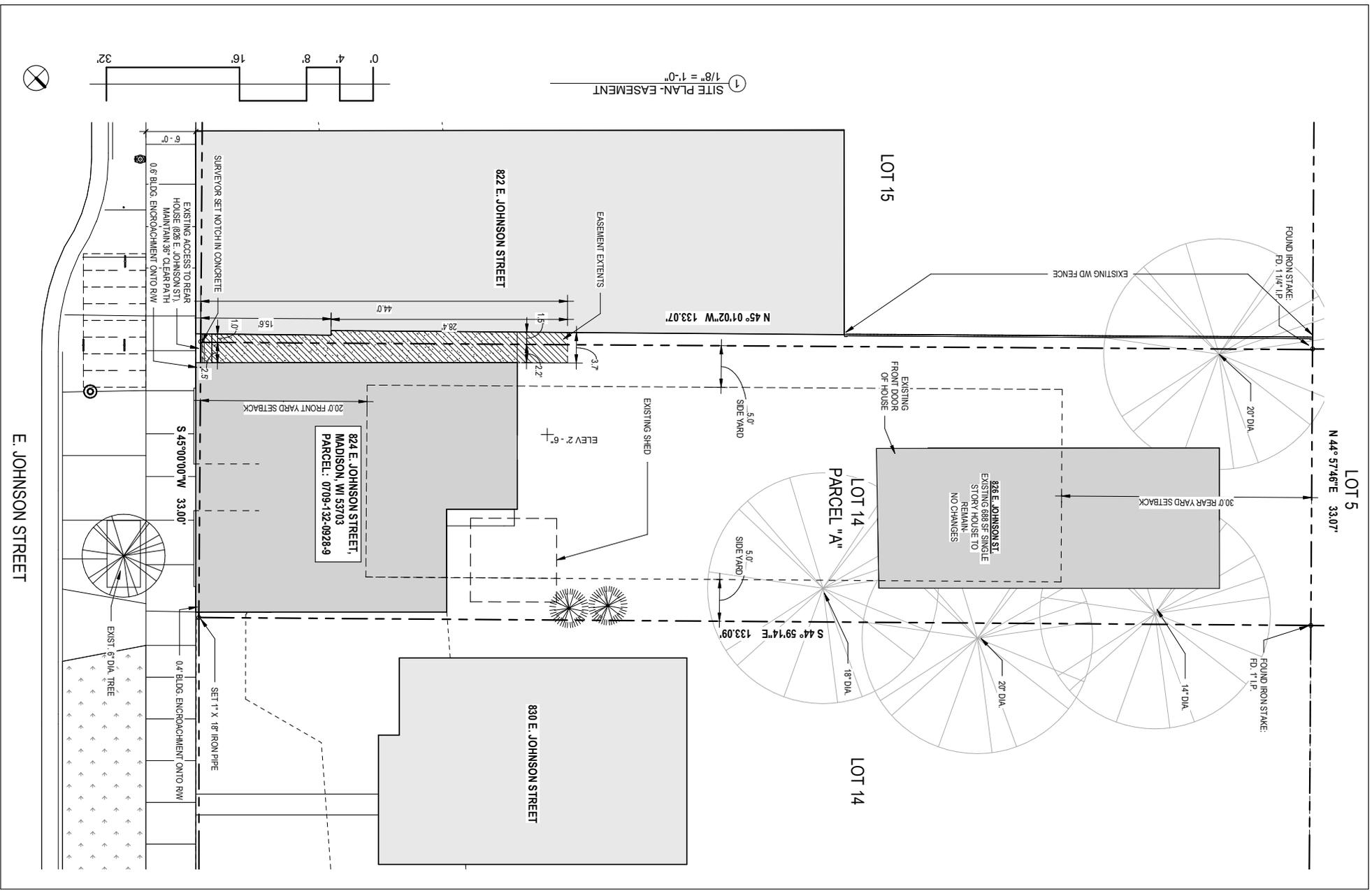


824/822 E JOHNSON ST  
 EASEMENT SITE PLAN  
 06/06/2019





## City of Madison Site Plan Verification

**PROJECT: LNDSPR-2019-00053**

**Address:** 824 E Johnson ST

**Current Revision #: 0**

**Submitted by:** Morrison Tills Studio

**Contact:** Matthew Tills  
(608) 235-6240  
matt@motisarch.com

**Project Type:** Permitted Use Site Plan Review

**Description:** Convert office building into restaurant, with new addition on back of building

**Status:** Approved

**Revision History:** [0](#)

Review	Status	Reviewer	Reviewed
Engineering Mapping	Approved	<a href="#">Jeffrey Quamme</a>	Aug 1 2019
Engineering Review Main Office	Approved	<a href="#">Brenda Stanley</a>	Jun 2 2019
Fire Review	Approved	<a href="#">William Sullivan</a>	May 31 2019
Zoning Review	Approved	<a href="#">Christina Thiele</a>	Jul 22 2019

**Submitted by:** Morrison Tills Studio**Contact:** Matthew Tills  
(608) 235-6240  
matt@motisarch.com**Project Type:** Permitted Use Site Plan Review**Description:** Convert office building into restaurant, with new addition on back of building**Status:** Approved**Revision History:** [0](#)**ENGINEERING****Note** **Comment Date:** 06/02/2019

Current plan shows less than 4,000 sf disturbed area. If plans are not revised, no Erosion Control or Storm Water Management Permits may be required.

**ENGINEERING MAPPING****Supplement Accepted** **Comment Date:**

CAD received 6/20/2019.

The Applicant shall submit, prior to plan sign-off, a digital CAD file (single file) to the Engineering Program Specialist in the Engineering Mapping Division (Lori Zenchenko). The digital CAD file shall be to scale and represent final construction. The CAD file shall be in a designated coordinate system (preferably Dane County WISCRS, US Ft). The single CAD file submittal can be either AutoCAD (dwg) Version 2013 or older, MicroStation (dgn) V8i Select Series 3 or older, or Universal (dxf) format and shall contain the only the following data, each on a separate layer name/level number:

- a) Building Footprints
- b) Internal Walkway Areas
- c) Internal Site Parking Areas
- d) Other Miscellaneous Impervious Areas (i.e. gravel, crushed stone, bituminous/asphalt, concrete, etc.)
- e) Right-of-Way lines (public and private)
- f) Lot lines or parcel lines if unplatted
- g) Lot numbers or the words unplatted
- h) Lot/Plat dimensions
- i) Street names

All other levels (contours, setbacks, elevations, easements, etc) are not to be included with this file submittal.

NOTE: Email file transmissions to lzenchenko@cityofmadison.com . Include the site address in the subject line of this transmittal.

Any changes or additions to the location of the building, sidewalks, parking/pavement during construction will require a new CAD file.

**Supplement Accepted** **Comment Date:**

Doc No. 5508392

The plan indicates a 36" clear path is required to the home in the rear, a portion of which lies on an adjacent property. Provide the recorded easement / agreement allowing for part of the required access over adjacent lands.

**Supplement Accepted** **Comment Date:**

Survey received 7/19/2019 (ETP). Provide a copy of the signed and sealed survey of the property by Badger Surveying dated October 12, 2018. A copy has not been filed at the County Surveyor's Office.

**ZONING****Supplement Accepted** **Comment Date:** 06/13/2019

**Submitted by:** Morrison Tills Studio**Contact:** Matthew Tills  
(608) 235-6240  
matt@motisarch.com**Project Type:** Permitted Use Site Plan Review**Description:** Convert office building into restaurant, with new addition on back of building**Status:** Approved**Revision History:** [0](#)

Per Section 28.186(4)(b), the property owner or operator is required to bring the property into compliance with all elements of the approved site plans by the date established by the Zoning Administrator as part of the site and building plan approval. Work with Zoning staff to establish a final site compliance date.

\*\*Applicant provided the date July 22, 2020\*\*

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**Note** **Comment Date:** 06/13/2019

Outdoor eating area associated with food & beverage establishment requires conditional use approval from the Plan Commission

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**Note** **Comment Date:** 06/13/2019

Signage requires separate approval. Signage must be reviewed for compliance with Chapter 31 Sign Codes of the Madison General Ordinances and Chapter 33 Urban Design District ordinances. Sign Permit applications can be found here: <http://www.cityofmadison.com/dpced/bi/documents/SignPermitAppl.pdf>

# Photos of Existing House

# Proposed Johnson Pavilion Project 826 East Johnson Street



**South Elevation**



**North Elevation**



**Existing Commercial Bldg.  
South/Street Elevation**

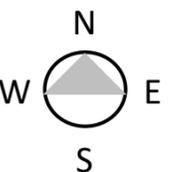


**West Elevation**



**East Elevation**

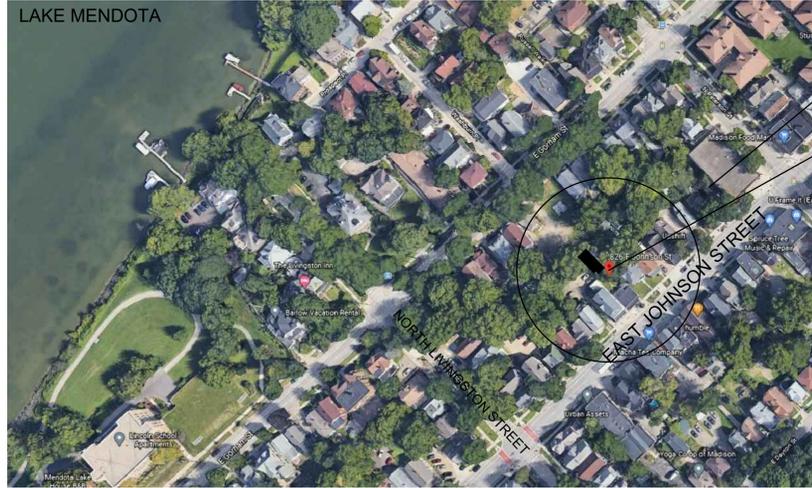
April 14, 2021



# JOHNSON PAVILION

## RENOVATION

### 836 EAST JOHNSON STREET, MADISON, WI 53703

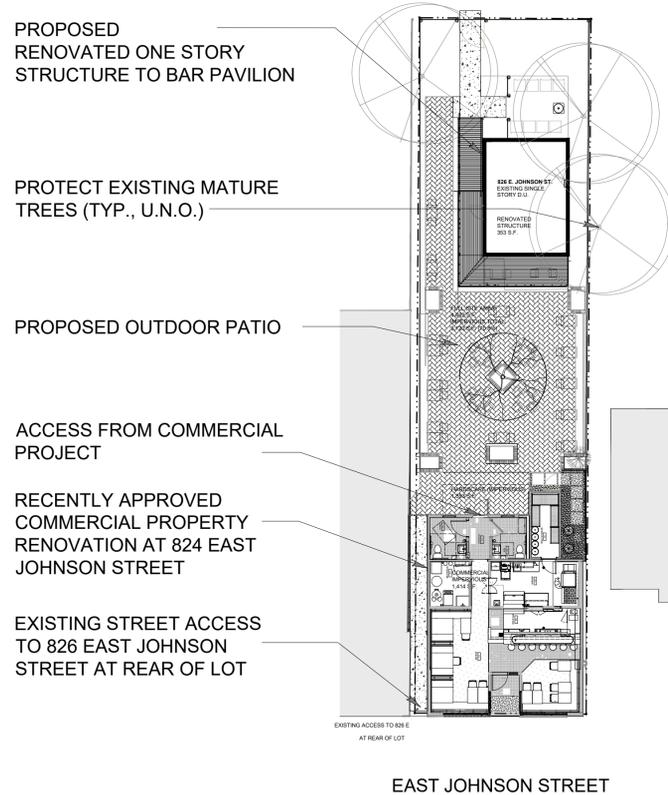


PROJECT  
LOCATION

WORK  
LOCATION



LOCATION MAP  
SCALE: NONE



1 ARCHITECTURAL SITE DIAGRAM  
A001 SCALE: 1/16" = 1'-0"



#### GENERAL NOTES:

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST EDITION.
- MADISON GENERAL ORDINANCES CHAPTER 28 ZONING CODE "NMX" DISTRICT APPLIES AND SHALL BE ADHERED TO.
- CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY, A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
- EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE OWNER. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT PROVIDED THE OVERALL TIME IS NOT CHANGED.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
- AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.

