

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>JUNE 19, 2013</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>AUG. 7, 2013</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 698 S. WHITNEY WAY

ALDERMANIC DISTRICT: 19

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
TACO BELL CORP. (STEVE PULCHEN) L+A ARCHITECTS  
1 GLEN BELL WAY, MD #534 2430 ROCHESTER COURT  
IRVINE, CA. 92618 TROY, MI. 48083

CONTACT PERSON: GREG LAUTZENHEISER (L+A ARCHITECTS)  
Address: 2430 ROCHESTER COURT  
TROY, MI. 48083  
Phone: (248) 524-4700  
Fax: (248) 524-9746  
E-mail address: GLAUTZENHEISER@LAARCHITECTSINC.COM

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Ideal for use in car lots, street lighting or parking areas.

**CONSTRUCTION** — Rugged, .063" thick, aluminum rectilinear housing. Formed for weather-tight seal and integrity.

Naturally anodized, extruded, aluminum door frame with mitered corners is retained with (two) .188" diameter hinge pins and secured with (one) quarter-turn, quick-release fastener. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into door frame and another gasket applied to the housing.

**FINISH** — Standard finish is dark bronze (DDB) polyester powder finish with other architectural colors available.

**OPTICAL SYSTEM** — Reflectors: anodized and segmented for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff), Type IV (wide, forward throw) and Type V (square symmetrical).

Lens: 0.125" thick, impact-resistant, tempered, glass with thermally applied, silk screened shield.

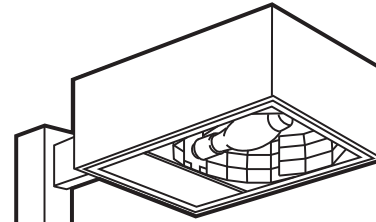
**ELECTRICAL SYSTEM** — Ballast: Constant-wattage autotransformer for 250-400W. Super CWA pulse-start ballast required for 320W and 350W (SCWA option). Ballast is copper wound and 100% factor-tested.

Socket: Porcelain, position-oriented, horizontally mounted, mogul-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W- 600V.

**INSTALLATION** — Extruded aluminum arm for pole or wall mounting is shipped in fixture carton. Optional mountings available.

**LISTING** — UL Listed (standard). CSA Certified (see Options). NOM Certified (see Options). UL Listed for 25°C ambient temperatures and wet locations. IP65 rated.

Catalog Number	
Notes	Type



Area Lighting

# KSF2

**METAL HALIDE**  
250W - 400W  
**HIGH PRESSURE SODIUM**  
200W - 400W  
15' to 25' Mounting

### Specifications

\*Weight: 52 lbs (23.6kg)

EPA: 2.0 ft.<sup>2</sup> (.28m<sup>2</sup>)  
(includes arm)

Length: 24-19/32 (62.5)

Width: 17-25/32 (45.2)

Depth: 8-5/16 (21.1)

Arm: 4 (10.2)

\*Weight as configured in example below.

All dimensions are inches (centimeters) unless otherwise specified. Specifications subject to change without notice.

	Mounting Option	Drilling Template
	SPxx,RPxx,DA12P	5
	WBxx,DA12WB	6
	WWxx	7

## ORDERING INFORMATION

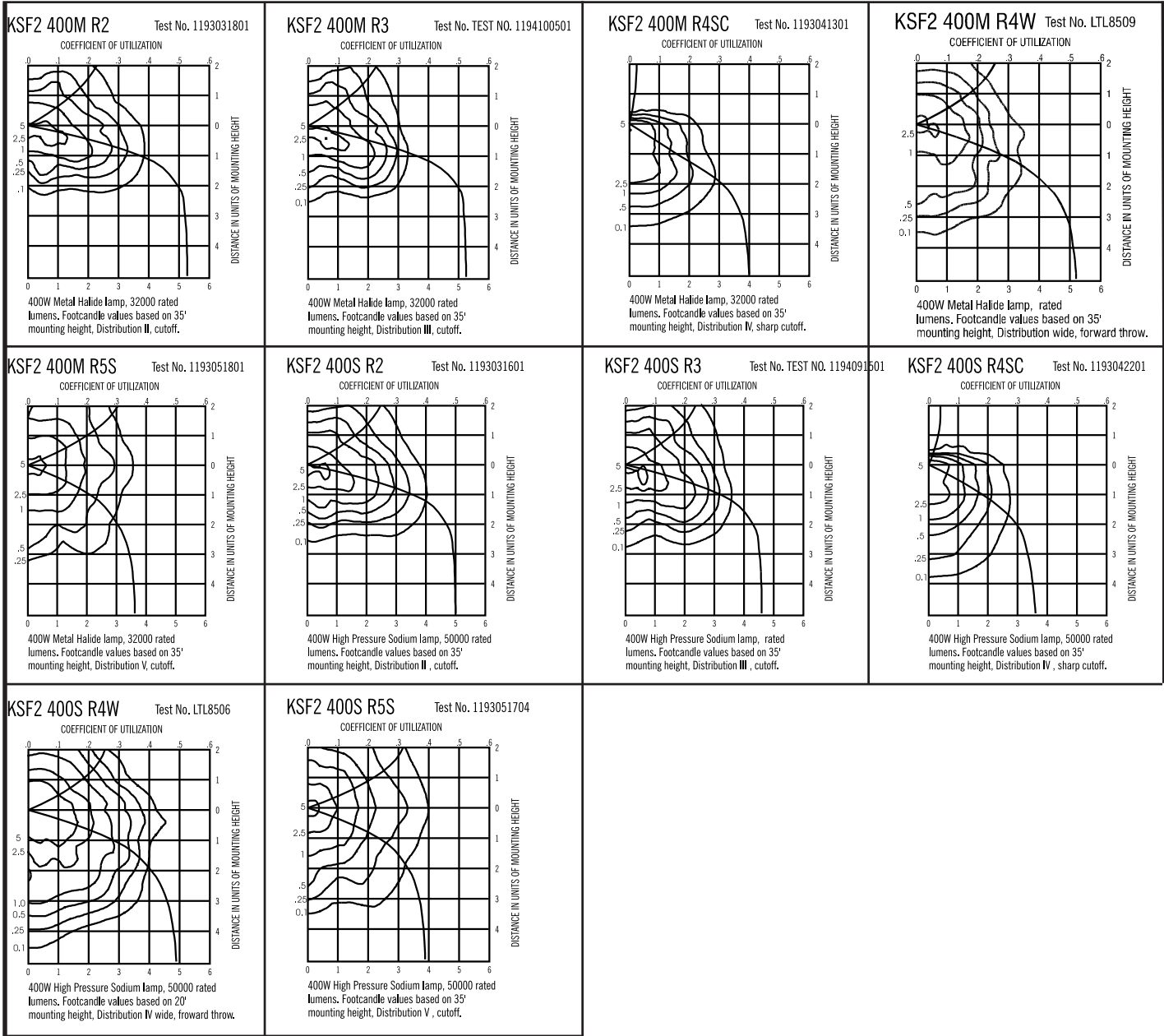
For shortest lead times, configure product using **standard options (shown in bold)**.

Example: KSF2 400M R3 TB SP04 LPI

Series	Voltage	Mounting	Ballast	Options	Lamp <sup>16</sup>
<b>KSF2</b>	120	Pole type	(blank) <b>Magnetic ballast</b>	Shipped installed in fixture	<b>LPI Lamp included (standard)</b>
Wattage	208 <sup>4</sup>	<b>SP</b> <b>Square pole</b>	CWI Constant wattage isolated	SF Single fuse 120, 277, 347V <sup>10</sup>	<b>L/LP Less lamp</b>
Metal halide	240 <sup>4</sup>	RP <b>Round pole</b>	<b>Pulse Start</b>	DF Double fuse 208, 240, 480V <sup>10</sup>	
<b>250M</b>	277	WB <b>Wall bracket</b>	<b>SCWA Super CWA pulse start ballast</b>	EC Emergency circuit <sup>11</sup>	
320M <sup>1,2</sup>	347	WW <b>Wood pole or wall bracket</b>		PER NEMA twist-lock receptacle only (no photocontrol)	
350M <sup>1,2</sup>	480 <sup>4</sup>	DA12P Degree arm (pole) <sup>9</sup>		QRS Quartz restrrike system <sup>11</sup>	
<b>400M<sup>1</sup></b>	<b>TB<sup>5</sup></b>	DA12WB Degree arm (wall) <sup>9</sup>		QRSTD QRS time delay <sup>7,11</sup>	
High pressure sodium <sup>3</sup>	TBV <sup>6</sup>	KMA Mast arm external fitter <sup>9</sup>		CSA CSA Certified	(blank) <b>Dark bronze</b>
200S	23050HZ <sup>7</sup>	KTMB Twin mounting bar <sup>9</sup>		NOM NOM Certified	<b>DWH White</b>
Distribution				HS Houseside shield <sup>12</sup>	<b>DBL Black</b>
R2 IES type II roadway				Shipped separately <sup>13</sup>	<b>DMB Medium bronze</b>
R3 IES type III asymmetric				PE1 NEMA twist-lock PE (120, 208, 240V)	<b>DNA Natural aluminum</b>
<b>R4SC IES type IV forward throw, sharp cutoff</b>				PE3 NEMA twist-lock PE (347V)	CR Corrosion-resistant
R4W IES type IV wide, forward throw				PE4 NEMA twist-lock PE (480V)	CRT Non-stick protective coating <sup>15</sup>
R5S IES type V square				PE7 NEMA twist-lock PE (277V)	
NOTES:				SC Shorting cap for PER option	
1 Use reduced jacketed lamp.				VG Vandal guard	
2 Must be ordered with SCWA.				<b>Accessories: Tenon Mounting Slipfitter</b>	
3 Not available with SCWA.				Order as separate catalog number.	
4 Must specify CWI for use in Canada.				Number of fixtures	
5 Optional multi-tap ballast (120, 208, 240, 277V). (120, 277, 347V in Canada).				Tenon O.D. One Two@180° Two@90° Three@120° Three@90° Four@90°	
6 Optional five-tap ballast (120, 208, 240, 277, 480V). Not available with CSA.				2-3/8" T20-190 T20-280 T20-290 <sup>17</sup> T20-320 T20-390 <sup>17</sup> T20-490 <sup>17</sup>	
7 Consult factory for available wattages.				2-7/8" T25-190 T25-280 T25-290 <sup>17</sup> T25-320 T25-390 <sup>17</sup> T25-490 <sup>17</sup>	
8 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.				4" T35-190 T35-280 T35-290 <sup>17</sup> T35-320 T35-390 <sup>17</sup> T35-490 <sup>17</sup>	
				KSF2HS House side shield <sup>12</sup>	
				KSF2VG Vandal guard	

# KSF2 Arm-Mounted Rectilinear Cutoff Lighting

Coefficient of Utilization \_\_\_\_\_  
Initial Footcandles \_\_\_\_\_



**NOTES:**

- For electrical characteristics, consult technical data tab.
- Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory and actual field measurements. Dimensions and specifications are based on the most current available data and are subject to change.
- Photometric data for other distributions can be accessed from [www.lithonia.com](http://www.lithonia.com).

**Mounting Height Correction Factor**

(Multiply the fc level by the correction factor)

15 ft.= 5.4

30 ft.= 1.36

40 ft.= .77

$$\left( \frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction factor}$$

Catalog Number	
Notes	Type

## FEATURES & SPECIFICATIONS

**CONSTRUCTION** — Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), 50,000 psi (7-gauge). Uniform wall thickness of .125" or .188". Shafts are one-piece with a full-length longitudinal, high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

Anchor base is fabricated from hot-rolled carbon steel plate conforming to ASTM A36, that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base is provided with slotted holes. Base cover is finished to match pole. A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screws.

Top cap provided with all drill-mount poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

**FINISH** — Dark bronze (DDB) polyester powder standard. Other architectural colors available. See [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors).

**GROUNDING** — Provision located immediately inside handhole rim. Grounding hardware is not included (provided by others).

**ANCHOR BOLTS** — Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.



Anchor Base Poles

# SSS

SQUARE STRAIGHT STEEL

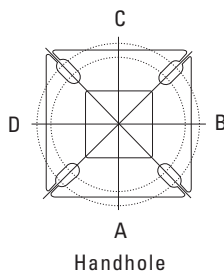
## ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSS 20 5C DM19 DDB

SSS						
Shaft type	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting <sup>1</sup>	Options	Finish <sup>7</sup>	
SSS	10 – 39 feet (see back page.)	(See back page.)	Tenon mounting	Shipped installed	Standard colors	

## HANDHOLE ORIENTATION



### NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option.  
For 1st "x": Specify the height in feet above base of pole.  
*Example: 5ft = 5 and 20ft = 20*  
For 2nd "x": Specify orientation from handhole (A,B,C,D)  
*Refer to the Handhole Orientation diagram on this page.*
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount requires extra handhole.
- Additional colors available; see [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) or Architectural Colors brochure (Form No. 794.3). Powder finish standard.

PT	Open top
T20	2-3/8" O.D. (2" NPS)
T25	2-7/8" O.D. (2-1/2" NPS)
T30	3-1/2" O.D. (3" NPS)
T35	4" O.D. (3-1/2" NPS)

Drill mounting <sup>2</sup>	
DM19	1 at 90°
DM28	2 at 180°
DM28PL	2 at 180° with one side plugged
DM29	2 at 90°
DM39	3 at 90°
DM49	4 at 90°

AERIS/OMERO Drill mounting <sup>2</sup>	
DM19AS	1 at 90°
DM28AS	2 at 180°
DM29AS	2 at 90°
DM39AS	3 at 90°
DM49AS	4 at 90°

AERIS Suspend Drill mounting <sup>2,3</sup>	
DM19AST_	1 at 90°
DM28AST_	2 at 180°
DM29AST_	2 at 90°
DM39AST_	3 at 90°
DM49AST_	4 at 90°

OMERO Suspend Drill mounting <sup>2,3</sup>	
DM19MRT_	1 at 90°
DM28MRT_	2 at 180°
DM29MRT_	2 at 90°
DM39MRT_	3 at 90°
DM49MRT_	4 at 90°

L/AB	Less anchor bolts
VD	Vibration damper
TP	Tamper proof
Hxx	Horizontal arm bracket (1 fixture) <sup>4,5</sup>
FDLxx	Festoon outlet less electrical <sup>4</sup>
FGLxx	Festoon GFI outlet less electrical <sup>4</sup>
CPL12xx	1/2" coupling <sup>4</sup>
CPL34xx	3/4" coupling <sup>4</sup>
CPL1xx	1" coupling <sup>4</sup>
NPL12xx	1/2" threaded nipple <sup>4</sup>
NPL34xx	3/4" threaded nipple <sup>4</sup>
NPL1xx	1" threaded nipple <sup>4</sup>
HHxx	Extra handhole <sup>4,6</sup>

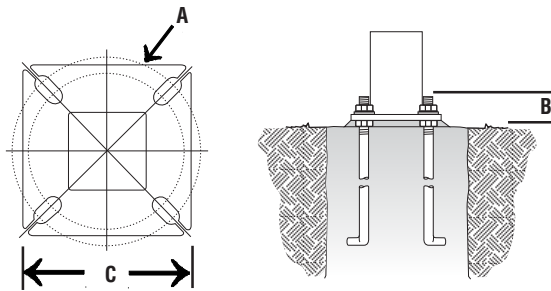
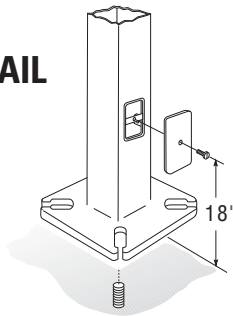
DDB	Dark bronze
DWH	White
DBL	Black
DMB	Medium bronze
DNA	Natural aluminum
GALV	Galvanized finish
Classic colors	
DSS	Sandstone
DGC	Charcoal gray
DTG	Tennis green
DBR	Bright red
DSB	Steel blue
Architectural colors (powder finish) <sup>7</sup>	

# SSS Square Straight Steel Poles

## TECHNICAL INFORMATION

Catalog Number	Nominal shaft length (feet)	Pole Shaft Size (in x ft)	Wall Thickness (inches)	Gauge	EPA (ft <sup>2</sup> ) with 1.3 gust						Bolt Circle (inches)	Bolt Size (in. x in. x in.)	Approximate ship weight (pounds)
					80 mph	Max. weight	90 mph	Max. weight	100 mph	Max. weight			
SSS 10 4C	10	4.0 x 10.0	0.125	11	30.6	765	23.8	595	18.9	473	8--9	3/4 x 18 x 3	75
SSS 12 4C	12	4.0 x 12.0	0.125	11	24.4	610	18.8	470	14.8	370	8--9	3/4 x 18 x 3	90
SSS 14 4C	14	4.0 x 14.0	0.125	11	19.9	498	15.1	378	11.7	293	8--9	3/4 x 18 x 3	100
SSS 16 4C	16	4.0 x 16.0	0.125	11	15.9	398	11.8	295	8.9	223	8--9	3/4 x 18 x 3	115
SSS 18 4C	18	4.0 x 18.0	0.125	11	12.6	315	9.2	230	6.7	168	8--9	3/4 x 18 x 3	125
SSS 20 4C	20	4.0 x 20.0	0.125	11	9.6	240	6.7	167	4.5	150	8--9	3/4 x 18 x 3	140
SSS 20 4G	20	4.0 x 20.0	0.188	7	16.5	415	12.25	310	9.3	240	8--9	3/4 x 30 x 3	198
SSS 20 5C	20	5.0 x 20.0	0.125	11	17.7	443	12.7	343	9.4	235	10--12	1 x 36 x 4	185
SSS 20 5G	20	5.0 x 20.0	0.188	7	28.1	703	21.4	535	16.2	405	10--12	1 x 36 x 4	265
SSS 25 4C	25	4.0 x 25.0	0.125	11	4.8	150	2.6	100	1.0	50	8--9	3/4 x 18 x 3	170
SSS 25 4G	25	4.0 x 25.0	0.188	7	10.8	270	7.7	188	5.4	135	8--9	3/4 x 30 x 3	245
SSS 25 5C	25	5.0 x 25.0	0.125	11	9.8	245	6.3	157	3.7	150	10--12	1 x 36 x 4	225
SSS 25 5G	25	5.0 x 25.0	0.188	7	18.5	463	13.3	333	9.5	238	10--12	1 x 36 x 4	360
SSS 30 4G	30	4.0 x 30.0	0.188	7	6.4	160	4.0	100	2.3	58	8--9	3/4 x 30 x 3	295
SSS 30 5C	30	5.0 x 30.0	0.125	11	4.7	150	2.0	50	--	--	10--12	1 x 36 x 4	265
SSS 30 5G	30	5.0 x 30.0	0.188	7	10.7	267	6.7	167	3.9	100	10--12	1 x 36 x 4	380
SSS 30 6G	30	6.0 x 30.0	0.188	7	19.0	475	13.2	330	9.0	225	11--13	1 x 36 x 4	520
SSS 35 5G	35	5.0 x 35.0	0.188	7	5.9	150	2.5	100	--	--	10--12	1 x 36 x 4	440
SSS 35 6G	35	6.0 x 35.0	0.188	7	12.4	310	7.6	190	4.2	105	11--13	1 x 36 x 4	540
SSS 39 6G	39	6.0 x 39.0	0.188	7	7.2	180	3.0	75	--	--	11--13	1 x 36 x 4	605

### BASE DETAIL



Shaft base size	Bolt circle A	Bolt projection B	Base square	Pole Data		
				Template description	Anchor bolt description	Anchor bolt and template number
4"C	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE PJ50004	AB18-0	ABSSS-4C
4"G	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE PJ50004	AB30-0	ABSSS-4G
5"	10"-12"	3-3/8"-4"	11"	ABTEMPLATE PJ50010	AB36-0	ABSSS-5
6"	11"-13"	3-3/8"-4"	12-1/2"	ABTEMPLATE PJ50011	AB36-0	N/A

#### IMPORTANT INSTALLATION NOTES:

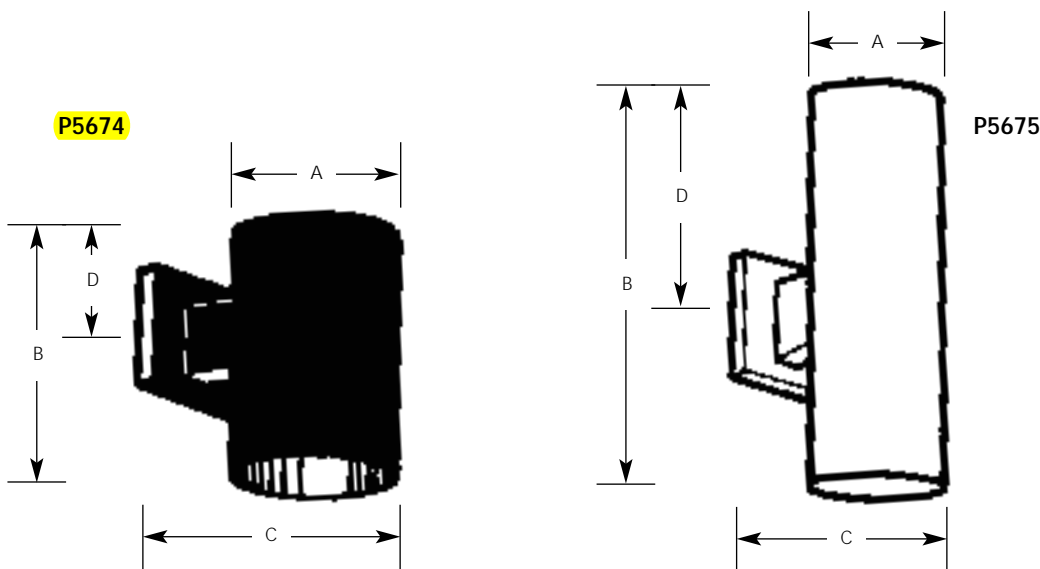
- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

#### IMPORTANT:

- These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

	Type			
	-20	-30	-31	-82
P5674	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
P5675	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Catalog No.	Finish				Lamping	Dimensions (Inches)			
	Bronze	White	Black	Gray		A	B	C	D
P5674	-20	-30	-31	-82	1-75w PAR30, 65w BR30	5	7-1/4	8	2-1/2
P5675	-20	-30	-31	-82	2-75w PAR30	5	14	8	7



**Specifications:**

General

- Extruded aluminum .125 wall thickness one piece cylinder
- Cast aluminum wall bracket
- P5674 - Down lighting
- P5675 - Up/Down lighting. P8799-31 top cover lens recommended when unit is used outdoors
- Interior finish matches exterior finish

Mounting

- Covers any outlet box
- Cast mounting bracket is 4-1/2" square
- Outlet box mounting bracket supplied permitting attachment of unit to wall with one almost invisible set screw

