



Location  
5702-5712 Odana Road

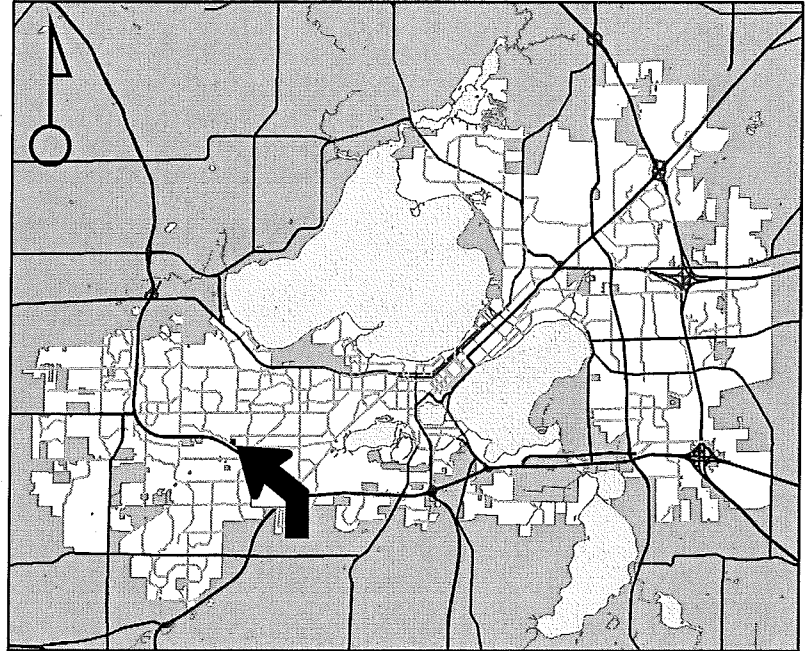
Project Name  
Smart Motors Demolition

Applicant  
J.R. Smart / Jim Triatik- Sullivan  
Design Build

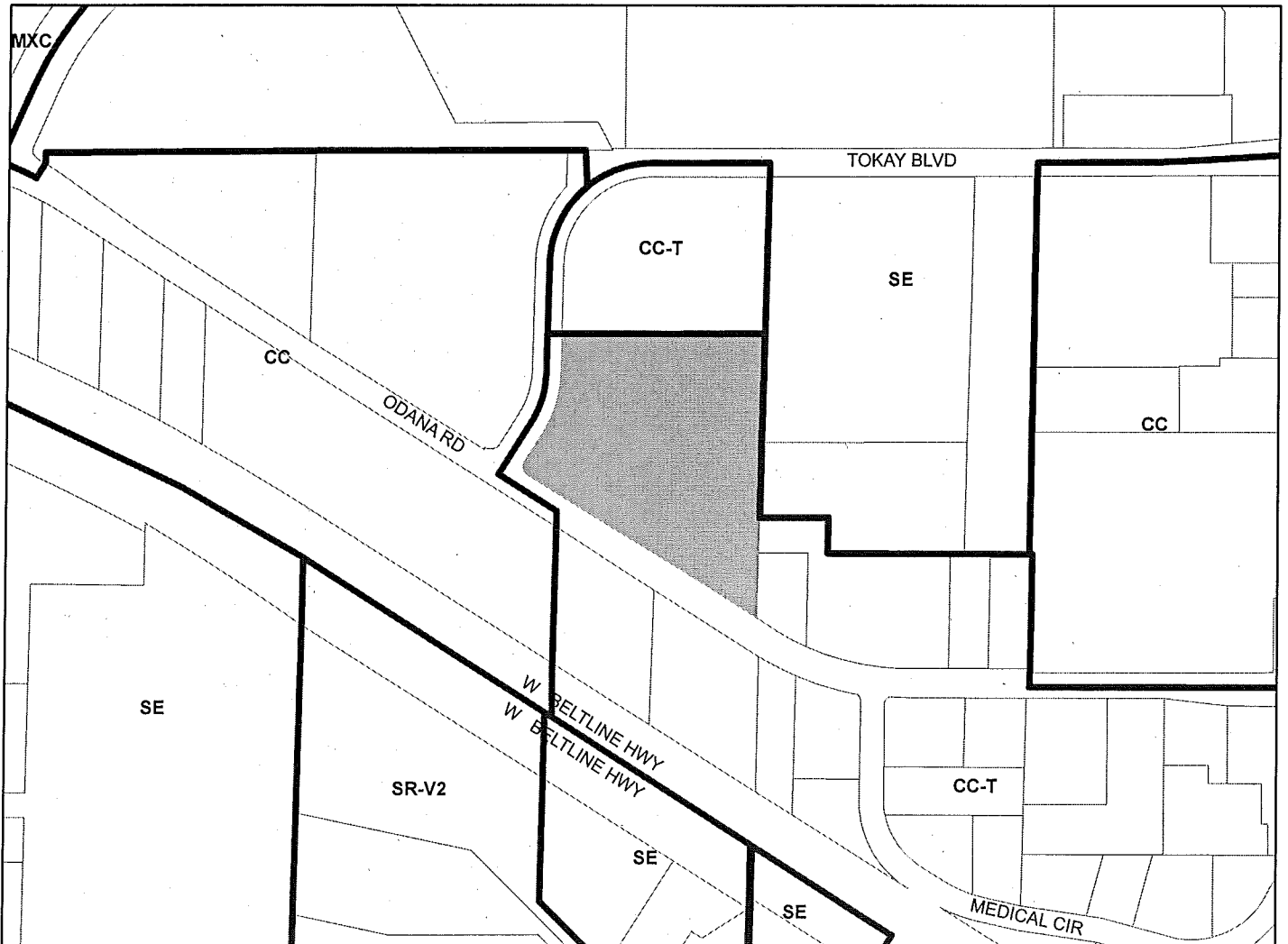
Existing Use  
2 commercial buildings

Proposed Use  
Demolish 2 commercial buildings and  
construct automotive sales facility in  
Urban Design District 3

Public Hearing Date  
Plan Commission  
24 April 2017

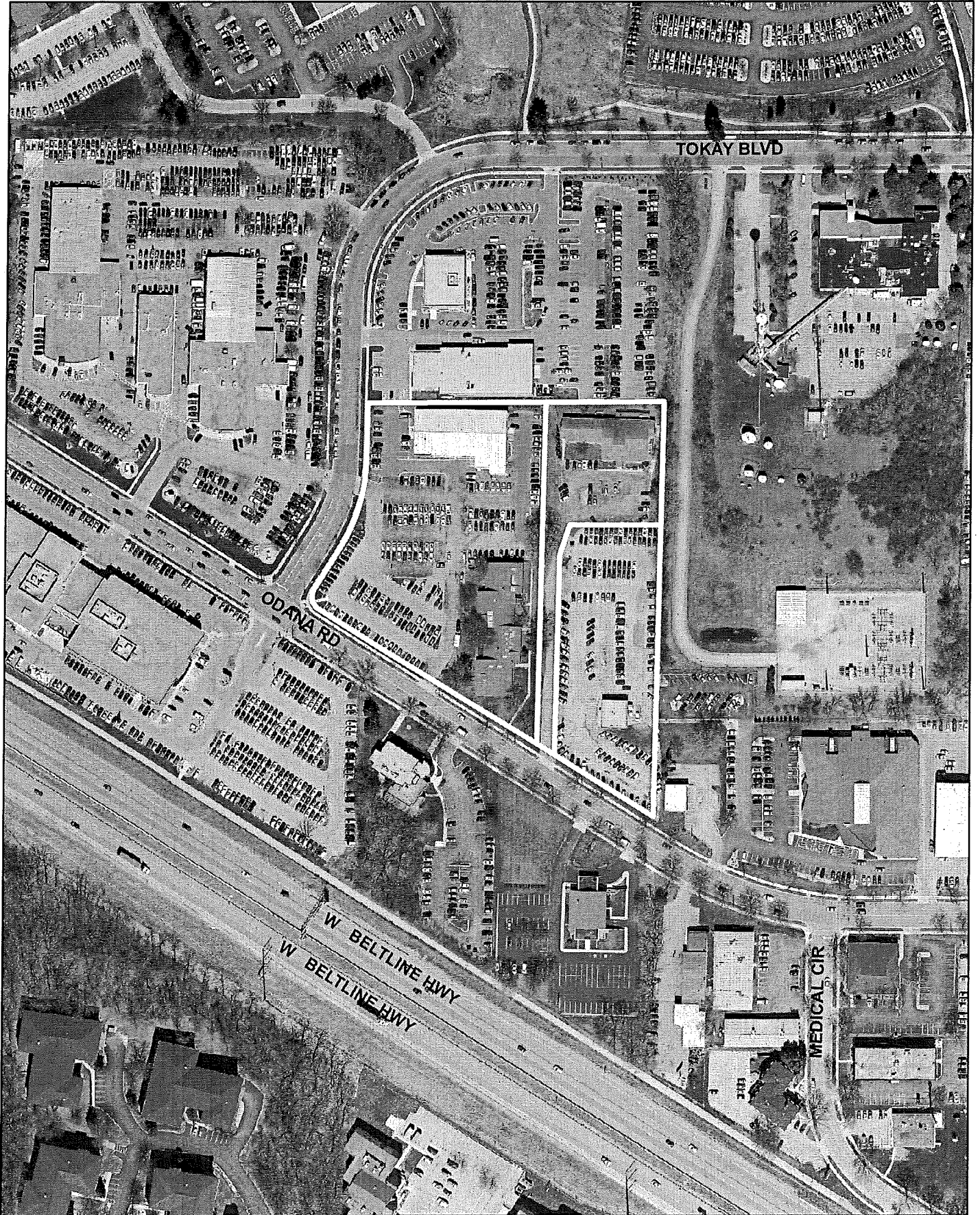


For Questions Contact: Chris Wells at: 261-9135 or [cwells@cityofmadison.com](mailto:cwells@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 10 April 2017





