELMSIDE
CITY OF MADISON
DANE COUNTY, WISCONSIN



WALL SECTION
Scale: 1/2" = 1'-0"

Revised: 05/22/19

 Lumber and HomeWorks 613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777		
Scale: As Shown	PLOT PLAN & WALL SECTION	DRAWN BY: Brian K. & Chris D.
Date: 02/04/08		
JIM VOELZ & LAURA ROCHON		
<small>ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.</small>		<small>DRAWING NUMBER:</small> 4 OF 4

7' High Backyard Fence
Along entire back
Boundary

Garage



6' High Fence along
Drive

LOT 10

COMMON 4' DRIVE 125'

Garage

Lot 11

417 Elmside Blvd.

1/2 STORY
FRAME
HOUSE

405 Elmside Blvd.

5' 4" Walk

28' Pavement

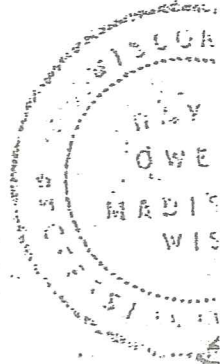
5' 4" WALK
2.8' Park

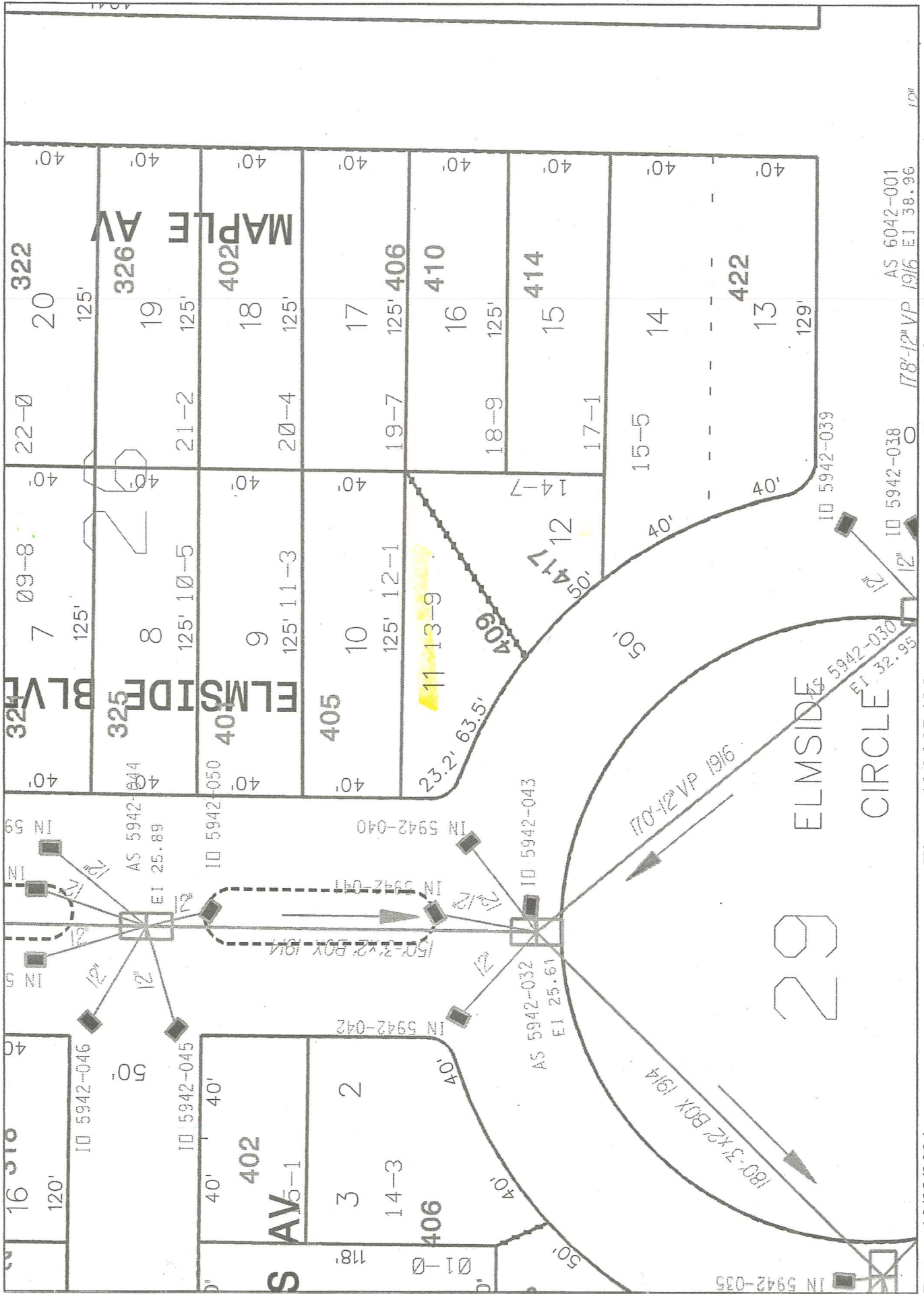
BOULEVARD

PARK

ELMSIDE

20' PAVEMENT EACH SIDE
95' STREET





Date: 10/08/2004

User: EN_COUNTER
Field View

Time: 10:36:27 AM

Scale: 1 in = 50 Ft

AS 6042-001
19/6 E1 38.96

MAP
OF PROPERTY OF
RONALD L. & MARION D. GAFKE
409 ELMSIDE BOULEVARD
LOT 11, BLOCK 3, ELMSIDE
MADISON, WISCONSIN
Ray S. Owen
CIVIL ENGINEER
1938