#### SHEET INDEX:

##### ARCHITECTURAL / STRUCTURAL

A001	TITLE SHEET / CODE & SHEET INDEX
A100	SITE PLAN AND LANDSCAPE PLAN
A200	DEMOLITION PLANS
A201	RENOVATION PLAN
A202	FRAMING PLANS
A300	EXTERIOR ELEVATIONS

#### CODE SUMMARY:

##### ZONING CODE DATA:

ZONING	NMX REQUIRED	PROVIDED
LOT WIDTH	40 FT	(33 FT)
FRONT YARD SETBACK	20 FT	(0" AT COMMERCIAL BLDG)
SIDE YARD SETBACK	4.7 FT = 10%	(13 FT (W) & 4.45 FT (E))
LOT AREA	N/A	(4,402 SF)
REAR YARD SETBACK	20	(18'-6")
MAX. LOT COVERAGE	75%	(71% PROPOSED)
MAX HT	(3) STORIES/40FT	(1 STR./16FT)
USABLE OPEN SPACE	N/A	
PARKING STALLS	NO MINIMUM	(1 NON-PUBLIC STALL)

##### BUILDING CODE DATA:

<b>OCCUPANCY CLASSIFICATIONS:</b>	R - RESIDENTIAL (1 DWELLING UNIT)
<b>TYPE OF CONSTRUCTION:</b>	v WOOD FRAME
<b>AUTOMATIC SPRINKLER SYSTEM:</b>	No
<b>BUILDING OVERALL HEIGHT:</b>	<15 FEET (ALLOWABLE <30 FEET ACTUAL) (1 STORY WITH NO BASEMENT)
<b>FIRST FLOOR BUILDING AREAS EXISTING:</b>	TOTAL FIRST FLOOR AREA: 651 GSF
<b>AREA OF ALTERATION:</b>	TOTAL AREA OF ALTERATION: 652 GSF
<b>PERCENT ALTERATION:</b>	100% OF TOTAL BUILDING
<b>SLEEPING ROOM - EGRESS OPENING:</b> (IRC R310)	5.7 S.F. MIN. AND SILL HT. MAX. 44" A.F.F. WINDOWS MUST HAVE >8% OF FLOOR AREA IN GLASS AREA AND >4% OF FLOOR SPACE IN CLEAR OPENING
<b>VEHICLE PARKING STALLS</b>	(0)
<b>VEHICLE BARRIER FREE PARKING STALLS</b>	(0) TOTAL

##### APPLICABLE CODES

<b>ZONING/MUNICIPAL CODE:</b>	THE CITY OF MADISON GENERAL ORDINANCE
<b>ZONED:</b>	NMX - NEIGHBORHOOD MIXED-USE
<b>BUILDING CODE:</b>	2018 UNIFORM DWELLING CODE
<b>PLUMBING CODE:</b>	201
<b>MECHANICAL CODE:</b>	201
<b>ELECTRICAL CODE:</b>	2019 WISCONSIN ELECTRICAL CODE - RESIDENTIAL
<b>ACCESSIBILITY CODE:</b>	2009 ICC / ANSI A117.1
<b>ENERGY CODE:</b>	2015 INTERNATIONAL ENERGY CONSERVATION CODE

IN THE EVENT OF A CONFLICT BETWEEN CODES, STANDARDS OR COVENANTS, THE MORE STRINGENT REQUIREMENT WILL APPLY.

##### TOILETS - PLUMBING FIXTURE COUNTS & CAPACITY

##### ALL NEW FIXTURES

**NEW DOOR HARDWARE:** SHALL MEET CURRENT CODES AND ACCESSIBILITY. NEW DOOR HARDWARE TO ALLOW UNRESTRICTED EXISTING OUT OF THE BAR BUILDING.



InSite Consulting Architects  
115 E. Main / STE 200  
Madison, Wisconsin 53703  
608-294-8025  
608-297-1762 (fax)  
info@icsarc.com

INSITE CONSULTING ARCHITECTS

826 JOHNSON PAVILION  
826 EAST JOHNSON STREET, MADISON, WI 53703

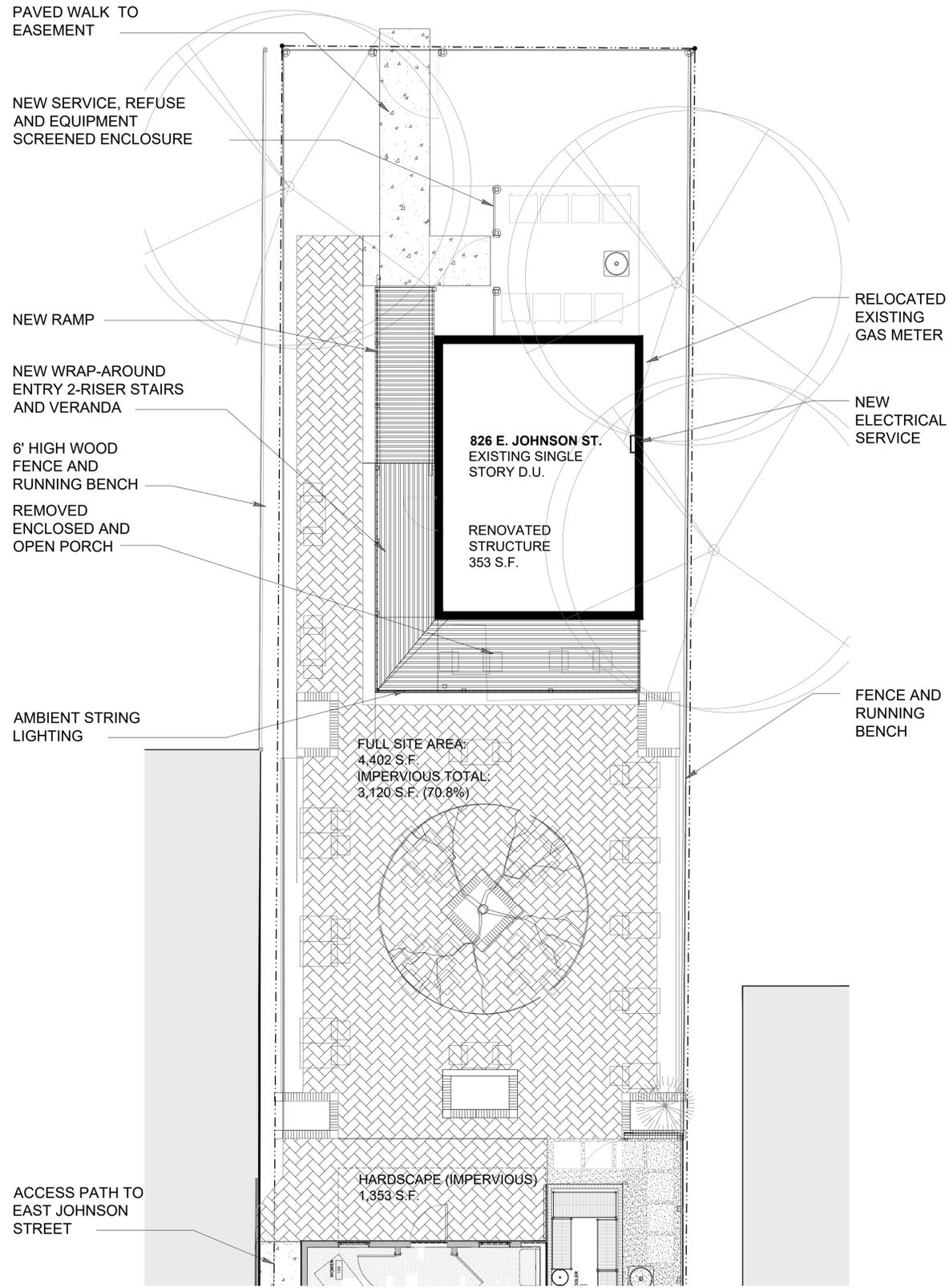
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F." OR VERIFY-IN-FIELD

ICA NO. JBP 21-001

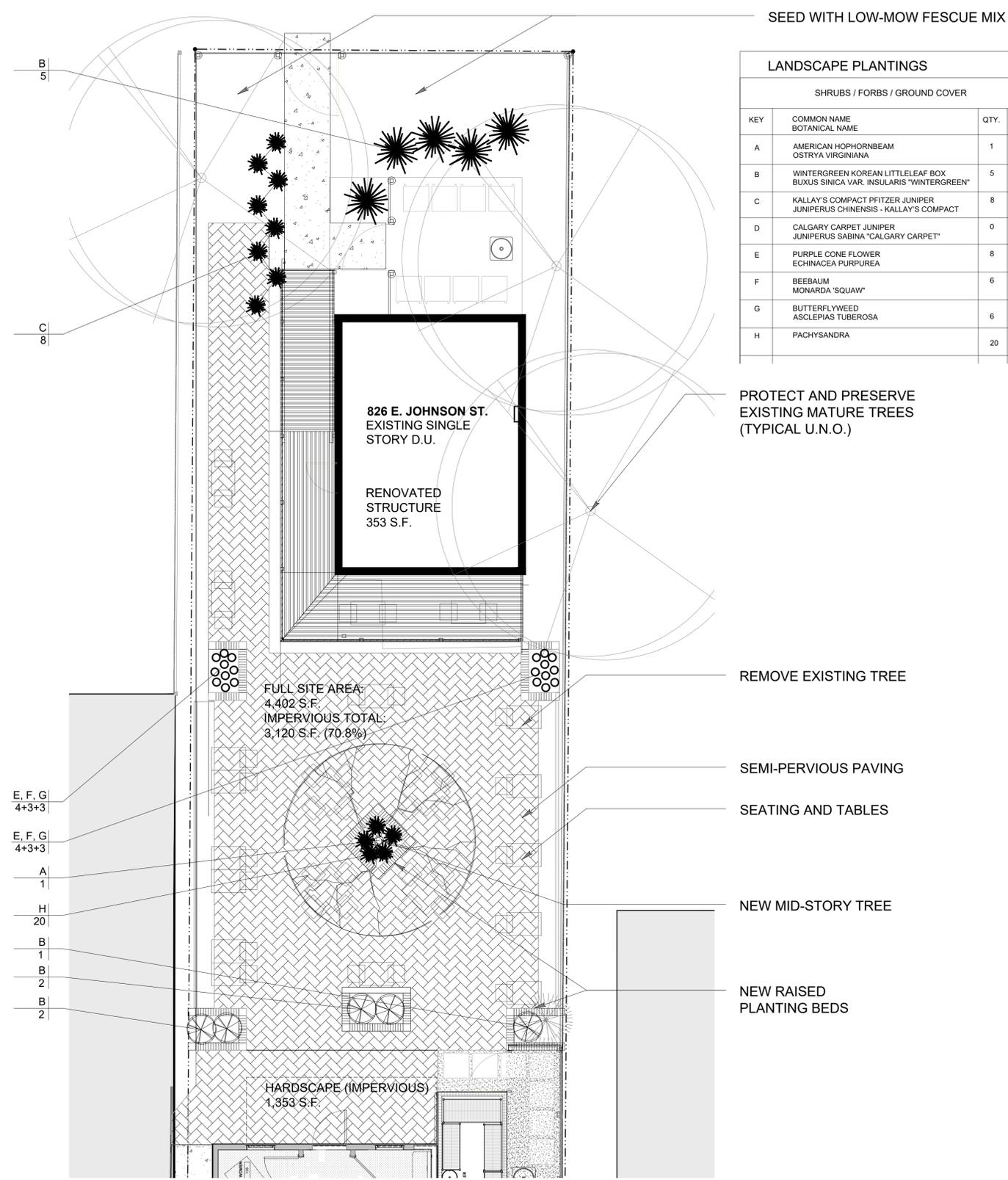
TITLE SHEET / CODE & SHEET INDEX

UDC  
APRIL 14, 2021

A001



1 ARCHITECTURAL SITE PLAN  
SCALE: 3/16" = 1'-0"



2 LANDSCAPE PLAN  
SCALE: 3/16" = 1'-0"

LANDSCAPE PLANTINGS			
SHRUBS / FORBS / GROUND COVER			
KEY	COMMON NAME BOTANICAL NAME	QTY.	SIZE
A	AMERICAN HOPHORNBEAM OSTRYA VIRGINIANA	1	2 1/2" B&B
B	WINTERGREEN KOREAN LITTLELEAF BOX BUXUS SINICA VAR. INSULARIS "WINTERGREEN"	5	
C	KALLAY'S COMPACT PFITZER JUNIPER JUNIPERUS CHINENSIS - KALLAY'S COMPACT	8	5 Gal
D	CALGARY CARPET JUNIPER JUNIPERUS SABINA "CALGARY CARPET"	0	#3
E	PURPLE CONE FLOWER ECHINACEA PURPUREA	8	3" pot
F	BEEBAUM MONARDA "SQUAW"	6	3" pot
G	BUTTERFLYWEED ASCLEPIAS TUBEROSA	6	3" pot
H	PACHYSANDRA	20	3" pot