Electrical

- Medium base porcelain socket with nickel plated brass screw shell

Options

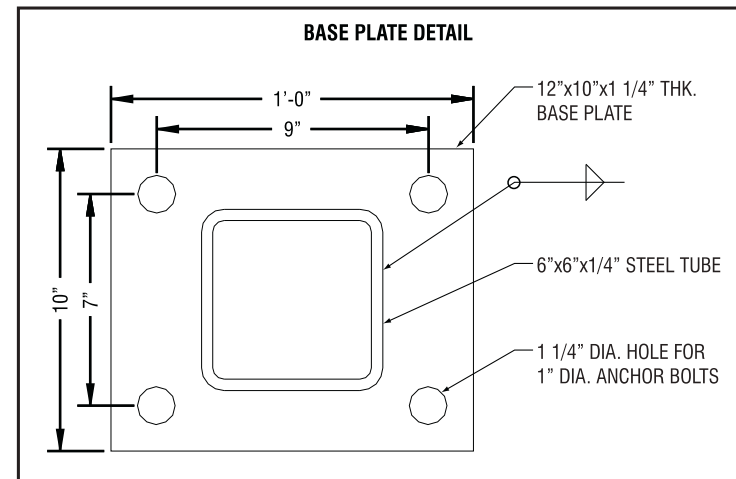
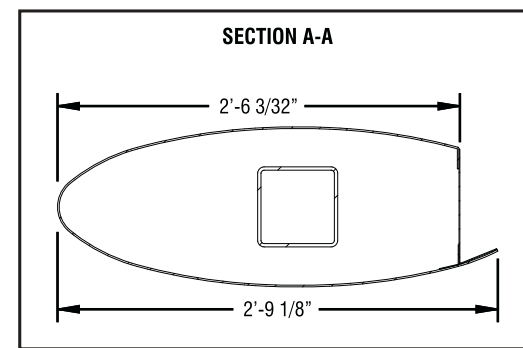
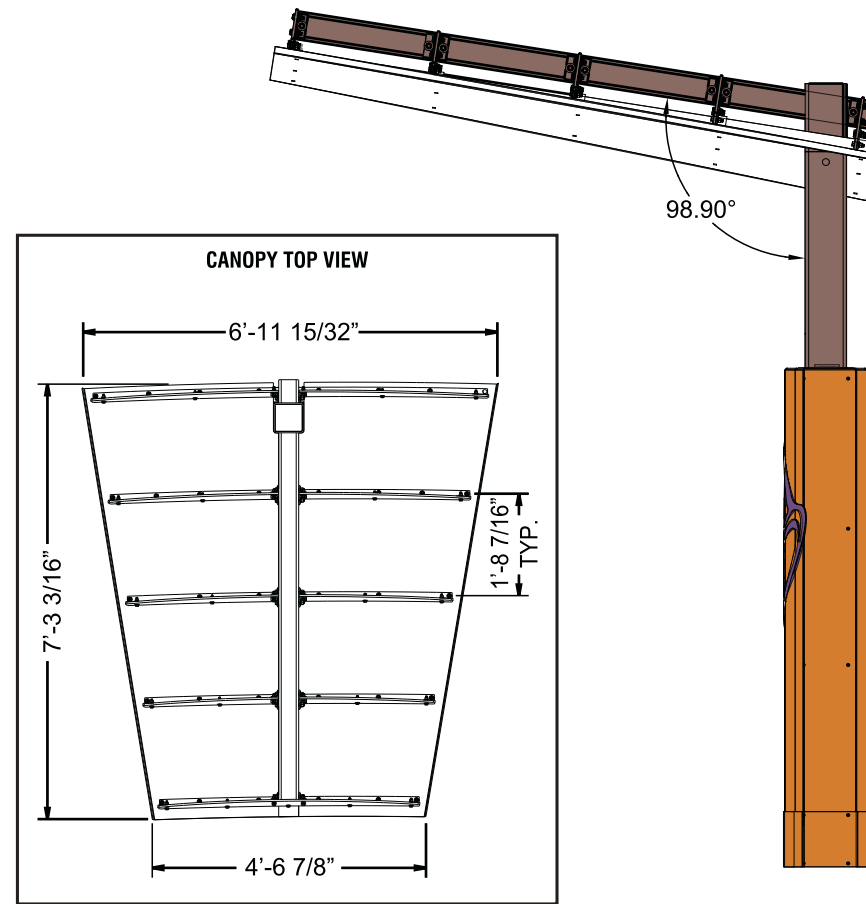
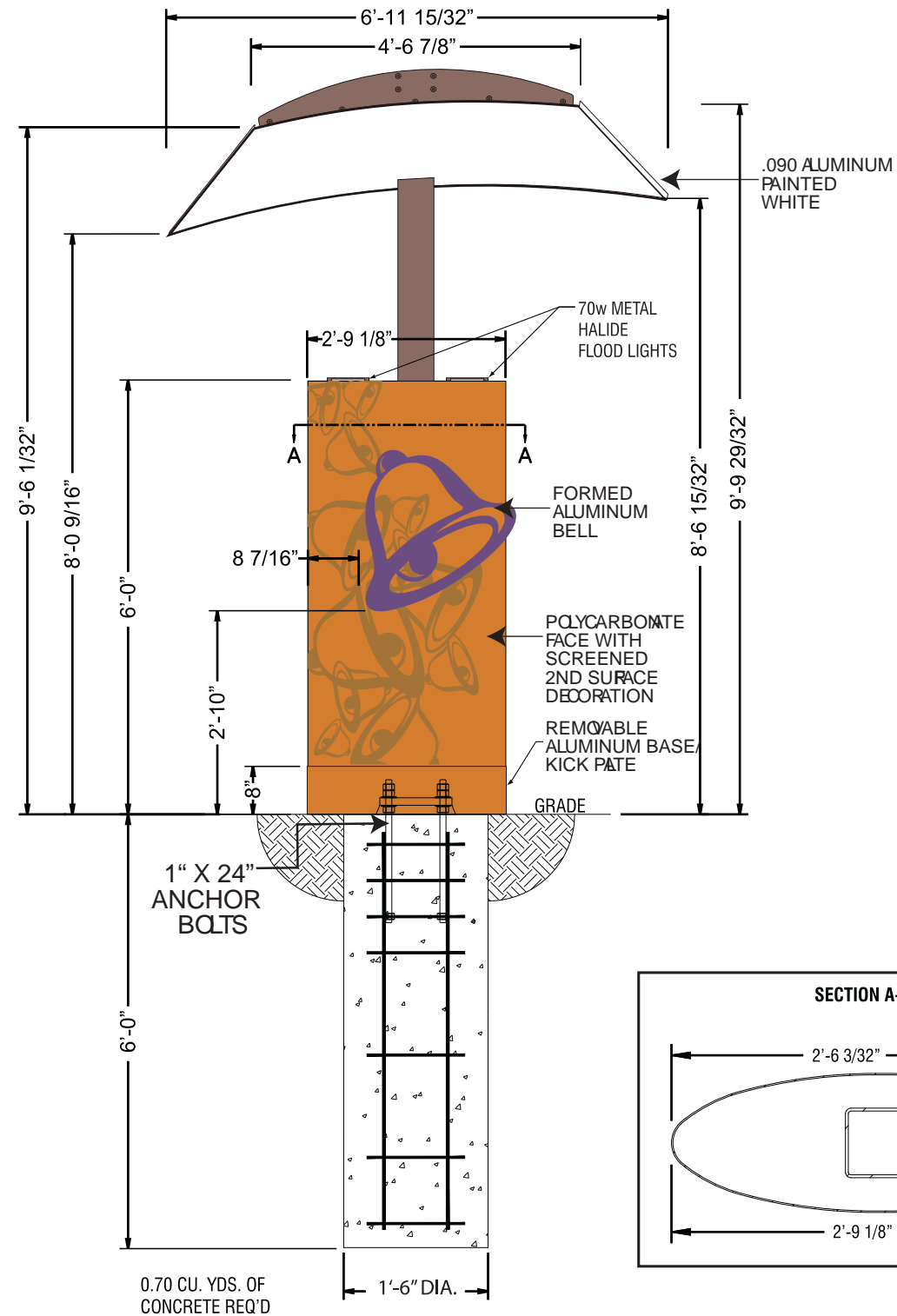
- Bronze finish - specify "20" suffix
- White finish - specify "30" suffix
- Black finish - specify "31" suffix
- Metallic Gray finish - specify "82" suffix

Accessories

- P8799-31 Top lens cover for P5675 fixture

Labeling

- UL-CUL wet location listed - P5674 and P5675 with top cover
- P5675 UL-CUL listed for indoor use with no cover



**SIGN SPECIFICATIONS**

**Materials**

- Polycarbonate face with screened decorations - 2nd surface.
- Aluminum canopy with steel ribs.
- Formed aluminum bell.
- Removable shroud.

**ELECTRICAL SPECIFICATIONS**

- (2) 70 watt metal halide lamps.
- Other electrical specs. T.B.D.

**COLOR SPECIFICATIONS**

- Polycarbonate Cladding:
  - Screen second surface: Amber Wave SW6657
  - Bell Graphics: Screen second surface
  - Light Bell: PMS 131U
  - Dark Bell: PMS 139U
- Canopy posts and framing members:
  - TB Bronze Tiger Drylac 49-66230 C33
- Metal Bell: Paint to Match PMS 2685
- Canopy: White SW2123 eggshell finish

**PART #823-TB-ORDCPY-VE-KIT**  
**PART #823-TB-ORDPOINT-V10**

D-ORDER# 059802

**CUSTOMER APPROVAL:**

**DATE:** \*

REV#	DATE	BY
REV#1	5/3/10	TdP
REV#2	5/10/10	TdP
REV#3	5/23/10	TdP

REV#	DATE	BY
REV#4		
REV#5		
REV#6		

REV#	DATE	BY
REV#7		
REV#8		
REV#9		

**PROJECT:** TACO BELL  
**ADDRESS:** 8045 WATT AVE., ANTELOPE, CA 95843  
**PHONE:** \* **ACCT. MGR.** PATIENCE CASEY  
**DESIGNER:** PICKEL **SCALE:** AS NOTED **DATE:** 4/20/10

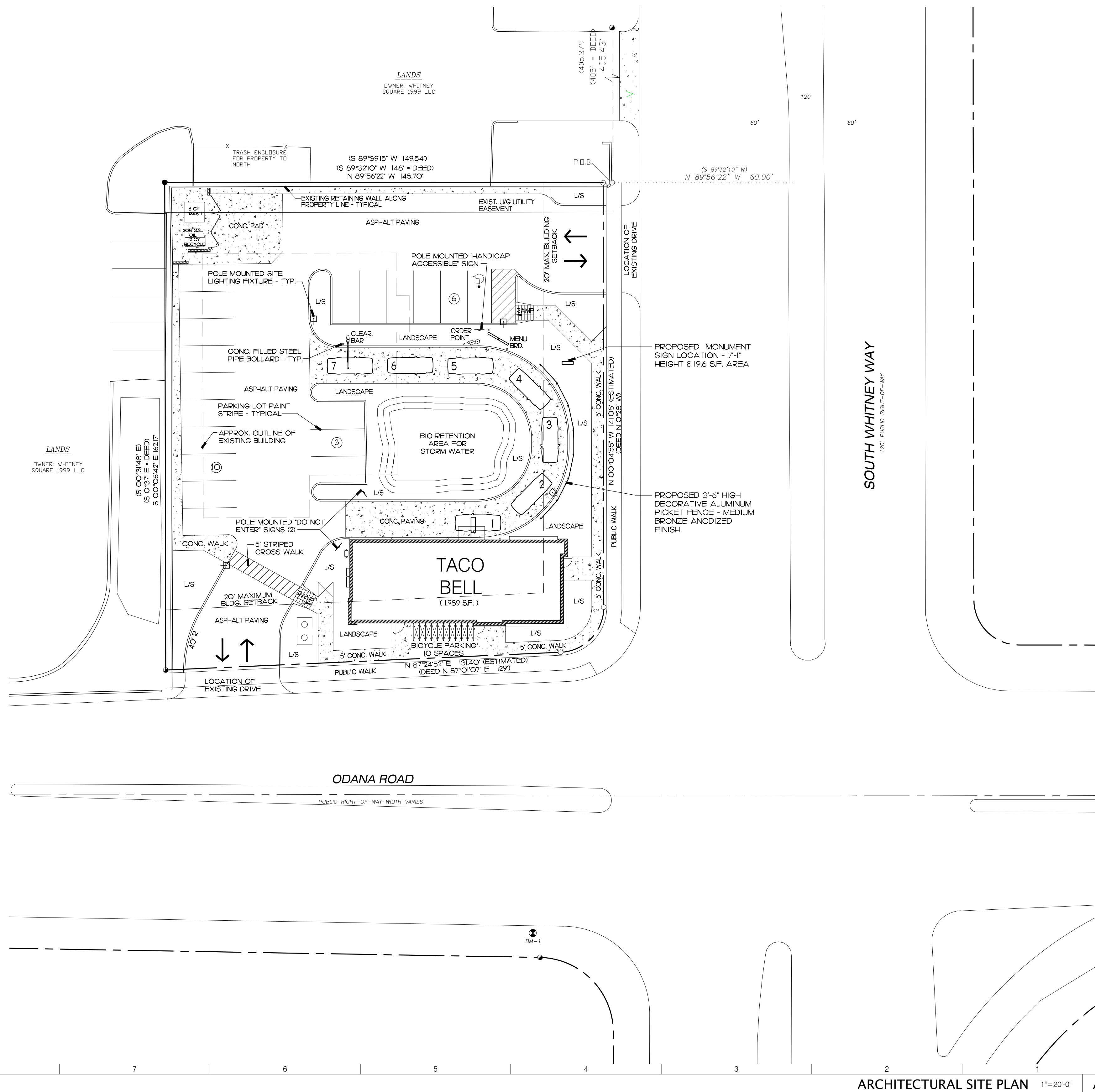
**DRAWING NO.**

10-125 R 3

**SHEET 9 OF 11**



VICINITY  
MAP  
NOT TO SCALE



ARCHITECTURAL SITE PLAN 1"=20'-0" A



**L + A**  
**ARCHITECTS**  
**INC. A.I.A.**

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48068  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T1202C

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER C
6-19-2013	UDC and PG SUBMIT

CONTRACT DATE:  
BUILDING TYPE: MED-NI-  
PLAN VERSION: DEC 12  
SITE NUMBER: 3094  
STORE NUMBER:

TACO BELL  
698 S. Whitney Way  
Madison, WI



ARCHITECTURA  
SITE  
PLAN

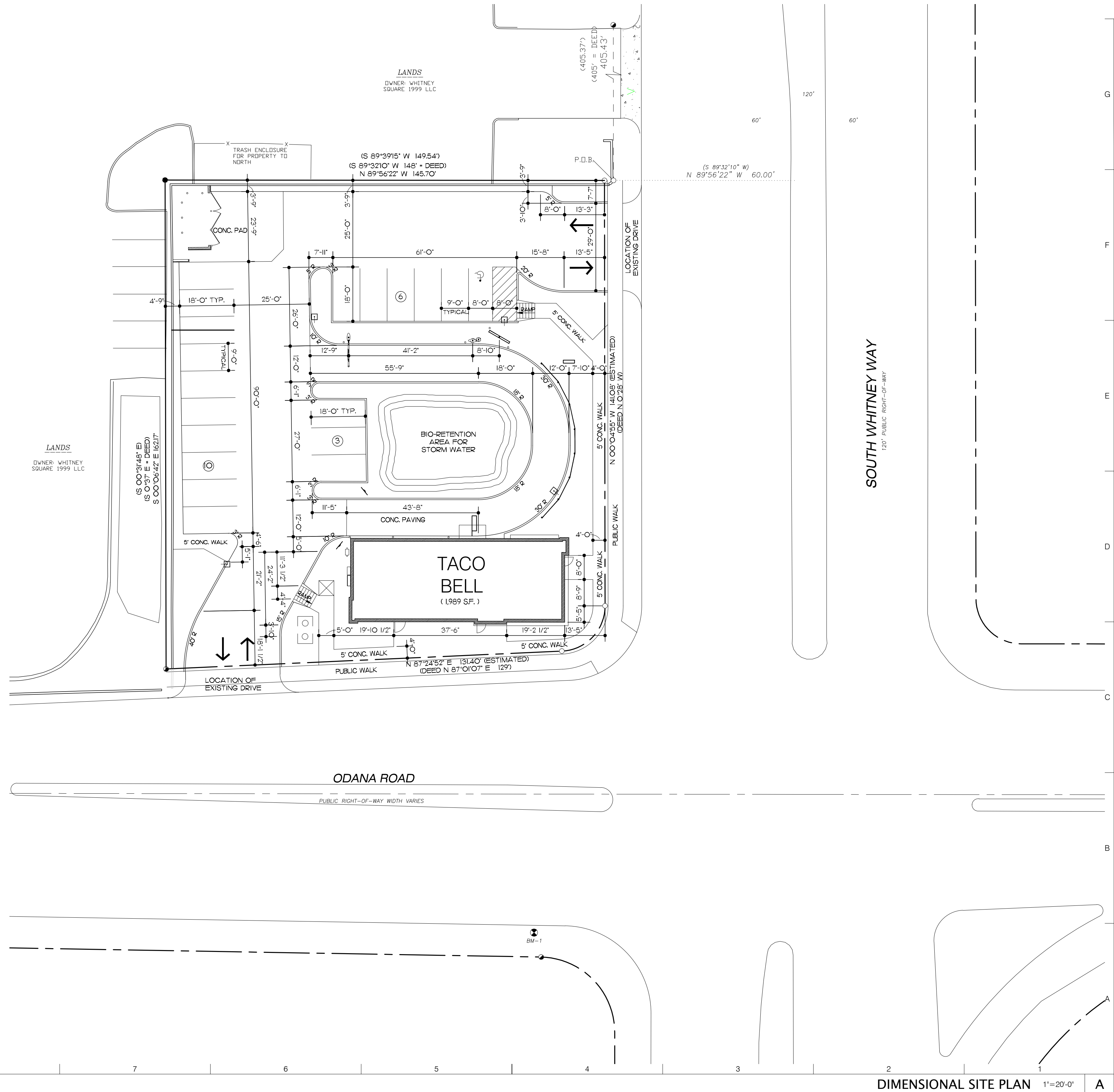
**AC0.1**

PLOT DATE: 6-18





VICINITY  
MAP  
NOT TO SCALE



DIMENSIONAL SITE PLAN 1"=20'-0" A



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48068  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T1202C

DATE	ISSUE
------	-------

4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER C
6-19-2013	UDC and PG SUBMIT

CONTRACT DATE:	
BUILDING TYPE:	MED-NI-
PLAN VERSION:	DEC 12
SITE NUMBER:	3094
STORE NUMBER:	

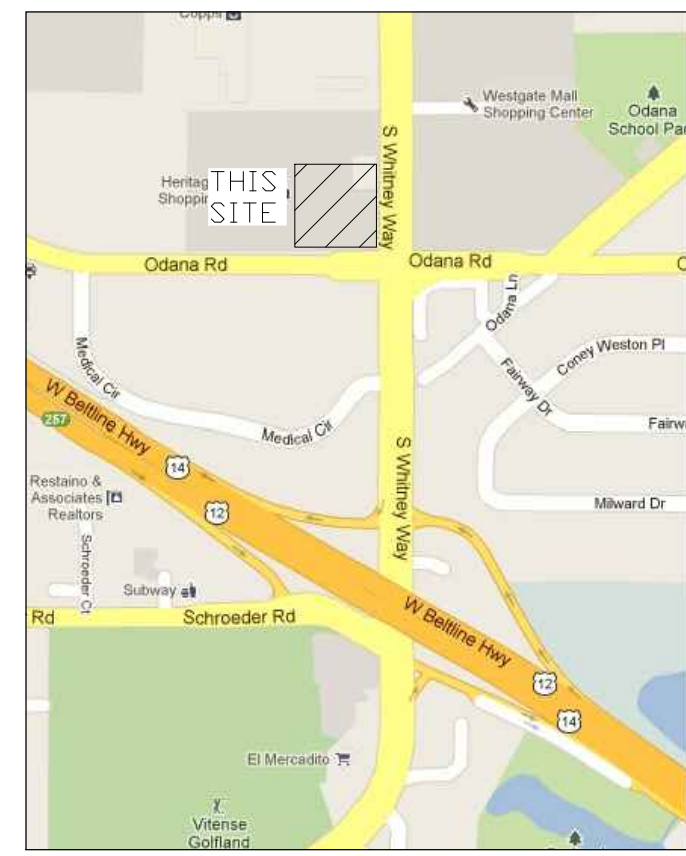
TACO BELL  
698 S. Whitney Way  
Madison, WI



DIMENSIONAL  
SITE  
PLAN

**AC0.2**

PLOT DATE: 6-18



VICINITY  
MAP  
NOT TO SCALE

TACO BELL  
698 S. WHITNEY WAY  
MADISON, WI  
PREPARED BY: JOHN BUJAKE  
ACCUSERV LIGHTING & EQUIPMENT  
877-707-7378  
502-961-0357 FAX  
jbujake@accu-serv.com  
JUNE 18, 2013

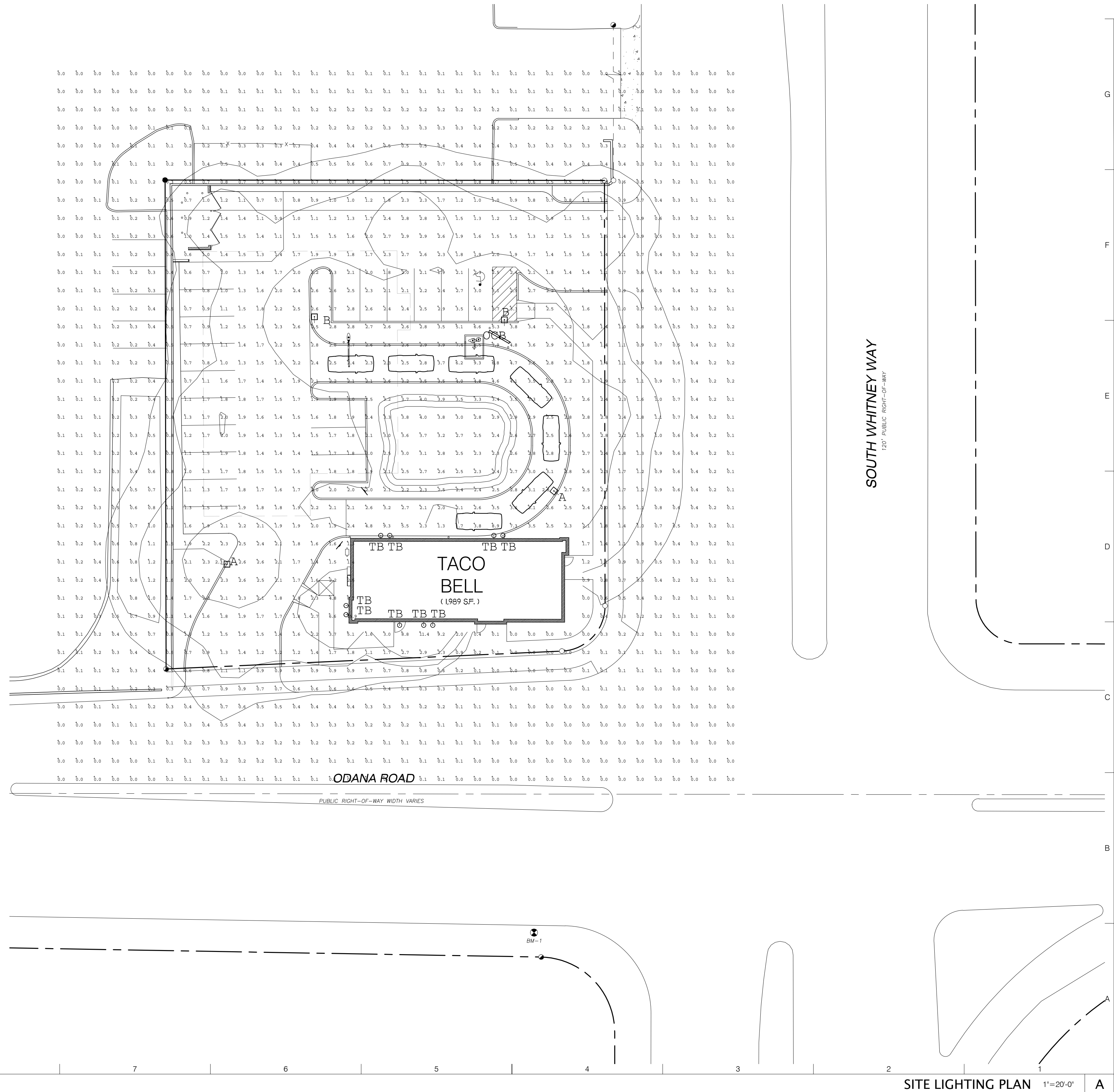
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.03	15.9	0.0	N.A.	N.A.
VEHICULAR SURFACE	1.99	9.3	0.6	3.32	15.50

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Lum. Watts	Description
☐	1	OCB	SINGLE	12500	0.700	185	TACO BELL - ORDER POINT CANOPY
○	9	TB	SINGLE	1230	0.900	36	ACCU 05247-051-052 @ 9.17' A.F.G.
☐	2	A	SINGLE	22500	0.750	288	ACCU 95200-FP25PS-PG / 95200-425S
☐	2	B	SINGLE	22500	0.750	288	ACCU 95200-525PS-PG / 95200-425S

LIGHTING RESTRICTIONS: TOTAL WATTAGE FOR SITE FIXTURES NOT TO EXCEED 0.10W/S.F. OF VEHICULAR SURFACE  
AVERAGE LIGHT LEVEL NOT TO EXCEED 2.5 FOOT-CANDLES  
MINIMUM LIGHT LEVEL TO BE 0.4 FOOT-CANDLES OR GREATER  
AVERAGE/MINIMUM RATIO NOT TO EXCEED 5.0