# LAND USE APPLICATION

CITY OF MADISON

126 S. Hmlton St  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received <u>2/24/17</u>	
Received By <u>al</u>	
Parcel No. <u>0709-303-0528-4</u>	
Aldermanic District <u>19 - Clear</u>	
Zoning District <u>CC-T</u>	
Special Requirements <u>UDD #3, Eng Imp Hold</u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 5712 ODANA ROAD  
 Project Title (if any): SMART MOTORS - BUILDING DEMOLITION / NEW PRE-OWNED BUILDING

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: JIM TRIATIK Company: SULLIVAN DESIGN BUILD  
 Street Address: 1314 EMIL ST. City/State: MADISON, WI Zip: 53713  
 Telephone: (608) 257-2289 Fax: (608) 257-2906 Email: JIM@SULLIVANDESIGNBUILD.COM  
 Project Contact Person: SAME AS ABOVE Company: \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_  
 Property Owner (if not applicant): J.R. SMART  
 Street Address: 5901 ODANA RD. City/State: MADISON, WI Zip: 53719

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: DEMOLITION OF 5712 AND 5702 ODANA FOR NEW PRE-OWNED SALES & OFFICE BLDG.  
 Development Schedule: Commencement SPRING - 2017 Completion WINTER - 2017

### 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans including:\***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |                                               |                                                 |                                                              |
|-----------------------------------------------|-------------------------------------------------|--------------------------------------------------------------|
| • Project Team                                | • Building Square Footage                       | • Value of Land                                              |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |                                                 |                                                              |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

### 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER CLEAR WAIVER RECEIVED 2.19.16

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: K. FURCHOW Date: 2.8.16 Zoning Staff: M. TUCKER Date: 2.8.16  
D.A.T. MEETING ON 2.18.16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JIM TRIATIK Relationship to Property: ARCHITECT/BUILDER  
Authorizing Signature of Property Owner [Signature] Date 2.21.17





February 21, 2017

City of Madison  
Department of Planning & Community & Economic Development  
Madison Municipal Building  
215 Martin Luther King Jr. Blvd., RM LL100  
Madison, WI 53703

Re: Letter of Intent: Smart Motors, Inc. Pre-Owned Car Dealership, Madison, Wisconsin

To Whom It May Concern:

The following is submitted together with the plans and application for approval by City Planning Staff, the Plan Commission, and the Urban Design Commission.

**Project Team:**

**Applicant:** Jim Budinetz  
Smart Motors, Inc.  
5901 Odana Road  
Madison, WI 53719  
(608) 275-7808  
[jbudinetz@smartmotors.com](mailto:jbudinetz@smartmotors.com)

**Architect:** Jim Triatik, AIA  
Vice President/Architect  
Sullivan DesignBUILD  
1314 Emil Street  
Madison, WI 53713  
(608) 257-2289, ext. 6805  
[jim@sullivanandesignbuild.com](mailto:jim@sullivanandesignbuild.com)

**Engineer:** Ryan Quam  
Quam Engineering, LLC  
4604 Siggelkow Road, Suite A  
McFarland, WI 53558  
(608) 838-7750  
[rquam@quamengineering.com](mailto:rquam@quamengineering.com)

**Landscape Architect:** Jeremy Holmstadt / James Collar  
Barnes, Inc.  
6433 Nesbitt Road  
Madison, WI 53719  
(608) 845-3230

**Legal:** Bryan Esch  
DeWitt Ross & Stevens S.C.  
Two East Mifflin Street, Suite 600  
Madison, WI 53703  
(608) 395-6767  
[bce@dewittross.com](mailto:bce@dewittross.com)



## **Introduction**

Smart Motors, Inc. proposes the construction of a new pre-owned car dealership to be located at 5712 Odana Road. Once completed, the development will include a two-story building and asphalt parking area, which will be used primarily for the display and storage of pre-owned vehicle inventory. The development incorporates architectural features that are aesthetically similar to Smart Motors' new car dealership located at 5901 Odana Road as well as landscaping features that are consistent with the goals of the Commercial Corridor – Transitional District (“CC-T”) and Urban Design District No. 3. Smart Motors has worked closely with Alder Mark Clear throughout the planning of this development and Alder Clear is supportive of the project.

The new development will require the demolition of two existing buildings located at 5712 and 5702 Odana Road. Therefore, this application is submitted for the demolition of the structures at those addresses and for a conditional use permit pursuant to MGO Sec. 28.067(3)(a)3.b so that the proposed building's front yard setback may be extended to 100 feet.

## **Project Site**

The 5.6-acre site for the development consists of two parcels located at 5712 Odana Road (Parcel No. 070930305284) and 5702 Odana Road (Parcel No. 070930305143). According to publicly available data listed on the City of Madison Assessor's website, the combined land value of these two parcels (excluding improvements) is \$2,260,000. Both parcels are zoned CC-T.

## **Existing Site Conditions**

The proposed development site is located at the northeast corner of the intersection of Odana Road and Tokay Boulevard in the City of Madison, Dane County, Wisconsin and includes two parcels at 5712 Odana Road and 5702 Odana Road. Each parcel includes an existing building and parking spaces used for vehicle inventory display and storage and for customer and employee parking. There is a driveway separating the 5712 and 5702 Odana Road parcels that is owned by a third party. Smart Motors is in the process of negotiating the purchase of this driveway. Surrounding properties consist of commercial uses, the majority of which are auto-related.

## **Project Description**

The proposed development will be used as the location of Smart Motors' pre-owned car dealership. The site will consist of a new, two-story building, which will be approximately 13,838 total square feet (10,952 sq. ft. on the main floor and 2886 square feet on the upper floor). The new building will be used as a pre-owned car dealership sales office and as private office space for Smart Motors' employees.





The development at 5712 Odana Road will require Smart Motors to hire new full time employees, which will bring the total number of full time employees working at that location to approximately 35 individuals. Construction costs will be determined at a later date.

**Hours of Operation**

Mon. – Thurs. 7:00 a.m. – 8:00 p.m.  
Fri. 7:00 a.m. – 6:00 p.m.  
Sat. 7:00 a.m. – 4:00 p.m.  
Sun. Closed

**Project Schedule:**

<u>Activity</u>	<u>Timeframe</u>
Submit for approvals	February 21, 2017
Start Demolition/Construction	Spring 2017
Finish Construction	Winter 2017

