

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
215 Martin Luther King Jr Blvd, Ste 017
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 41 North Roby Road, Madison, WI 53726 Aldermanic District: 5

2. PROJECT

Project Title/Description: Front & Porch Roof Repair

This is an application for: (check all that apply)

- New Construction/Alteration/Addition in a Local Historic District or Designated Landmark (specify)**:**
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:**
 - Mansion Hill Third Lake Ridge First Settlement
 - University Heights Marquette Bungalows Landmark
- Demolition**
- Alteration/Addition to a building adjacent to a Designated Landmark**
- Variance from the Historic Preservation Ordinance (Chapter 41)**
- Landmark Nomination/Rescission of Historic District Nomination/Amendment**
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify):**

DPCED USE ONLY

Registrar #:

DATE STAMP

RECEIVED

12/21/20
11:33 am

Preliminary Zoning Review

Zoning Staff Initial:

Date: / /

3. APPLICANT

Applicant's Name: James Stangel Company: _____

Address: 41 North Roby Road Madison WI 53726
Street City State Zip

Telephone: 608-332-3093 Email: Jstangel85@gmail.com

Property Owner (if not applicant): _____

Address: _____

Property Owner's Signature: James Stangel Date: 12-21-20
Street City State Zip

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00 pm on the submission date with the Preservation Planner. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

Porch Project 12-21-20
41 North Roby Road
Madison Wi 53726
Historical District University Heights

The Porch roof is failing at our home at 41 North Roby Road. In investigating the porch roof, it appears to us that the original roof was extended at some time by about 12-16 inches. This can be seen on the picture of the porch which is attached to the proposed porch building plan application. It appears this was done so that the water would fall beyond the porch wall instead of dripping directly onto the porch landing. This additional weight may have caused the roof to start pulling away from the top of the porch roof and the wall of the main house.

We have contacted numerous contractors over the past year to review the roof and have had the company Mid Towne Construction respond. The idea of extending the roof and placing 2 pillars resting on the porch wall was proposed and drawn by Bill Montebano the architect working with Mid Towne Construction. The proposed plan would extend the roof slightly beyond the existing porch wall. The planned design will prevent water from spilling onto the porch landing or the wall and reduce ice on the existing porch landing. The extension of the roof and the pillars are planned to match the existing construction of the roof. This will provide better support of the roof since it would be extended.

We have attached the proposed plan from Mid Towne Construction to this application for review.