VEHICULAR SURFACE: 12,700 S.F.  
SITE FIXTURES ARE FULL CUTOFF 250W PULSE START METAL HALIDE w/ FLAT LENSES  
POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



SOUTH WHITNEY WAY  
120' PUBLIC RIGHT-OF-WAY



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48068  
PHONE (248) 524-4700 FAX (248) 524-9748

PROJECT NO. T1202C

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMIT
4-9-2013	REVISED UDC SUBMIT
4-22-2013	REVISED PER C
6-19-2013	UDC and PG SUBMIT

CONTRACT DATE:  
BUILDING TYPE: MED-NI-  
PLAN VERSION: DEC 12  
SITE NUMBER: 3094  
STORE NUMBER:

TACO BELL  
698 S. Whitney Way  
Madison, WI



SITE  
LIGHTING  
PLAN

**AC0.3**

PLOT DATE: 6-18

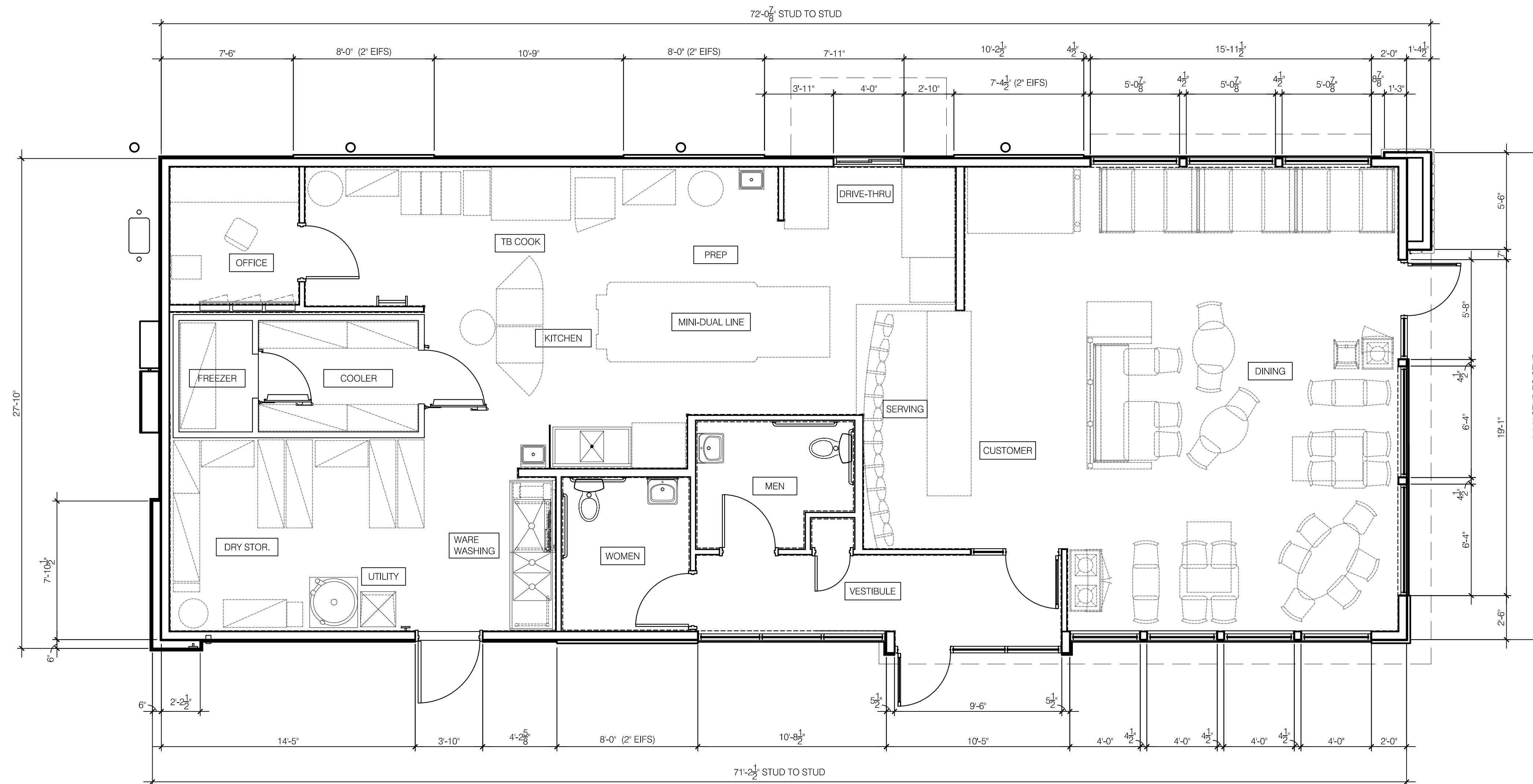
SITE LIGHTING PLAN 1"=20'-0" A



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020



DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

FLOOR PLAN 1/8"=1'-0" A

TACO BELL

698 S. Whitney Way  
Madison, WI



MEDIUM40-Ni

ARCHITECTURAL  
FLOOR  
PLAN

**A1.0**

PLOT DATE: 6-18-13



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020



SOUTH ELEVATION 1/8"=1'-0" A

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
4-26-2013	REVISED WALL SIGNS

CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

TACO BELL

698 S. Whitney Way  
Madison, WI



MEDIUM40-Ni

ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

A4.0

PLOT DATE: 4-22-13

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR
1	MAIN BUILDING COLOR	SHERWIN WILLIAMS	SW 6122 "CAMEL BACK"	LOTUSAN	NA08-0011
2	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"		
3	ACCENT COLOR	SHERWIN WILLIAMS	SW 2823 "ROOKWOOD CLAY"	LOTUSAN	NA08-0010
4	SLAT WALL AND VALANCE COLOR	VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)		
5	PARAPET CAP COLOR	DUROLAST	MEDIUM BRONZE (FACTORY FINISH)	SHERWIN WILLIAMS	SW 7069 "IRON ORE"
6	STONE WALL	BORAL - VERSA STONE	TIGHT CUT - " PLUM CREEK"		
7	STOREFRONT WINDOWS	TBD	" DARK BRONZE"		
8	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL		
9	PARAPET BACK ROOFING	DUROLAST	THE COLOR SHALL BE FACTORY COLORED "TAN." EQUAL ALTERNATE ALLOWED.		
10	BRICK WALL	BORAL - THIN BRICK	" TUSCAN BLEND "		

EXTERIOR FINISH SCHEDULE B



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE FAX  
(248) 524-4700 (248) 524-9746

PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
4-26-2013	REVISED WALL SIGNS


CONTRACT DATE:	--
BUILDING TYPE:	MED-NI-40
PLAN VERSION:	DEC 12-A
SITE NUMBER:	309441
STORE NUMBER:	--

TACO BELL

698 S. Whitney Way  
Madison, WI



MEDIUM40-Ni

ARCHITECTURAL  
EXTERIOR  
ELEVATIONS

**A4.1**

PLOT DATE: 4-22-13

22'-1"  
T.O. TOWER

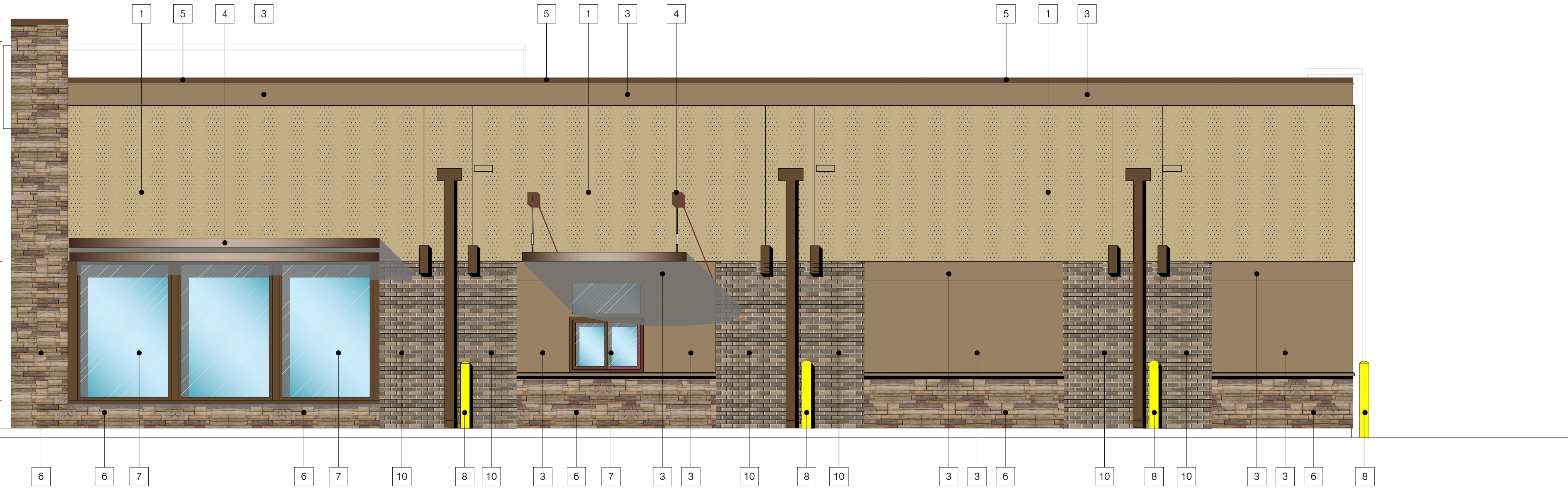
20'-10 1/2"  
T.O. SLAT WALL

20'-9"  
T.O. PARAPET  
(BEYOND)

9'-0"  
BOTTOM OF VALANCE

1'-6"  
BOTTOM OF WINDOW

0'-0"  
T.O. SLAB



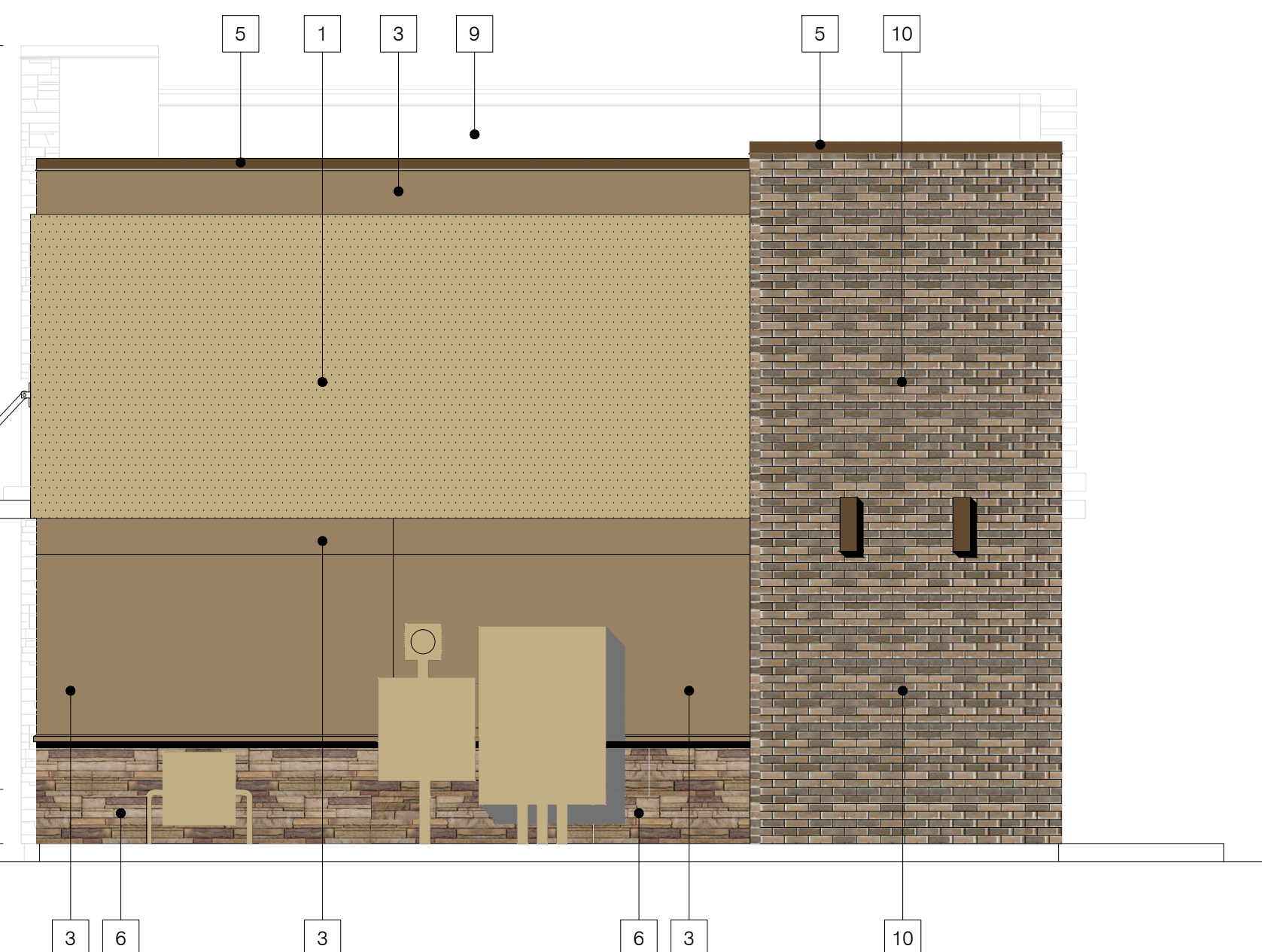
NORTH ELEVATION 1/8"=1'-0" A

22'-1"  
T.O. TOWER

9'-0"  
BOTTOM OF VALANCE

1'-6"  
BOTTOM OF WINDOW

0'-0"  
T.O. SLAB



WEST ELEVATION 1/8"=1'-0" C

22'-1"  
T.O. TOWER

9'-0"  
T.O. WINDOW

1'-6"  
BOTTOM OF WINDOW

0'-0"  
T.O. SLAB



EAST ELEVATION 1/8"=1'-0" B



A1



A2



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A3



A4



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A5



A6



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020





A7



A8



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A9



A10



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A11



A12



**L + A ARCHITECTS, INC.**

2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A13



A14



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



**A15**



**A16**



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



**A17**



**A18**



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



A19



A20



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



**A21**



**A22**



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48063  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020





A23



A24



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020



**A25**



**L + A ARCHITECTS, INC.**  
2430 ROCHESTER COURT, SUITE 200 TROY, MI 48083  
TELEPHONE (248) 524-4700 FAX (248) 524-9746

#309441 / #417910  
Madison, WI  
December 20, 2012  
L + A Job No. T12020

**SIGN SPECIFICATIONS**

**ID FACE**

**Substrate** .118" colorless solar-grade polycarbonate silk screened on second surface

**Background** (White) Formed 1.000"

**Field** (Violet and white) Embossed .500" from background

**Bell**

Outside surface (Magenta, violet, and white) Embossed .750" from field

Inside surface (bottom) (Violet) Debossed .500" from outside

Clapper (Yellow only) Embossed .375" from inside

**Wordmark** (Violet) Embossed .500"

**APPENDAGE FACE**

**Substrate** .118" colorless solar-grade polycarbonate silk-screened or sprayed on second surface

**Background** (Violet) Formed 1.000"

**Letters** (White) Flat

**CABINET**

(Painted violet) Extruded aluminum

**ILLUMINATION**

Internal, with T12/Dsgn50/HO fluorescent lamps

**PEDESTAL**

**SUPPORT** Centered 3" steel square tube

**COVER** (Painted white stipple finish) Aluminum

**AREA**

19.6 sq ft

**CURRENT**

2.40 amps


**CIRCUIT**


(1) 20-amp

**FACE COLORS (SILK-SCREENED)**

 Spraylat Violet L8-7917

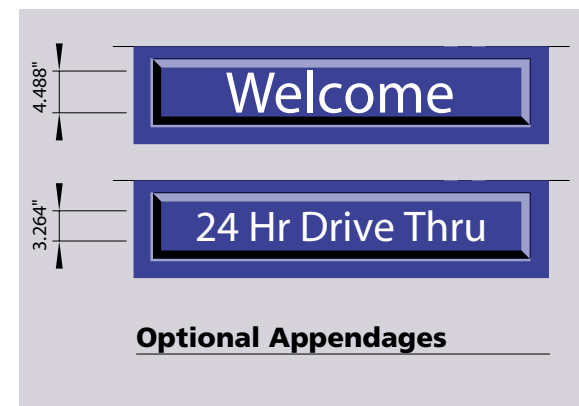
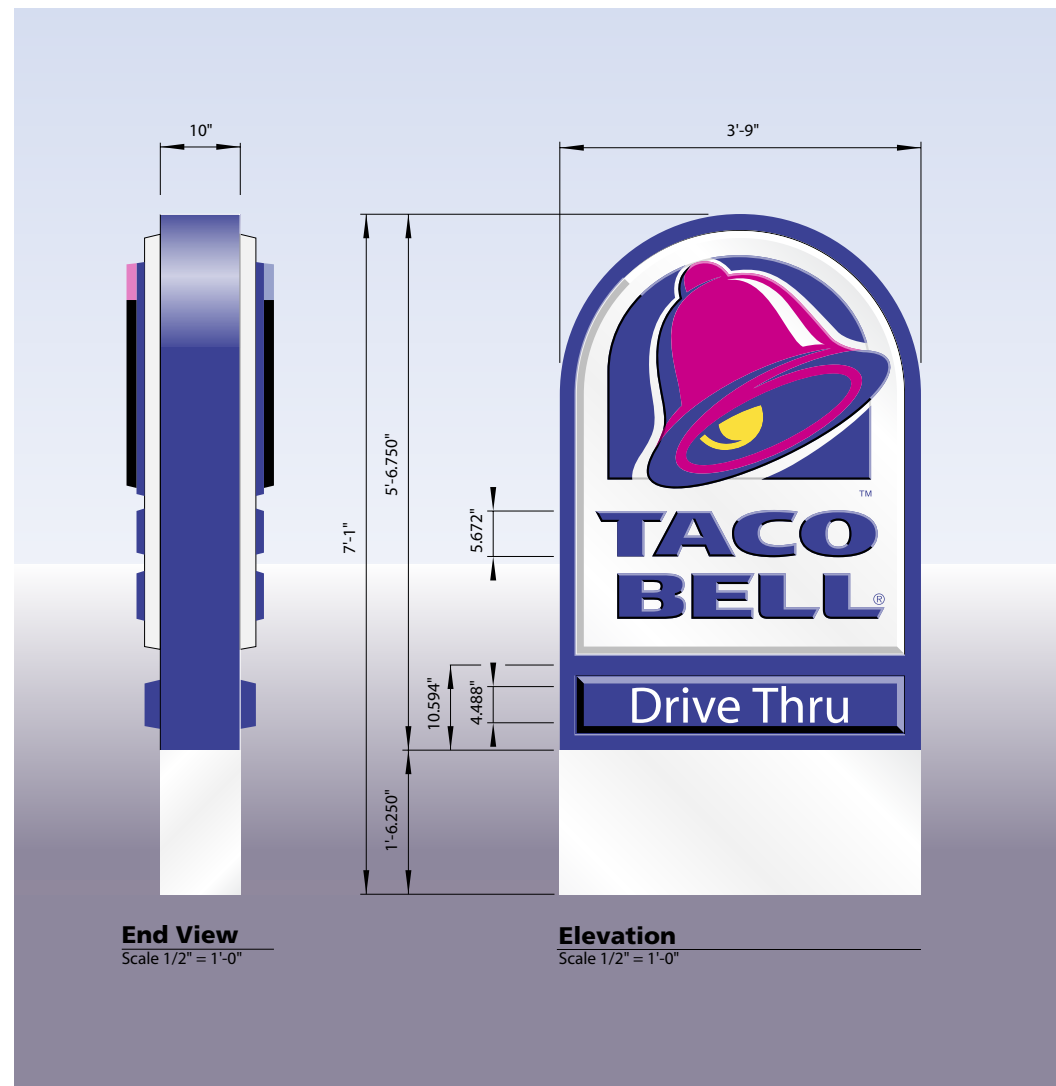
 Spraylat Magenta L8-7837

 Spraylat Yellow L8-7836

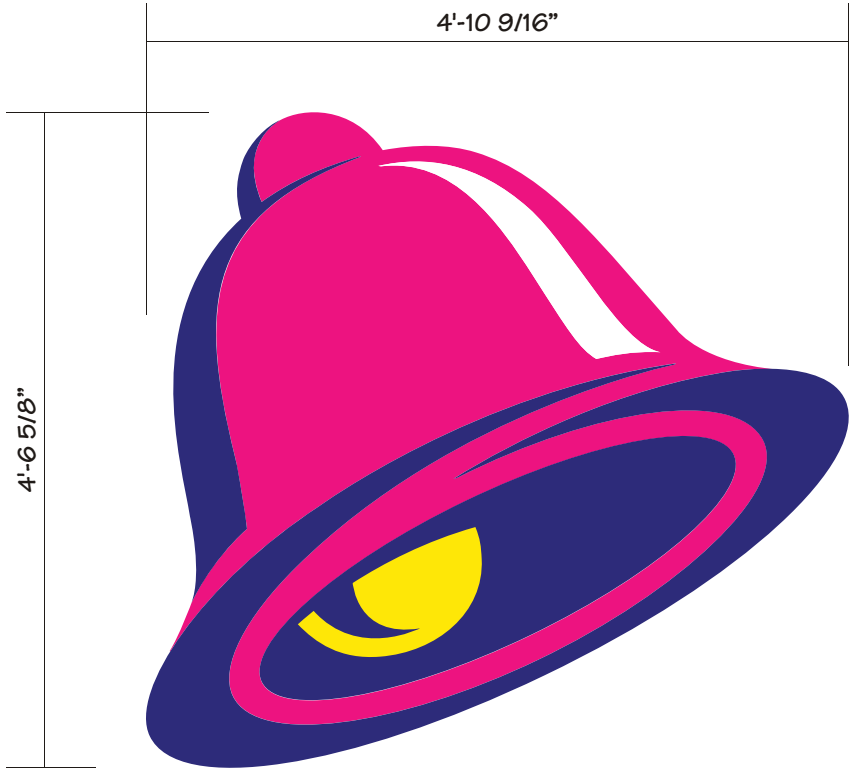
 Spraylat White 801

**EXPOSED METAL COLOR (PAINTED)**

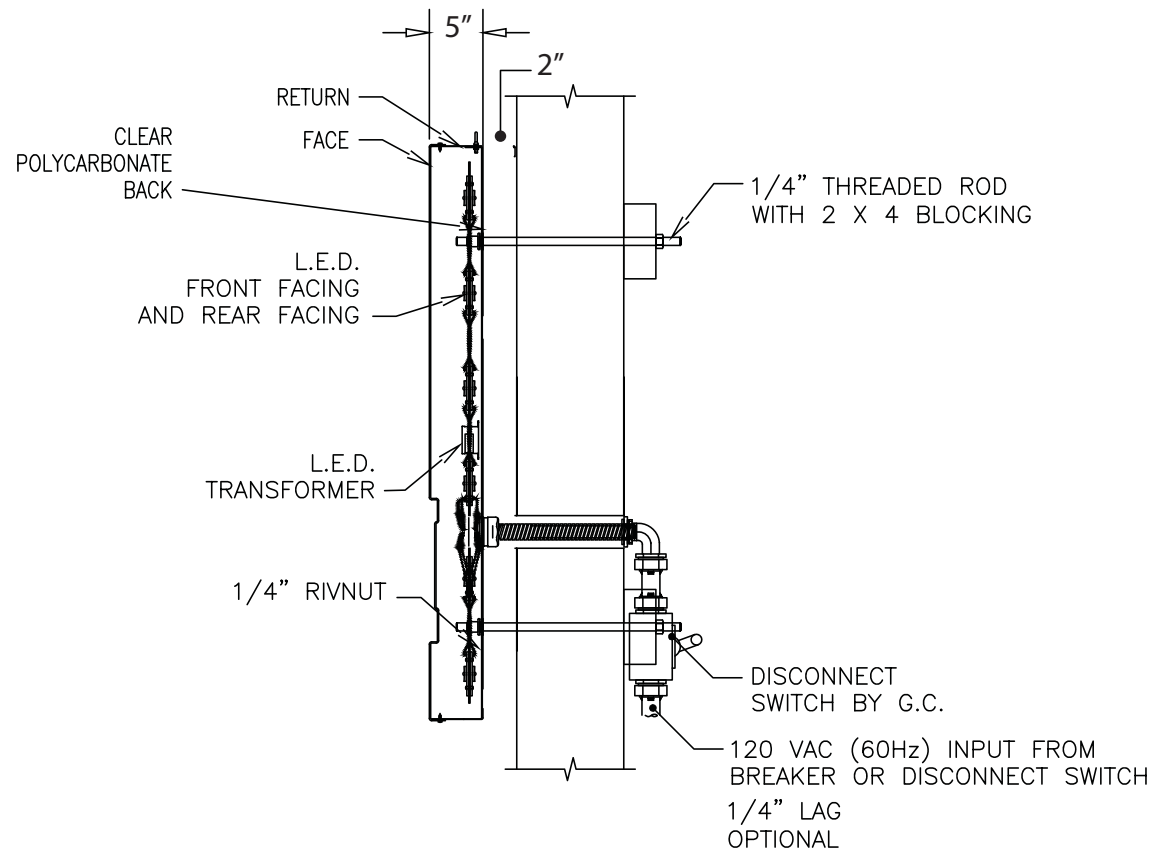
 To match Spraylat Violet L8-7917



**PART # 823-M20-BASE**



**21.73 SQ. FT.**



**SIGN SPECIFICATIONS**

- Materials**
- Return: Aluminum- 5" Deep
  - Face: Formed And Debossed .150 White Polycarbonate
- Decoration**
- Return: Painted Violet Spraylat L8-7917
  - Face: 2nd Surface Graphics
- Accesses**
- Removable Face
- Area**
- Squared: 21.73 sqft
- Weight(Est.)**
- 125 lbs.
- Wind Load**
- Windload Designed For 110 mph Wind Zone