Sincerely,  
**Sullivan designBUILD**

James M. Triatik, A.I.A.  
Vice President / Project Architect

**Locator Map for Smart Motors – 5712 Odana Road – building demolition**







**SUBMITTAL TO:**  
CITY OF MADISON  
PLAN COMMISSION

**TYPE OF PROJECT:**  
Building Demolition/ new Pre-Owned  
building  
5712 Odana Road

**SUBMITTED:**  
02/22/2017

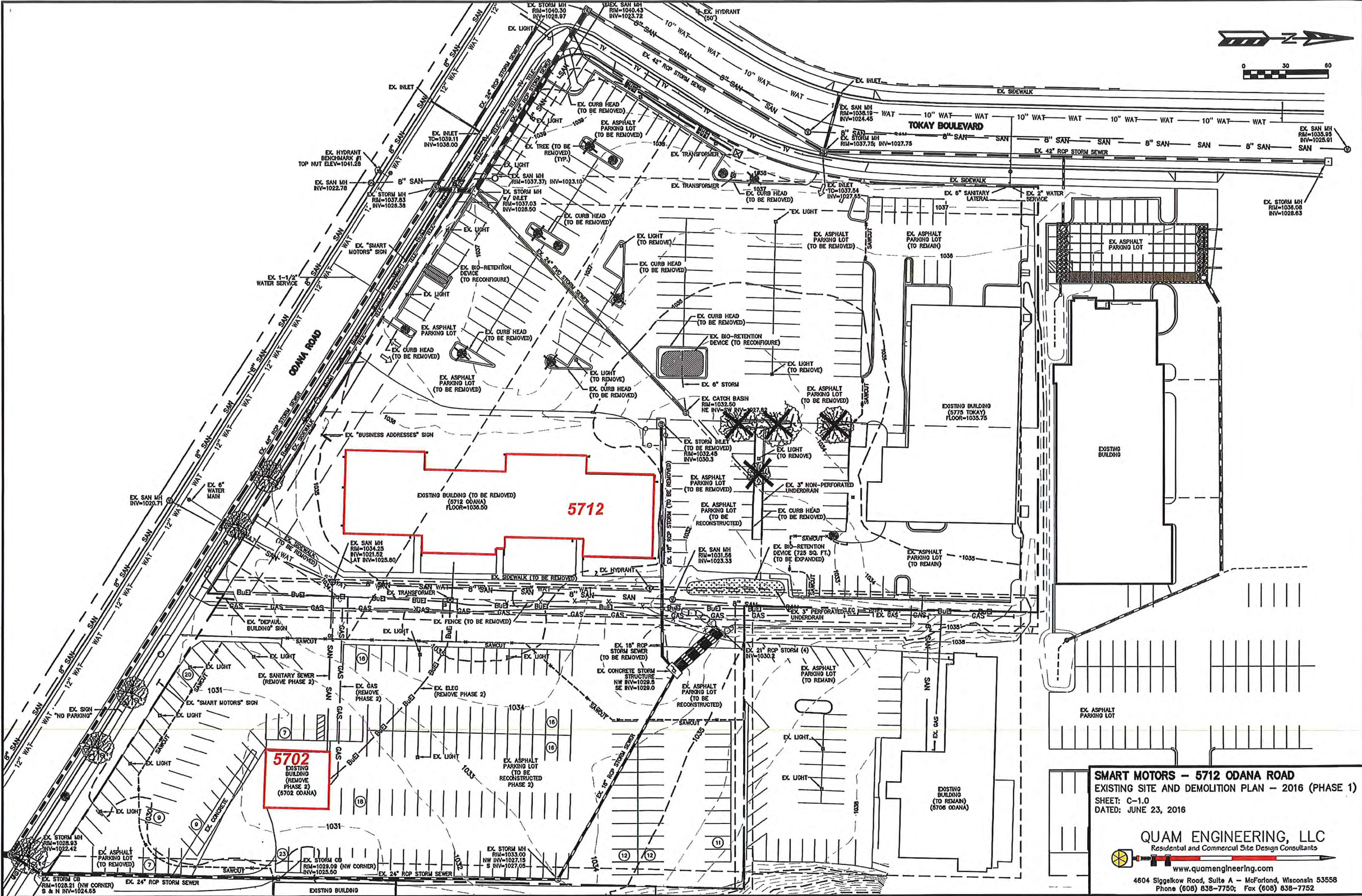


Since 1937

**Sullivan**  
designBUILD

TEL: 608.257.2289





**5702**  
EXISTING BUILDING (REMOVE PHASE 2)  
(5702 ODANA)

**5712**  
EXISTING BUILDING (TO BE REMOVED)  
(5712 ODANA)  
FLOOR=1036.50

**SMART MOTORS - 5712 ODANA ROAD**  
EXISTING SITE AND DEMOLITION PLAN - 2016 (PHASE 1)  
SHEET: C-1.0  
DATED: JUNE 23, 2016

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



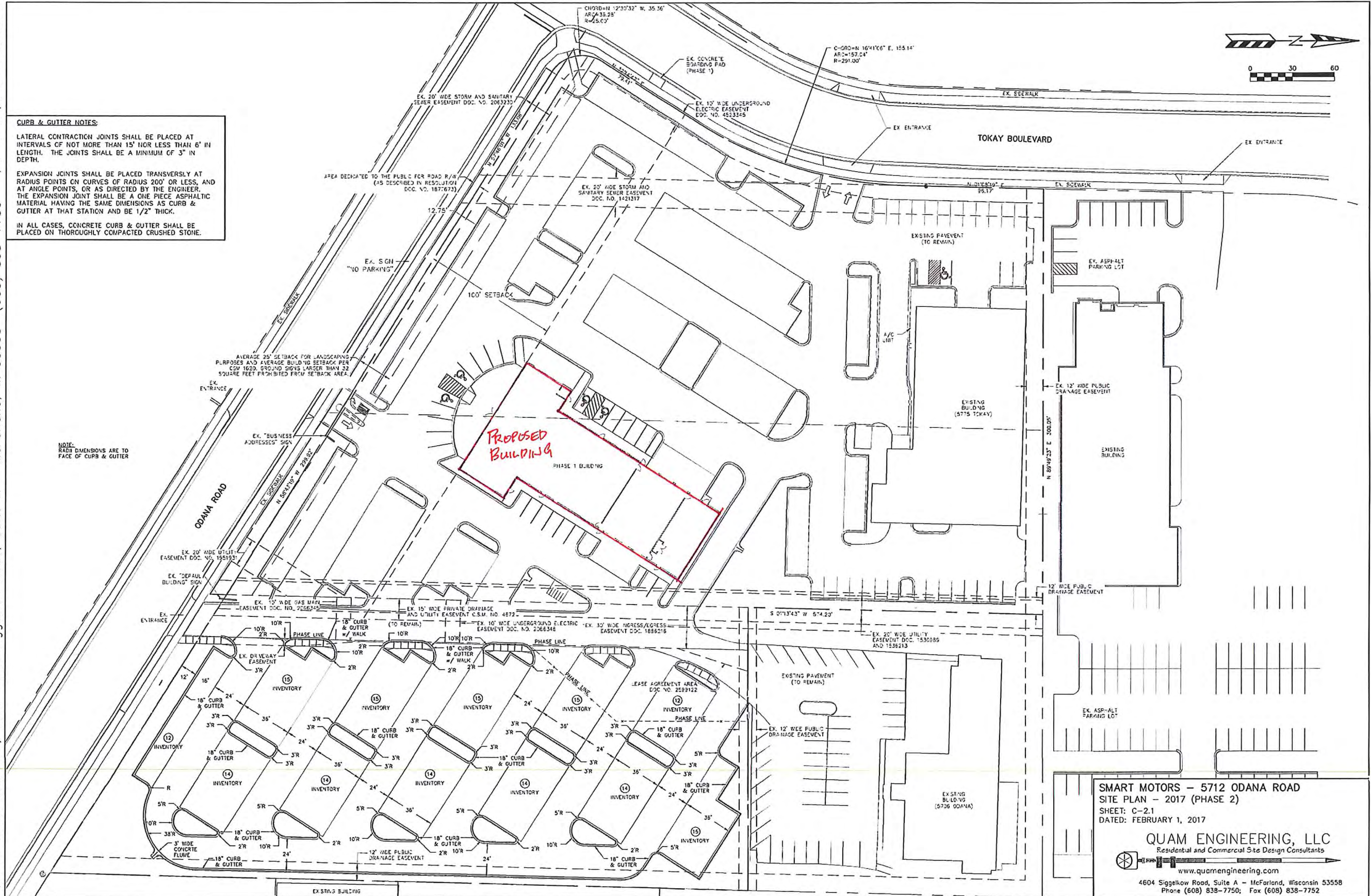
**CURB & GUTTER NOTES:**

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

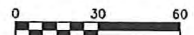
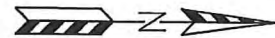
NOTE:  
RADIUS DIMENSIONS ARE TO FACE OF CURB & GUTTER



SMART MOTORS - 5712 ODANA ROAD  
 SITE PLAN - 2017 (PHASE 2)  
 SHEET: C-2.1  
 DATED: FEBRUARY 1, 2017

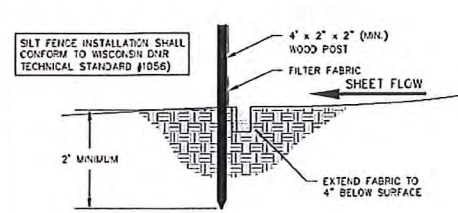
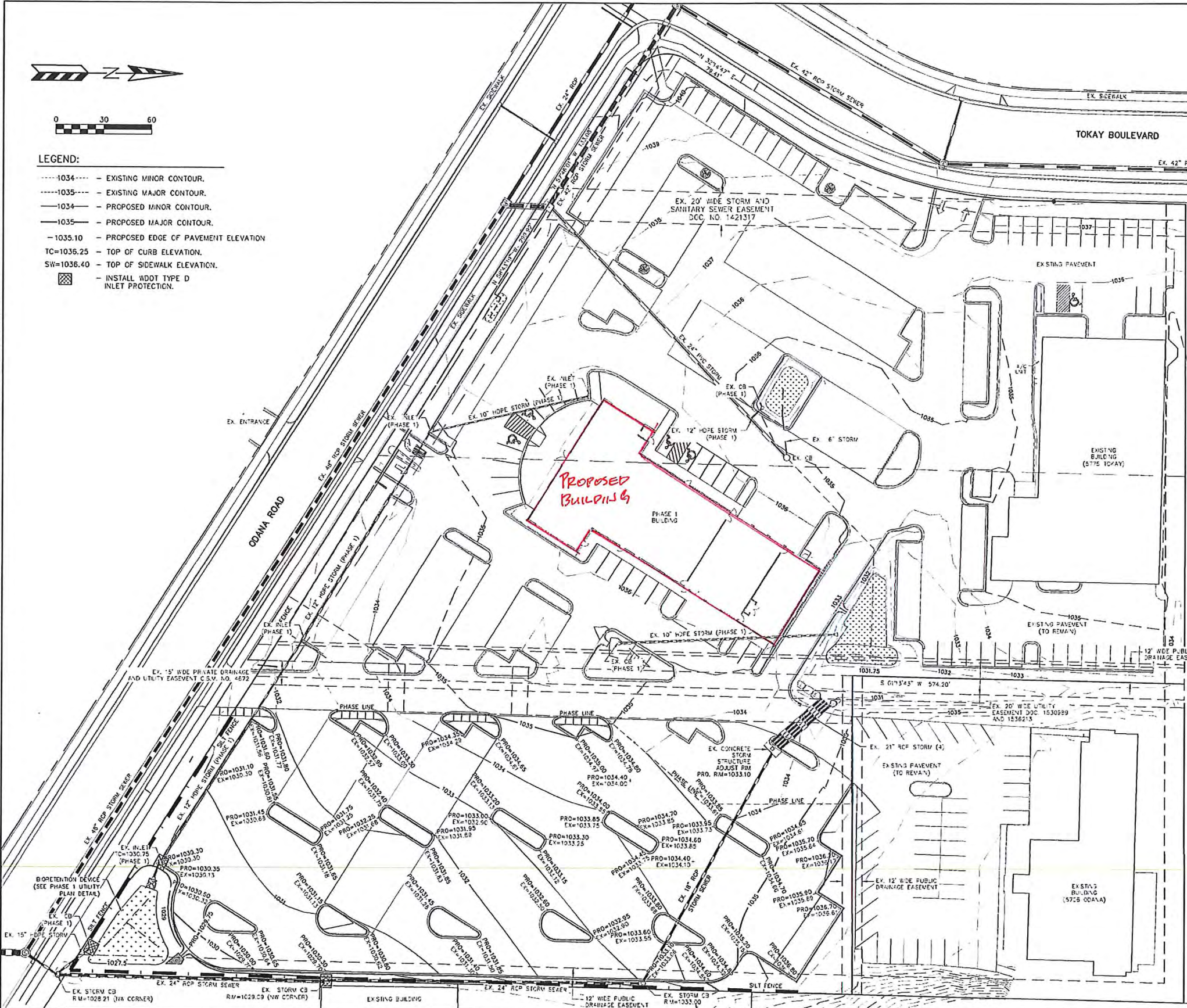
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**LEGEND:**