Jim Stangel
Homeowner
Jstangel85@gmail.com
608-332-3093

Bill Montelbano Architect AIA

ARCHITECTURE INTERIORS PLANNING ENGINEERING

November 17th, 2020

Jim Stangel
41 N. Roby Road
Madison, WI. 53726

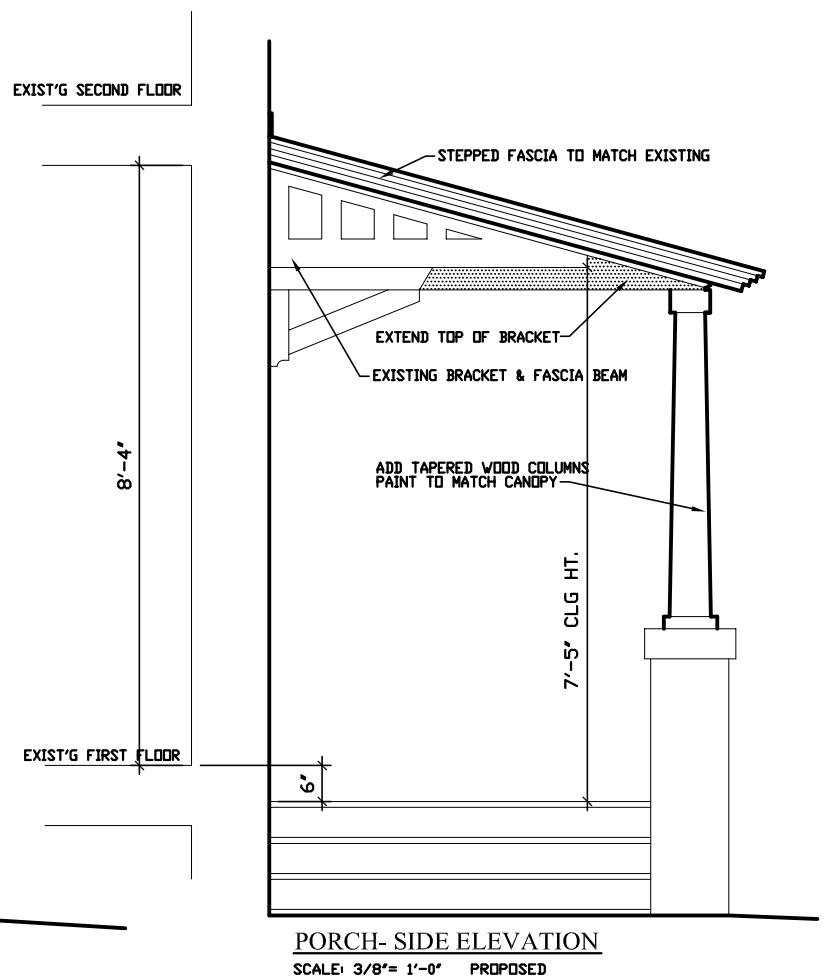
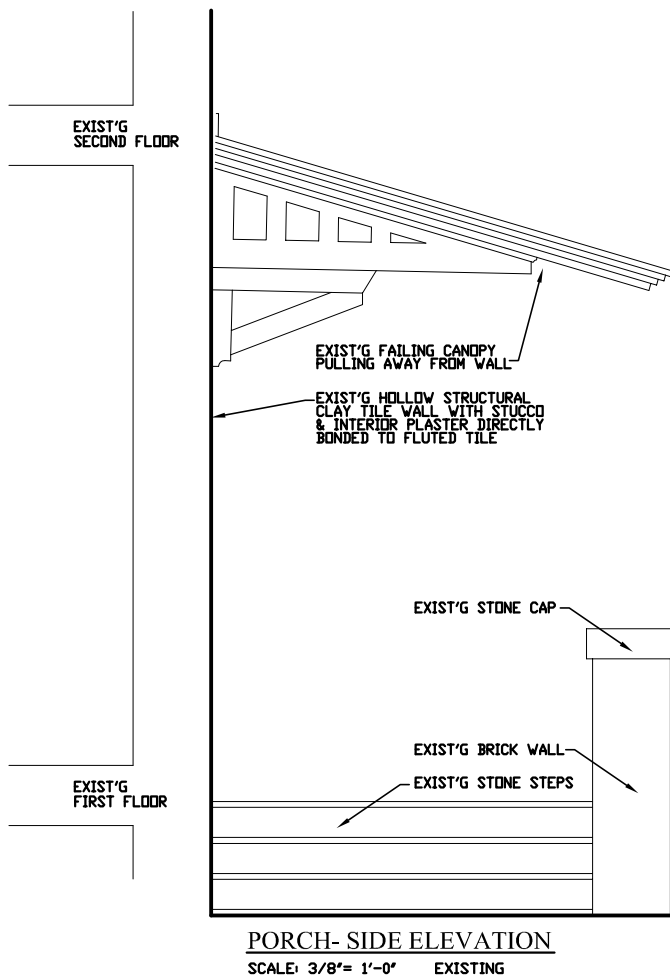
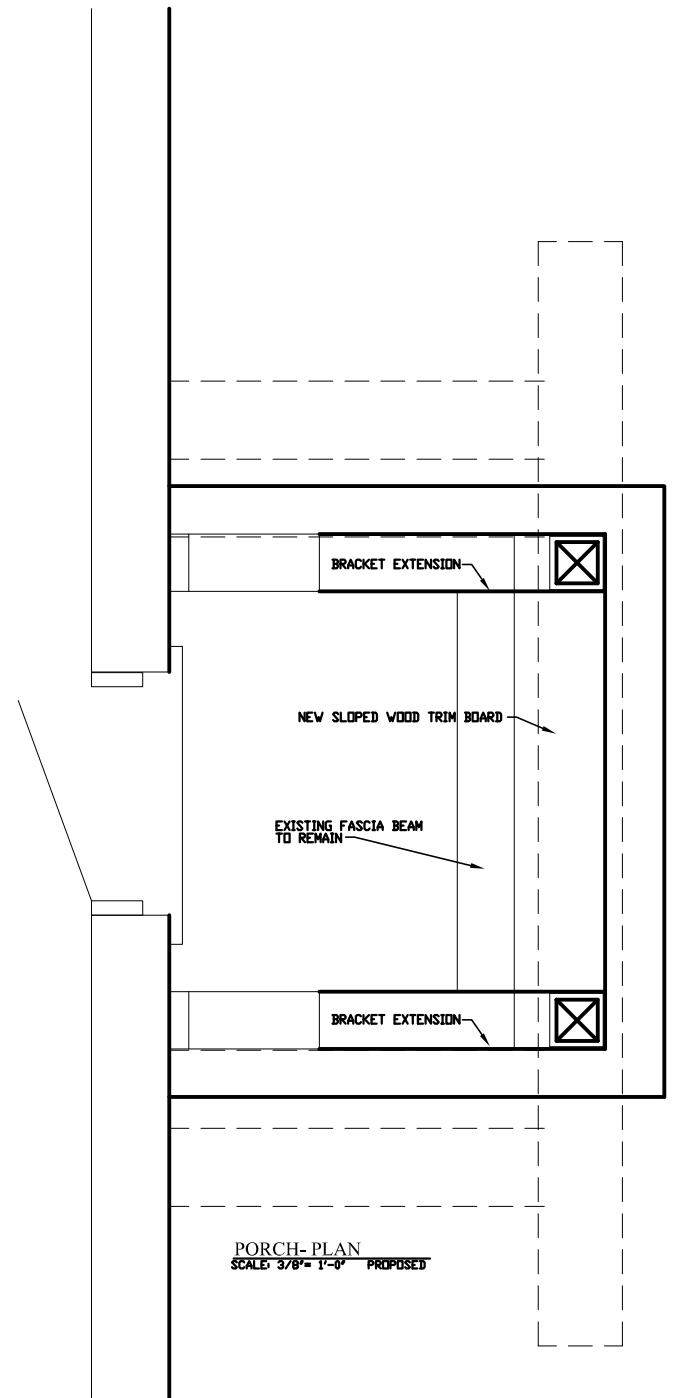
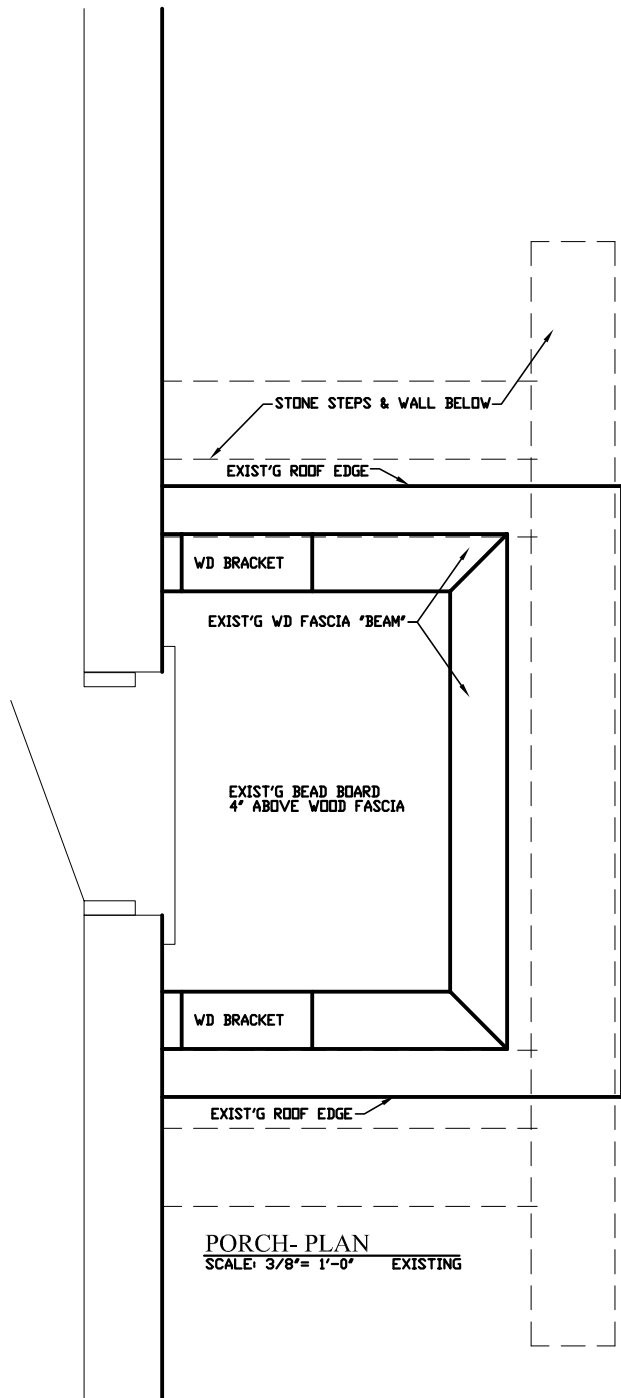
Jim,