**ELECTRICAL SPECIFICATIONS**

- Illumination**
- White LED's 5000K
- Electronic**
- Ballast: t.b.d.
- Line Load**
- Amps: 0.8
  - Circuits: (1) 20 amp
  - Volts: 120

**COLOR SPECIFICATIONS**

Graphic & Color Specifications

Color	Other	3M
White	Spraylat White 801	
Violet	Spraylat L8-7937	3630-9126
Yellow	Spraylat L8-7937	3630-015
Magenta	Spraylat L8-7836	3630-1412

**PART # 823-NI-4X4-BELL-HALO**



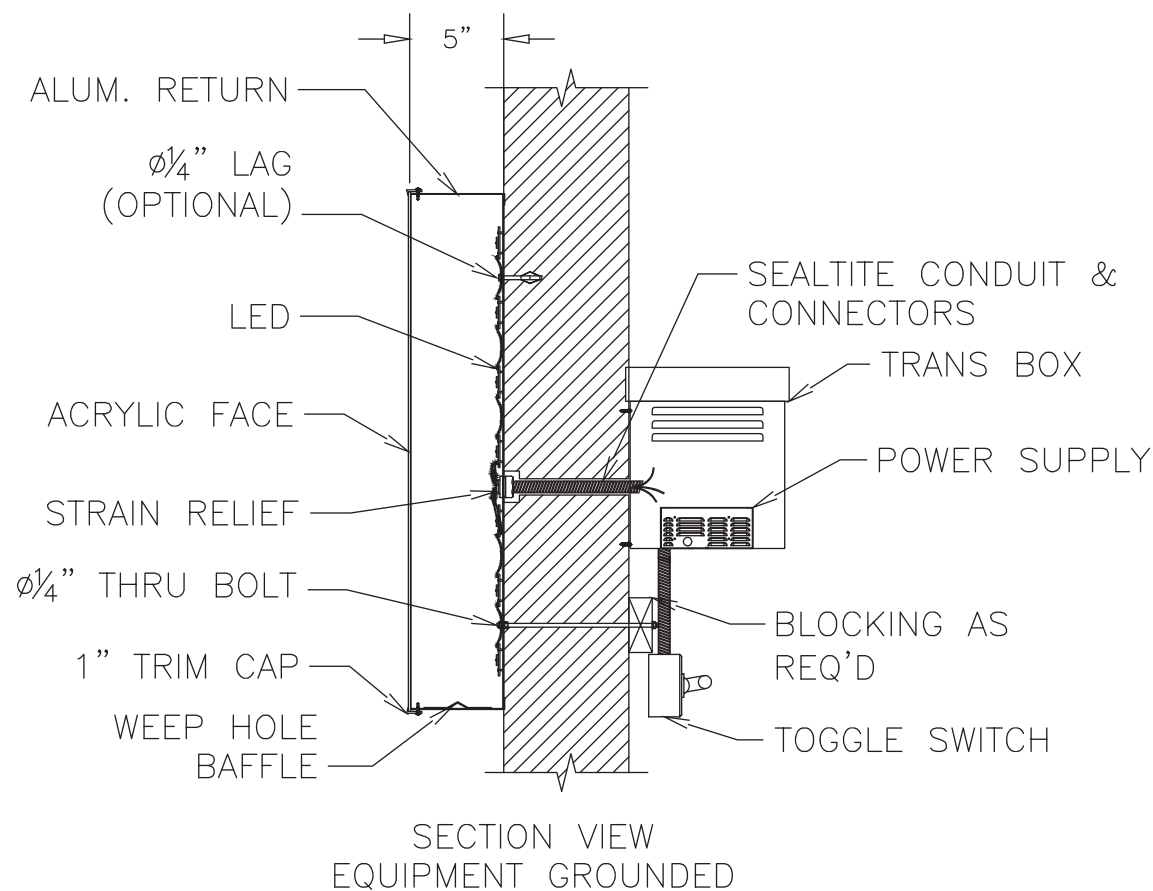
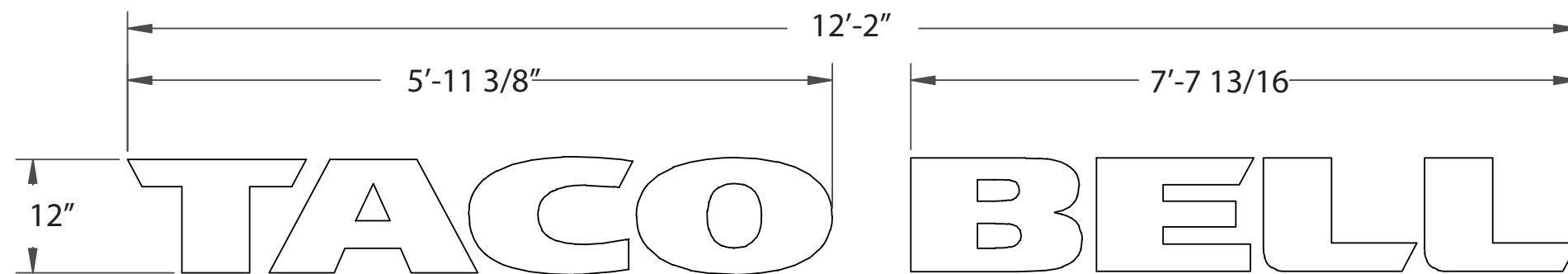
THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.

CUSTOMER APPROVAL: \_\_\_\_\_  
DATE: \_\_\_\_\_

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	6-3-2013	S.H.	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:  
**71379.01**  
DATE: 12-20-2012  
S. Hawke



**SIGN SPECIFICATIONS**

**Materials**

- Return: Aluminum
- Face: Flat acrylic with 1" white trimcap.

**Decoration**

- Return: Painted White

**Wind Load**

- Windload Designed For 110 mph Wind Zone

**ELECTRICAL SPECIFICATIONS**

**Illumination**

- White LED's

**Electronic**

- Ballast: t.b.d.

**Line Load**

- Amps: t.b.d
- Circuits: (1) 20 amp
- Volts: 120

**PART # 823-NI-12-CL-WHITE**

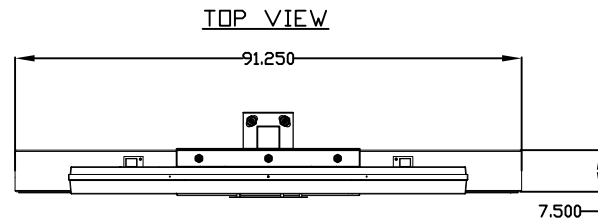
## SIGN SPECIFICATIONS

- OVERALL DIMENSIONS OF SIGN :  
HEIGHT: 104.750"  
WIDTH : 91.250"  
DEPTH : 7.5"
- AREA OF SIGN - SQUARED : 66.37 SQ.FT.
- LUMENS:  
ARCH: 660  
MENU BOARD: 7,095
- LEDS :  
ARCH: 6-FT 6500K  
MENU BOARD: 33-FT 4100K
- POWER SUPPLY : (2) 60-WATT ( 0.96 AMPS EA )
- TOTAL LINE LOAD: 1.92 AMPS @ 120VAC
- (1) 15 AMP CIRCUIT, 60Hz UL 48 & NEC COMPLIANT
- SIGN IS MANUFACTURED TO UL 48 SPECIFICATIONS.
- PAINT SPECIFICATIONS : (SIGN)  
INTERIOR : MILL FINISH  
EXTERIOR CABINET : BRONZE, TIGER DRYLAC 49/66230\_33  
EXTERIOR DOORS AND FRONT : SATIN BLACK
- MAXIMUM DESIGN WIND LOAD :  
100 MPH WIND SPEED -EXPOSURE C.
- CRATED WEIGHT: 745 LBS
- SIGN WILL BE SERVICEABLE BY: OPENING DOOR PANELS TO SERVICE LEDES AND POWER SUPPLY.
- DESIGN SPECIFICATION:  
3,000 P.S.I. CONCRETE 0.61 CU. YDS.

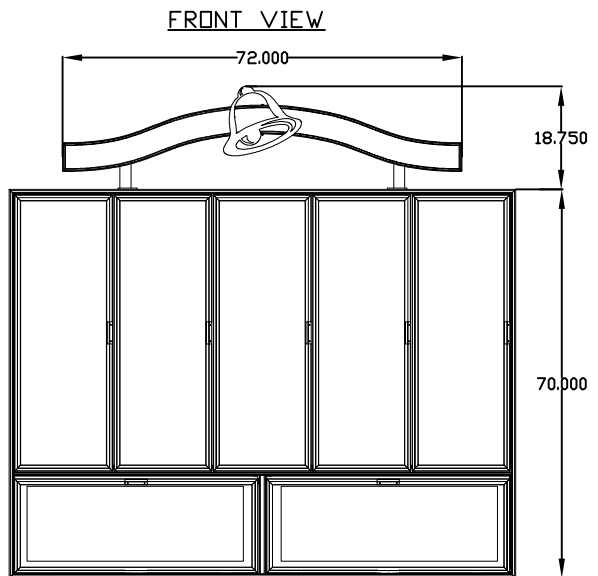
## INSTALLATION INSTRUCTIONS

- OPEN PACKAGING CAREFULLY AND INSPECT FOR DAMAGE. IF DAMAGE IS FOUND, CLAIM MUST BE FILED WITHIN 15-DAYS WITH SHIPPING AGENT.
- MARK FOUNDATION AREA AND RECEIVE CONFIRMATION FROM CLIENT OR CONTRACTOR.
- EXCAVATE FOUNDATION AREA.
- ALL DESIGN AND CONSTRUCTION OF FOUNDATION MUST BE ACCORDING TO ACI 318-99 REQUIREMENTS.
- SET COLUMN AND ANCHOR BOLTS PLUMB IF REQUIRED, INSTALL CONDUIT STUB AND POUR CONCRETE.
- ALLOW CONCRETE TO CURE: EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR 7-DAYS PRIOR TO ANY INSTALLATION. COMPRESSIVE STRENGTH AT 28 DAYS, F'C= 3,000 PSI MINIMUM.
- INSTALL POLE AND / OR SIGN.
- MAKE FINAL ELECTRICAL HOOK UP TO PRIMARY WIRING INTO WEATHER PROOF BOX, SUPPLIED BY INSTALLER.
- ELECTRICAL NOTE: ALL WIRING AND ELECTRICAL CONNECTIONS ON THIS SIGN MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODES AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
- PAINT THE POLE AND/OR ANY OTHER APPLICABLE AREAS, AS STATED ON THE PURCHASE ORDER, PERFORM ANY OTHER TOUCH UP AS REQUIRED.
- REMOVE LIFTING BRACKETS FROM TOP OF SIGN.
- TEST LIGHT THE SIGN AND CHECK FOR PROPER ILLUMINATION
- CLEAN UP: CLEAN INSTALLATION WORK SITE OF ALL EXCESS MATERIALS AND DEBRIS.  
CLEAN UP NOTE: DO NOT DISCARD ANY MATERIAL OR DIBRIS INTO ON SITE DUMPSTERS.

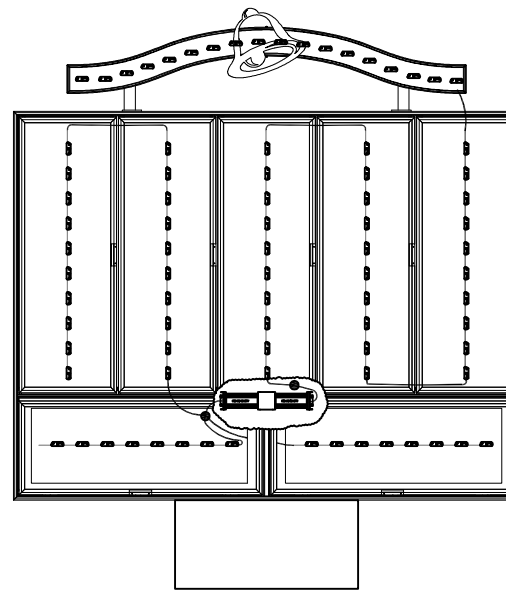
DESIGN NOTE:  
CONCRETE BASE DESIGN IS BASED ON 100 MPH, EXPOSURE-C GUST DESIGN WIND SPEED PER IBC 2006, EXPOSURE C. CONCRETE FOUNDATION DESIGNED USING A LATERAL SOIL BEARING PRESSURE OF 150 PSF/LF IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE ERECTOR'S RESPONSIBILITY TO NOTIFY EVERBRITE, LLC PRIOR TO PERFORMING ADDITIONAL EXCAVATION OR ANY CONCRETE PLACEMENT.



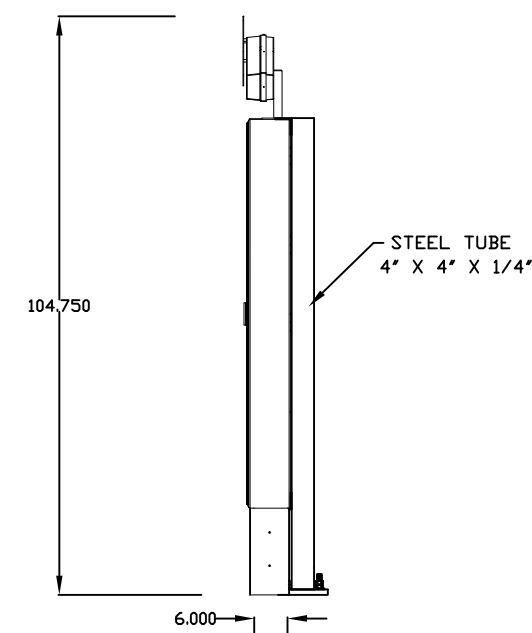
INSTALLATION NOTE: ASSURE THE DRIVE THRU MENU BOARD IS LEVEL BOTH VERTICALLY AND HORIZONTALLY DURING THE INSTALLATION PROCESS.



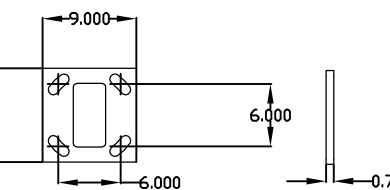
## LED LAYOUT AND WIRING DIAGRAM



## SIDE VIEW

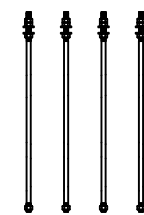


FOUNDATION WITH BASE PLATE

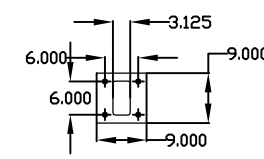


BASE PLATE

## FOUNDATION KIT SOLD SEPARATLY:

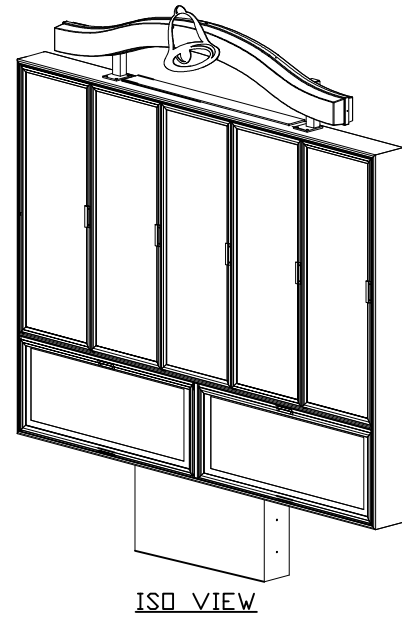


(4) 3/4"X36" ANCHOR BOLTS

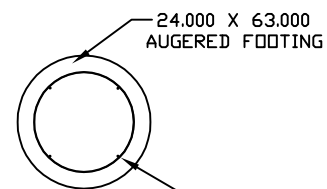
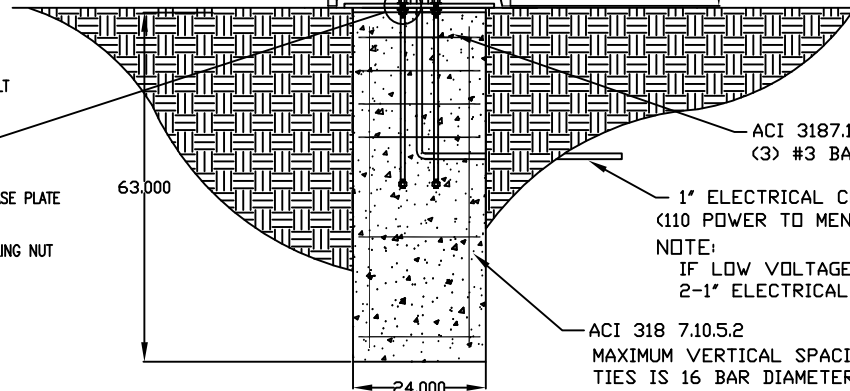
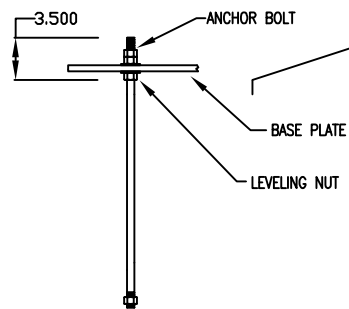


(1) PLYWOOD ANCHOR BOLT MOUNTING TEMPLATE

TO ORDER USE ITEM# KT01723P



ISO VIEW



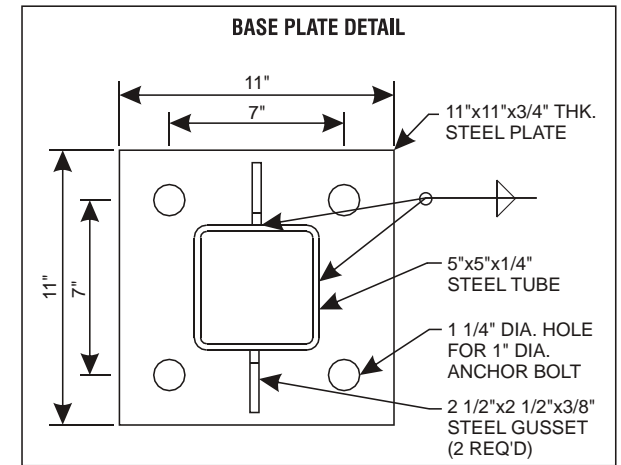
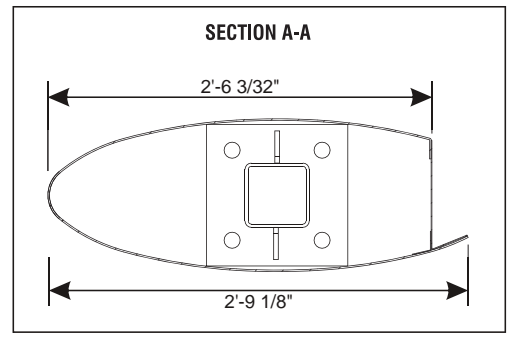
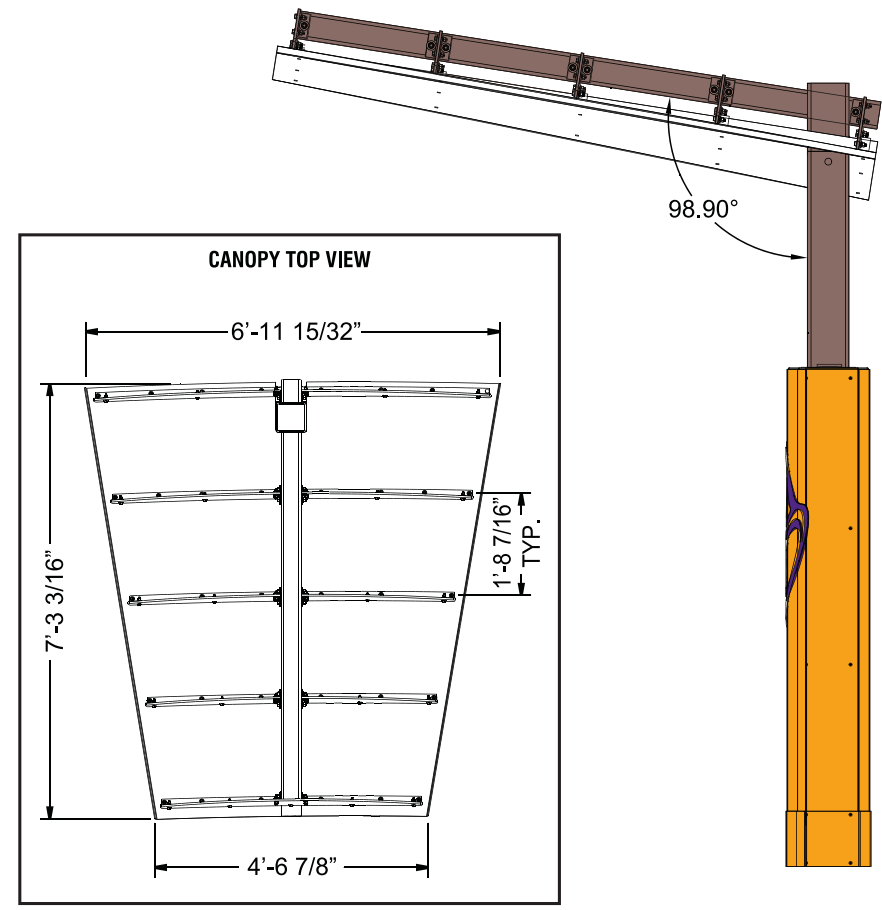
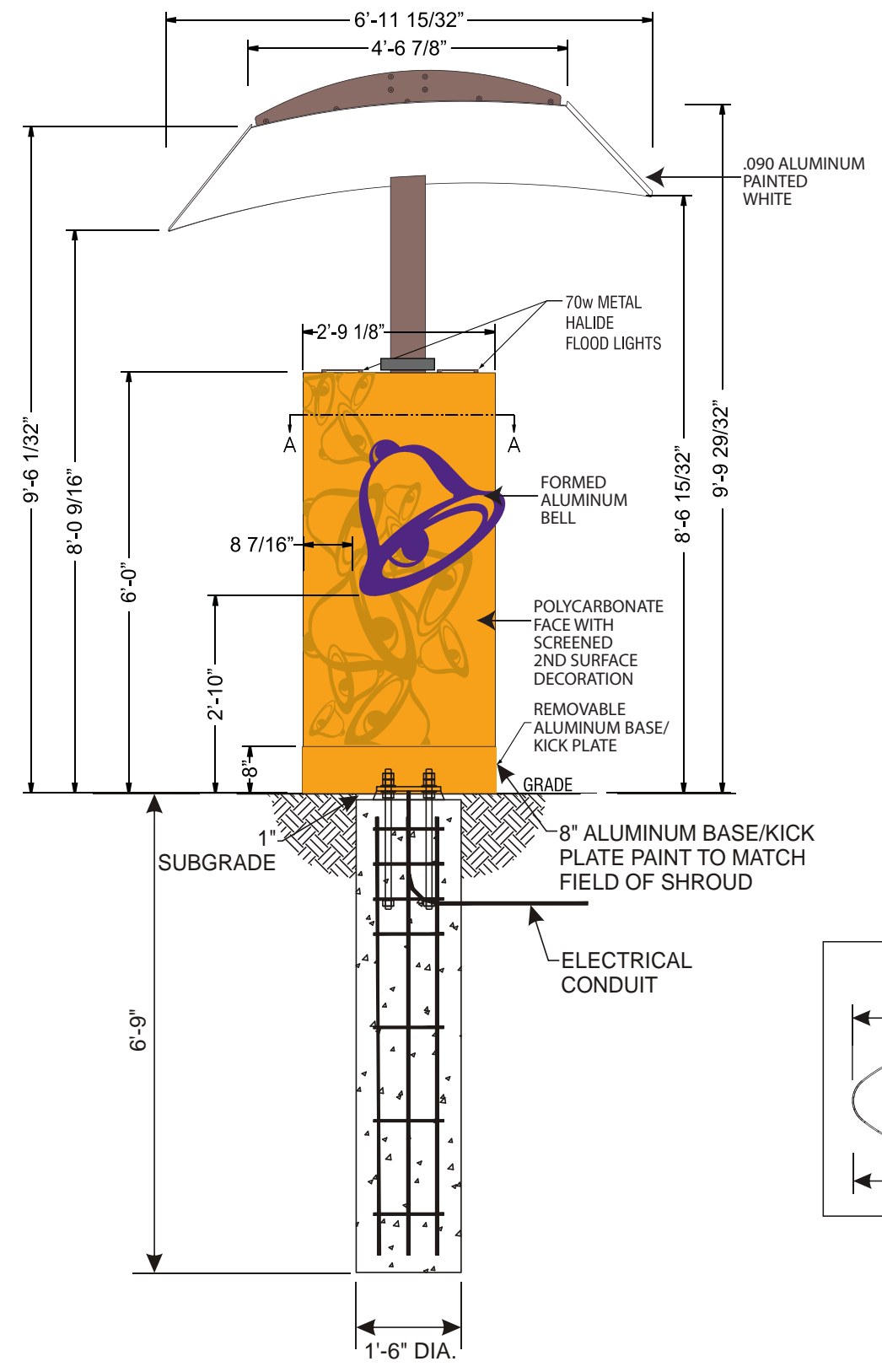
3' COVER REQUIRED BETWEEN REBAR AND SOIL, NEED 18" CIRCLE

ACI 3187.10.5.6  
(3) #3 BARS IN TOP 5'

1" ELECTRICAL CONDUIT  
(110 POWER TO MENU BOARD)

NOTE:  
IF LOW VOLTAGE WIRING IS REQUIRED,  
2-1" ELECTRICAL CONDUITS MUST RUN

ACI 318 7.10.5.2  
MAXIMUM VERTICAL SPACING OF  
TIES IS 16 BAR DIAMETERS OF 8"  
COULD GO TO 10" IF YOU USE #5  
BARS VERTICAL



**SIGN SPECIFICATIONS**

- Materials**
- Polycarbonate face with screened decorations - 2nd surface.
  - Aluminum canopy with steel ribs.
  - Formed aluminum bell.
  - Removable shroud.