- 1034--- - EXISTING MINOR CONTOUR.
- 1035--- - EXISTING MAJOR CONTOUR.
- 1034- - PROPOSED MINOR CONTOUR.
- 1035- - PROPOSED MAJOR CONTOUR.
- 1035.10 - PROPOSED EDGE OF PAVEMENT ELEVATION
- TC=1036.25 - TOP OF CURB ELEVATION.
- SW=1036.40 - TOP OF SIDEWALK ELEVATION.
- [Symbol] - INSTALL WDOT TYPE D INLET PROTECTION.



**SILT FENCE CONSTRUCTION (SHEET FLOW)**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- EROSION NOTES:**  
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED.  
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.
- TIME SCHEDULE:**
- |                                |                                                                                             |
|--------------------------------|---------------------------------------------------------------------------------------------|
| MAY 15, 2018                   | INSTALL INITIAL EROSION CONTROL DEVICES.                                                    |
| MAY 15 - AUGUST 15, 2018       | DEMOLISH EXISTING BUILDING, CONSTRUCT PARKING LOT IMPROVEMENTS AND RESTORE DISTURBED AREAS. |
| AUGUST 15 - SEPTEMBER 15, 2018 | CONSTRUCT BIO-RETENTION DEVICE                                                              |

**RESTORATION NOTES:**  
 ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.  
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET.  
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

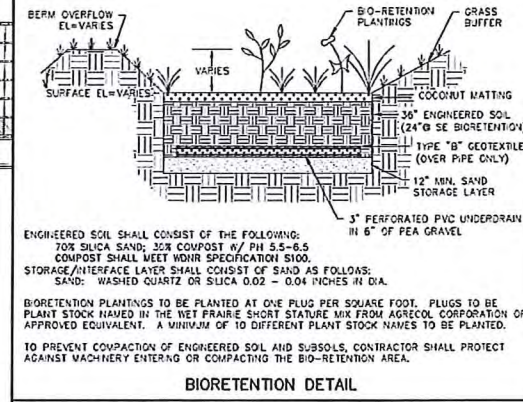
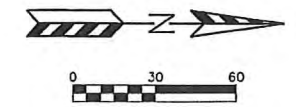
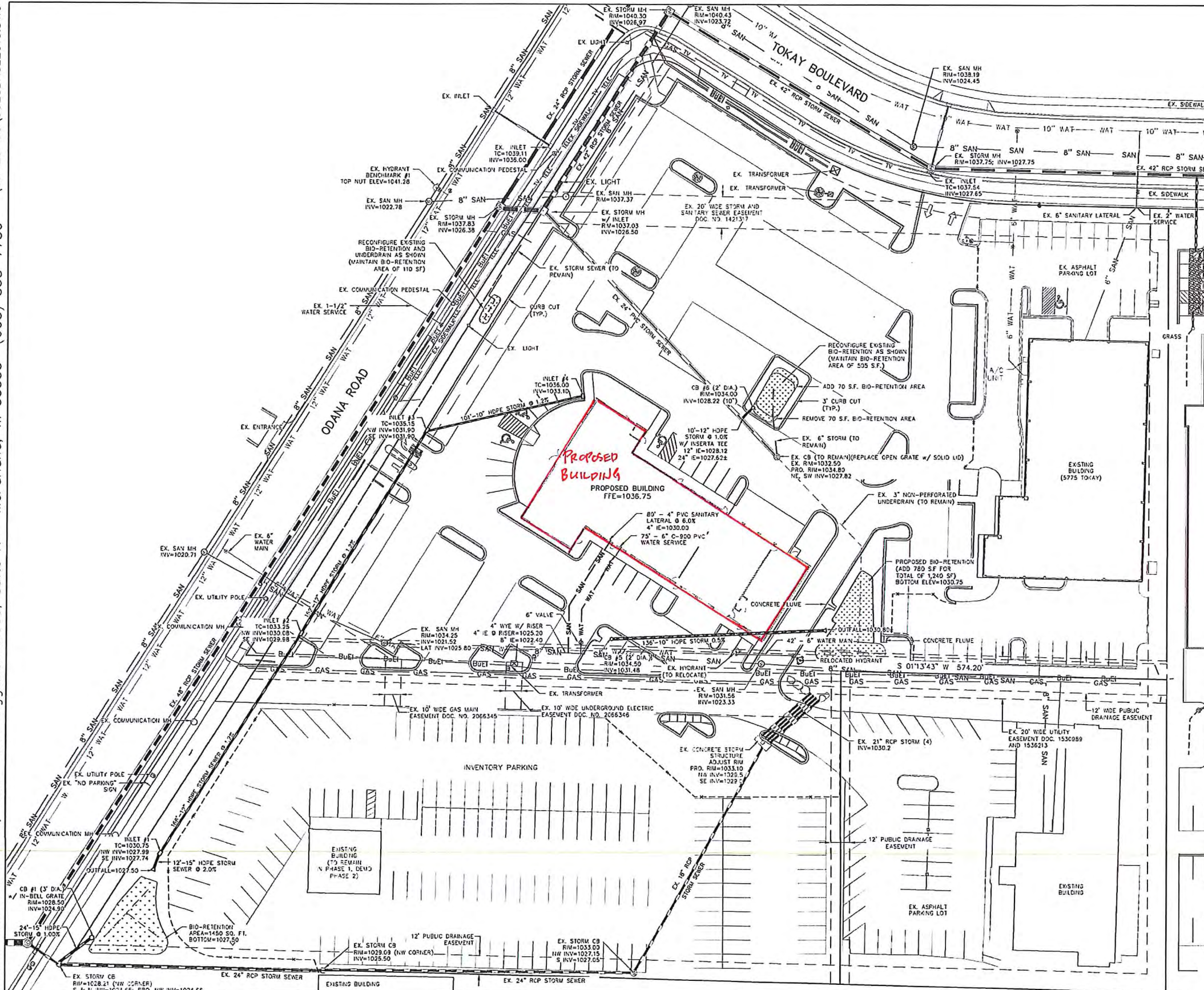
**OWNER:**  
 SMART MOTORS  
 ATTN: ALLEN FOSTER  
 5801 ODANA ROAD  
 MADISON, WI 53719

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558

**SMART MOTORS - 5712 ODANA ROAD**  
**GRADING AND EROSION CONTROL PLAN-2017 (PHASE 2)**  
 SHEET: C-3.1  
 DATED: FEBRUARY 1, 2017

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**GENERAL NOTES:**

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

**UTILITY NOTES:**

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO ODANA ROAD PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

**SMART MOTORS - 5712 ODANA ROAD**  
 UTILITY PLAN - 2017 (PHASE 1)  
 SHEET: C-4.0  
 DATED: FEBRUARY 1, 2017

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PLANT MATERIAL LIST - Phase 2