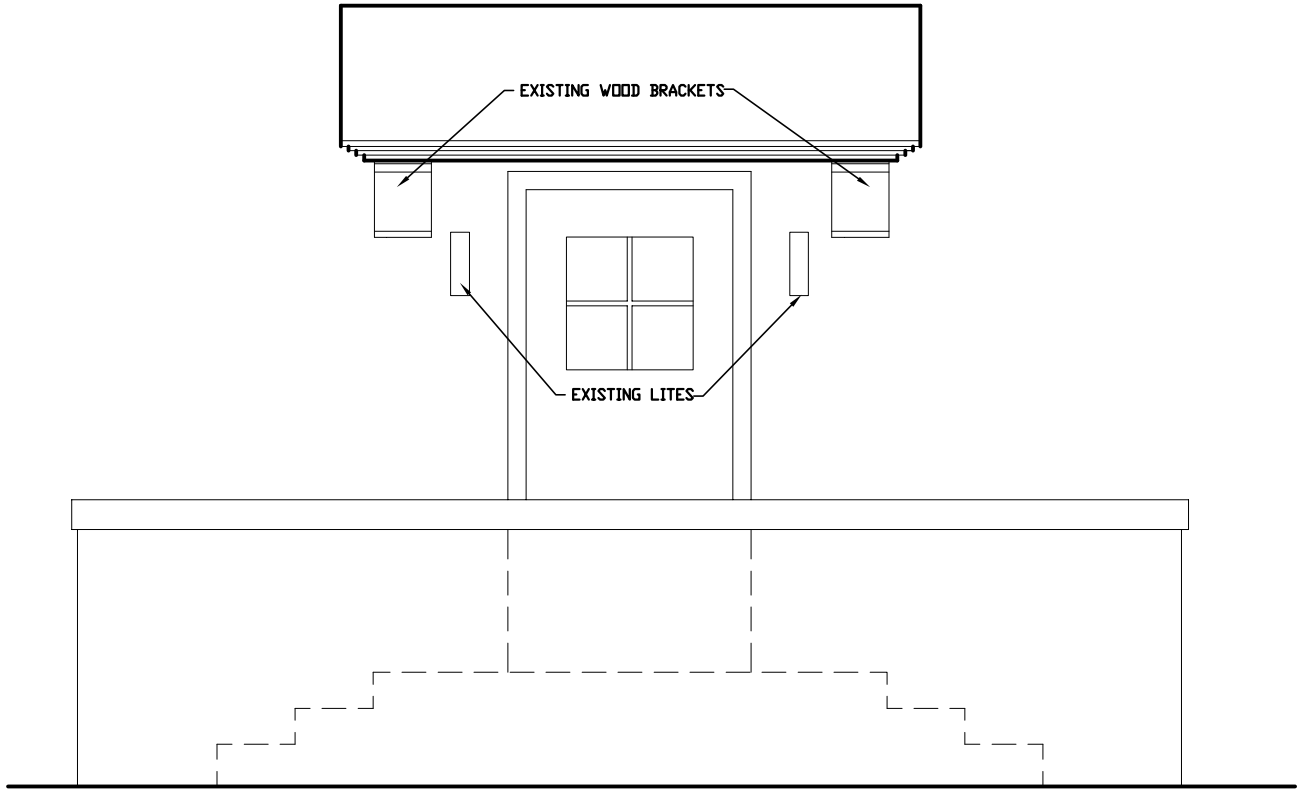
It seems that the cause of the sagging of your existing cantilevered porch roof was likely inadequate design and/or construction especially because of the hollow structural clay tile exterior walls plastered on the interior and stuccoed on the exterior. It's difficult to know if the wall contains any reinforcing when constructed in 1915 and the wall and second floor would need to be opened up to determine what type of connection exists between the wall and canopy and if some type of reinforcing can be added within the wall without damaging the stucco. This type of cantilever if built today would be more common with concrete or reinforced concrete block walls and steel tension rods in the canopy roof.