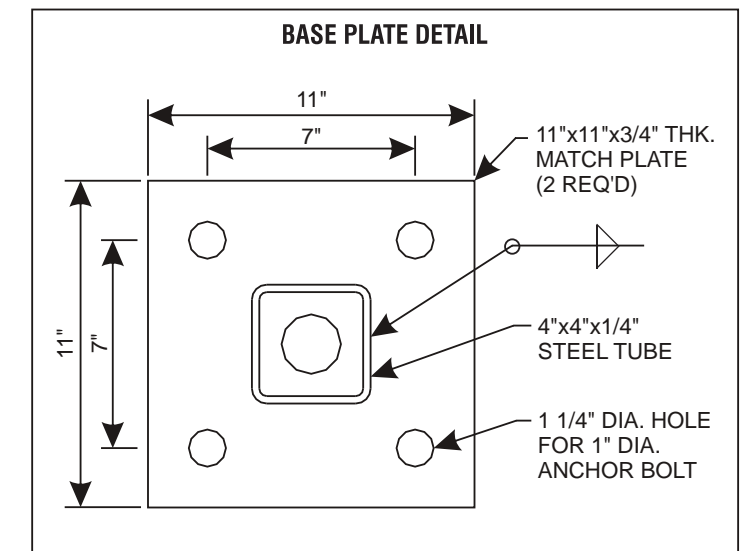
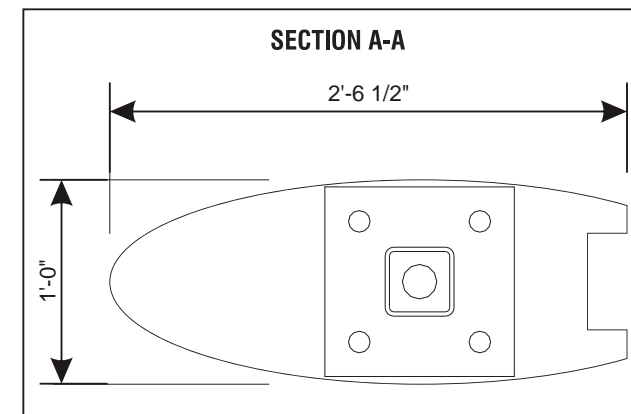
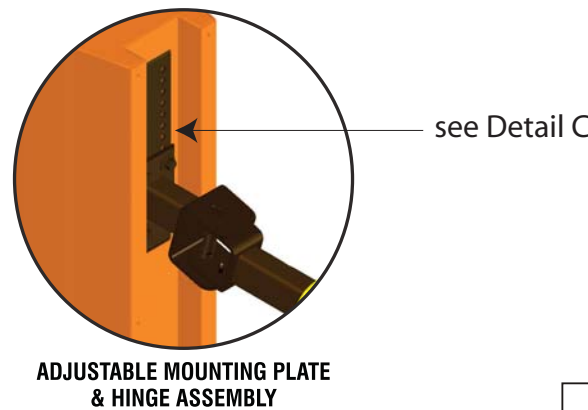
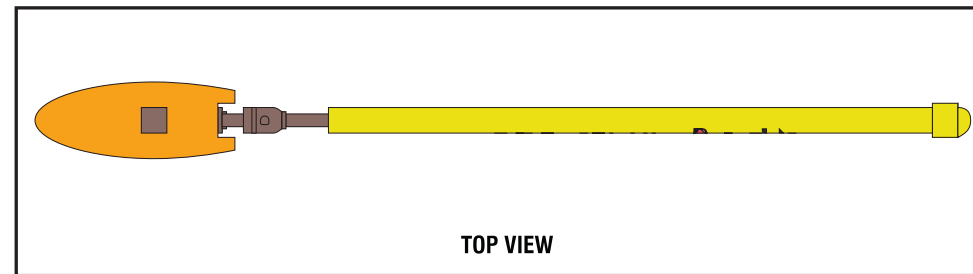
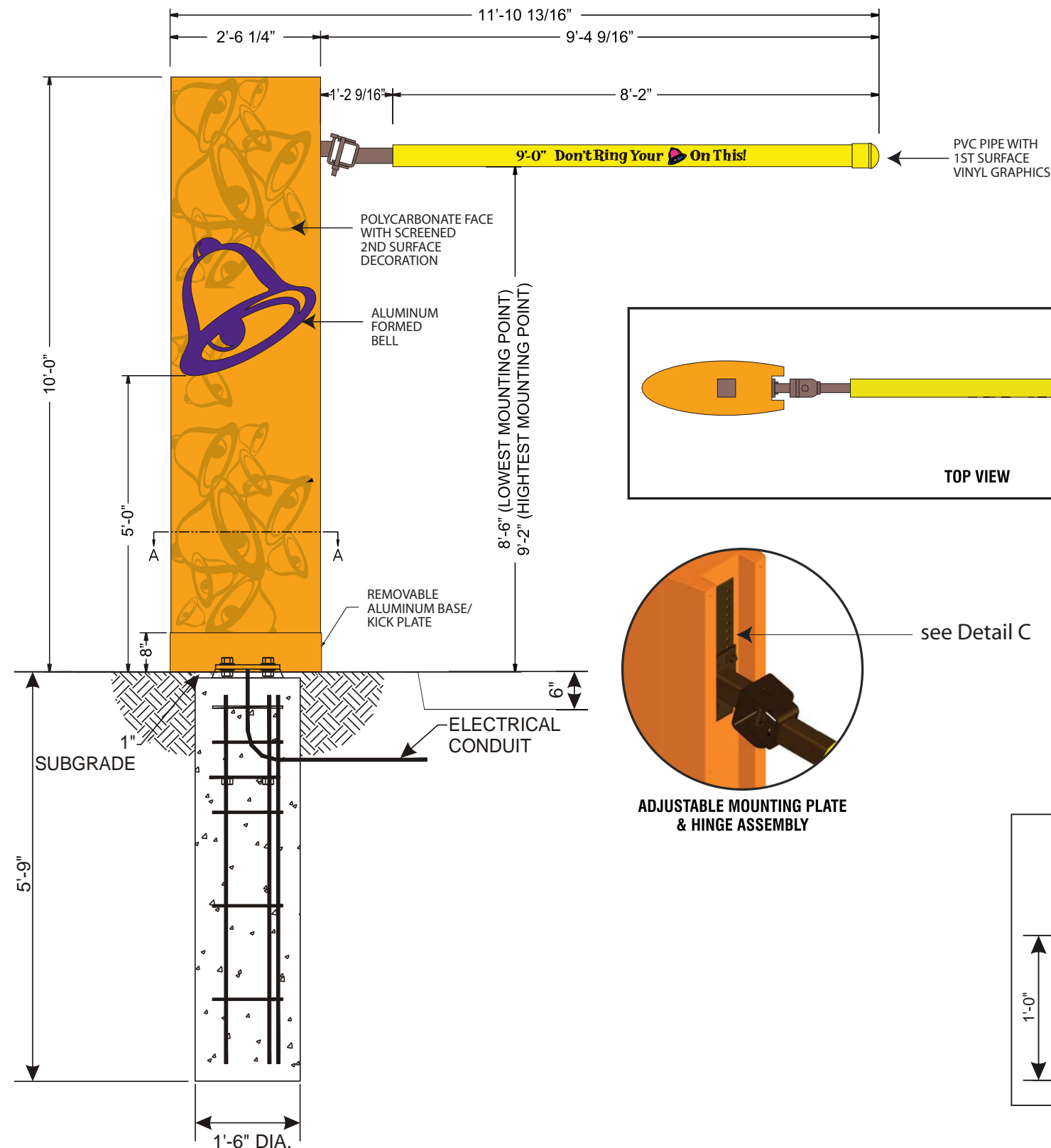
**ELECTRICAL SPECIFICATIONS**

- (2) 70 watt metal halide lamps.
- 1.7 amps

**COLOR SPECIFICATIONS**

- Polycarbonate Cladding:
- Screen second surface: Amber Wave SW6657
- Bell Graphics: Screen second surface
- Light Bell: PMS 131U
  - Dark Bell: PMS 139U
- Canopy posts and framing members:
- TB Bronze Tiger Drylac 49-66230 C33
- Metal Bell: Paint to Match PMS 2685
- Canopy: White SW2123 eggshell finish

**PART #823-NI-DTCNPY-SHROUD**  
**PART #823-NI-DTCNPY-ABKIT**



**SIGN SPECIFICATIONS**

**Materials**

Polycarbonate face with screened decoration - 2nd surface.  
 Aluminum formed bell.  
 Removable shroud.  
 PVC pipe with vinyl graphics applied 1st surface.

**ELECTRICAL SPECIFICATIONS**

N/A

**COLOR SPECIFICATIONS**

Polycarbonate Cladding:  
 Screen second surface: Amber Wave SW6657  
 Bell Graphics: Screen second surface  
 Light Bell: PMS 131U  
 Dark Bell: PMS 139U  
 Hinge Assembly  
 TB Bronze Tiger Drylac 49-66230 C33  
 Metal Bell: Paint to Match PMS 2685  
 Clearance Bar: Paint to match PMS 108

**PART #823-NI-PORTAL-SHROUD**  
**PART #823-NI-PORTAL-KIT**

THIS CAN

CUSTOMER APPROVAL:  
 \_\_\_\_\_  
 DATE: \_\_\_\_\_

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



**DRAWING NO:**  
**71370.01**

DATE: 12-20-2012

6. HAWKE





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: [www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amnt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 698 S. Whitney Way  
**Project Title (if any):** Taco Bell

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: \_\_\_\_\_

3. **Applicant, Agent & Property Owner Information:**

**Applicant Name:** Greg Lautzenheiser      **Company:** L+A Architects, Inc.  
**Street Address:** 2430 Rochester Court, Suite 200      **City/State:** Troy, MI      **Zip:** 48083  
**Telephone:** (248) 524-4700      **Fax:** (248) 524-9746      **Email:** glautzenheiser@laarchitectsinc.com

**Project Contact Person:** Greg Lautzenheiser      **Company:** L+A Architects, Inc.  
**Street Address:** 2430 Rochester Court, Suite 200      **City/State:** Troy, MI      **Zip:** 48083  
**Telephone:** (248) 524-4700      **Fax:** (248) 524-9746      **Email:** glautzenheiser@laarchitectsinc.com

**Property Owner (if not applicant):** Mr. Thomas Thayer, Thayer Properties, LLC  
**Street Address:** 2625 Research Park Drive      **City/State:** Fitchburg, WI      **Zip:** 53711

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Demolition of an existing retail building and construction of a new Taco Bell restaurant with a drive-thru.

Development Schedule: Commencement 30 days after S.P.A.      Completion 90 days after Commencement

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altere buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com).

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Alder Mark Clear, February 7, 2013

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 2-28-13 Zoning Staff: Pat Anderson Date: 2-28-13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Greg Lautzenheiser Relationship to Property: Architect for Developer

Authorizing Signature of Property Owner  Date 6/17/13



## **L+A ARCHITECTS, INC.**

2430 ROCHESTER COURT, SUITE 200  
TROY, MICHIGAN 48083  
TELEPHONE: 248.524.4700  
FACSIMILE: 248.524.9746  
WEB: [www.laarchitectsinc.com](http://www.laarchitectsinc.com)

June 18, 2013

City of Madison  
Zoning Administrator  
215 Martin Luther King Jr. Blvd, Room LL-100  
Madison, WI 53701

**RE: Taco Bell @ 698 S. Whitney Way  
Madison, WI  
L+A Job No. 12020**

### **LETTER OF INTENT**

The following shall serve as our Letter of Intent describing the above proposed project in detail.

The project includes the demolition of an existing 5,300 sq. ft. retail building on a 0.54 acre site and construction of a new approximately 2,000 sq. ft. freestanding Taco Bell restaurant with a drive-thru and 24 hour operation. The site includes 19 car parking spaces and 10 bike parking stalls. The existing retaining walls along the north and west property lines are to remain. The site wall also incorporates an on-site detention pond for storm water.

Lot coverage:

23,383 sq. ft. = 0.54 acres  
17,138 sq. ft. developed space (73%)  
6,245 sq. ft. usable open space (27%)

The current value of the land is \$985,000

The estimated total project cost is \$665,000 (includes site and building)

The project will provide 50 to 60 construction related jobs during construction and will create 4 to 6 full time jobs for Taco Bell employees as well as 30 to 40 part time jobs.

Project schedule: Upon completion of the Site Plan Approval process and obtaining the required building permits, the site and building construction is expected to take 80 to 90 days.

Public subsidy has not been requested for this project.

An outdoor eating area is not proposed for this project at this time.

The project team is as follows:

Taco Bell Construction Manager:  
Steve Pulcheon  
Taco Bell Corp.  
1 Glen Bell Way, MD#534  
Irvine, CA 92618

6/18/13  
Page 2

Taco Bell Real Estate Manager:  
Greg Eickholt  
Taco Bell Corp.  
7100 Corporate Drive  
Plano, TX 75024

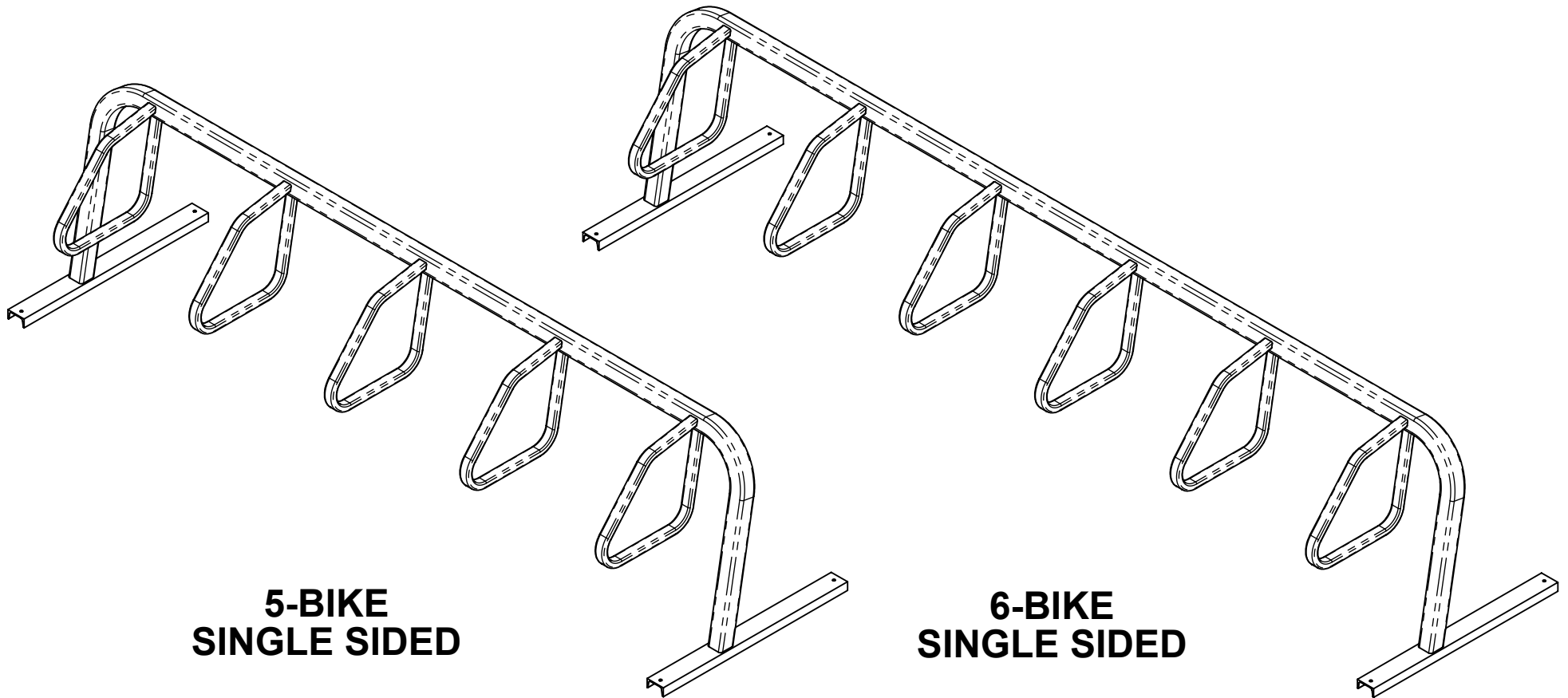
Project Architect:  
L+A Architects, Inc.  
Greg Lautzenheiser & Rich Burke  
2430 Rochester Court, Suite 200  
Troy, MI 48083

General Contractor:  
To be determined

Sincerely,  
L + A Architects, Inc.

Greg Lautzenheiser, A.I.A.

DISTRIBUTION:  
File



**5-BIKE  
SINGLE SIDED**

**6-BIKE  
SINGLE SIDED**



WE BRING CYCLING TO LIFE.

**SARIS CYCLING GROUP**

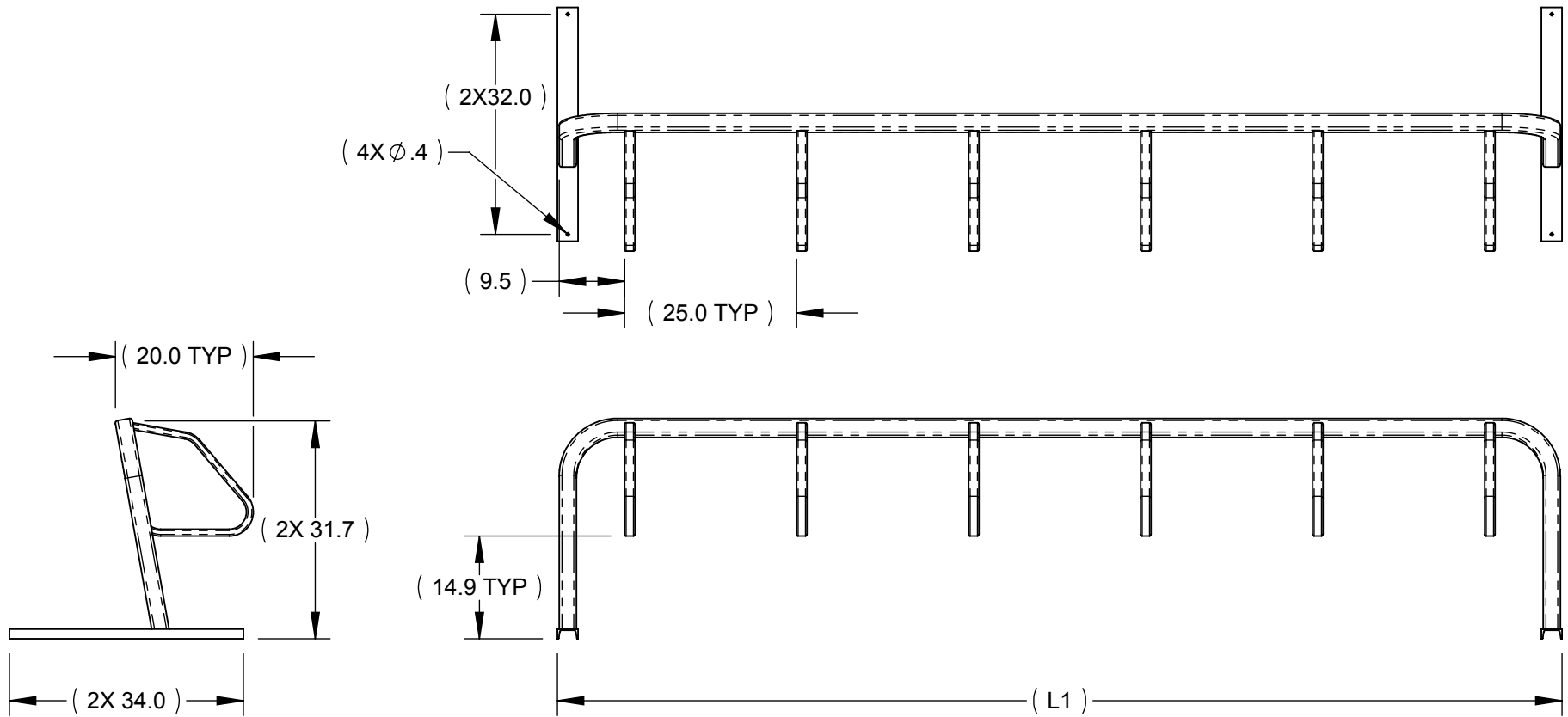
5253 VERONA RD., MADISON WI. 53711  
1-800-783-7257 / 1-608-274-1702  
WWW.SARISPARKING.COM

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SARIS CYCLING GROUP ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF SARIS CYCLING GROUP IS PROHIBITED.