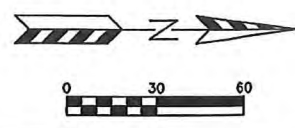
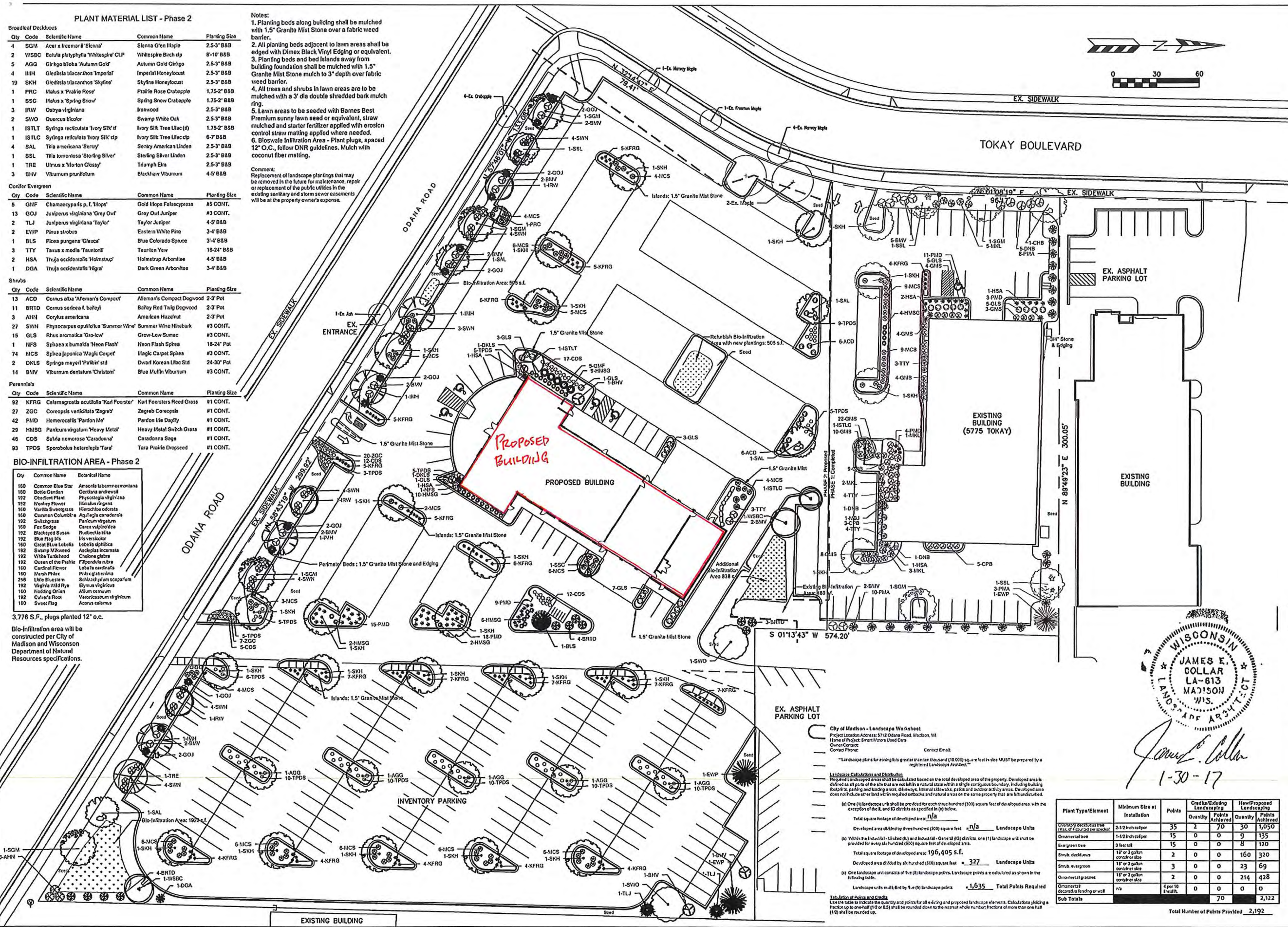
Qty	Code	Scientific Name	Common Name	Planting Size
4	SGM	Acer x freemanii 'Sienna'	Sienna Green Maple	2.5'-3' B&B
2	WSPC	Betula platyphylla 'Whitespire' CLP	Whitespire Birch clp	8'-10' B&B
5	AGG	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5'-3' B&B
4	IHM	Gleditsia viarcarthos 'Imperial'	Imperial Honeylocust	2.5'-3' B&B
19	SKH	Gleditsia viarcarthos 'Skyline'	Skyline Honeylocust	2.5'-3' B&B
1	PRC	Malus x 'Prairie Rose'	Prairie Rose Crabapple	1.75'-2' B&B
1	SSC	Malus x 'Spring Snow'	Spring Snow Crabapple	1.75'-2' B&B
3	IRW	Ostrya virginiana	Ironwood	2.5'-3' B&B
2	SWO	Quercus bicolor	Swamp White Oak	2.5'-3' B&B
1	ISTLT	Syringa reticulata 'Ivory Silk' clp	Ivory Silk Tree LFac clp	1.75'-2' B&B
1	ISTLC	Syringa reticulata 'Ivory Silk' clp	Ivory Silk Tree LFac clp	6'-7' B&B
4	SAL	Tilia americana 'Steris'	Steris American Linden	2.5'-3' B&B
1	SSL	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2.5'-3' B&B
1	TRE	Ulmus x 'Morton Glossy'	Triumph Elm	2.5'-3' B&B
3	BHV	Viburnum prunifolium	Blackhaw Viburnum	4'-5' B&B
<b>Conifer Evergreen</b>				
5	GJF	Chamaecyparis p. 'I. Moor'	Gold Moss Falsecypress	#5 CONT.
13	GOJ	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	#3 CONT.
2	TLJ	Juniperus virginiana 'Taylor'	Taylor Juniper	4'-5' B&B
2	EVP	Pinus strobus	Eastern White Pine	3'-4' B&B
1	BLS	Picea pungens 'Glauca'	Blue Colorado Spruce	3'-4' B&B
3	TTY	Taxus x media 'Taunton'	Taunton Yew	18'-24' B&B
2	HSA	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	4'-5' B&B
1	DGA	Thuja occidentalis 'Tigra'	Dark Green Arborvitae	3'-4' B&B
<b>Shrubs</b>				
13	ACD	Cornus alba 'African's Compact'	African's Compact Dogwood	2'-3' Pot
11	BRTD	Cornus sericea f. 'balley'	Balley Red Twig Dogwood	2'-3' Pot
3	AHNI	Corylus americana	American Hazelnut	2'-3' Pot
27	SWH	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	#3 CONT.
15	GLS	Rhus aromatica 'Gro-low'	Gro-Low Sumac	#3 CONT.
1	NFS	Spiraea x bumalda 'Neon Flash'	Neon Flash Spirea	18'-24" Pot
74	MCS	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#3 CONT.
2	DKLS	Syringa meyeri 'Palibin' std	Dwarf Korean Lilac Std	24-30" Pot
14	BVW	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	#3 CONT.
<b>Perennials</b>				
92	KFRG	Calamagrostis acutiflora 'Karl Foerster'	Karl Foersters Reed Grass	#1 CONT.
27	ZGC	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis	#1 CONT.
42	PMD	Hemerocallis 'Pardon Me'	Pardon Me Daylily	#1 CONT.
29	HMSG	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1 CONT.
46	CDS	Sedum nemorosum 'Caradonna'	Caradonna Sage	#1 CONT.
93	TPDS	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	#1 CONT.

BIO-INFILTRATION AREA - Phase 2

Qty	Common Name	Botanical Name
160	Common Blue Star	Amsinckia tabernaemontana
160	Bottle Gourd	Cucurbita andersonii
192	Claytonia Plant	Physostegia virginiana
192	Monkey Flower	Monarda rigens
160	Variegated Sweetgrass	Hierochloa odorata
160	Common Columbine	Agrostis canadensis
192	Subspice	Panicum virgatum
160	Fox Sedge	Carex vulpinoidea
192	Black-eyed Susan	Rudbeckia hirta
192	Blue Flag Iris	Iris versicolor
160	Great Blue Lobelia	Lobelia siphilitica
192	Swamp Milkweed	Asclepias incarnata
192	White Tumbleweed	Chamaelirium luteum
192	Queen of the Prairie	Fiberula rubra
160	Cardinal Flower	Lobelia cardinalis
160	Marsh Phlox	Phlox glaberrima
256	Little Bluestem	Schizanthus scoparium
192	Viper's Bugloss	Elymus virginicus
160	Wooding Onion	Allium cepum
192	Culver's Root	Veronicastrum virginicum
160	Sweet Flag	Acorus calamus

3,776 S.F., plugs planted 12" o.c.  
Bio-infiltration area will be constructed per City of Madison and Wisconsin Department of Natural Resources specifications.

- Notes:
- Planting beds along building shall be mulched with 1.5" Granite Mist Stone over a fabric weed barrier.
  - All planting beds adjacent to lawn areas shall be edged with Dimex Black Vinyl Edging or equivalent.
  - Planting beds and bed islands away from building foundation shall be mulched with 1.5" Granite Mist Stone mulch to 3" depth over fabric weed barrier.
  - All trees and shrubs in lawn areas are to be mulched with a 3" dia double shredded bark mulch ring.
  - Lawn areas to be seeded with Barnes Best Premium sunny lawn seed or equivalent, straw mulched and starter fertilizer applied with erosion control straw matting applied where needed.
  - Bioswale Infiltration Area - Plant plugs, spaced 12" O.C., follow DNR guidelines. Mulch with coconut fiber matting.
- Comment:  
Replacement of landscape plantings that may be removed in the future for maintenance, repair or replacement of the public utilities in the existing sanitary and storm sewer easements will be at the property owner's expense.