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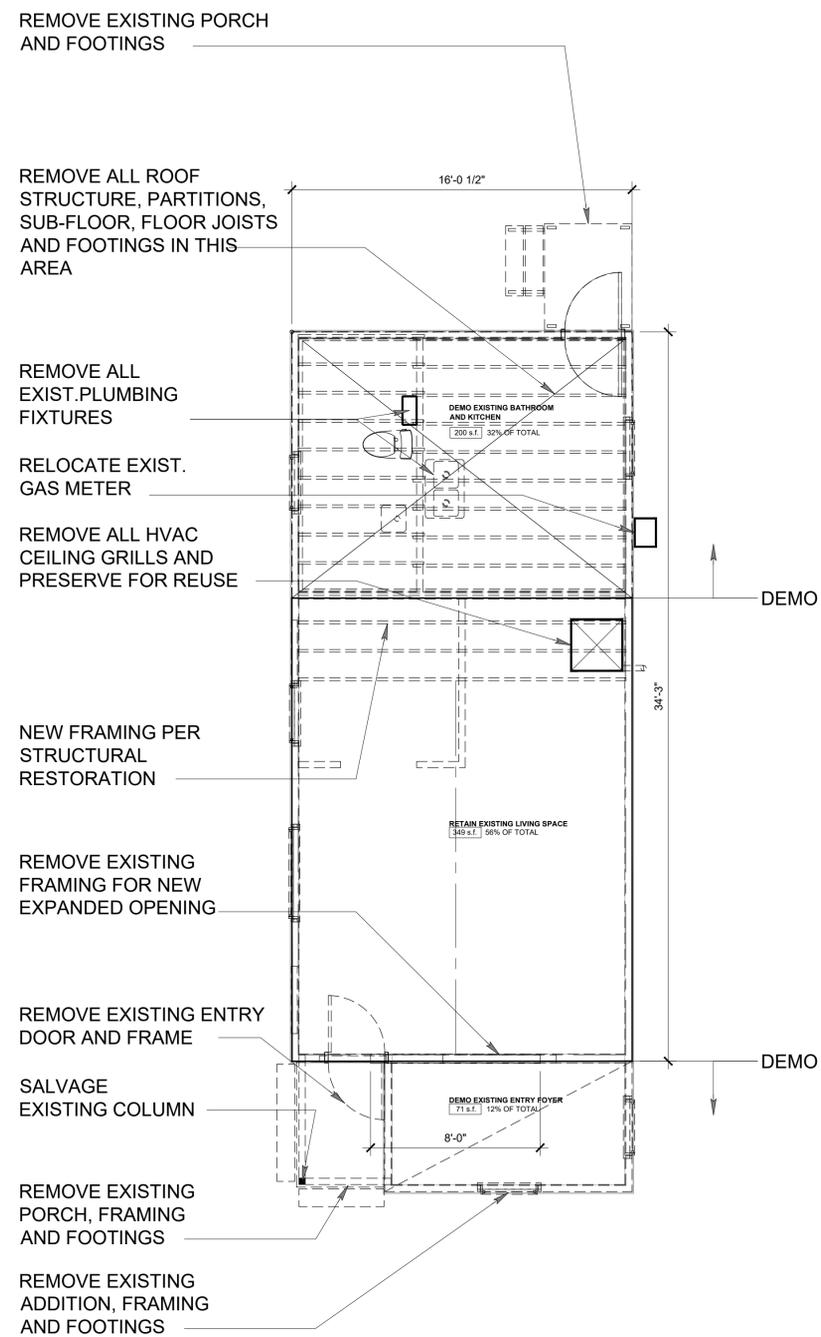
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ICA NO. JBP 21-001

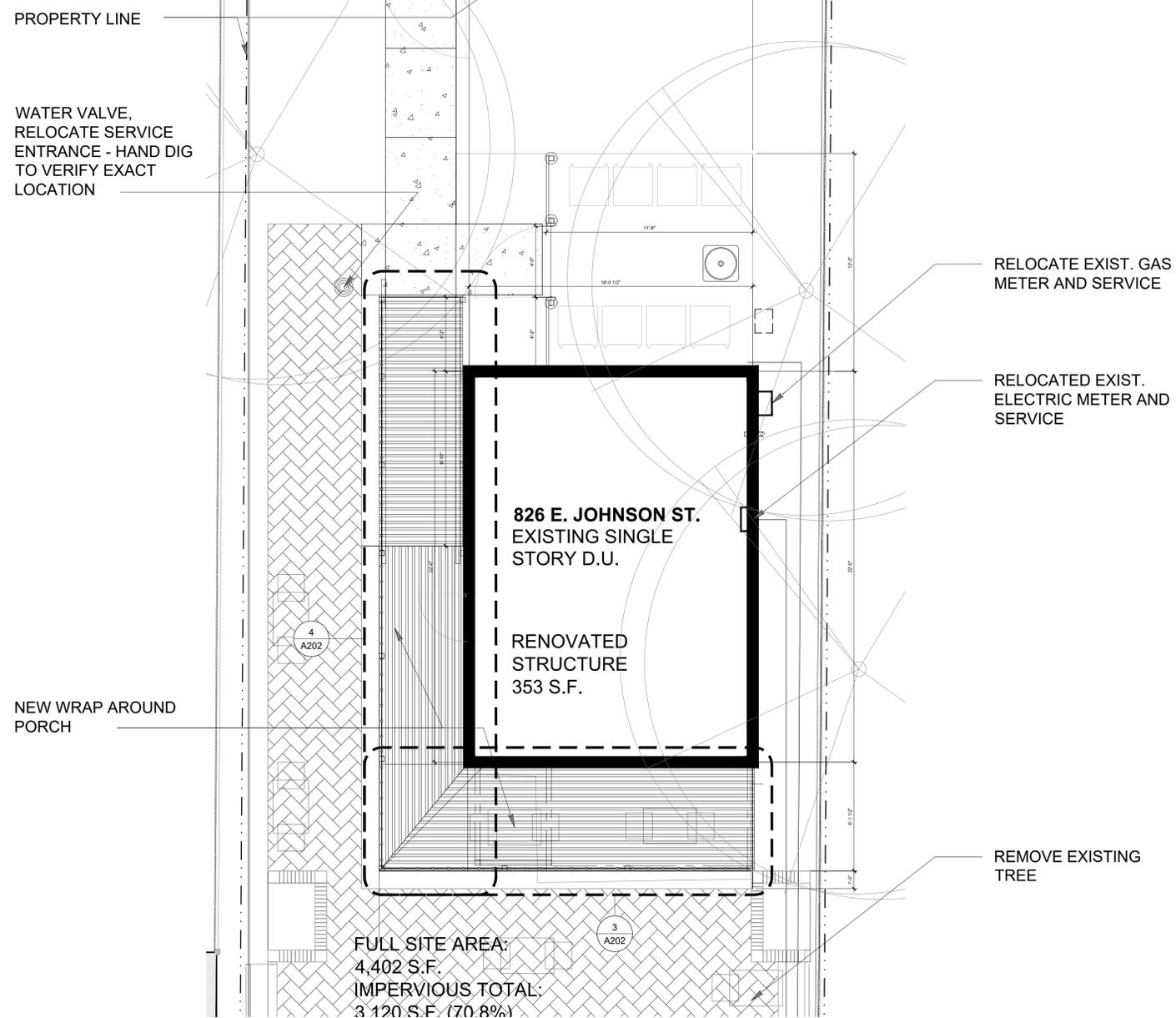
SITE PLAN & LANDSCAPE PLAN

UDC  
APRIL 14, 2021

A100



**1 DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**2 PARTIAL RENOVATION SITE PLAN**  
 SCALE: 1/4" = 1'-0"

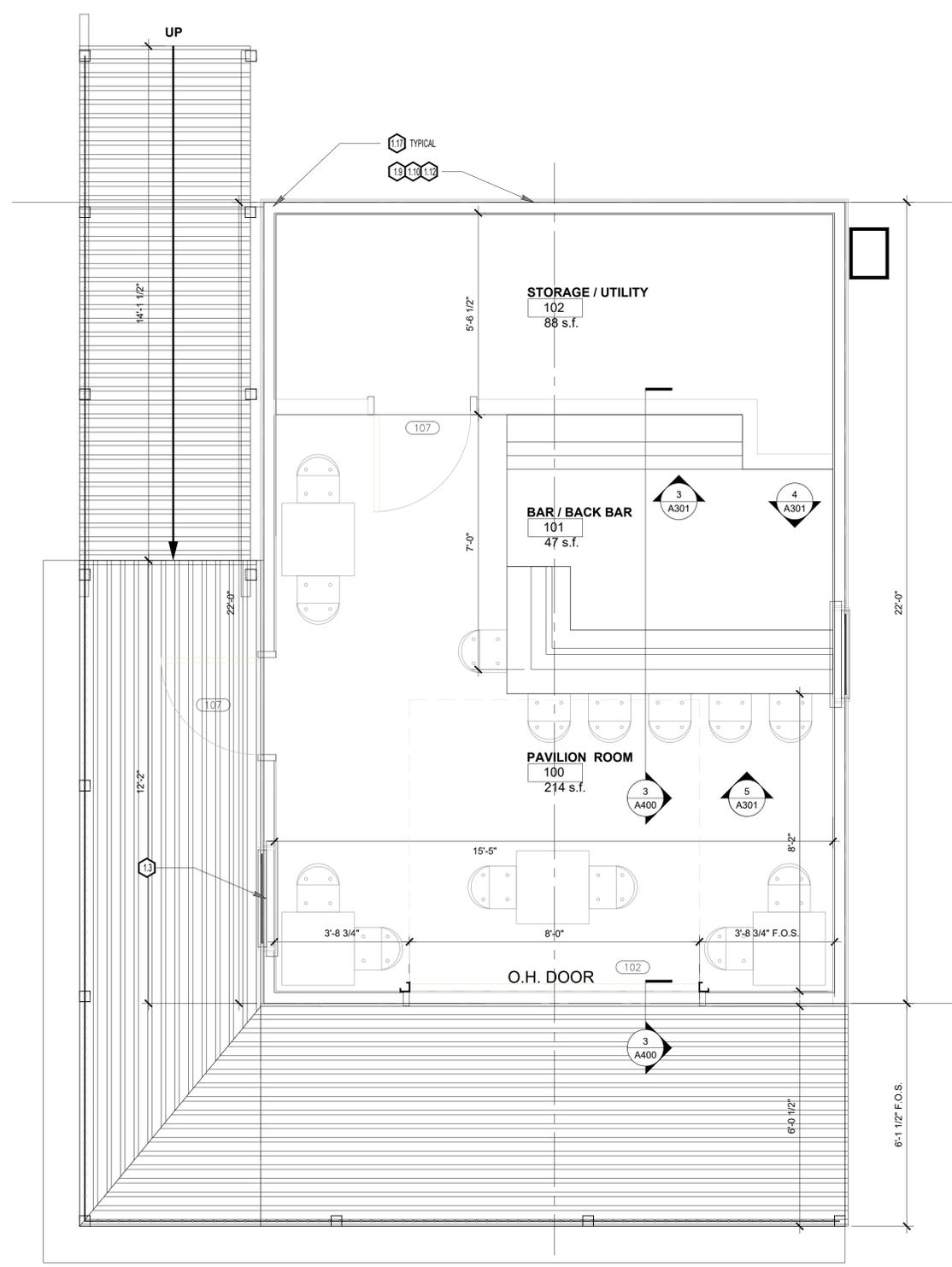
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

ICA NO. JBP 21-001

DEMOLITION PLANS

UDC  
 APRIL 14, 2021

**A200**



**RENOVATION PLAN GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK.
- ITEMS THAT ARE TO BE REMOVED AND REINSTALLED, OR SAVED, ARE TO BE TAGGED AND CAREFULLY STORED.
- AREAS AFFECTED BY DEMOLITION TO BE PATCHED, REPAIRED, AND LEVELED. PROVIDE SMOOTH & CONTINUOUS SURFACE TO MATCH EXISTING ADJACENT SURFACE (MATCH EXISTING CONDITION AT DOOR JAMBS). VERIFY IN FIELD.
- THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. INCIDENTAL WORK ASSOCIATED, BUT NOT SHOWN ON THE CONSTRUCTION DOCUMENTS, MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONTRACT, AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST TO THE OWNER.
- ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED, OR REPLACED AS REQUIRED TO MATCH ADJACENT SURFACE.
- SHORE OPENINGS AS REQUIRED, UPON REMOVAL OF DOORS. SECURE ALL NEW FRAMES PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE LINTELS AS REQUIRED.
- ALL DIMENSIONS SHOWN ON DEMOLITION PLANS ARE FOR REFERENCE ONLY. COORDINATE LENGTH OF WALL REMOVAL WITH EXISTING CONDITIONS AND ARCHITECTURAL DRAWINGS.
- ALL ITEMS SHOWN DASHED TO BE REMOVED. DEMOLITION DRAWINGS REPRESENT THE GENERAL SCOPE OF DEMOLITION WORK. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL DEMOLITION WORK REQUIRED FOR NEW CONSTRUCTION.
- MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES. DO NOT REMOVE STRUCTURAL ELEMENTS UNLESS EXPLICITLY NOTED AND REPLACES WITH APPROPRIATE STRUCTURAL ELEMENTS.
- WITHOUT GEOTECHNICAL TESTING, THE ASSUMED SOIL BEARING CAPACITY SHALL BE 1500 PSF