TITLE:

**CITY RACK, 2400 SERIES, SGL, FS**

TABULATION					
BLACK P/N	COLOR P/N	GALVANIZED P/N	# OF BIKES	L1 (IN.)	WEIGHT (LBS)
2403	2403C	2403G	3	71.0	102.0
2406	2406C	2406G	4	96.0	121.2
2409	2409C	2409G	5	121.0	140.4
2412	2412C	2412G	6	146.0	159.6



**SARIS CYCLING GROUP**

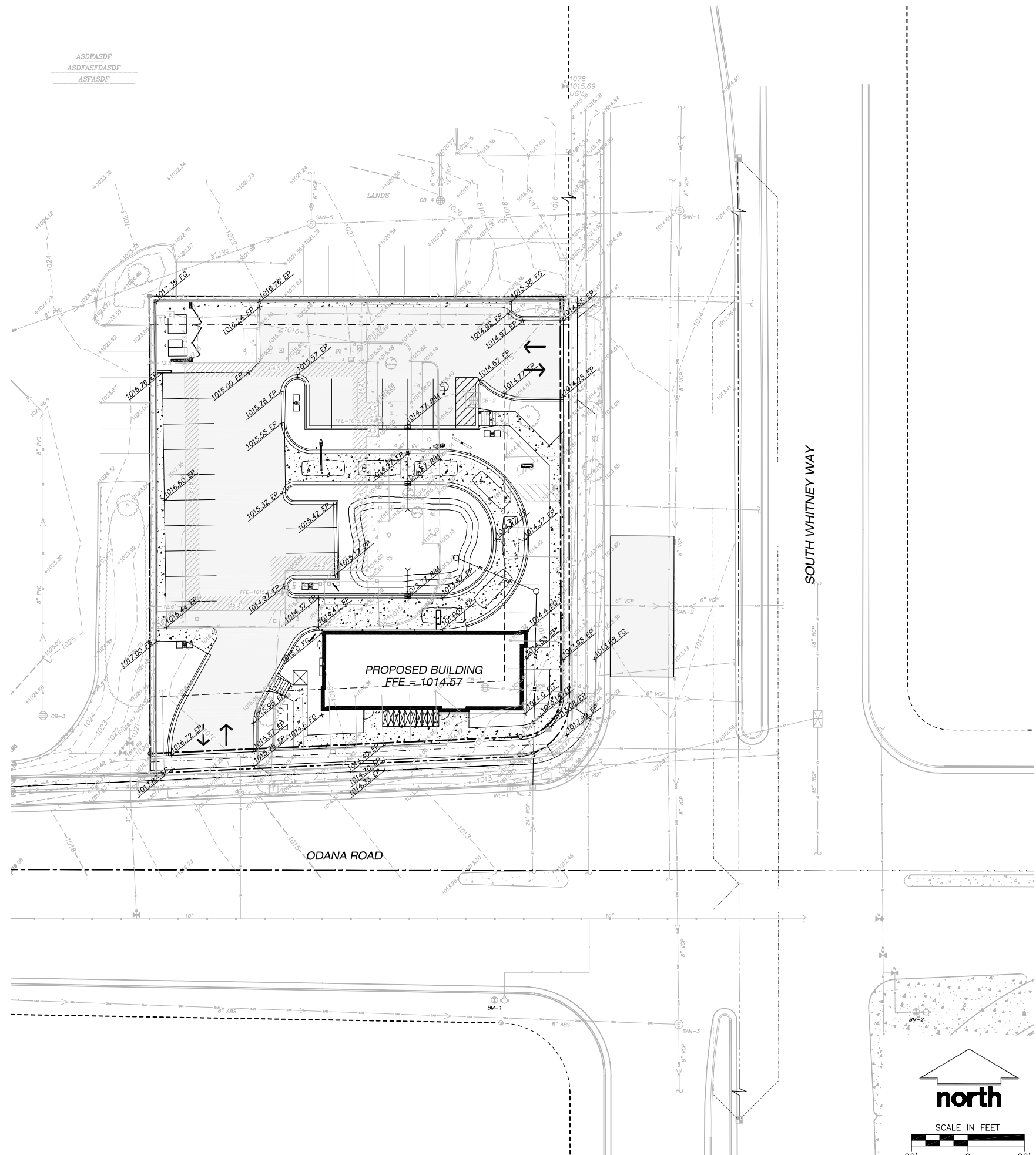
5253 VERONA RD., MADISON WI. 53711  
1-800-783-7257 / 1-608-274-1702  
WWW.SARISPARKING.COM

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SARIS CYCLING GROUP ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF SARIS CYCLING GROUP IS PROHIBITED.

TITLE:  
**CITY RACK, 2400 SERIES, SGL, FS**



ASDFASDF  
ASDFASDFASDF  
ASDFASDF



**LEGEND (PROPOSED)**

- PROPERTY LINE
- - - - - STORM SEWER
- ▬ ASPHALTIC PAVEMENT
- ▬ CONCRETE PAVEMENT

- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- SW - SIDEWALK
- FG - FINAL GRADE
- RM - STRUCTURE RIM

**GENERAL NOTES**

1. SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO CITY OF MADISON STANDARD SPECIFICATIONS FOR DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WSPS REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE STORMWATER MANAGEMENT FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

**DATE ISSUE**

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE: -  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: -

TACO BELL

696 S. Whitney Way  
Madison, WI



**GRADING &  
EROSION  
CONTROL PLAN**

**C 1.0**

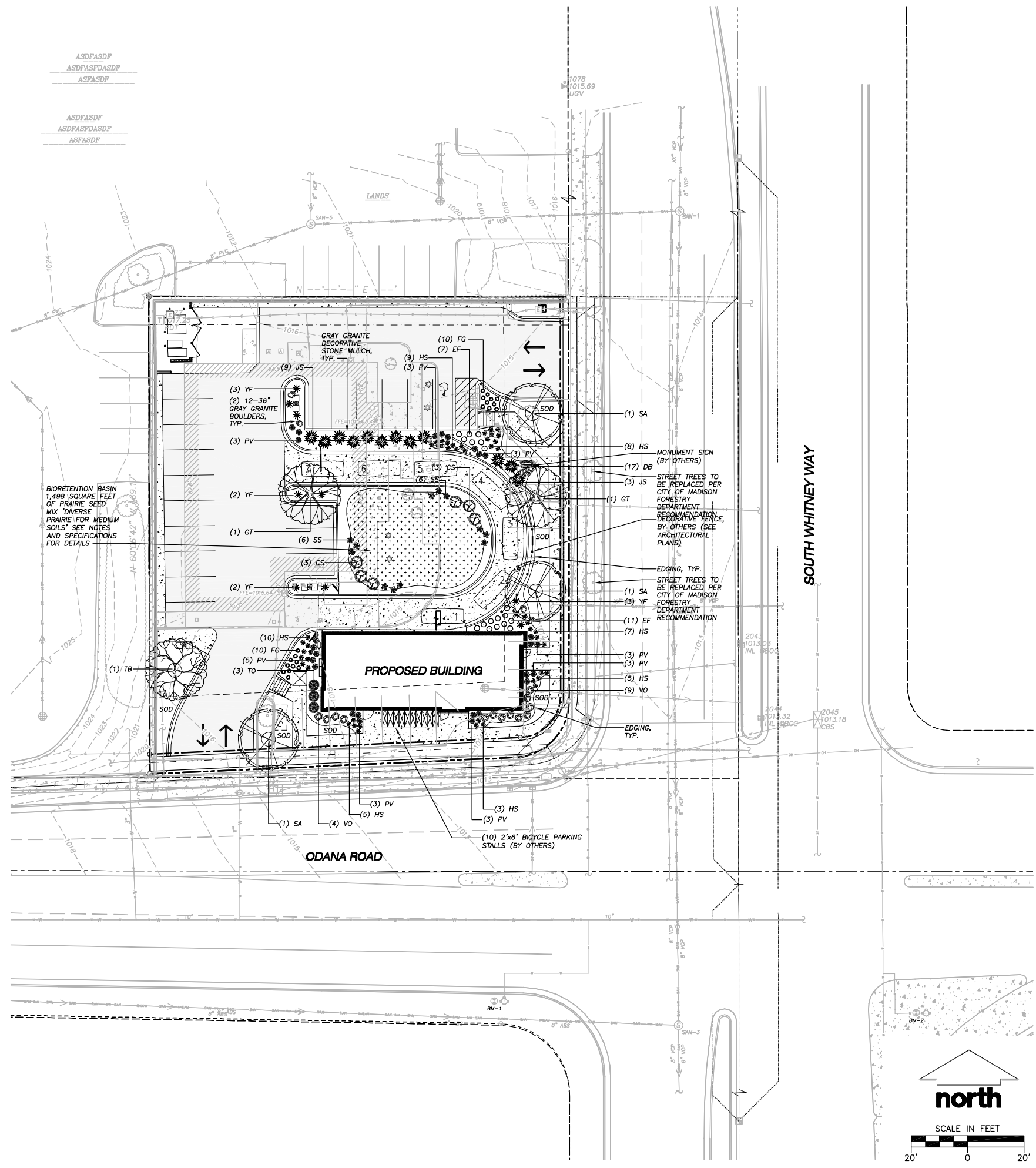
PLOT DATE: 4-22-13





ASDFASDF  
ASDFASDFASDF  
ASDFASDF

ASDFASDF  
ASDFASDFASDF  
ASDFASDF



### LEGEND (PROPOSED)

- TALL DECIDUOUS TREE
- MEDIUM/LOW DECIDUOUS SHRUB
- MEDIUM EVERGREEN SHRUB
- LOW EVERGREEN SHRUB
- PERENNIAL
- LOW DECIDUOUS SHRUB - GROUNDCOVER
- ORNAMENTAL GRASS
- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- BIORETENTION BASIN PRAIRIE SEED MIX
- 12-36" GRAY GRANITE BOULDER
- LIGHT FIXTURE

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY DATED 03-24-2013, FOR EXISTING CONDITION NOTES AND LEGEND.
  - REFER TO CIVIL PLANS FOR PROPOSED PRELIMINARY GRADING, EROSION CONTROL AND UTILITY PLANS.
  - REFER TO SHEET L 2.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
  - IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH THIS PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS AND TO WORK WITHIN ANY CITY OWNED LANDS.
  - ALL WORK IN THE ROW OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OF PROPOSED LIMITS OF DISTURBANCE.

### LANDSCAPE PLANT SCHEDULE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	EXTENSION	
<b>TALL DECIDUOUS TREES (CANOPY TREES)</b>								
DT	2	Biglyme Honeylocust	GLIED TSAI Macranthos var. hemis Skyline	2 1/2' Cal.	#3 Cont.	2	70	
SA	2	Korean Mountain Ash	SORBUS amabilis	2 1/2' Cal.	#3 Cont.	2	105	
TB	1	Boulevard Linden	TILIA americana Boulevard	2 1/2' Cal.	#3 Cont.	2	35	
<b>MEDIUM DECIDUOUS SHRUBS</b>								
CS	2	Alicia Sun Dogwood	CORNUS sanguinea Cal.	18" Min. Ht.	#3 Cont.	2	12	
YF	10	Adam's Needle Yucca	YUCCA filamentosa	18" Min. Ht.	#3 Cont.	2	20	
<b>LOW DECIDUOUS SHRUBS</b>								
VO	12	Dwarf European Ornamental Viburnum	VIBURNUM opulus Nanum	18" Min. Ht.	#3 Cont.	2	25	
<b>MEDIUM EVERGREEN SHRUBS</b>								
TO	2	Berkman's Gold Arborvitae	THUJA orientalis Berkman's Gold	18" Min. Ht.	#3 Cont.	2	9	
<b>LOW EVERGREEN SHRUBS</b>								
JS	12	Savin Juniper	JUNIPERUS Sabina	18" Min. Ht.	#3 Cont.	3	35	
<b>PERENNIALS</b>								
DB	17	Bouquet Purple Dianthus	DIANTHUS Bouquet Purple	2-4' Ht.	#1 Cont.	0	0	
HS	47	Spotted In der Daylily	HEMEROCALLIS Spotted In der	10-12" Ht.	#1 Cont.	0	0	
<b>LOW DECIDUOUS SHRUBS - GROUNDCOVER</b>								
EF	15	Purple Leaf Wintercreeper-Euonymus	EUONYMUS fortunei coloratus	18" Min. Ht.	#3 Cont.	2	35	
<b>ORNAMENTAL GRASSES</b>								
FG	20	Elijah Blue Fescue	FESTUCA glauca 'Elijah Blue'	4-6" Min. Ht.	#2 Cont.	2	40	
PV	25	Green Mountain Grass	PANICUM virgatum Green Mountain	18" Min. Ht.	#2 Cont.	2	52	
SS	12	Blue Heaven Little Bluestem	SCHIZACHYRIUM scoparium 'MiniBlueA' PF	4 1/2'	CONY.	2	24	
							<b>TOTAL POINTS=</b>	<b>465</b>

### CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address: 698 S. WHITNEY WAY, MADISON, WI  
 Name of Project: TACO BELL  
 Owner / Contact: \_\_\_\_\_  
 Contact Phone: \_\_\_\_\_ Contact Email: \_\_\_\_\_

\*\* Landscape plans for planting lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

**Landscape Calculation and Distribution**  
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the U1 and IG districts as specified in (b) below.  
 Total square footage of developed area: **17,138**  
 Developed area divided by three hundred (300) square feet = **57.13** Landscape Units

(b) Within the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.  
 Total square footage of developed area: \_\_\_\_\_  
 Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units

(c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the following table.  
 Landscape units multiplied by five (5) landscape points = **286** Total Points Required

**Tabulation of Points and Credits**  
 Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2) or 0.5 shall be rounded down to the nearest whole number; fractions of more than one half (1/2) shall be rounded up.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	25 inch caliper	35			6	210
Ornamental tree	1.12 inch caliper	15				
Evergreen tree	3 feet tall	15				
Shrub, deciduous	18" or 3 gallon container size	2			47	94
Shrub, evergreen	18" or 3 gallon container size	2			15	45
Ornamental grasses	18" or 3 gallon container size	3			58	116
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.				
<b>Sub Totals</b>						<b>465</b>

Total Number of Points Provided: **465**

### PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 698 S. WHITNEY WAY  
 SITE ACREAGE: 23,383 SQ. FT. OR 0.54 ACRES  
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 1 STORY  
 BUILDING HEIGHT: N/A  
 TYPE OF CONSTRUCTION: N/A  
 TOTAL SQUARE FOOTAGE OF BUILDING: 1,989 SQ. FT.

USE OF PROPERTY: RESTAURANT  
 GROSS SQUARE FEET OF OFFICE: N/A  
 GROSS SQUARE FEET OF RETAIL: N/A  
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: XX  
 CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY:

NUMBER OF EXISTING BICYCLE STALLS SHOWN: 10 STALLS  
 NUMBER OF PARKING STALLS SHOWN:  
 SMALL CAR: N/A  
 LARGE CAR: 18 PARKING STALLS  
 ACCESSIBLE: 1 PARKING STALL  
 TOTAL: 19 PARKING STALLS

DEVELOPMENT FRONTAGE LANDSCAPING:  
 296 LINEAR FEET OF FRONTAGE  
 1 TREE PER 30 LINEAR FEET OF FRONTAGE:  
 10 TREES REQUIRED, 4 TREES PROVIDED  
 VARIANCE REQUESTED DUE TO SITE CONSTRAINTS  
 -BUILDING FOUNDATION LOCATION  
 -COMMERCIAL ACCESS ENTRY LOCATIONS

INTERIOR PARKING LOT LANDSCAPING:  
 TOTAL DEVELOPED AREA: 17,138 SQ. FT.  
 OPEN SPACE RATIO: .267  
 RE-DEVELOPMENT PARKING AREA: 11,244 SQ. FT.  
 LANDSCAPE AREA REQUIRED (5%) = 562.2 SQ. FT.  
 1 TREE PER 160 SQ. FT. = 3.5 TREES REQUIRED  
 4 PARKING LOT TREES PROVIDED

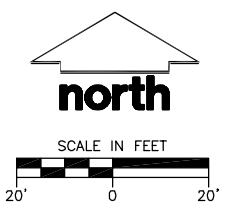
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
 1-800-242-8311 TOLL FREE

WISCONSIN STATE STATUTE: BEFORE PERFORMING ANY WORK THREE (3) WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TREE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS AND DAMAGE PREVENTION INFORMATION. THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING. THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL INSPECTION OF THE PROPERTY OR BY WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

PREPARED FOR  
 L+A ARCHITECTS, INC.  
 2430 ROCHESTER COURT, STE. 200  
 TROY, MI 48063



**L + A ARCHITECTS INC. A.I.A.**  
 2430 ROCHESTER COURT  
 SUITE 200  
 TROY, MICHIGAN 48063  
 PHONE (248) 524-4700 FAX (248) 524-9746  
 PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

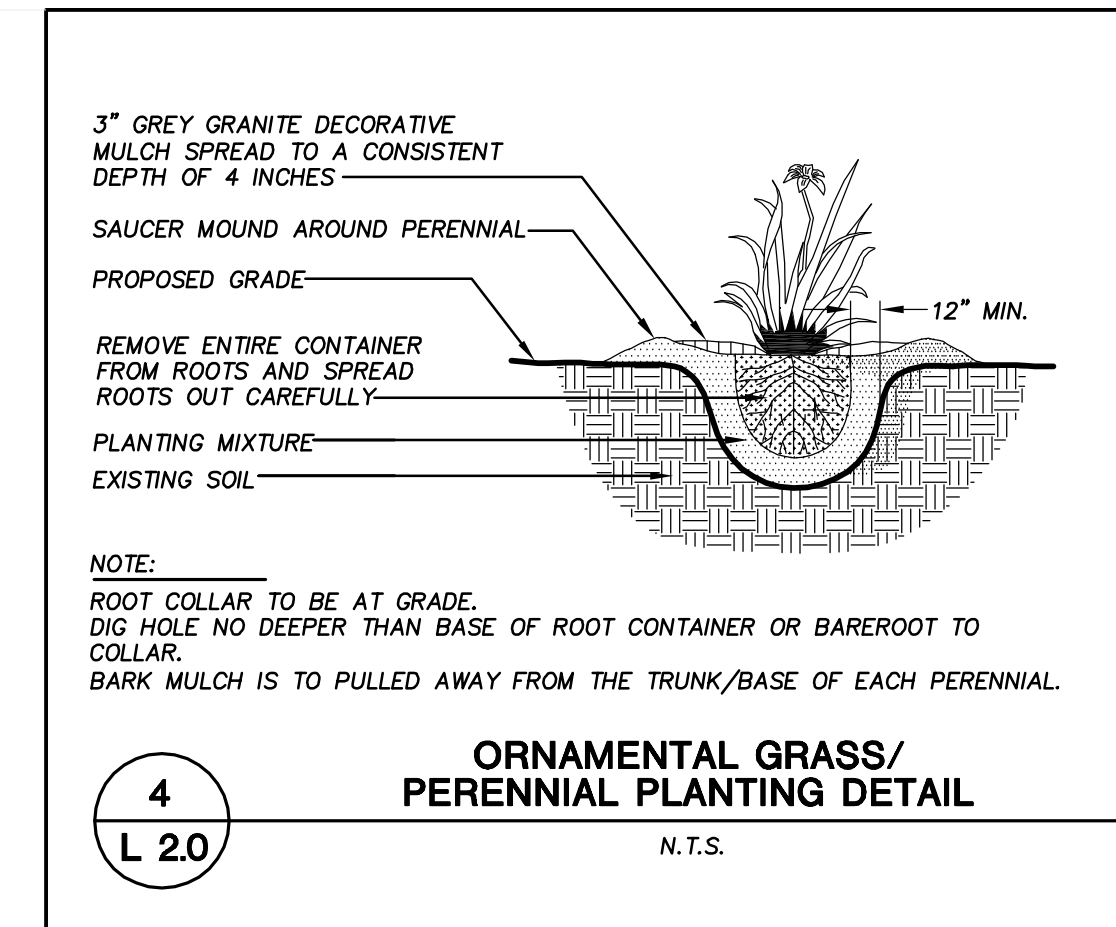
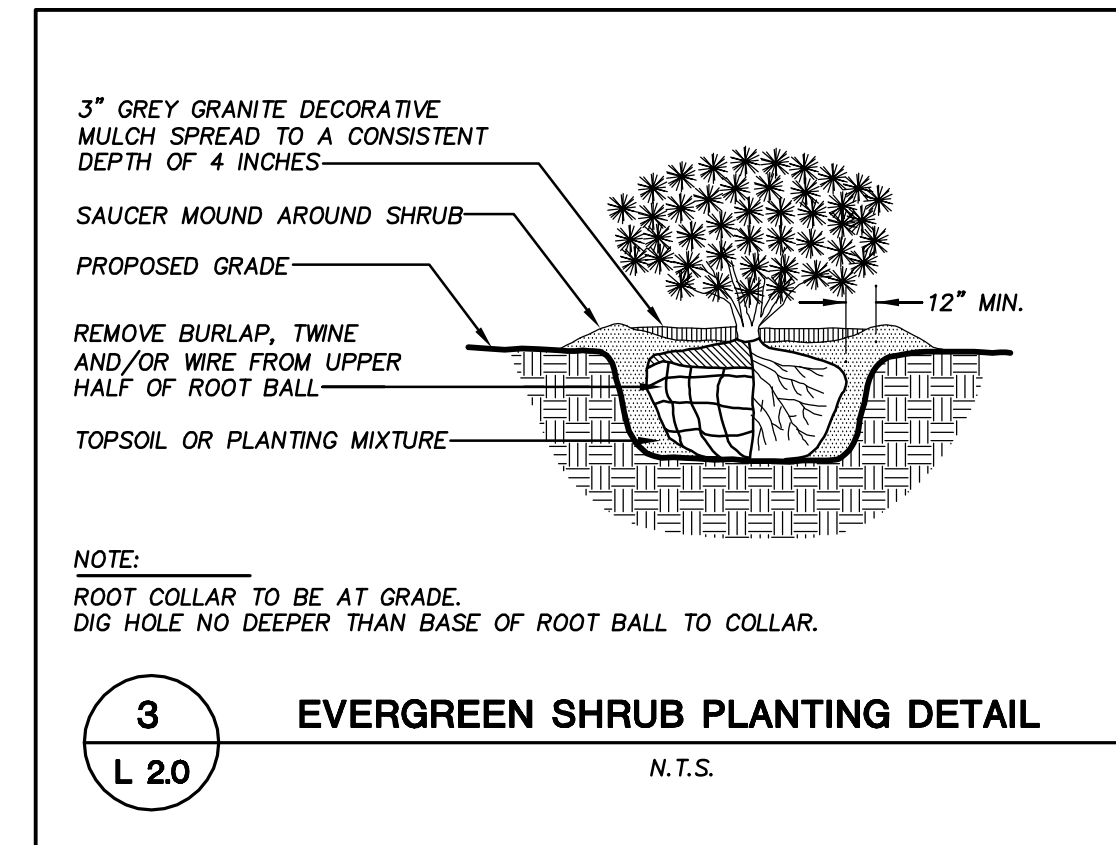
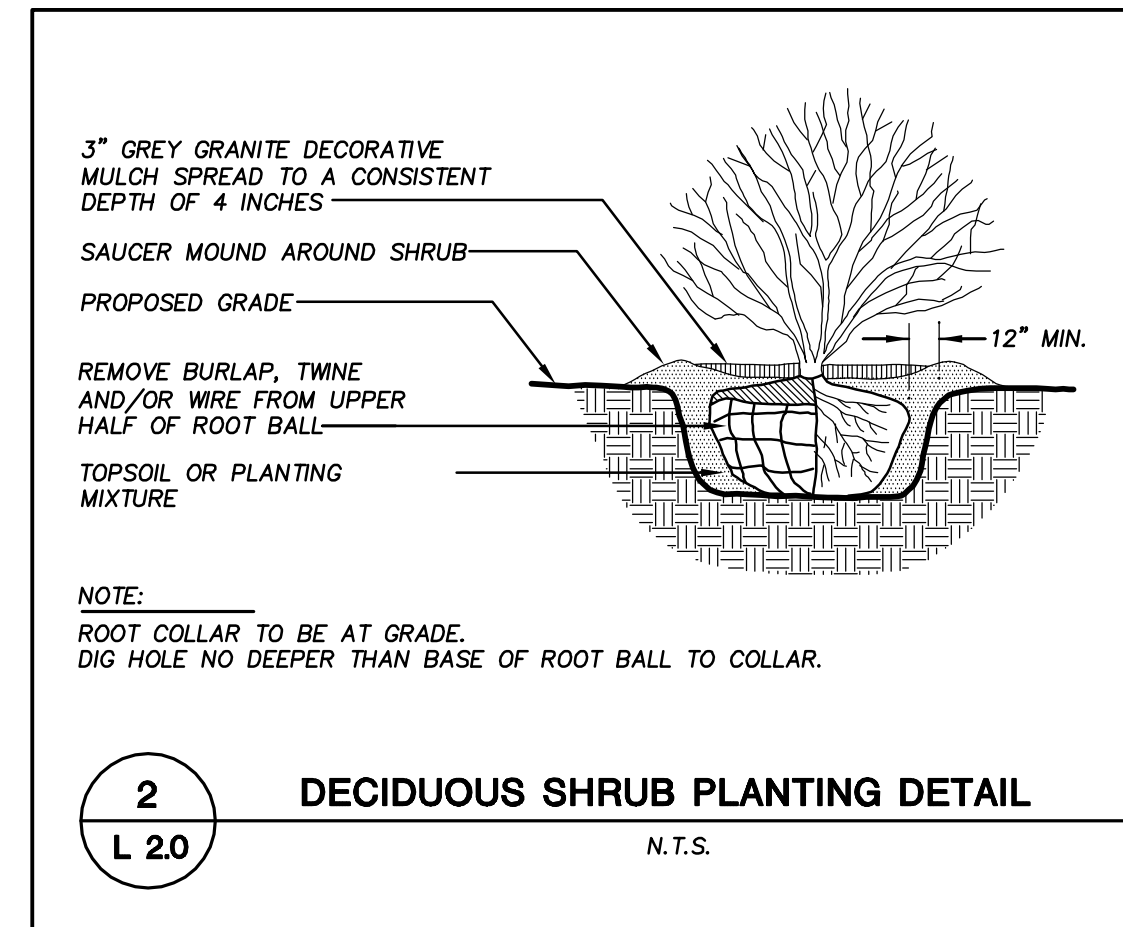
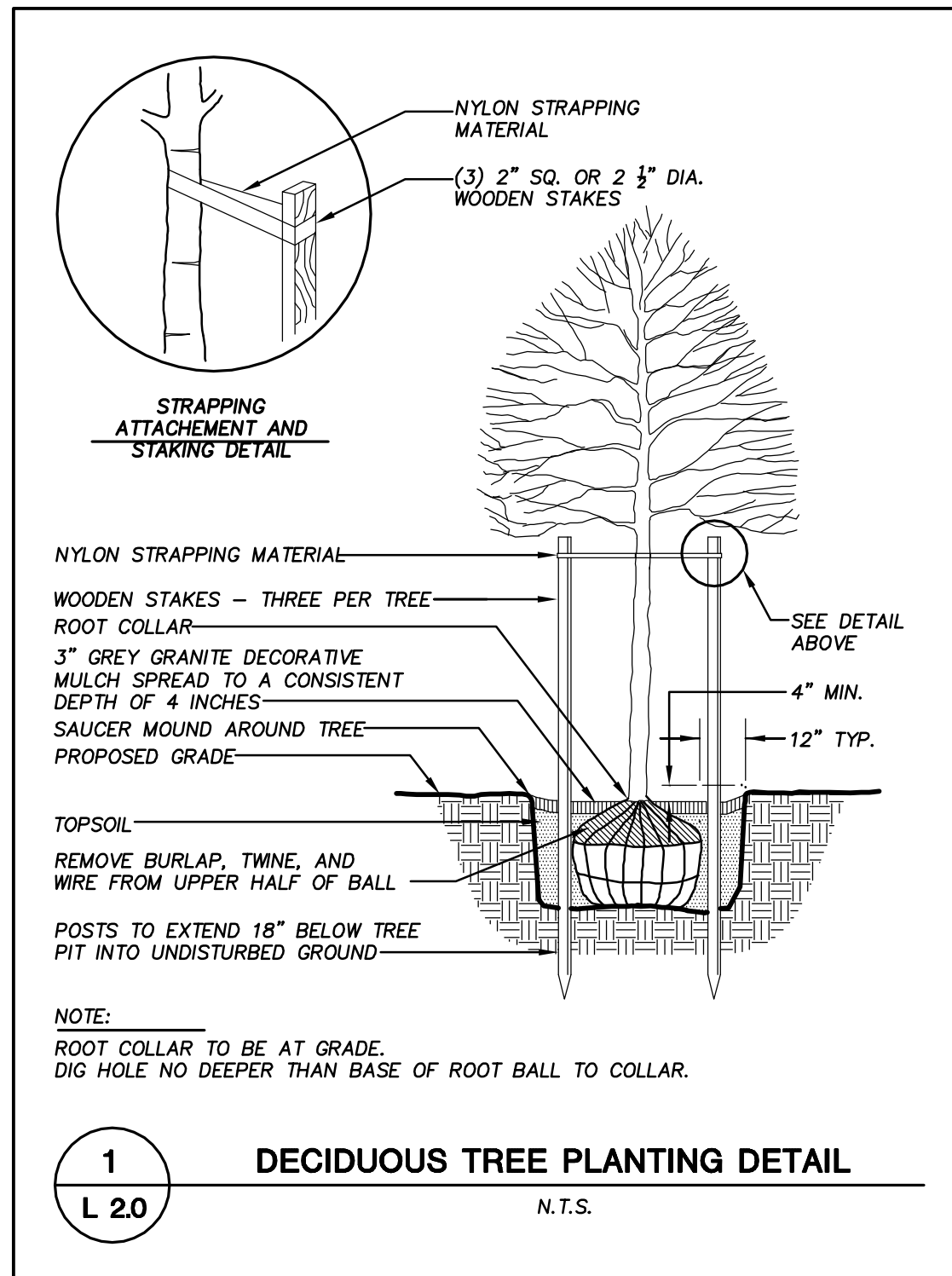
CONTRACT DATE: --  
 BUILDING TYPE: MED-NI-40  
 PLAN VERSION: DEC 12-A  
 SITE NUMBER: 309441  
 STORE NUMBER: --