City of Madison - Landscape Worksheet  
Project Location Address: 5712 Odana Road, Madison, WI  
Name of Project: Smart Motors Used Cars  
Owner/Client: Contact Person  
Date: Contact Person  
Landscape Calculations and Distribution  
Required landscape areas shall be calculated based on the total developed area of the property. Developed area is defined as all portions of the site that are not built on a natural state with a single color figure boundary, including building footprints, parking and loading areas, driveway, internal sidewalks, patios and outdoor activity areas. Developed area does not include on or land within required setbacks and natural areas on the same property that are left undisturbed.  
(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the A and B districts as specified in (b) below.  
Total square footage of developed area: 19,640  
Developed area divided by three hundred (300) square feet = 65.47  
Landscape Units  
(b) Within the Industrial - Linked (IL) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.  
Total square footage of developed area: 196,405 S.F.  
Developed area divided by six hundred (600) square feet = 327.34  
Landscape Units  
(c) One landscape unit consists of the (b) landscape units. Landscape points are calculated as shown in the following table.  
Landscape units multiplied by (c) landscape points = 1,635 Total Points Required  
Tabulation of Points and Credits  
Use the table to calculate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction to one-half (0.5) shall be rounded down to the nearest whole number. Fractions of more than one-half (0.5) shall be rounded up.  
Total Number of Points Provided: 2,192

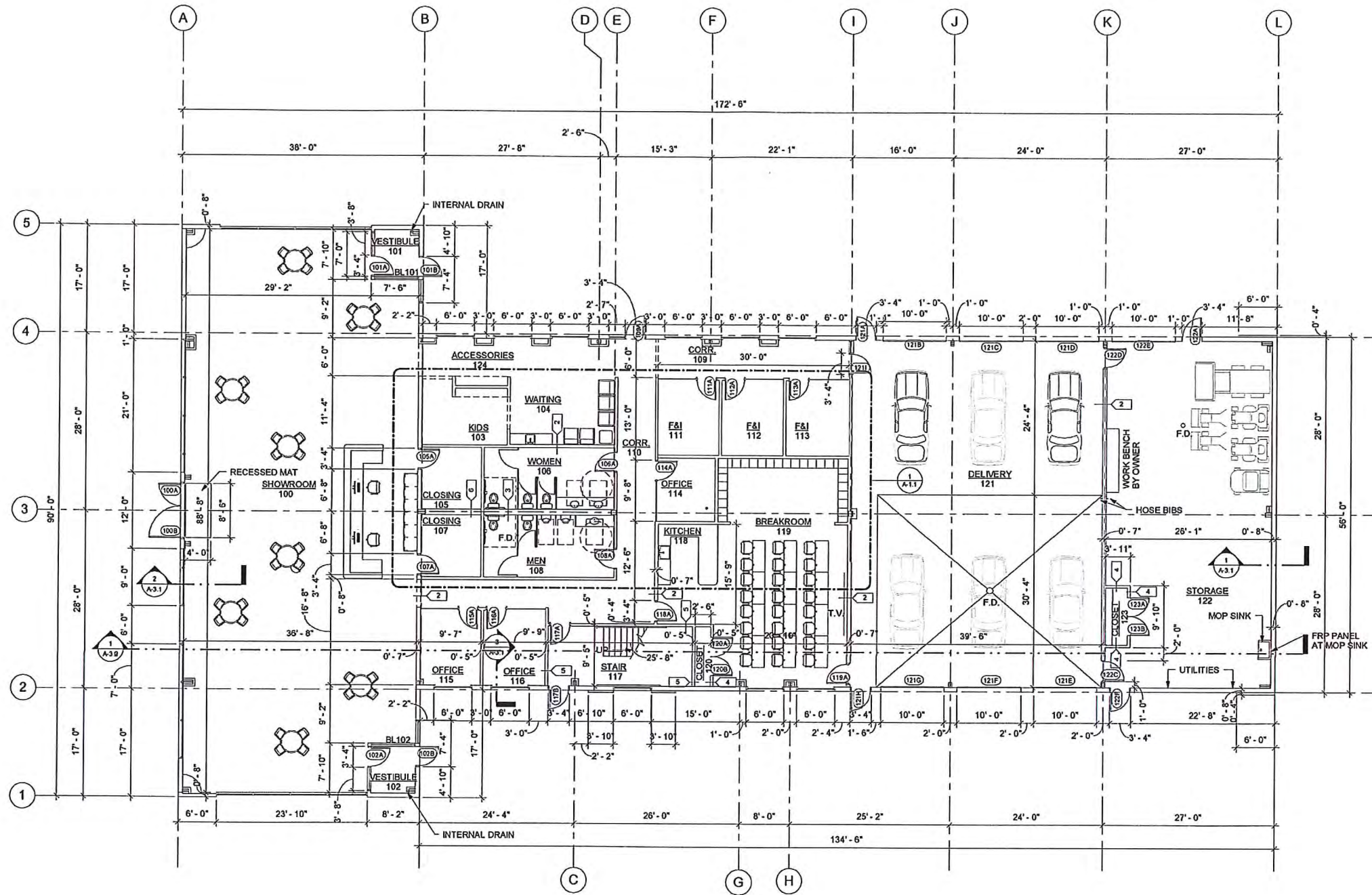
Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping	New/Proposed Landscaping		
		Quantity	Points Achieved	Quantity	Points Achieved	
Landscape deciduous tree (Max. of 4' diameter at breast height)	2-1/2" caliper	35	2	70	30	1,050
Ornamental tree	1-1/2" caliper	15	0	0	9	135
Evergreen tree	3 feet tall	15	0	0	8	120
Shrub, deciduous	18" or 3 gallon container size	2	0	0	160	320
Shrub, evergreen	18" or 3 gallon container size	3	0	0	23	69
Ornamental grasses	18" or 3 gallon container size	2	0	0	214	428
Ornamental groundcover/flowering shrub	n/a	4 per 10' x 4' area	0	0	0	0
<b>Sub Totals</b>				<b>70</b>		<b>2,192</b>

**Barnes INC**  
Landscape Services  
6433 Nesbitt Road  
Madison, WI 53719  
Ph: 608.845.3230 Fx: 608.845.6339  
www.barnesinc.net

Consultants:  
Client:  
**Smart Motors - Used Cars**  
5712 Odana Road  
Madison, Wisconsin  
James E. Collar  
LA-613  
MADISON  
WIS.  
LANDSCAPE ARCHITECT  
1-30-17

Notes:  
Date: 4/11/16  
Revised on: 1.1/30/17  
Scale: 1" = 60'-0"  
**L-1.0**





1 FLOOR PLAN  
1/8" = 1'-0"

INTERIOR WALL TYPES KEY  
NOTE: ALL WALLS ARE TYPE 1 UNLESS OTHERWISE NOTED.

<p>1/2" GYPSUM BOARD 3 1/2" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>	<p>1/2" GYPSUM BOARD 6" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>	<p>1/2" CEMENT BOARD 10" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" CEMENT BOARD</p>
<p>1" GYPSUM BOARD 3 1/2" 20 GA. METAL STUDS AT 16" O.C. 1/2" GYPSUM BOARD</p>	<p>(1) LAYER 1/2" GYPSUM BOARD 3 1/2" 20 GA. METAL STUDS AT 16" O.C. (1) LAYER 1/2" GYPSUM BOARD</p> <p>1-HOUR FIRE RATING PER UL DESIGN NO. U465.</p>	<p>1/2" GYPSUM BOARD 10" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>

SMART MOTORS PRE-OWNED VEHICLES  
NEW FACILITY  
5712 ODANA RD  
MADISON, WI 53719



1314 Emil St  
Madison, WI 53713  
Tel: (608) 257-2289  
Fax: (608) 257-2806

**Sullivan**  
design BUILD  
Since 1937

NO.	Revision Schedule	Description	Date

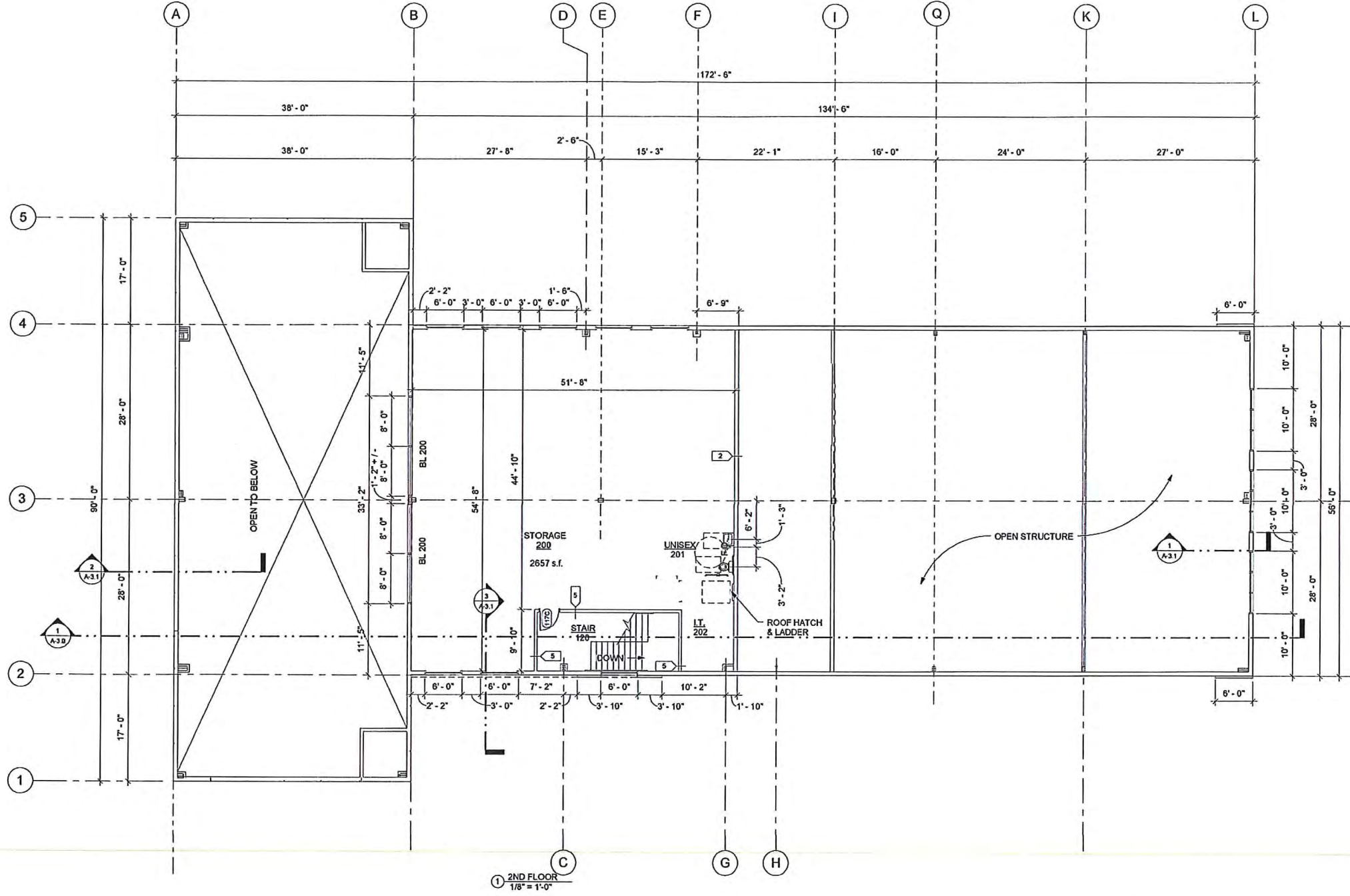
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**OVERALL FLOOR PLAN**