**RENOVATION PLAN KEY NOTES**

**GENERAL CONSTRUCTION / CARPENTRY:**

- NEW 5/8" MOISTURE RESISTANT GYPSUM WALL BOARD OVER VAPOR RETARDER MEMBRANE
- NEW 5/8" GYPSUM WALL BOARD OVER VAPOR RETARDER MEMBRANE
- NEW WINDOW HEADER
- REFRAME OR LEVEL EXISTING FLOOR FRAMING BEFORE PATCHING SUBFLOOR TO RECEIVE NEW FLOOR COVERING OR REFINISHED WOOD FLOOR
- NEW "SCISSORS" FRAMING IS TO BE FOLLOWED WITH NEW INSULATION AND GYPSUM WALL BOARD PLANE FOR VAULTED CEILING
- APPLICATION OF ADDITIONAL COMPLIANT INSULATION BY OWNER
- NEW SONNA TUBE FOOTINGS TO 4'-0" BELOW GRADE TO SUPPORT NEW COLUMNS ON GALVANIZED BRACKETS WITH 1/2" CLEARANCE TO ANY HORIZONTAL MATERIAL
- NEW GUARDRAILS AT 42" HEIGHT WITH VERTICAL BALUSTERS AT MAXIMUM 4" O.C. AND HANDRAILS AT BOTH SIDES OF STAIRS AT 34" ABOVE STAIR TREAD NOSING
- NEW SILL PRESSURE TREATED 2X WOOD SILL PLATE AND SILL SEAL, 1/2" ANCHOR BOLTS AT 32" O.C. SEE STRUCTURAL DETAIL.
- NEW 20"W. x 10" D. CONCRETE FOOTING AT 4'-0" BELOW FINISHED GRADE AND NEW 8" CMU FOUNDATION WALL TO ALIGN WITH EXISTING FRAMING ABOVE. SEE STRUCTURAL NOTES AND DETAILS.
- NEW 34" X 34"W. X 10" D. CONCRETE FOOTING AT 4'-0" BELOW FINISHED GRADE AND NEW 3" ADJUSTABLE STEEL COLUMN SUPPORTING NEW BEAM LINE. TIE INTO AND BEAR ON RESTORED EXISTING FOUNDATION/PIER SUPPORTS. SEE STRUCTURAL NOTES AND DETAILS.
- NEW 2X4 WALL FRAMING @ 16" O.C., SHEATHING, BUILDING WRAP WRB AND CEMENT BOARD SIDING.
- NEW 30" X 36"W. CRAWL-SPACE ACCESS PANEL 2-LAYERS OF 3/4" CDX PLYWOOD
- NEW 2X6 FLOOR JOISTS @ 16" O.C. SEE STRUCTURAL NOTES AND DETAILS.
- CEILINGS WITHOUT ATTIC SHALL RECEIVE R30 INSULATION
- CEILINGS WITH ATTIC SPACE TO RECEIVE R38 INSULATION
- SPS 322.34 REQUIRES CRAWL SPACES TO HAVE VAPOR RETARDER OVER ALL EXPOSED SOIL AND R10 OF CONTINUOUS INTERIOR INSULATION AT FOUNDATION WALLS
- INSTALL 9"BATT INSULATION ABOVE VAPOR RETARDER TO MEET LOCAL ENERGY CODE REQUIREMENT

**RENOVATION OUTLINE SCOPE NOTES**

- WINDOWS / DOORS / OPENINGS:**
- FOR NEW DOORS AND FRAMES, SEE DOOR SCHEDULE
- INTERIOR FINISHES / SYSTEMS:**
- LATEX PRIMER AND EGGSHELL WALL PAINT
  - WOOD TRIM TO RECEIVE LATEX PRIMER AND SATIN ENAMEL PAINT
  - ALL FLOOR FINISHES SELECTED AND INSTALLED BY OWNER
- PLUMBING:**
- NEW STAINLESS STEEL TWO COMPARTMENT SINK WITH DISPOSAL
  - NEW "WATERSENSE" COMPLIANT FAUCET
  - NEW "WATERSENSE" COMPLIANT SHOWER HEAD
  - NEW "WATERSENSE" COMPLIANT 1.23 GPF TOILET AND SHUT-OFF
  - NEW WALL-BOX LAUNDRY HOOK UP WITH WATER-HAMMER ARRESTORS AND SHUT-OFF
  - NEW "STUDOR" VENT FOR ISLAND SINK
- MECHANICAL:**
- NEW CEILING MOUNTED GRILL AND INSULATED FLEXIBLE DUCTWORK
  - WALL MOUNTED THERMOSTAT
  - DUCT AND LOUVERED EXHAUST FOR BATHROOM / RANGE HOOD FAN
- ELECTRICAL:**
- NEW 100 AMP ELECTRICAL SERVICE COORDINATED BY OWNER
  - NEW SMALL APERTURE SURFACE MOUNT LED DOWN LIGHTS BY OWNER
  - NEW CONNECTION FOR CLOTHES WASHER AND DRYER
  - CEILING MOUNTED BOX FOR FIXTURE BY OWNER
  - NEW CONNECTION FOR ELECTRIC (INDUCTION-TBD) COOK TOP AND OVEN
  - NEW CONNECTION FOR LIGHT AND EXHAUST FAN DUCTED TO THE EXTERIOR
  - NEW GFIC OUTLETS AT ALL POTENTIALLY WET LOCATIONS (TYPICAL)
  - NEW UNDERCOUNTER LED DOWN LIGHTS BY OWNER

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F." OR VERIFY-IN-FIELD

ICA NO. JBP 21-001

RENOVATION FLOOR PLAN

UDC  
 APRIL 14, 2021

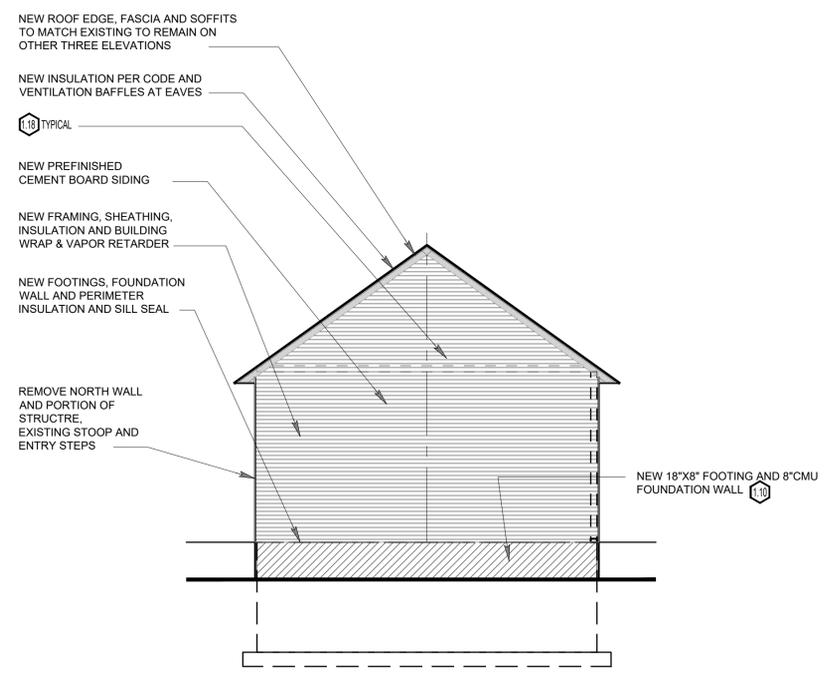
**A201**

**1**  
 A201  
**PROPOSED NEW FLOOR PLAN**  
 SCALE: 1/2" = 1'-0"

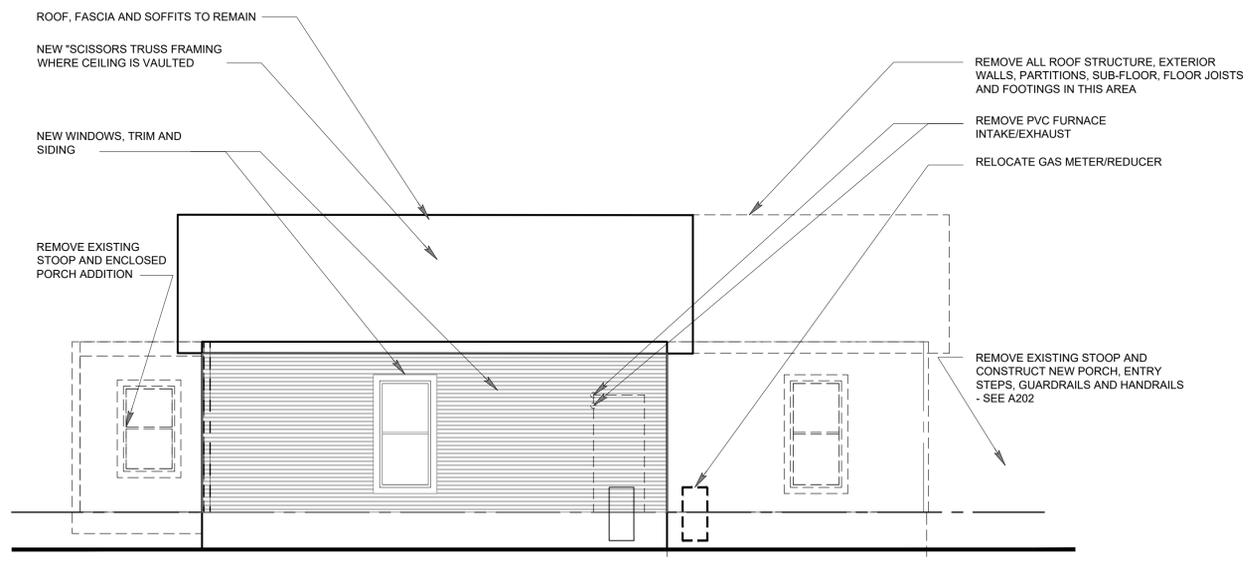


TOTAL AREA (W/ PORCH) = 1,206 S.F.  
 DEMO = 682 S.F. (INCLUDING PORCH) (57%)  
 RENOVATED = 524 S.F. (43%)

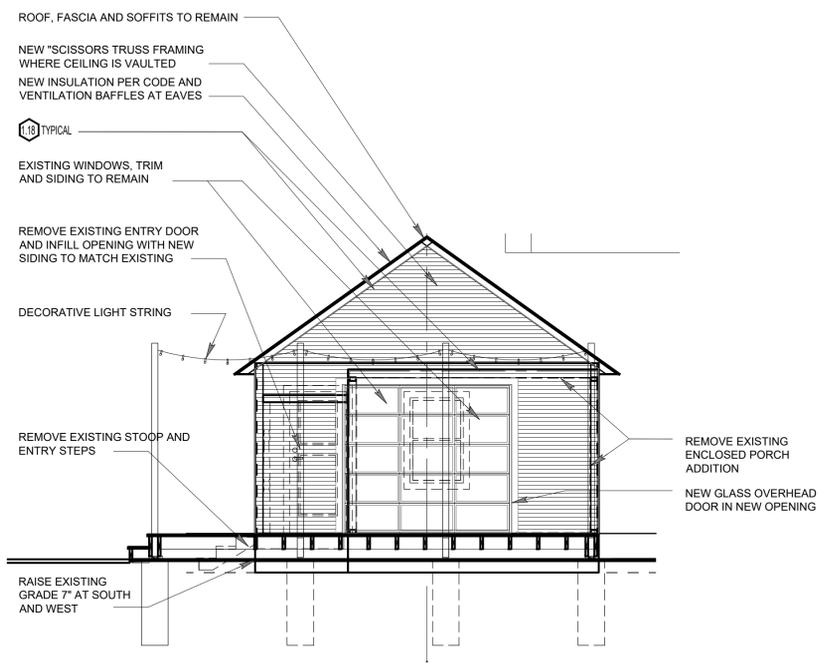
TOTAL AREA (W/O PORCH) = 1,086 S.F.  
 DEMO = 449 S.F. EXCLUDING PORCH (41%)  
 RENOVATED = 637 S.F. (59%)