TACO BELL  
 698 S. Whitney Way  
 Madison, WI

MEDIUM40-NI  
**LANDSCAPE PLAN**  
**L 1.0**  
 PLOT DATE: 4-22-13







**LANDSCAPE NOTES AND SPECIFICATIONS**

- GENERAL: JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, SOD, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PLANTING SOIL TO BE A MINIMUM 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS: ALL PLANTING BEDS AND PARKING ISLANDS TO RECEIVE 3" AGGREGATE GRAY GRANITE DECORATIVE STONE SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE PLANTING AREA. DECORATIVE STONE MULCH TO BE PULLED AWAY FROM BASE OF PLANTS AT TIME OF INSTALLATION. COLOR AND SIZE SAMPLES SHALL BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- TREES PLANTED IN INTERIOR LAWN AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING. AREA SHALL RECEIVE 3" AGGREGATE GRAY GRANITE DECORATIVE STONE SPREAD TO A CONSISTENT DEPTH OF 4 INCHES OVER ENTIRE TREE RING AREA. EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- MATERIALS: CONTRACTOR TO PROVIDE AND INSTALL ALL 12"-36" GRAY GRANITE BOULDERS AS INDICATED ON LANDSCAPE PLAN. GRAY GRANITE BOULDERS TO MEET STANDARDS OF TACO BELL DESIGN REQUIREMENTS. COLOR AND SIZE SAMPLES SHALL BE PROVIDED TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- MATERIALS - BIOINFILTRATION SEED: AREAS DESIGNATED AS BIOINFILTRATION BASIN TO BE HAND SEEDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX (ITEM NO. 50012) AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT.
- MATERIALS: SOD ALL DISTURBED AREAS AS SPECIFIED IN THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE:	--
BUILDING TYPE:	MED-NI-40
PLAN VERSION:	DEC 12-A
SITE NUMBER:	309441
STORE NUMBER:	--

TACO BELL

698 S. Whitney Way  
Madison, WI



MEDIUM40-NI

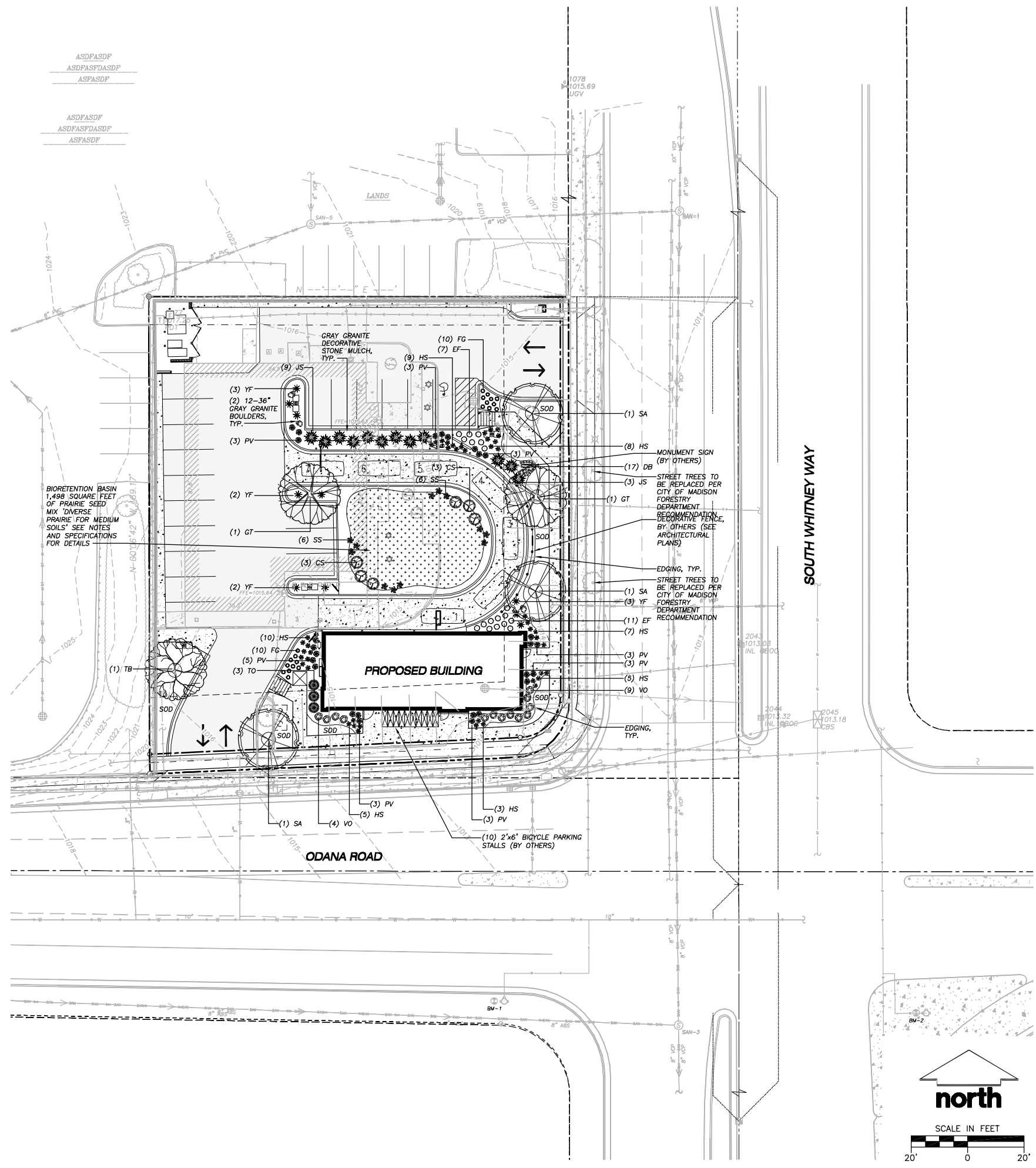
**LANDSCAPE  
DETAILS &  
SPECIFICATIONS**

**L 2.0**

PLOT DATE: 4-22-13

ASDFASDF  
ASDFASDFASDF  
ASDFASDF

ASDFASDF  
ASDFASDFASDF  
ASDFASDF



### LEGEND (PROPOSED)

TALL DECIDUOUS TREE

MEDIUM/LOW DECIDUOUS SHRUB

MEDIUM EVERGREEN SHRUB

LOW EVERGREEN SHRUB

PERENNIAL

LOW DECIDUOUS SHRUB - GROUNDCOVER

ORNAMENTAL GRASS

PROPERTY LINE

PROPOSED ASPHALT PAVEMENT

PROPOSED CONCRETE

BIORETENTION BASIN PRAIRIE SEED MIX

12-36" GRAY GRANITE BOULDER

LIGHT FIXTURE

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY DATED 03-24-2013, FOR EXISTING CONDITION NOTES AND LEGEND.
  - REFER TO CIVIL PLANS FOR PROPOSED PRELIMINARY GRADING, EROSION CONTROL AND UTILITY PLANS.
  - REFER TO SHEET L 2.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
  - IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH THIS PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS AND TO WORK WITHIN ANY CITY OWNED LANDS.
  - ALL WORK IN THE ROW OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OF PROPOSED LIMITS OF DISTURBANCE.

### LANDSCAPE PLANT SCHEDULE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	EXTENSION	
<b>TALL DECIDUOUS TREES (CANOPY TREES)</b>								
DT	2	Biglyme Honeylocust	GLIED TSAI Macranthos var. hemis Skyline	2 1/2" Cal.	#3 Cont.	2	70	
SA	2	Korean Mountain Ash	SORBUS amabilis	2 1/2" Cal.	#3 Cont.	2	105	
TB	1	Boulevard Linden	TILIA americana Boulevard	2 1/2" Cal.	#3 Cont.	2	35	
<b>MEDIUM DECIDUOUS SHRUBS</b>								
CS	2	Alicia Sun Dogwood	CORNUS sanguinea Cal.	18" Min. Ht.	#3 Cont.	2	12	
YF	10	Adam's Needle Yucca	YUCCA filamentosa	18" Min. Ht.	#3 Cont.	2	20	
<b>LOW DECIDUOUS SHRUBS</b>								
VO	12	Dwarf European Ornamental Viburnum	VIBURNUM opulus Nanum	18" Min. Ht.	#3 Cont.	2	25	
<b>MEDIUM EVERGREEN SHRUBS</b>								
TO	2	Berkman's Gold Arborvitae	THUJA orientalis Berkman's Gold	18" Min. Ht.	#3 Cont.	2	9	
<b>LOW EVERGREEN SHRUBS</b>								
JS	12	Savin Juniper	JUNIPERUS Sabina	18" Min. Ht.	#3 Cont.	3	35	
<b>PERENNIALS</b>								
DB	17	Bouquet Purple Dianthus	DIANTHUS Bouquet Purple	2-4" Ht.	#1 Cont.	0	0	
HS	47	Spotted In der Daylily	HEMEROCALLIS Spotted In der	10-12" Ht.	#1 Cont.	0	0	
<b>LOW DECIDUOUS SHRUBS - GROUNDCOVER</b>								
EF	15	Purple Leaf Wintercreeper-Euonymus	EUONYMUS fortunei coloratus	18" Min. Ht.	#3 Cont.	2	35	
<b>ORNAMENTAL GRASSES</b>								
PG	20	Elijah Blue Paspalum	FESTUCA glauca 'Elijah Blue'	4-6" Min. Ht.	#2 Cont.	2	40	
PV	25	Green Mountain Grass	PANICUM virgatum Green Mountain	18" Min. Ht.	#2 Cont.	2	52	
SS	12	Blue Heaven Little Bluestem	SCHIZACHYRIUM scoparium 'MiniBlueA' PF	4 1/2"	CONY.	2	24	
							<b>TOTAL POINTS=</b>	<b>465</b>

### CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address: **698 S. WHITNEY WAY, MADISON, WI**

Name of Project: **TACO BELL**

Owner / Contact: \_\_\_\_\_

Contact Phone: \_\_\_\_\_

Contact Email: \_\_\_\_\_

**\*\* Landscape plans for planting lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Landscape Calculation and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the U1 and IG districts as specified in (b) below.

Total square footage of developed area: **17,138**

Developed area divided by three hundred (300) square feet = **57.13** Landscape Units

(b) Within the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.

Total square footage of developed area: \_\_\_\_\_

Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units

(c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the following table.

Landscape units multiplied by five (5) landscape points = **286** Total Points Required

**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2) or 0.5 shall be rounded down to the nearest whole number; fractions of more than one half (1/2) shall be rounded up.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	25 inch caliper	35			6	210
Ornamental tree	1.12 inch caliper	15				
Evergreen tree	3 feet tall	15				
Shrub, deciduous	18" or 3 gallon container size	2			47	94
Shrub, evergreen	18" or 3 gallon container size	2			15	45
Ornamental grasses	18" or 3 gallon container size	3			58	116
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.				
<b>Sub Totals</b>						<b>465</b>

Total Number of Points Provided: **465**

3/2013

### PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 698 S. WHITNEY WAY  
SITE ACREAGE: 23,383 SQ. FT. OR 0.54 ACRES  
NUMBER OF BUILDING STORIES (ABOVE GRADE): 1 STORY  
BUILDING HEIGHT: N/A  
TYPE OF CONSTRUCTION: N/A  
TOTAL SQUARE FOOTAGE OF BUILDING: 1,989 SQ. FT.

USE OF PROPERTY: RESTAURANT  
GROSS SQUARE FEET OF OFFICE: N/A  
GROSS SQUARE FEET OF RETAIL: N/A  
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
NUMBER OF EMPLOYEES IN PRODUCTION AREA: XX  
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY:

NUMBER OF EXISTING BICYCLE STALLS SHOWN: 10 STALLS

NUMBER OF PARKING STALLS SHOWN:  
SMALL CAR: N/A  
LARGE CAR: 18 PARKING STALLS  
ACCESSIBLE: 1 PARKING STALL  
TOTAL: 19 PARKING STALLS

DEVELOPMENT FRONTAGE LANDSCAPING:  
296 LINEAR FEET OF FRONTAGE  
1 TREE PER 30 LINEAR FEET OF FRONTAGE:  
10 TREES REQUIRED, 4 TREES PROVIDED  
VARIANCE REQUESTED DUE TO SITE CONSTRAINTS  
-BUILDING FOUNDATION LOCATION  
-COMMERCIAL ACCESS ENTRY LOCATIONS

INTERIOR PARKING LOT LANDSCAPING:  
TOTAL DEVELOPED AREA: 17,138 SQ. FT.  
OPEN SPACE RATIO: .267  
RE-DEVELOPMENT PARKING AREA: 11,244 SQ. FT.  
LANDSCAPE AREA REQUIRED (5%) = 562.2 SQ. FT.  
1 TREE PER 160 SQ. FT. = 3.5 TREES REQUIRED  
4 PARKING LOT TREES PROVIDED

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8311 TOLL FREE

WISCONSIN STATE STATUTE: FIELD PREVIEW REQUIRES APPROVAL THREE (3) WORK DAYS BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TREE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS AND DAMAGE PREVENTION INFORMATION FROM THE CITY OF MADISON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DAMAGE PREVENTION INFORMATION FROM THE CITY OF MADISON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DAMAGE PREVENTION INFORMATION FROM THE CITY OF MADISON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DAMAGE PREVENTION INFORMATION FROM THE CITY OF MADISON.

PREPARED FOR  
L+A ARCHITECTS, INC.  
2430 ROCHESTER COURT, STE. 200  
TROY, MI 48063

**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063

PHONE: (248) 524-4700 FAX: (248) 524-9746

PROJECT NO. T12020

DATE: 4-2-2013 ISSUE: INITIAL UDC SUBMITTAL

4-9-2013 REVISED UDC SUBMITTAL

4-22-2013 REVISED PER CITY

6-19-2013 UDC and PC SUBMITTAL

CONTRACT DATE: --

BUILDING TYPE: MED-NI-40

PLAN VERSION: DEC 12-A

SITE NUMBER: 309441

STORE NUMBER: --

TACO BELL

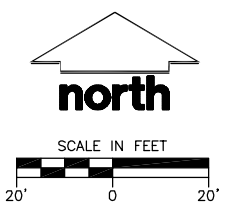
698 S. Whitney Way  
Madison, WI

MEDIUM40-NI

LANDSCAPE PLAN

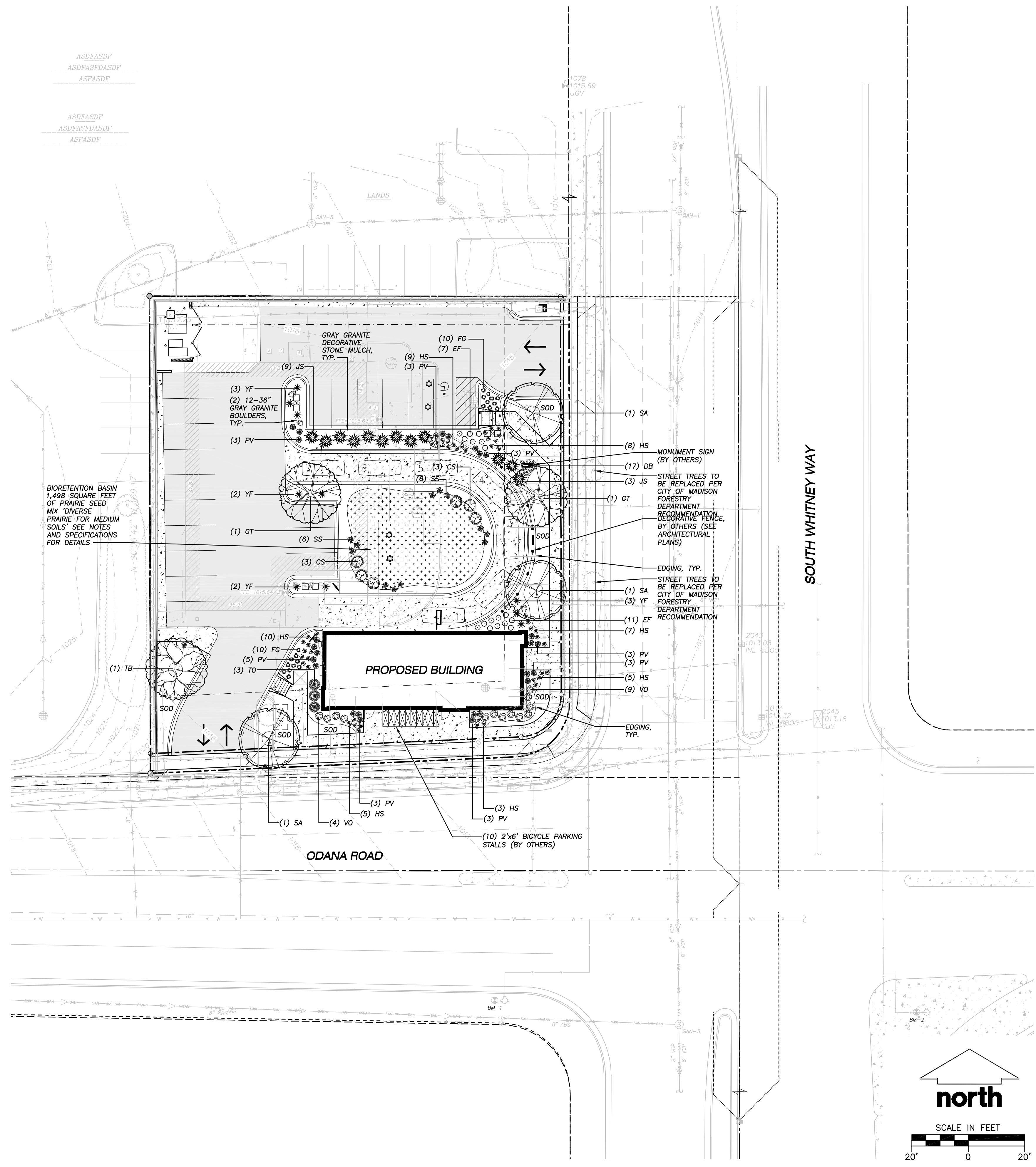
L 1.0

PLOT DATE: 4-22-13



ASDFASDF  
ASDFASDFASDF  
ASDFASDF

ASDFASDF  
ASDFASDFASDF  
ASDFASDF



### LEGEND (PROPOSED)

- TALL DECIDUOUS TREE
- MEDIUM/LOW DECIDUOUS SHRUB
- MEDIUM EVERGREEN SHRUB
- LOW EVERGREEN SHRUB
- PERENNIAL
- LOW DECIDUOUS SHRUB - GROUNDCOVER
- ORNAMENTAL GRASS
- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- BIORETENTION BASIN PRAIRIE SEED MIX
- 12-36" GRAY GRANITE BOULDER
- LIGHT FIXTURE

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY DATED 03-24-2013, FOR EXISTING CONDITION NOTES AND LEGEND.
  - REFER TO CIVIL PLANS FOR PROPOSED PRELIMINARY GRADING, EROSION CONTROL AND UTILITY PLANS.
  - REFER TO SHEET L 2.0 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.
  - IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH THIS PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS AND TO WORK WITHIN ANY CITY OWNED LANDS.
  - ALL WORK IN THE ROW OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OF PROPOSED LIMITS OF DISTURBANCE.