SHEET NO.  
**A-1.0**

SCALE:  
1/8" = 1'-0"

DRAWN BY: BSS  
DATE: 2/17/2017

215-153



1 2ND FLOOR  
1/8" = 1'-0"

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NEW FACILITY  
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MADISON, WI 53719



1314 Emerald St  
Madison, WI 53713  
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Revision Schedule	
No.	Description

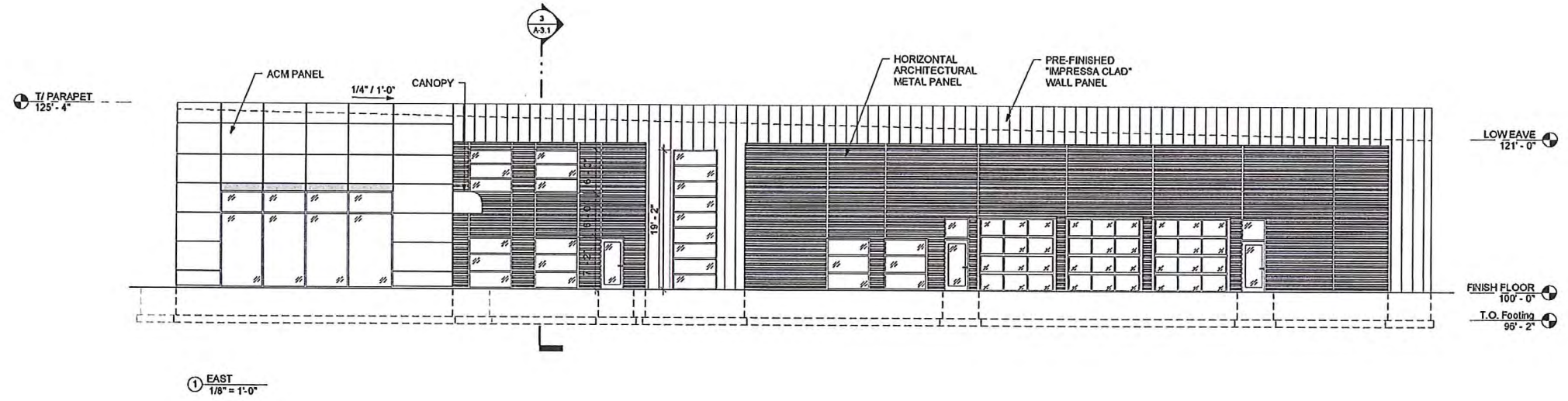
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**2ND FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
DRAWN BY: BSS  
DATE: 2/1/2017

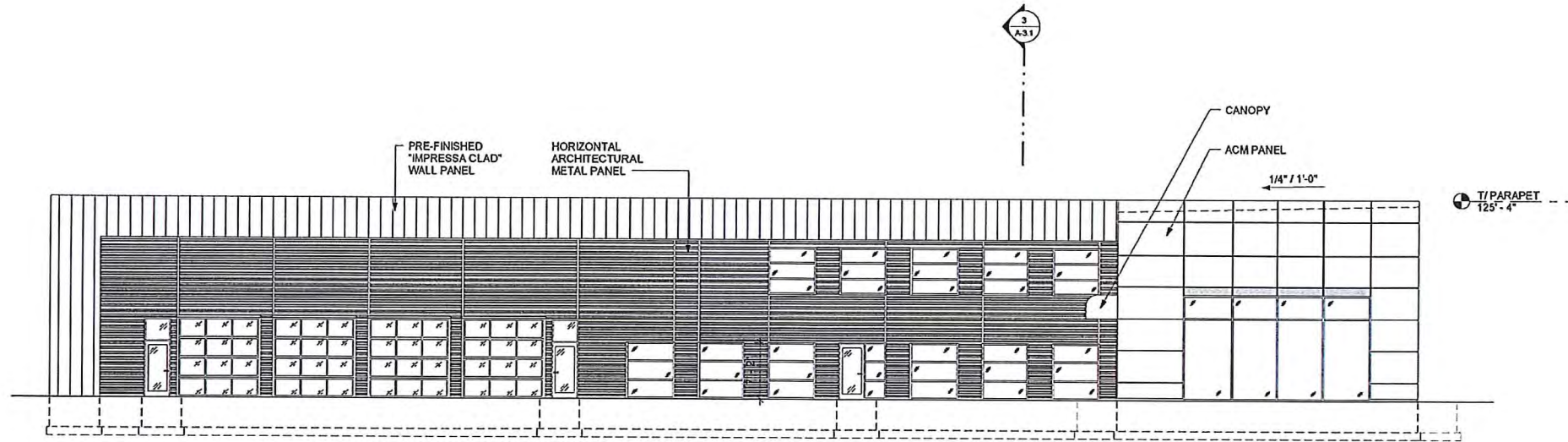
SHEET NO.  
**A-1.2**

215-153





① EAST  
1/8" = 1'-0"



② WEST  
1/8" = 1'-0"

LOW EAVE  
121'-0"

FINISH FLOOR  
100'-0"

T.O. Footing  
99'-2"

LOW EAVE  
121'-0"

FINISH FLOOR  
100'-0"

T.O. Footing  
99'-2"

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MADISON, WI 53719



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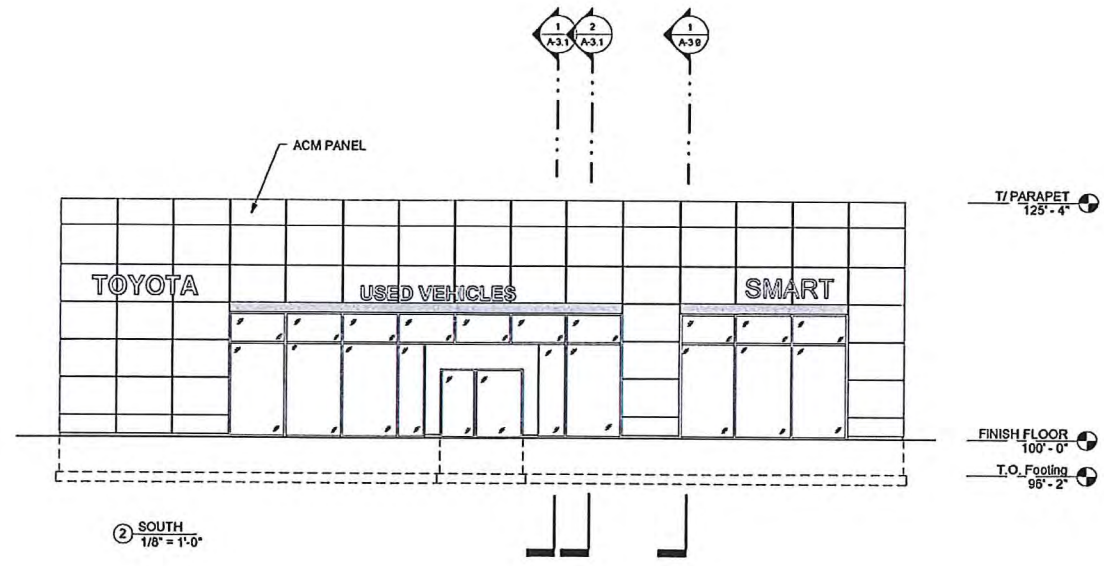
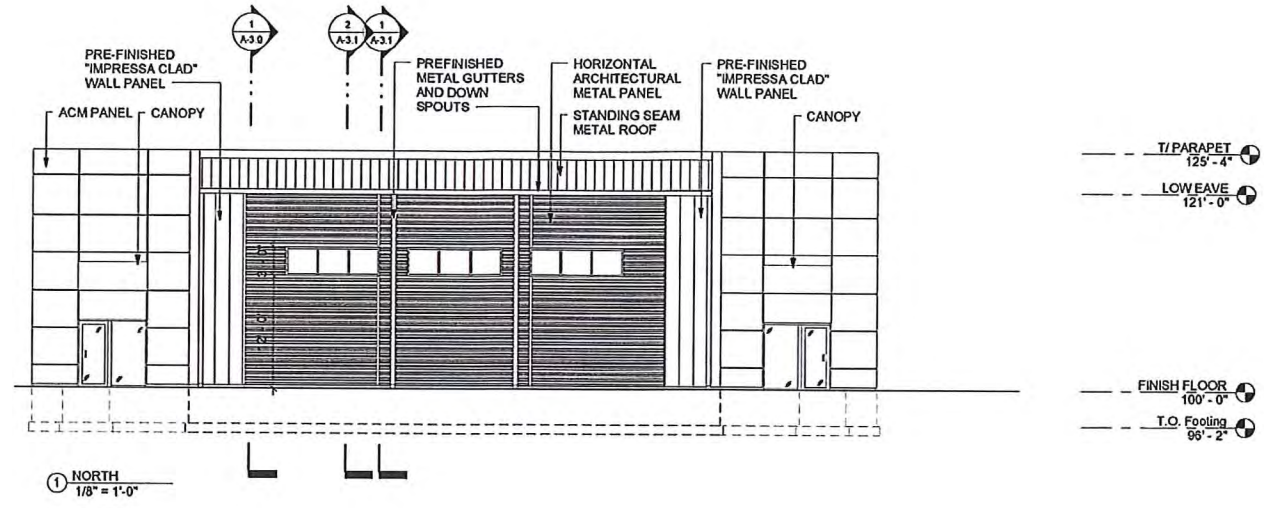
Revision Schedule	
No.	Description