Sincerely,

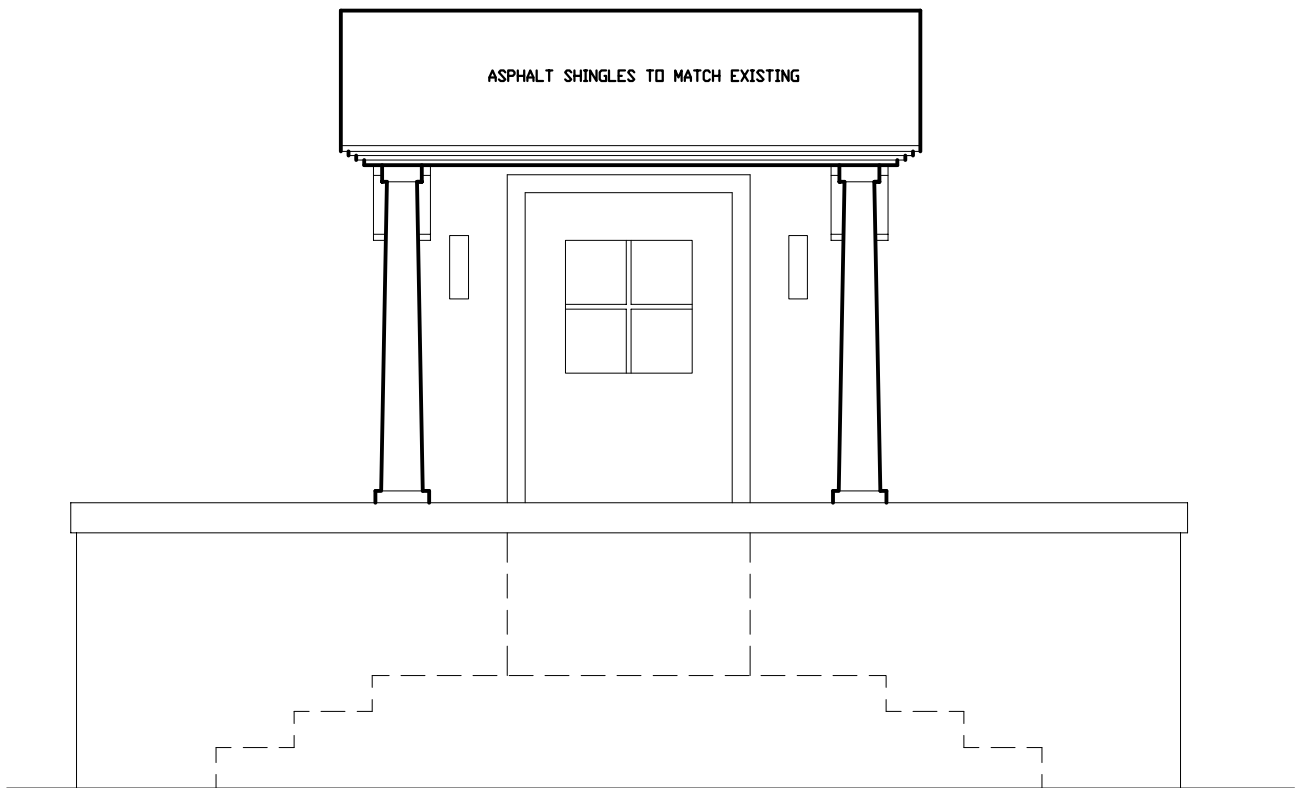


Bill Montelbano





PORCH- FRONT ELEVATION
 SCALE: 3/8"= 1'-0" EXISTING



PORCH- FRONT ELEVATION
 SCALE: 3/8"= 1'-0" PROPOSED



41