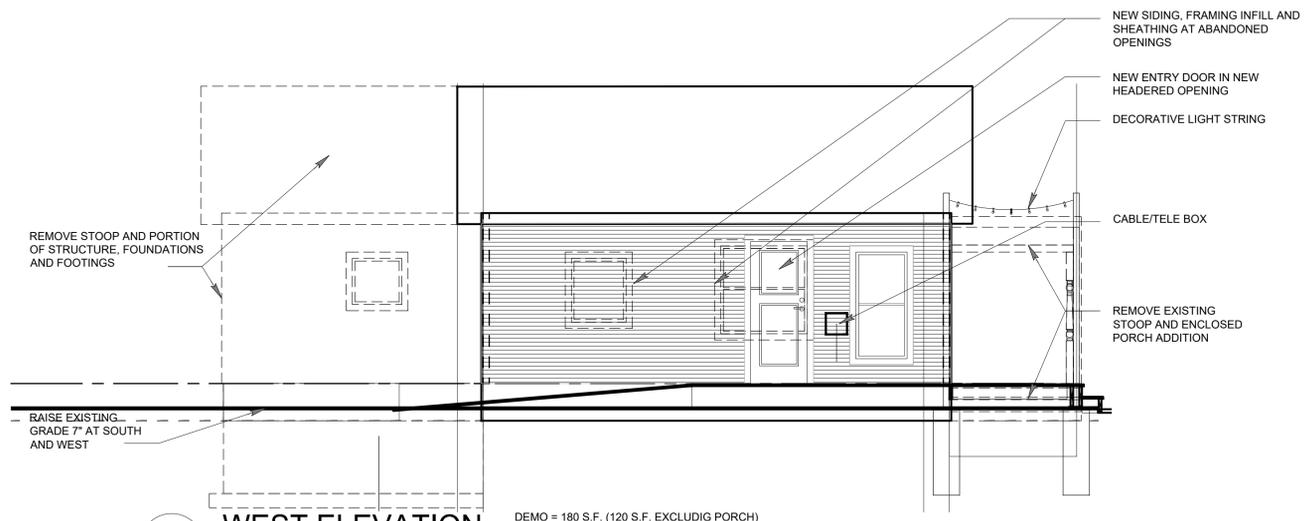
**1**  
 A300  
**NORTH ELEVATION**  
 DEMO = 209 S.F.  
 RENOVATED = 0 S.F.  
 SCALE: 1/4" = 1'-0"



**1**  
 A300  
**EAST ELEVATION**  
 DEMO = 180 S.F. (120 S.F. EXCLUDING PORCH)  
 RENOVATED = 214 S.F.  
 SCALE: 1/4" = 1'-0"



**1**  
 A300  
**SOUTH ELEVATION**  
 DEMO = 113 S.F. (0 S.F. EXCLUDING PORCH)  
 RENOVATED = 96 S.F. (209 S.F. EXCLUDING PORCH)  
 SCALE: 1/4" = 1'-0"



**1**  
 A300  
**WEST ELEVATION**  
 DEMO = 180 S.F. (120 S.F. EXCLUDING PORCH)  
 RENOVATED = 214 S.F.  
 SCALE: 1/4" = 1'-0"

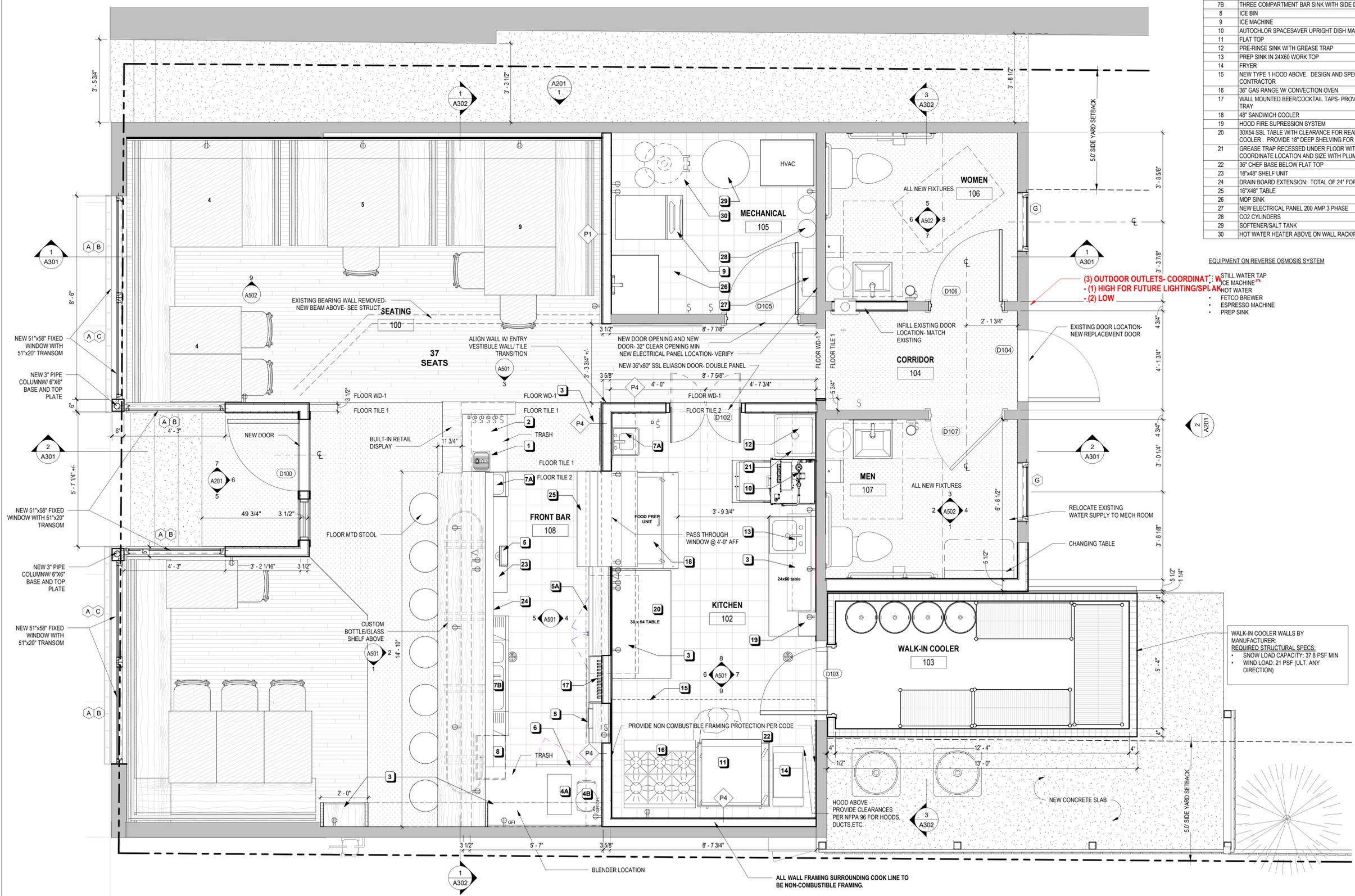
NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

Sheet Notes - A101

Note Number	Note Text
1	GLASS/PITCHER FILLER- PROVIDE OPEN SITE DRAIN
2	STAINLESS COUNTERTOP WITH GLASSWARE/ SILVERWARE STORAGE
3	SHELVING ABOVE- SEE ELEVATIONS
4A	COFFEE BREWER- PROVIDE FILTERED WATER SUPPLY
4B	COFFEE GRINDER
5	POS LOCATION- TOUCH SCREEN AND PRINTER
5A	48" BACK BAR COOLER
6	27" UNDER COUNTER FREEZER
7A	HAND SINK
7B	THREE COMPARTMENT BAR SINK WITH SIDE DRAIN BOARDS
8	ICE BIN
9	ICE MACHINE
10	AUTOCHLOR SPACESAVER UPRIGHT DISH MACHINE
11	FLAT TOP
12	PRE-RINSE SINK WITH GREASE TRAP
13	PREP SINK IN 24X60 WORK TOP
14	FRYER
15	NEW TYPE 1 HOOD ABOVE- DESIGN AND SPECIFICATION BY HVAC CONTRACTOR
16	36" GAS RANGE W/ CONVECTION OVEN
17	WALL MOUNTED BEER/COCKTAIL TAPS- PROVIDE OPEN SITE DRAIN FOR TRAY
18	48" SANDWICH COOLER
19	HOOD FIRE SUPPRESSION SYSTEM
20	30X54 SSL TABLE WITH CLEARANCE FOR REAR PORTION OF 48" BAR COOLER. PROVIDE 18" DEEP SHELVING FOR KITCHEN USE
21	GREASE TRAP RECESSED UNDER FLOOR WITH TOP ACCESS. COORDINATE LOCATION AND SIZE WITH PLUMBER
22	36" CHEF BASE BELOW FLAT TOP
23	18"x48" SHELF UNIT
24	DRAIN BOARD EXTENSION- TOTAL OF 24" FOR DIRTY DISH STAGING
25	16"x48" TABLE
26	MOP SINK
27	NEW ELECTRICAL PANEL 200 AMP 3 PHASE
28	CO2 CYLINDERS
29	SOFTENER/SALT TANK
30	HOT WATER HEATER ABOVE ON WALL RACK/PLATFORM

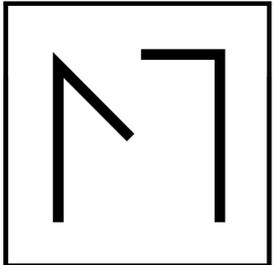
EQUIPMENT ON REVERSE OSMOSIS SYSTEM

- STILL WATER TAP
- ICE MACHINE
- HOT WATER
- FETCO BREWER
- ESPRESSO MACHINE
- PREP SINK



(3) OUTDOOR OUTLETS- COORDINATE WITH ARCHITECT  
 - (1) HIGH FOR FUTURE LIGHTING/SPL. AIR  
 - (2) LOW

WALK-IN COOLER WALLS BY MANUFACTURER  
 REQUIRED STRUCTURAL SPECS:  
 • SNOW LOAD CAPACITY: 37.8 PSF MIN  
 • WIND LOAD: 21 PSF (ULT. ANY DIRECTION)



**MoTiS Morrison Tills Studio**

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 Madison, WI 53715  
 608.709.1430  
 info@motisarch.com