JIM VOELZ & LAURA ROCHON
409 ELMSIDE BLVD. MADISON
R4 ZONING

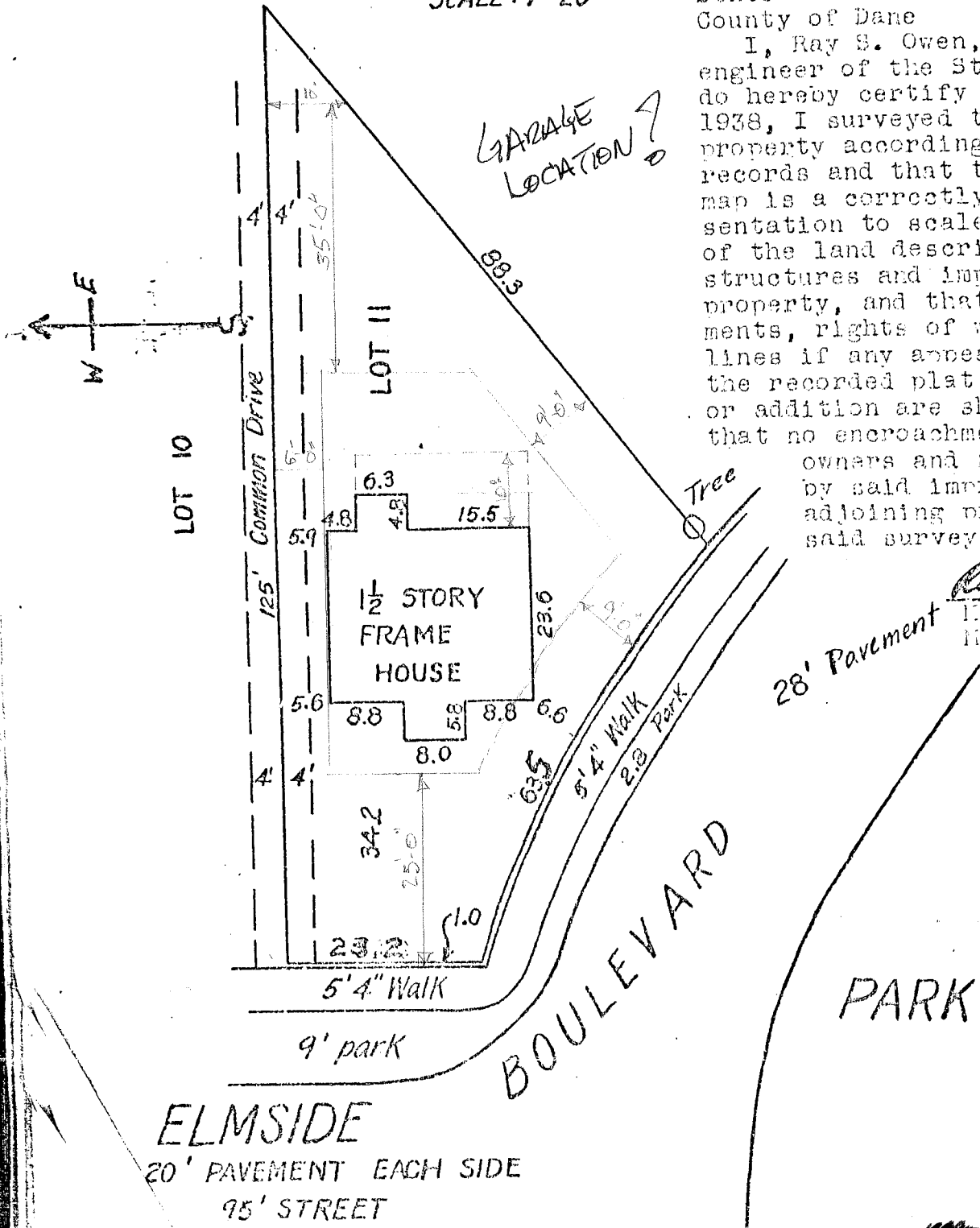
CORRECTED COPY
7-17-07 AM
TALKED w/ RON w/ MARION
MADISON ZONING ON
How To Do 'SETBACKS'
FRONT 25'-0"
REAR 35'-0"
SIDES 6'-0" MIN
6' + 9' = 15'-0" TOTAL

SCALE: 1"=20'

State of Wisconsin
County of Dane) ss

I, Ray S. Owen, a registered engineer of the State of Wisconsin, do hereby certify that on May 6, 1938, I surveyed the above described property according to the official records and that the accompanying map is a correctly dimensioned representation to scale of the boundaries of the land described and all of the structures and improvements on said property, and that all of the easements, rights of way and building lines if any appearing of record on the recorded plat of said subdivision or addition are shown thereon and that no encroachments by adjoining owners and no encroachments by said improvements upon adjoining property appear from said survey.

Ray S. Owen
Madison, Wisconsin
May 11, 1938



ELMSIDE
20' PAVEMENT EACH SIDE
95' STREET