### LANDSCAPE PLANT SCHEDULE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	EXTENSION
<b>TALL DECIDUOUS TREES (CANOPY TREES)</b>							
GT	2	Skyline Honeylocust	GLEDTSIA tricanthos var. inermis 'Skyline'	2 1/2" Cal.	B&B	35	70
SA	3	Korean Mountain Ash	SORBUS amurensis	2 1/2" Cal.	B&B	35	105
TB	1	Boulevard Linden	TILIA americana 'Boulevard'	2 1/2" Cal.	B&B	35	35
<b>MEDIUM DECIDUOUS SHRUBS</b>							
CS	6	Aristo Sun Dogwood	CORNUS sanguinea 'Cabo'	18" Min. Ht.	#3 Cont.	2	12
VF	10	Adam's Needle Yucca	YUCCA filamentosa	18" Min. Ht.	#3 Cont.	2	20
<b>LOW DECIDUOUS SHRUBS</b>							
VO	13	Dwarf European Cranberrybush Viburnum	VIBURNUM opulus 'Nanum'	18" Min. Ht.	#3 Cont.	2	26
<b>MEDIUM EVERGREEN SHRUBS</b>							
TO	3	Berkman's Gold Arborvitae	THUJA orientalis 'Berkman's Gold'	18" Min. Ht.	#3 Cont.	3	9
<b>LOW EVERGREEN SHRUBS</b>							
JS	12	Savin Juniper	JUNIPERUS sabina	18" Min. Ht.	#3 Cont.	3	36
<b>PERENNIALS</b>							
DB	17	Bouquet Purple Dianthus	DIANTHUS 'Bouquet Purple'	2-4" Ht.	#1 Cont.	0	0
HS	47	Spelbinder Daylily	HEMEROCALLIS 'Spelbinder'	10-12" Ht.	#1 Cont.	0	0
<b>LOW DECIDUOUS SHRUBS - GROUNDCOVER</b>							
EF	18	Purple-leaf Wintercreeper-Euonymus	EUONYMUS fortunei 'coloratus'	12" Min. Ht.	#3 Cont.	2	36
<b>ORNAMENTAL GRASSES</b>							
FG	20	Elijah Blue Fescue	FESTUCA glauca 'Elijah Blue'	4-6" Min. Ht.	#2 Cont.	2	40
PV	26	Shenandoah Switch Grass	PANICUM virgatum 'Shenandoah'	18" Min. Ht.	#2 Cont.	2	52
SS	12	Blue Heaven Little Bluestem	SCHIZACHYRIUM scoparium 'MinnBlueA'PP	4 1/2"	CONT.	2	24
						<b>TOTAL POINTS=</b>	<b>465</b>

### CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address: **698 S. WHITNEY WAY, MADISON, WI**

Name of Project: **TACO BELL**

Owner / Contact: \_\_\_\_\_

Contact Phone: \_\_\_\_\_

Contact Email: \_\_\_\_\_

**\*\* Landscape plan for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the IL and IG districts as specified in (b) below.

Total square footage of developed area: **17,138**

Developed area divided by three hundred (300) square feet = **57.13** Landscape Units

(b) Within the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.

Total square footage of developed area: \_\_\_\_\_

Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units

(c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the following table.

Landscape units multiplied by five (5) landscape points = **286** Total Points Required

**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2 or 0.5) shall be rounded down to the nearest whole number; fractions of more than one-half (1/2) shall be rounded up.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Oversory deciduous tree	2 1/2 inch caliper	35			6	210
Ornamental tree	1 1/2 inch caliper	15				
Evergreen tree	3 feet tall	15				
Shrub, deciduous	18" or 3 gallon container size	2			47	94
Shrub, evergreen	18" or 3 gallon container size	3			15	45
Ornamental grasses	18" or 3 gallon container size	2			58	116
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.				
<b>Sub Totals</b>						<b>465</b>

Total Number of Points Provided: **465**

3/2013

### PARKING LOT SITE INFORMATION BLOCK

SITE ADDRESS: 698 S. WHITNEY WAY  
SITE ACREAGE: 23,383 SQ. FT. OR 0.54 ACRES  
NUMBER OF BUILDING STORIES (ABOVE GRADE): 1 STORY  
BUILDING HEIGHT: N/A  
TYPE OF CONSTRUCTION: N/A  
TOTAL SQUARE FOOTAGE OF BUILDING: 1,989 SQ. FT.

USE OF PROPERTY: RESTAURANT  
GROSS SQUARE FEET OF OFFICE: N/A  
GROSS SQUARE FEET OF RETAIL: N/A  
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A  
NUMBER OF EMPLOYEES IN PRODUCTION AREA: XX  
CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY:

NUMBER OF EXISTING BICYCLE STALLS SHOWN: 10 STALLS

NUMBER OF PARKING STALLS SHOWN:  
SMALL CAR: N/A  
LARGE CAR: 18 PARKING STALLS  
ACCESSIBLE: 1 PARKING STALL  
TOTAL: 19 PARKING STALLS

DEVELOPMENT FRONTAGE LANDSCAPING:  
296 LINEAR FEET OF FRONTAGE  
1 TREE PER 30 LINEAR FEET OF FRONTAGE:  
10 TREES REQUIRED, 4 TREES PROVIDED  
VARIANCE REQUESTED DUE TO SITE CONSTRAINTS  
-BUILDING FOUNDATION LOCATION  
-COMMERCIAL ACCESS ENTRY LOCATIONS

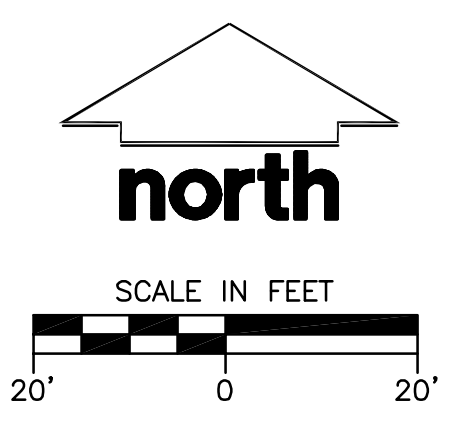
INTERIOR PARKING LOT LANDSCAPING:  
TOTAL DEVELOPED AREA: 17,138 SQ. FT.  
OPEN SPACE RATIO: .287  
RE-DEVELOPMENT PARKING AREA: 11,244 SQ. FT.  
LANDSCAPE AREA REQUIRED (5%) = 562.2 SQ. FT.  
1 TREE PER 160 SQ. FT. = 3.5 TREES REQUIRED  
4 PARKING LOT TREES PROVIDED

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8511 TOLL FREE

WISCONSIN STATE STATUTE REGULATORY REQUIRES MINIMUM THREE (3) WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TREE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR FULL. INCLUDING THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TREE AND LOCATION OF UNDERGROUND UTILITIES. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING. IF OTHERS CANNOT BE LOCATED BY A VISUAL INSPECTION OF THE PROPERTY OR BY WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063

PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

TACO BELL

698 S. Whitney Way  
Madison, WI

MEDIUM40-NI

LANDSCAPE PLAN

L 1.0

PLOT DATE: 4-22-13







**L+A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063  
PHONE (248) 524-4700 (248) 524-6746  
FAX

PROJECT NO. T12020

**LEGEND (PROPOSED)**

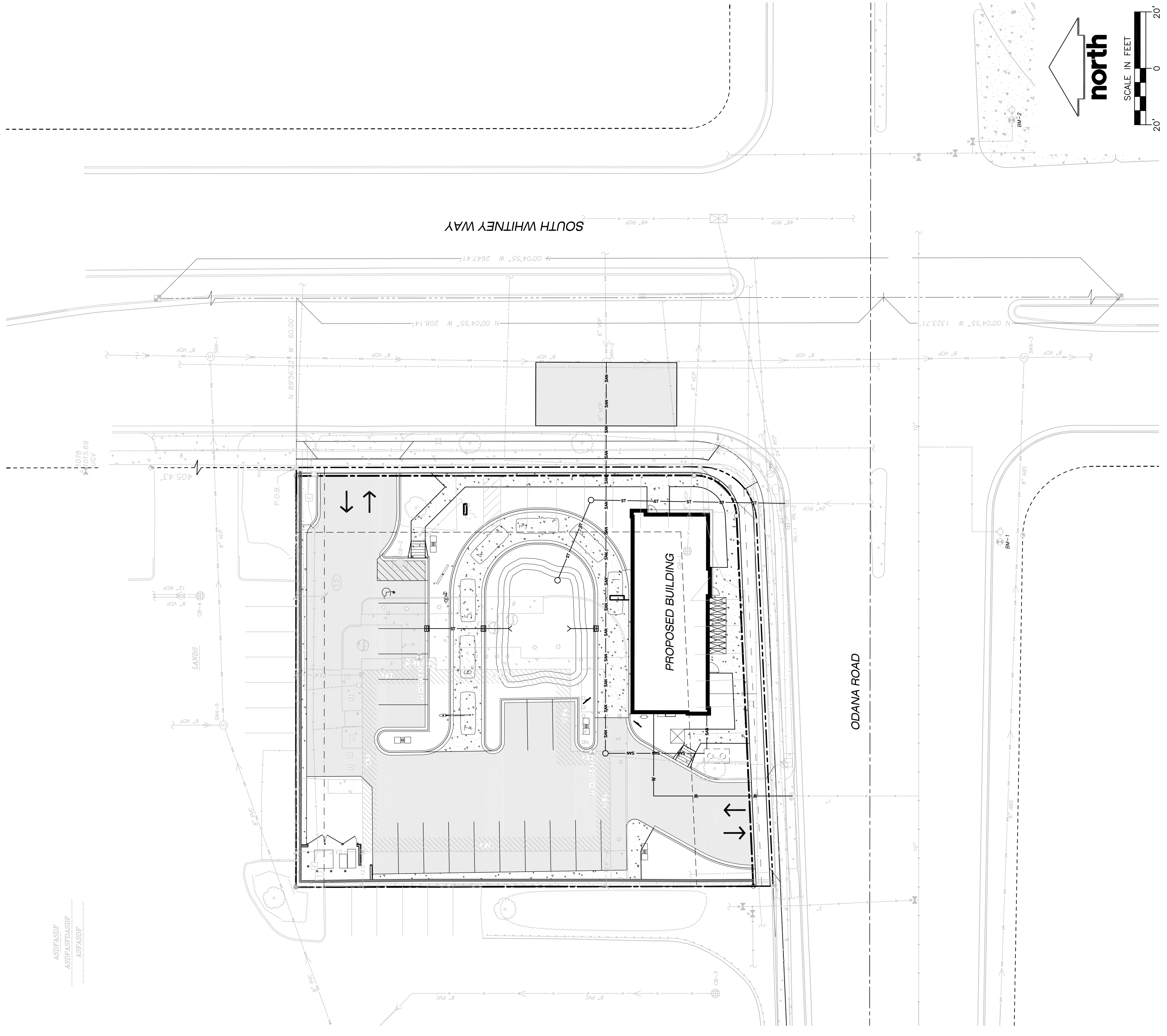
- PROPERTY LINE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- GAS SERVICE (DESIGN BY UTILITY)
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT

**GENERAL NOTES**

1. SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**UTILITY NOTES**

1. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS). CONTACT THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF ANY WORK WITHIN THE ROW TO SCHEDULE A PRECONSTRUCTION MEETING.
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
6. PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER MDNR REQUIREMENTS AND MDNR TECHNICAL STANDARD 1061.
7. ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, AND MDNR.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
19. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
20. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF UTILITIES WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE UTILITY CONTRACTORS.
21. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE CURBED HAND, NOT THROUGH USING A CURBY MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF 3" OF SAND. ALL CASTINGS SHALL BE SET TO GRADE BY THE CONTRACTOR. THE INLET CASTING SHALL BE SET TO GRADE AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
23. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.
24. ALL CASTINGS SHALL BE NEENAH FOUNDRY CASTINGS AS SHOWN OR EQUAL.



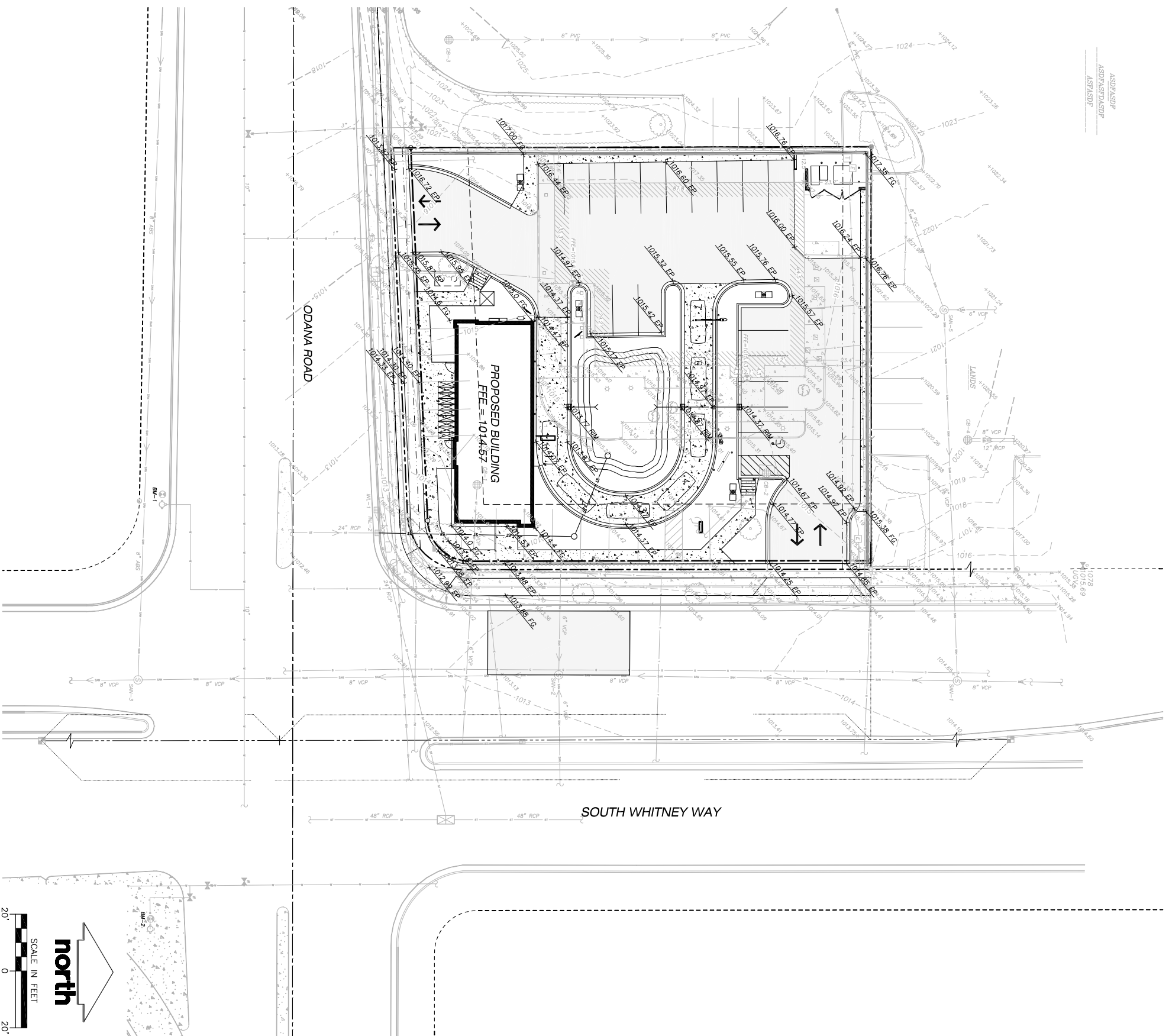
DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 308441  
STORE NUMBER: --

TACO BELL  
686 S. Whitney Way  
Madison, WI

MEDIUM40-NI  
UTILITY PLAN

C 2.0  
PLOT DATE: 4-22-13



**LEGEND (PROPOSED)**

- PROPERTY LINE
- STORM SEWER
- ASPHALTIC PAVEMENT
- CONCRETE PAVEMENT

- SPOT ELEVATION
- FEE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- SW - SIDEWALK
- FG - FINAL GRADE
- RIM - STRUCTURE RIM

**GENERAL NOTES**

1. SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISPARITARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wisconsin.gov/land/soilwater/feandtsd.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):  
 A. CONSTRUCTION SHALL BE LIMITED TO THE MINIMUM NECESSARY DISTURBANCE.  
 B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.  
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEMAINTENING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO CITY OF MADISON STANDARD SPECIFICATIONS FOR DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATING REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WNR AND WPS REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WNR TECHNICAL STANDARD 1068.
16. CONTRACTOR TO PROVIDE SQUID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MAY TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-BLOW OR DEEP TILL WITH DOUBLE TIMES THE STORMWATER MANAGEMENT FACILITY JUST OF THE AS-BUILT CERTIFICATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48063  
PHONE  
(248) 524-4700 (248) 524-9746  
FAX  
PROJECT NO. T12020

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-9-2013	UDC and PC SUBMITTAL

CONTRACT DATE: -  
BUILDING TYPE: MED-N-40  
PLAN VERSION: DEC-12A  
SITE NUMBER: 309441  
STORE NUMBER: -

TACO BELL

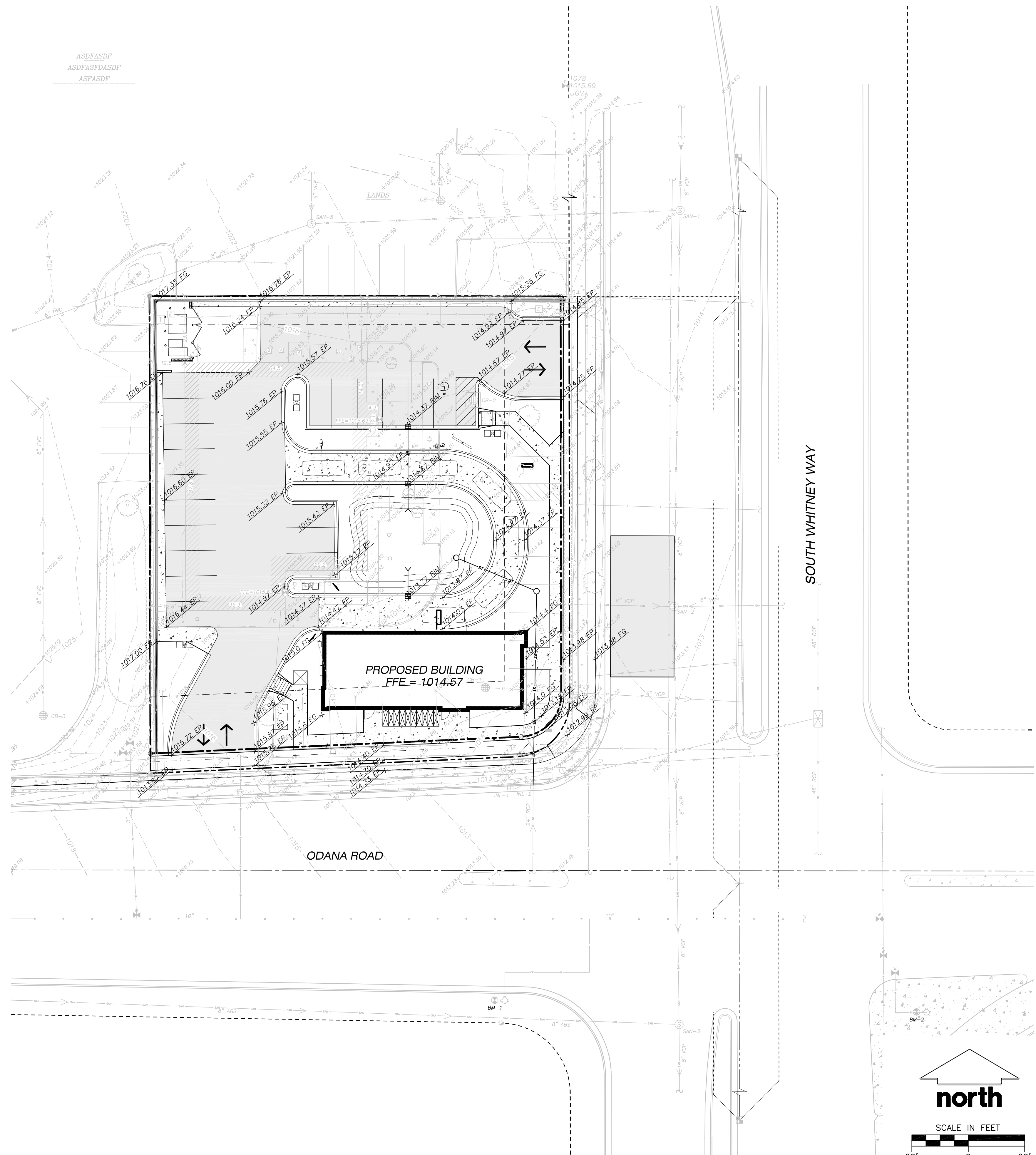
699 S. Whitney Way  
Madison WI



MEDIUM40-NI  
**GRADING & EROSION CONTROL PLAN**

**C 1.0**

ASDFASDF  
ASDFASDFASDF  
ASDFASDF



**LEGEND (PROPOSED)**

- PROPERTY LINE
- - - - - STORM SEWER
- ▨ ASPHALTIC PAVEMENT
- ▩ CONCRETE PAVEMENT

- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FFE - FINISHED FLOOR ELEVATION
- TC - TOP OF CURB
- SW - SIDEWALK
- FG - FINAL GRADE
- RIM - STRUCTURE RIM

**GENERAL NOTES**

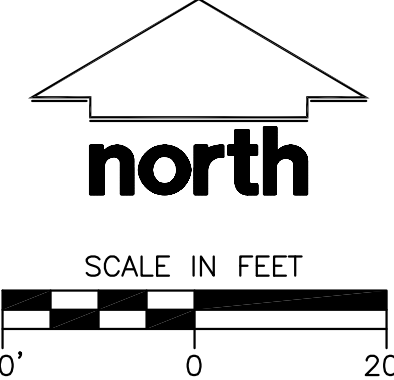
1. SURVEY CONDITIONS SHOWN BASED ON FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES THE WEEK OF MARCH 24, 2013.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. WORK IN ROW AND WITHIN PUBLIC EASEMENTS SHOWN ON THIS PLAN IS FOR GRAPHIC PURPOSES ONLY.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. ONLINE REPORTING OF INSPECTIONS AND MAINTENANCE IS REQUIRED TO BE SUBMITTED TO THE CITY OF MADISON.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO CITY OF MADISON STANDARD SPECIFICATIONS FOR DETAILS.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WSPS REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE STORMWATER MANAGEMENT FACILITY JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING. THIS MUST BE VERIFIED BY THE ENGINEER AS PART OF THE AS-BUILT CERTIFICATION.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



**L + A**  
ARCHITECTS  
INC. A.I.A.

2430 ROCHESTER COURT  
SUITE 200  
TROY, MICHIGAN 48083  
PHONE (248) 524-4700 FAX (248) 524-9746

PROJECT NO. T12020

**DATE ISSUE**

DATE	ISSUE
4-2-2013	INITIAL UDC SUBMITTAL
4-9-2013	REVISED UDC SUBMITTAL
4-22-2013	REVISED PER CITY
6-19-2013	UDC and PC SUBMITTAL

CONTRACT DATE: --  
BUILDING TYPE: MED-NI-40  
PLAN VERSION: DEC 12-A  
SITE NUMBER: 309441  
STORE NUMBER: --

**TACO BELL**

696 S. Whitney Way  
Madison, WI



**GRADING &  
EROSION  
CONTROL PLAN**

**C 1.0**

PLOT DATE: 4-22-13