824 E JOHNSON ST  
 824 E. Johnson St., Madison, WI 53703

No.	Description	Date
1	PERMIT SET	05-03-19
2	SITE PLAN REVIEW	05-23-19

PROJECT NO: 1810  
 DATE: 01/22/21

SHEET TITLE  
**FIRST FLOOR PLAN**

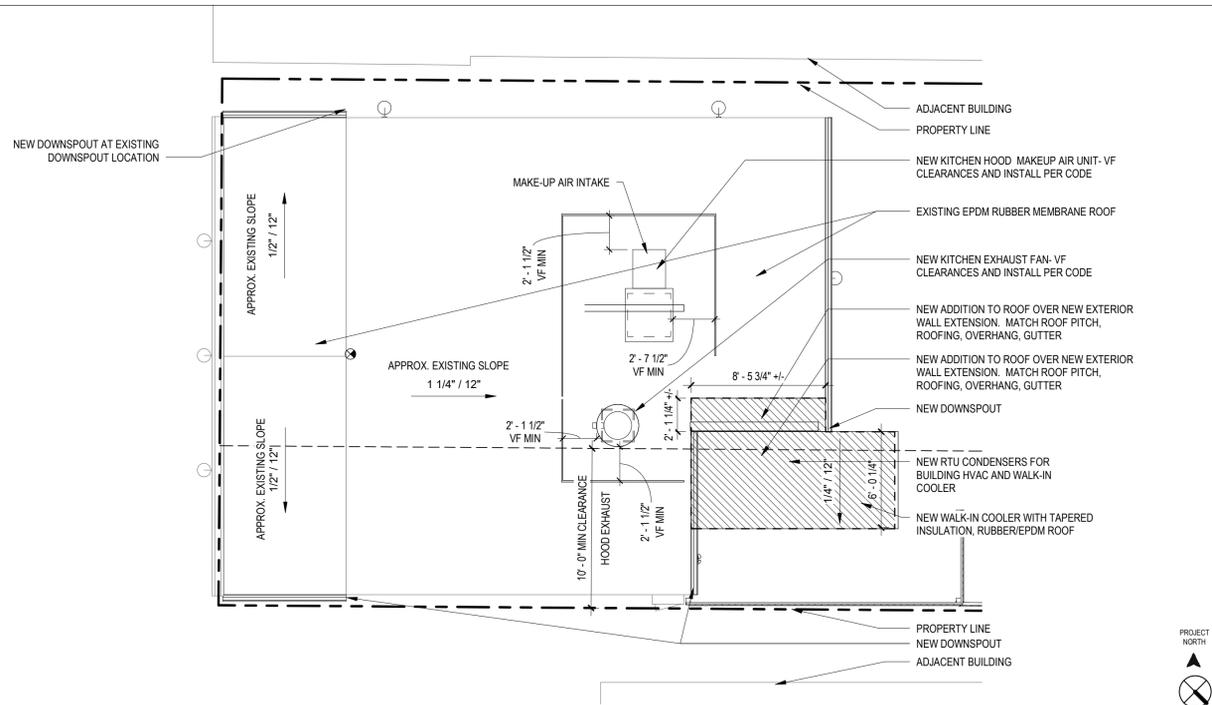
**A101**

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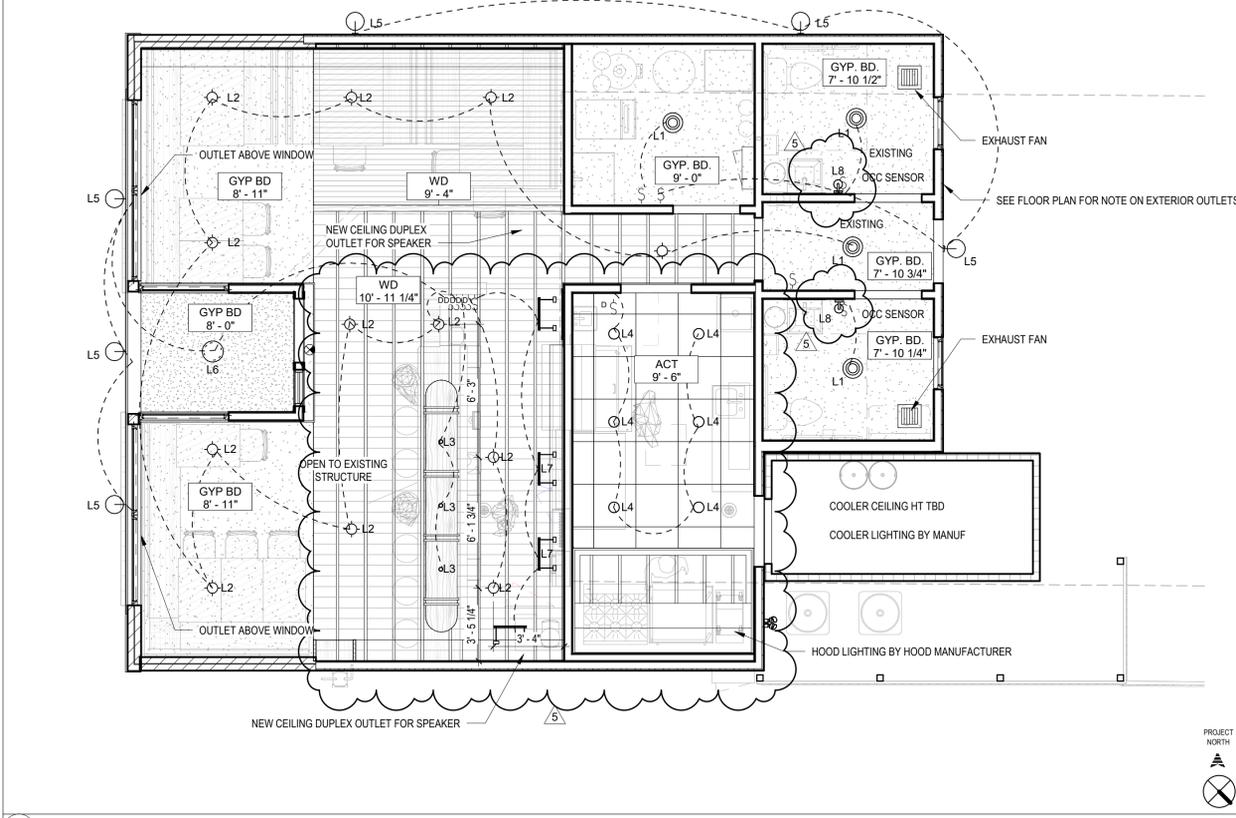
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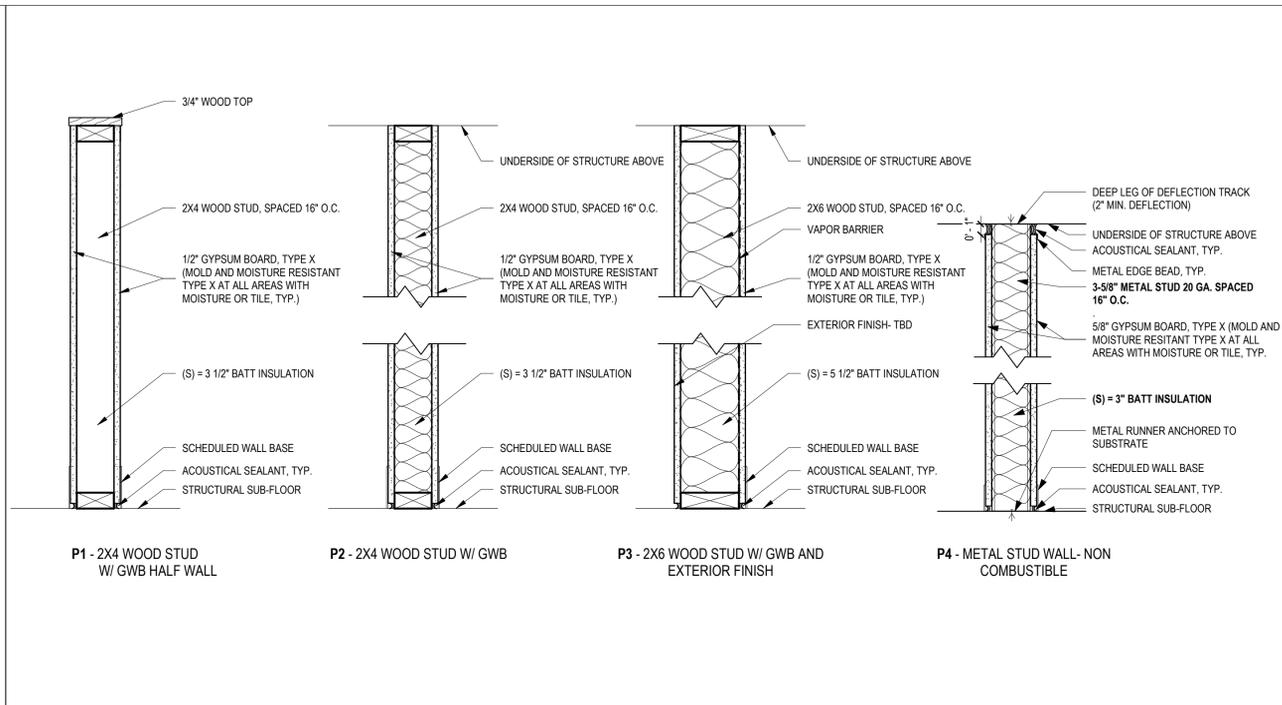


4 ROOF PLAN 3/16" = 1'-0"

LIGHTING FIXTURE SCHEDULE		
TYPE MARK	TYPE	TYPE COMMENTS
L1	DECORATIVE SURFACE LIGHT	
L2	PENDANT LIGHT	
L3	LOW VOLTAGE PLUCK LIGHT	REMOTE TRANSFORMER
L4	6" CAN LIGHT	KITCHEN LIGHTS
L5	EXTERIOR WALL SCENCE	EXTERIOR WALL SCENCE
L6	EXTERIOR SURFACE LIGHT	NEW EXTERIOR ENTRY FIXTURE
L7	CLIP ON PICTURE LIGHT	PLUG-IN CONNECTION ABOVE SHELF
L8	WALL SCENCE	BATHROOM MIRROR SCENCE

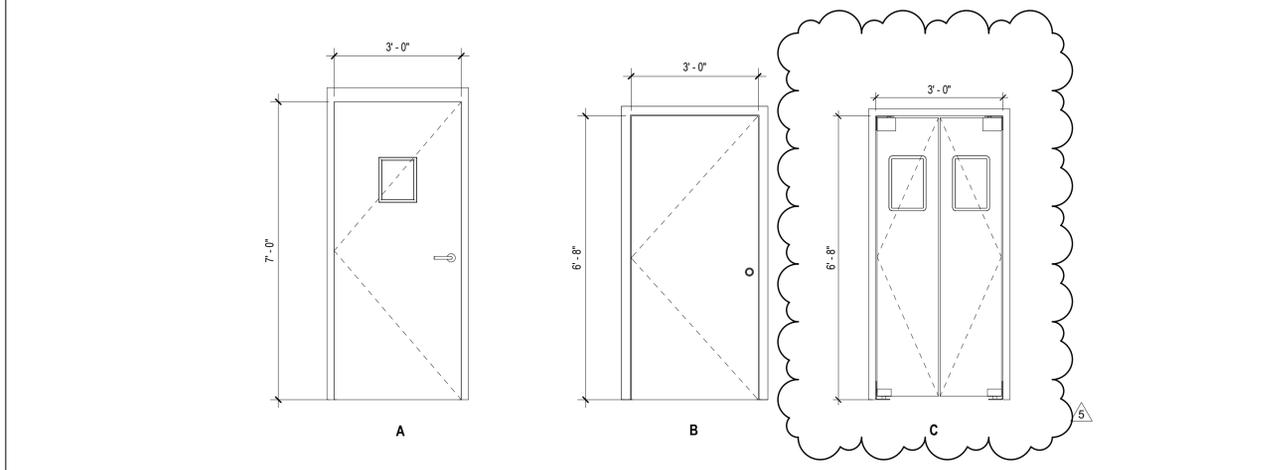


2 FIRST FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



3 PARTITION TYPES 1 1/2" = 1'-0"

DOOR SCHEDULE						DOOR SCHEDULE				DOOR SCHEDULE	
Door Number	Width	Height	Door Type	Matl	Finish	Frame		Hardware		Notes	
						Frame Type	Matl	Head Detail	Lockset		Closer
D100	3'-0"	7'-0"	B							YES	ENTRY DOOR- RECLAIMED DOOR
D102	3'-0"	6'-8"	C	ALUM						YES	VF SELECTION WITH OWNER
D103	2'-10"	6'-8"	A							TBD	COLD ROOM STORAGE DOOR- BY COOLER MANUFACTURER
D105	3'-0"	6'-8"	B							NO	MECHANICAL ROOM DOOR- MATCH EXISTING
D106	3'-0"	6'-8"	B							YES	WOMEN'S RESTROOM



1 DOOR ELEVATIONS 1/2" = 1'-0"



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No.	Description	Date
1	PERMIT SET	05-03-19
5	REVISED PLAN	01/22/21

PROJECT NO: 1810  
DATE: 01/22/21

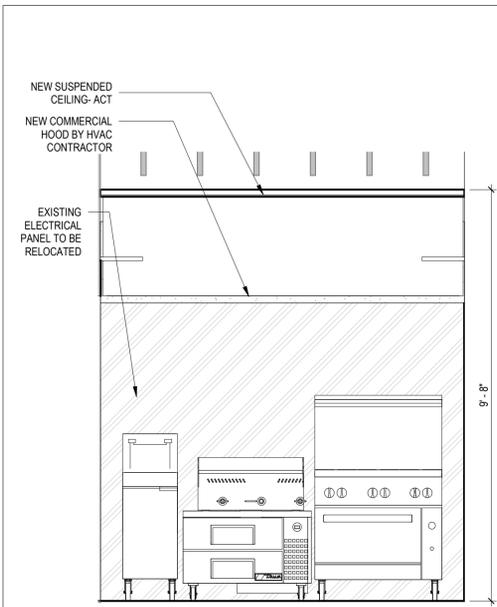
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**ROOF PLAN, RCP,  
PARTITION TYPES**

**A102**

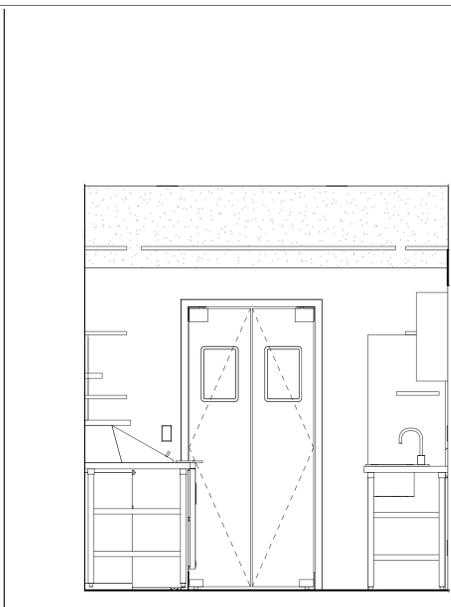
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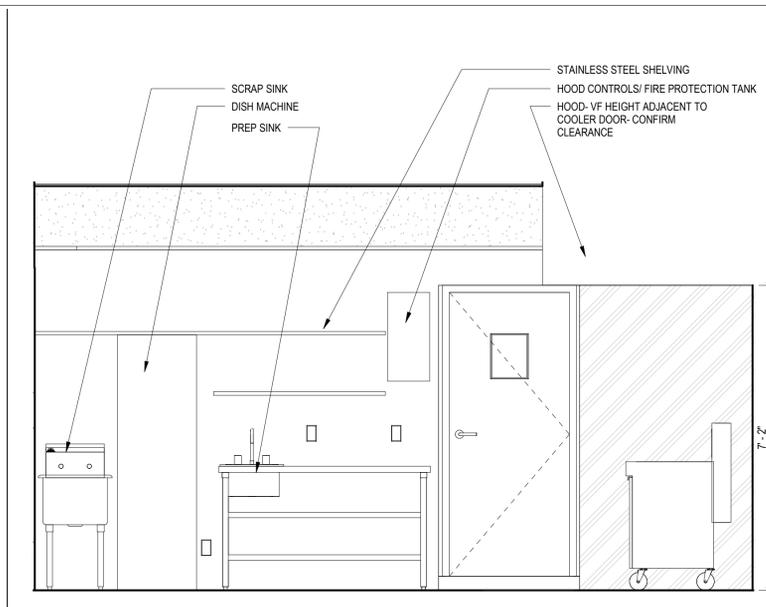
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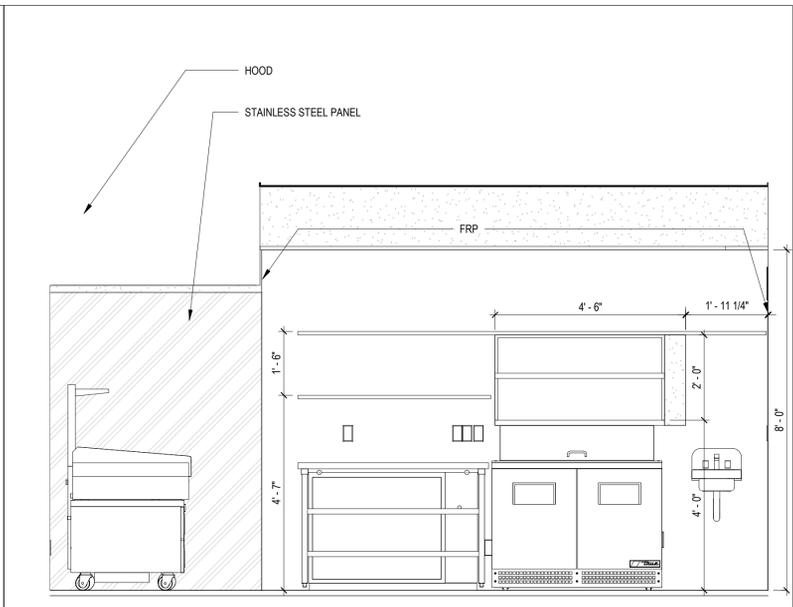
9 KITCHEN ELEV 3 1/2" = 1'-0"