DRAWING NAME:  
**ELEVATIONS**

SCALE: 1/8" = 1'-0"  
DRAWN BY: BSS  
DATE: 2/1/2017

SHEET NO.  
**A-2.0**

215-153



SMART MOTORS PRE-OWNED VEHICLES



NEW FACILITY  
5712 ODANA RD  
MADISON, WI 53719



1314 Emil St.  
Madison, WI 53713  
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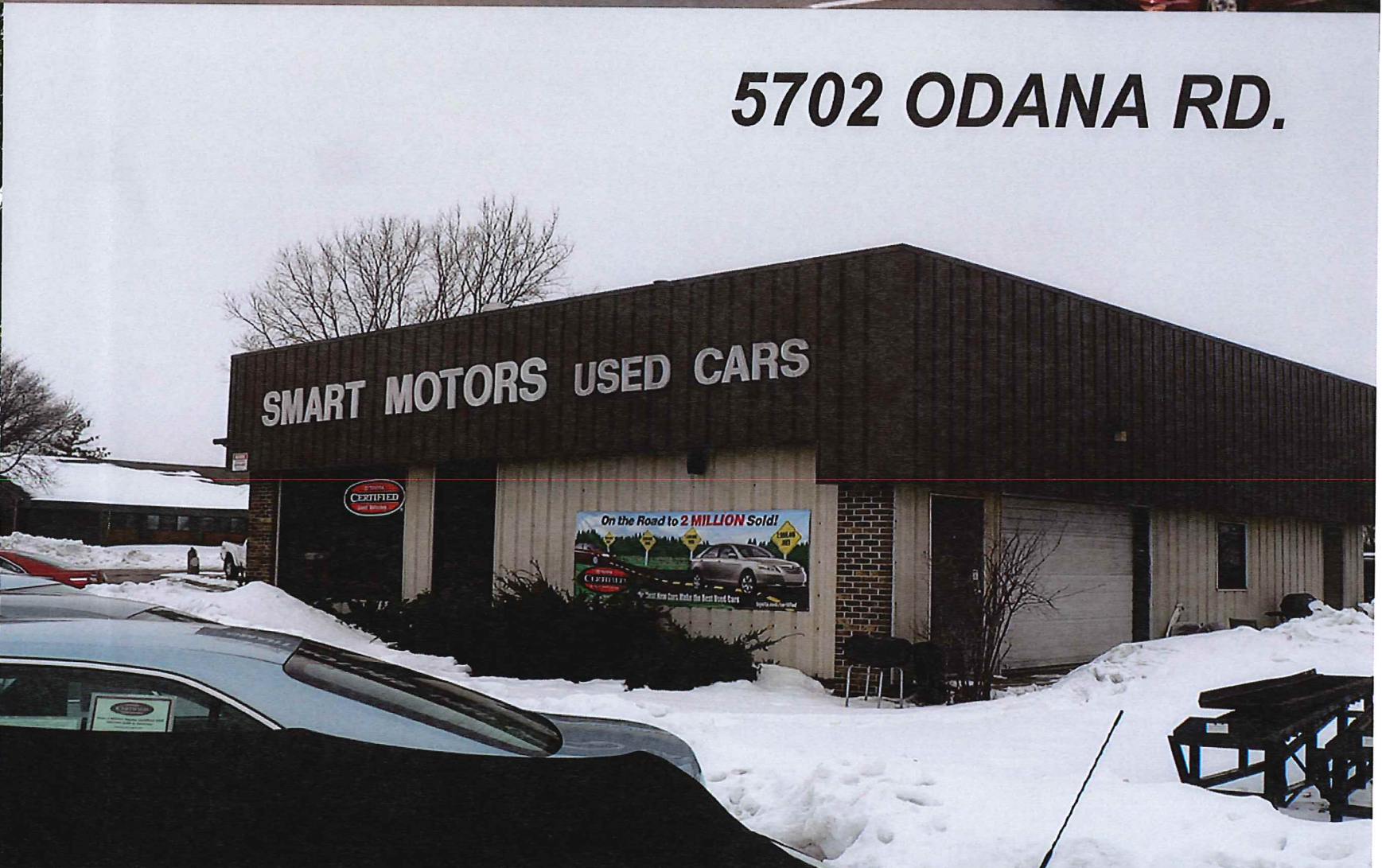
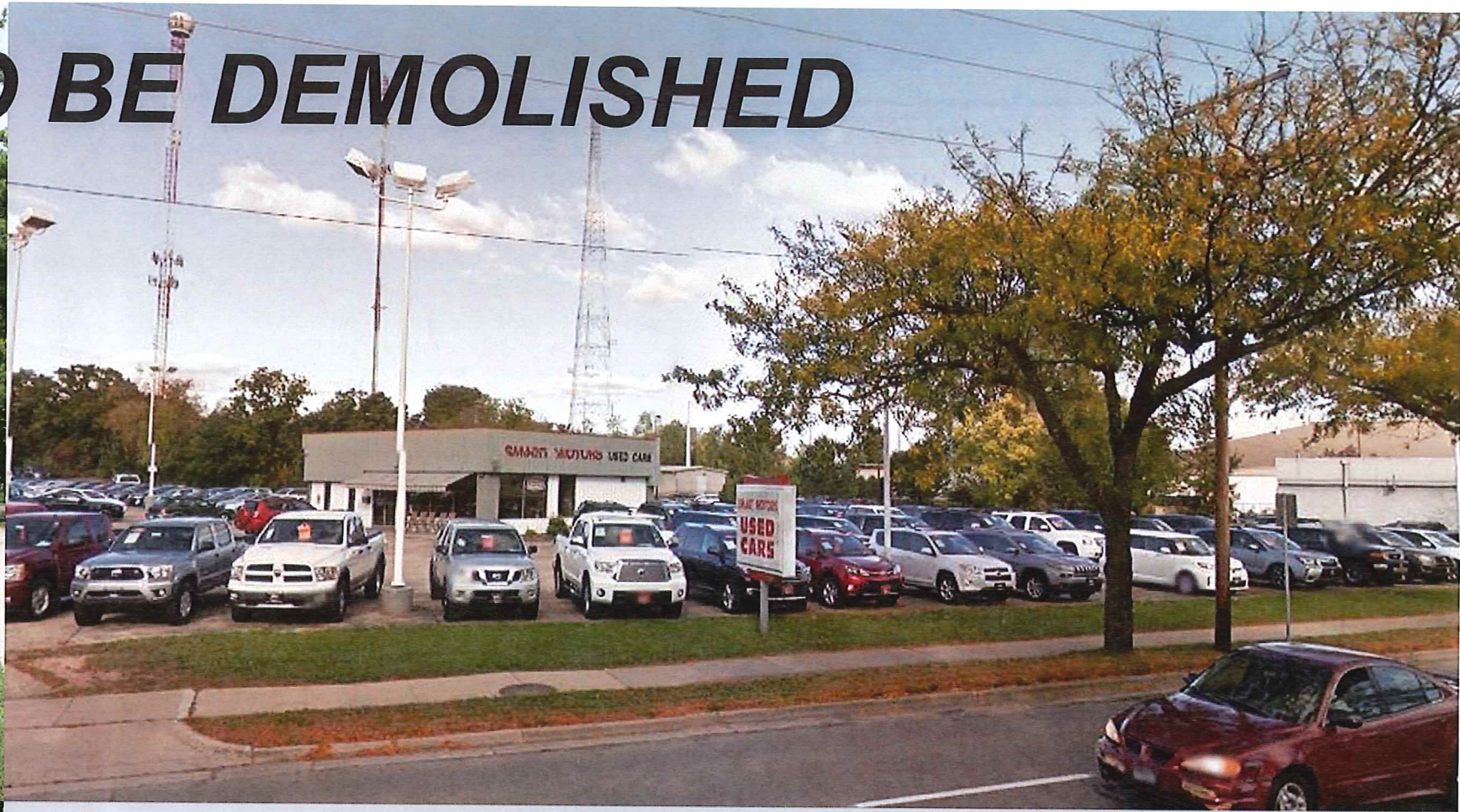
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No.	Date

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DRAWN BY: BSS  
DATE: 2/12/07

SHEET NO.  
**A-2.1**  
215-153



**(2) BUILDINGS TO BE DEMOLISHED**



**5702 ODANA RD.**

**5712 ODANA RD.**





USED VEHICLES

DEALER NAME