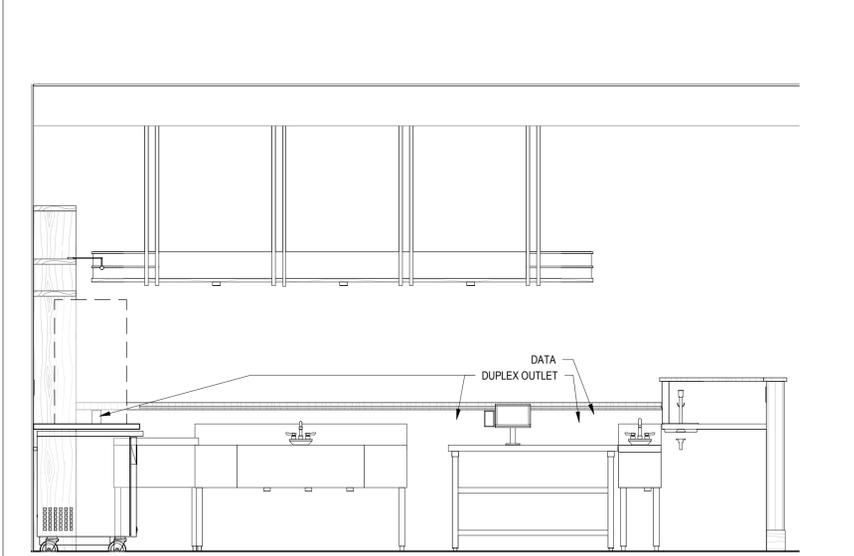
8 KITCHEN ELEV 4 1/2" = 1'-0"



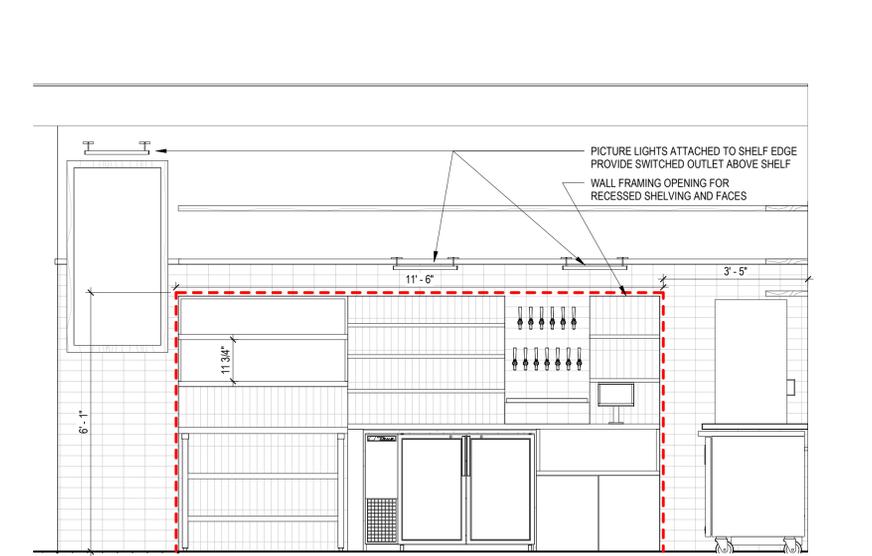
7 KITCHEN ELEV 2 1/2" = 1'-0"



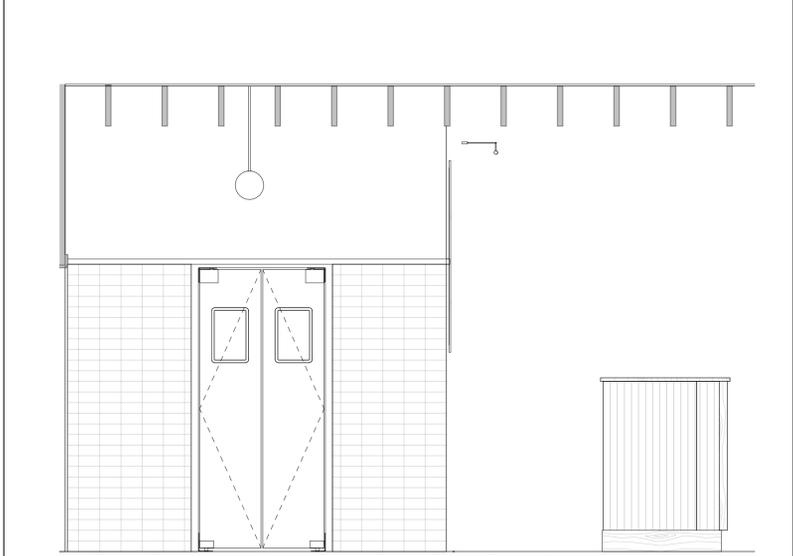
6 KITCHEN ELEV 1 1/2" = 1'-0"



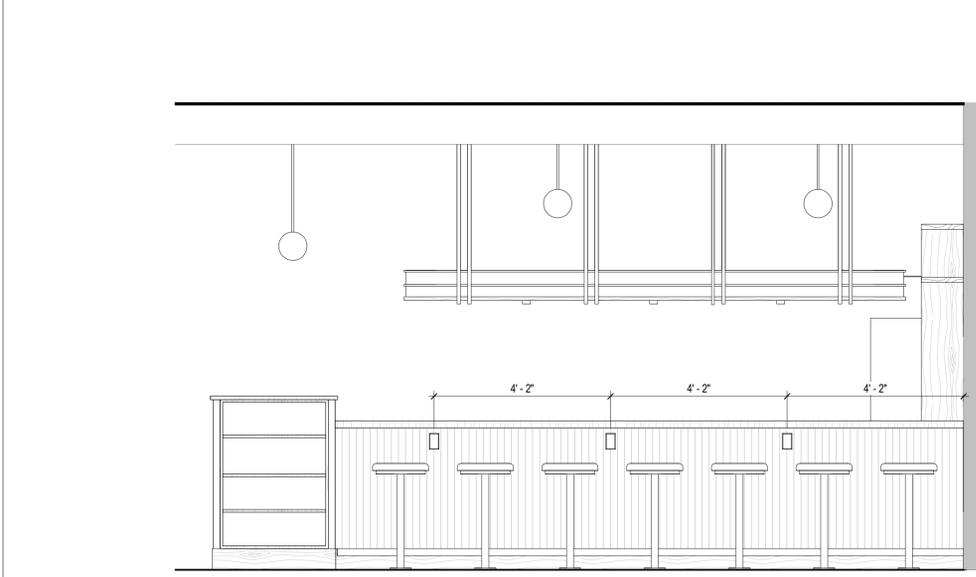
5 BACK BAR ELEV 2 1/2" = 1'-0"



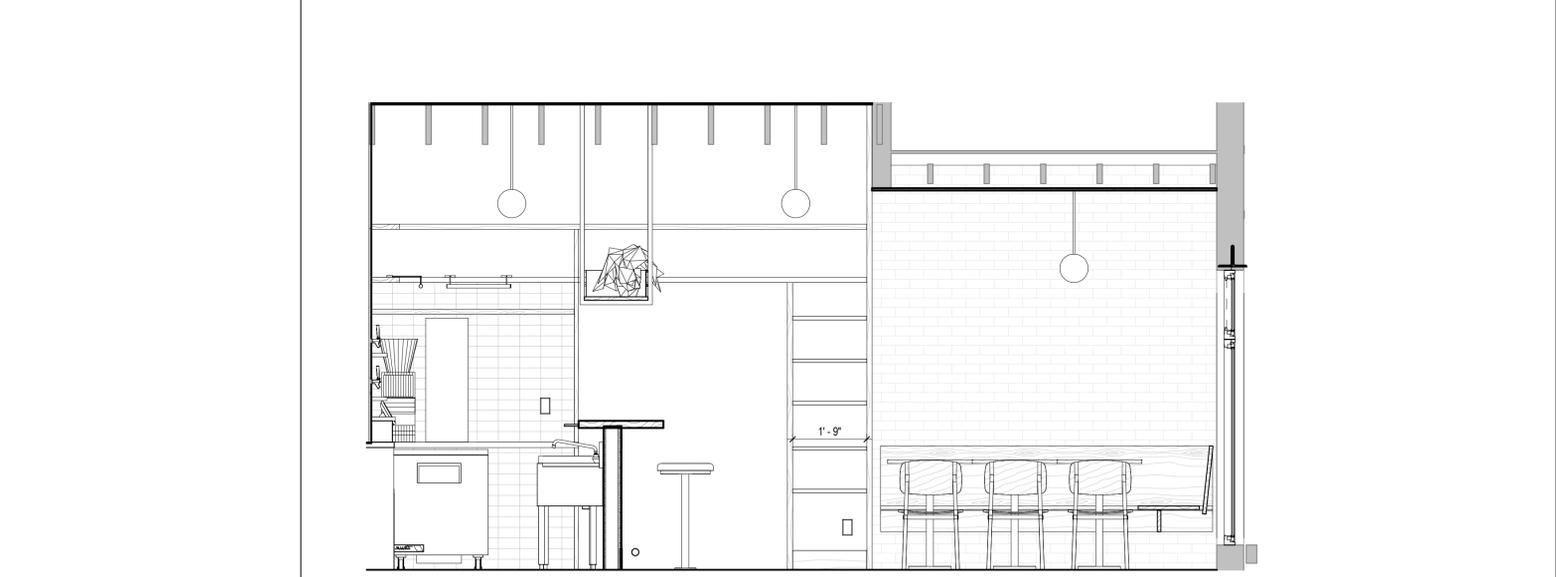
4 BACK BAR ELEV 1 1/2" = 1'-0"



3 CORRIDOR WALL ELEV 1/2" = 1'-0"



2 BAR FRONT 1/2" = 1'-0"



1 FRONT BAR/ SEATING ELEV 1 1/2" = 1'-0"



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No.	Description	Date
1	PERMIT SET	05-03-19
5	REVISED PLAN	01/22/21

PROJECT NO: 1810  
DATE: 01/22/21  
SHEET TITLE

INTERIOR  
ELEVATIONS

A501

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No.	Description	Date
1	PERMIT SET	05-03-19
5	REVISED PLAN	01/22/21

PROJECT NO: 1810  
DATE: 01/22/21

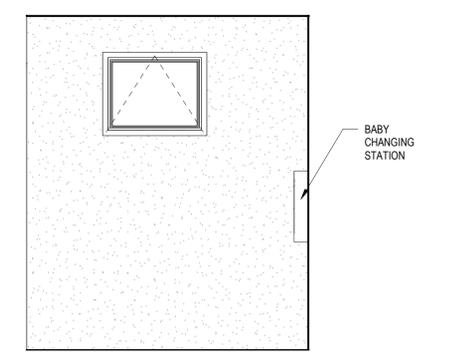
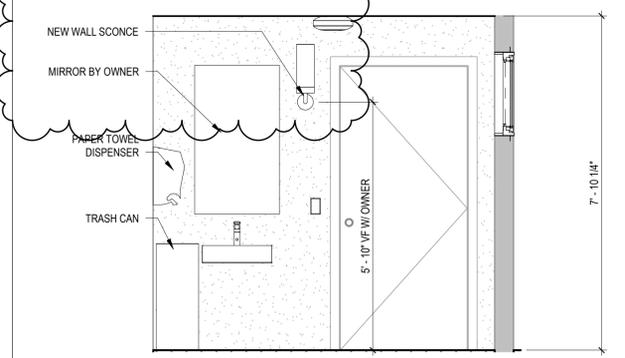
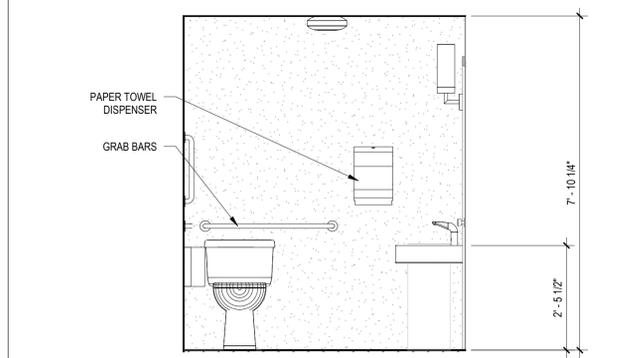
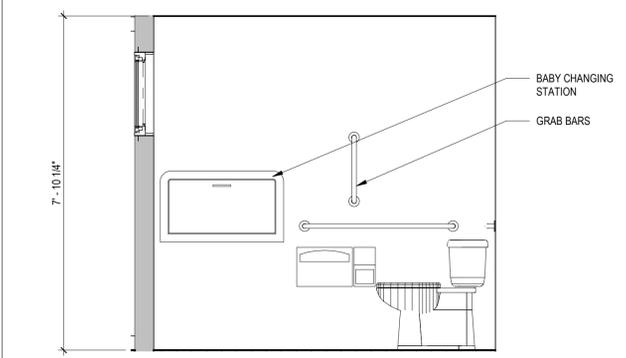
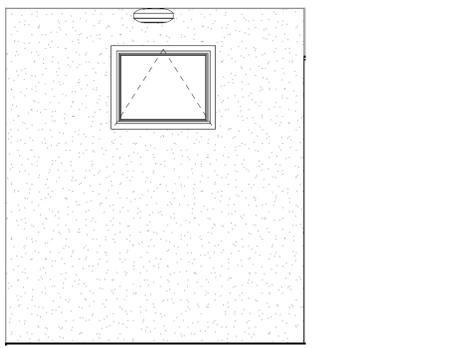
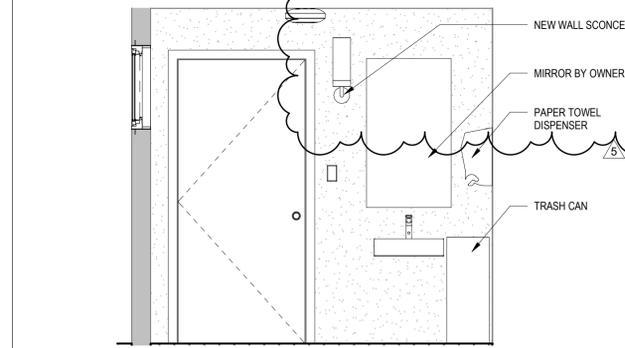
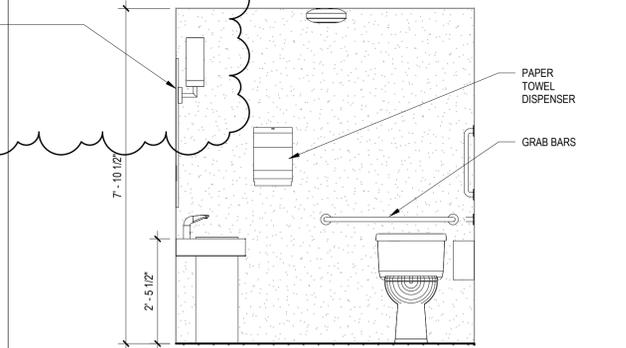
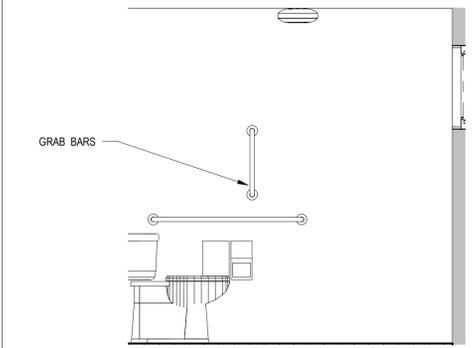
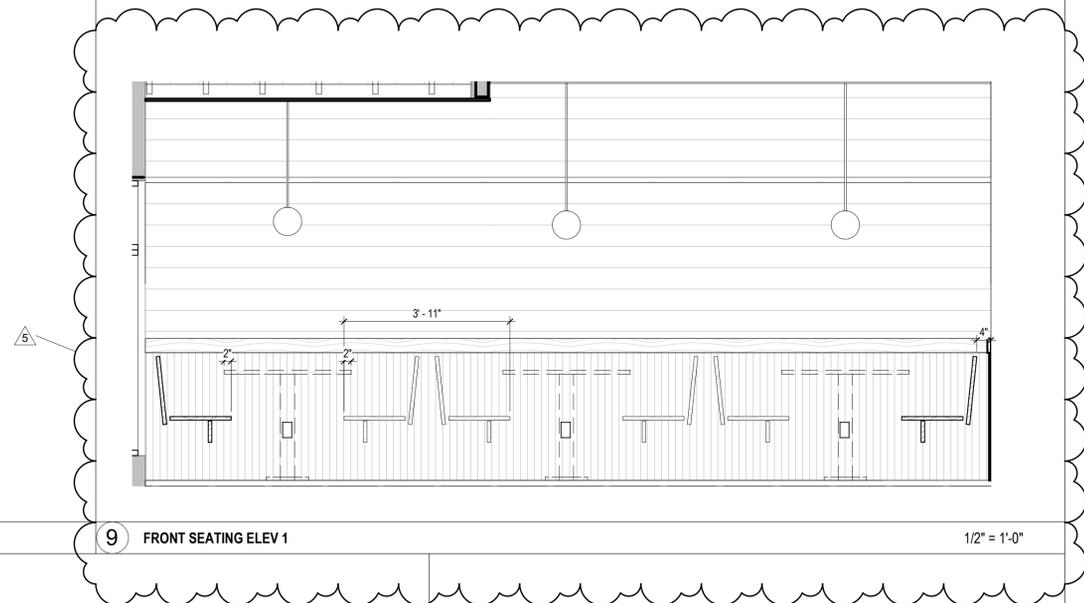
SHEET TITLE

INTERIOR  
ELEVATIONS

**A502**

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Document No.

**MUTUAL ACCESS  
EASEMENT**

This Mutual Access Easement (this "Agreement") is dated as of this \_\_\_\_ day of July, 2019, by and between 824 E. Johnson, LLC, a Wisconsin limited liability company ("824"), and L-H Apartments, LLC, a Wisconsin limited liability company ("L-H").

**RECITALS:**

The parties hereby acknowledge the following:

A. 824 is the owner of certain real property located in the City of Madison, County of Dane, Wisconsin, and as further described on Exhibit A attached hereto (the "824 Parcel").

B. L-H is the owner of certain real property located in the City of Madison, County of Dane, Wisconsin, and as further described on Exhibit B attached hereto (the "L-H Parcel").

C. The parties desire to enter into this Agreement for the purposes of granting an easement for pedestrian egress and ingress benefiting the 824 Parcel and the L-H Parcel, consistent with the terms of this Agreement.

Return to:

Reinhart Boerner Van Deuren, s.c.  
Attn: Joseph Shumow  
22 East Mifflin Street, Suite 600  
Madison, WI 53703

251/0709-132-0928-9

251/0709-132-0927-1

Parcel Identification Numbers

**AGREEMENTS:**

In consideration of the Recitals and mutual agreements which follow, and for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

1. Grant of Access Easement. 824 and L-H hereby grant for the benefit of the 824 Parcel, L-H Parcel, and all present and future agents, employees, licensees and invitees (collectively, the "Users"), a non-exclusive permanent easement over and across a portion of the 824 Parcel and L-H Parcel which is improved by a walkway along the property line between the 824 Parcel and the L-H Parcel (the "Easement Area") for the purposes of pedestrian ingress and egress to and from Johnson Street and their respective parcels.

2. Limits on Use. The Users shall not make any use of the Easement Area which unreasonably interferes with the use or enjoyment of the Easement Area by 824 and L-H or is in any manner inconsistent with the purposes of this Agreement. 824 and L-H agree that the use of the Easement Area is intended for access for employees to the building located on the north end of the 824 Parcel. Neither party shall materially increase the intensity of use of the Easement Area.

3. Maintenance of the Easement Area. 824 shall be responsible for the repair, maintenance and replacement of the Easement Area, including, without limitation, cleaning and sweeping, removal of snow, ice, refuse and debris, striping, repair of pavement and curbing and resurfacing, all of which repair, maintenance and replacement shall be performed in a workmanlike, diligent and efficient manner and in a manner to maintain such easement areas in good condition and in accordance with all applicable laws and governmental rules and regulations, provided, however, that L-H shall be responsible for repairing any damage caused by the negligence of L-H.

4. No Obstruction. Except for emergencies, the Easement Area shall not be materially obstructed by either party. Notwithstanding the foregoing, L-H may use the Easement Area to perform maintenance on the building located on the L-H Parcel.

5. Duration. All of the terms and conditions in this Agreement, including the benefits and burdens, shall run with the land and shall be binding upon, inure to the benefit of, and be enforceable by 824, L-H and their respective successors and assigns.

6. Indemnity. 824 and L-H shall indemnify, defend and hold one another harmless from and against any and all loss, liability, claim, injury, damage and/or expense arising out of the indemnifying party's failure to comply with the provisions of this Agreement and out of the indemnifying party's negligence and willful misconduct.

7. Default. In the event that any party shall default in the performance of any of its obligations under the terms of this Agreement, the non-defaulting party shall forward written notice to the defaulting party outlining such default. The defaulting party shall cure such default within thirty (30) days after the giving of such notice, except that the cure period shall be extended to a reasonable time to cure any default that cannot reasonably be cured within the thirty (30) day period, provided the defaulting party has commenced to cure within the thirty (30) day period and diligently pursues a cure at all times thereafter until the default is cured. If the defaulting party shall fail or refuse to cure such default within the applicable cure period, the non-defaulting party may attempt to cure the default and shall be reimbursed by the defaulting party for all reasonable, actual costs incurred in so doing, and the non-defaulting party can take any action allowed by law or equity to enforce its rights, including, without limitation, obtaining injunctive relief, which the parties recognize is an appropriate remedy since monetary damages may not be sufficient. However, in no case shall any party have the unilateral right to terminate, cancel or otherwise render null and void any portion of this Agreement.

8. Miscellaneous.

(a) Nothing in this Agreement shall be deemed to be a gift or dedication of any portion of the Easement Area or any other portion of the 824 Parcel and the L-H Parcel to the general public or for any public purpose whatsoever.

(b) Non-use or limited use of the easement rights granted in this Agreement shall not prevent the benefiting party from later use of the easement rights to the fullest extent authorized in this Agreement.

(c) No delay or omission by any party in exercising any right or power arising out of any default under any of the terms or conditions of this Agreement shall be construed to be a waiver of the right or power. A waiver by a party of any of the obligations of the other party shall not be construed to be a waiver of any breach of any other terms or conditions of this Agreement.

(d) This Agreement shall be construed and enforced in accordance with the laws of the State of Wisconsin.

(e) This Agreement sets forth the entire understanding of the parties with respect to the easements granted herein and may not be changed except by a written document executed and acknowledged by L-H and 824, or their respective successors and assigns, and duly recorded in the office of the Register of Deeds for Dane County, Wisconsin.

(f) All provisions of this Agreement are deemed severable, and if any one or more provision is deemed unenforceable for any reason, the remaining provisions shall remain in full force and effect.

(g) This Agreement may be executed via facsimile or email and in counterparts, each of which shall be deemed an original and together shall constitute one and the same instrument.

*[Signature Pages Follows]*

IN WITNESS WHEREOF, L-H has caused this Agreement to be executed on the date first written above.

L-H APARTMENTS, LLC

By: Rebecca Paulson  
Name: Rebecca Paulson  
Its: Member Manager

State of Wisconsin )  
: SS  
County of Dane )

This instrument was personally acknowledged before me on  
July 17, 2019 by Rebecca A. Paulson, as  
Member manager of L-H Apartments, LLC.

[Seal]

CORINE A. FRIDAY  
Notary Public  
State of Wisconsin

Corine A. Friday  
( Corine A. Friday )  
Notary Public, State of Wisconsin  
My commission expires 10/15/2021



**EXHIBIT A**

The Southwest One-half (SW ½) of Lot Fourteen, Block One Hundred Forty (140), Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

**EXHIBIT B**

The Northeast ½ of Lot 15, Block 140, Original Plat of Madison, in the City of Madison, Dane County, Wisconsin.