

view down NE down Wilson east of Hamilton/Henry intersection



view down NE down Wilson west of Hamilton/Henry intersection



view down S onto Wilson at intersection of Wilson and Hamilton



view SE down West Wilson just east of S. Carroll

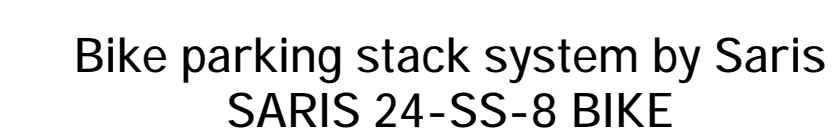


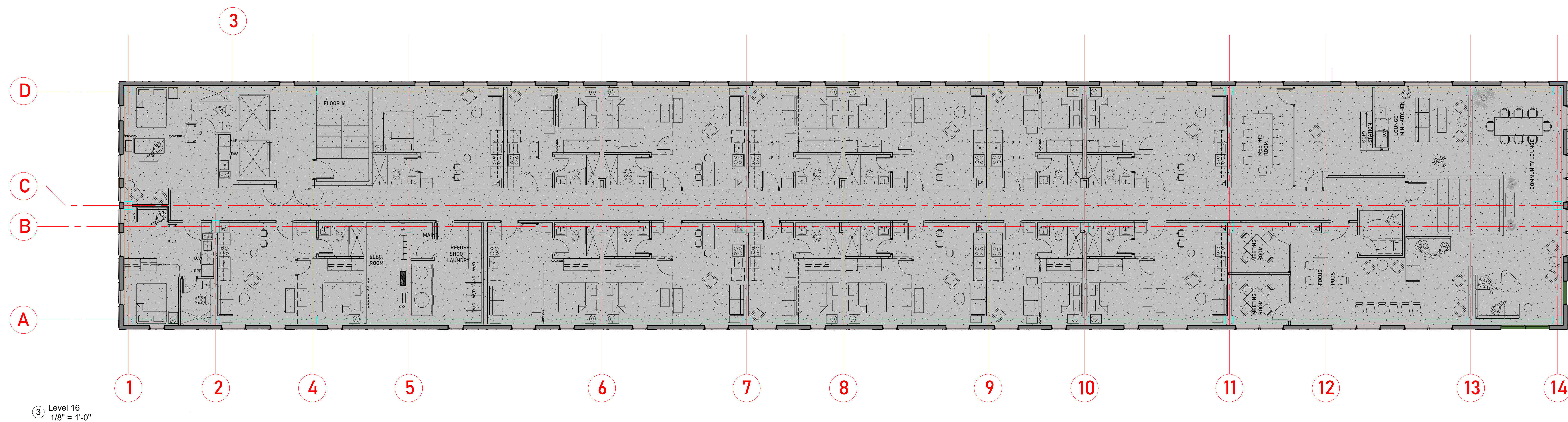
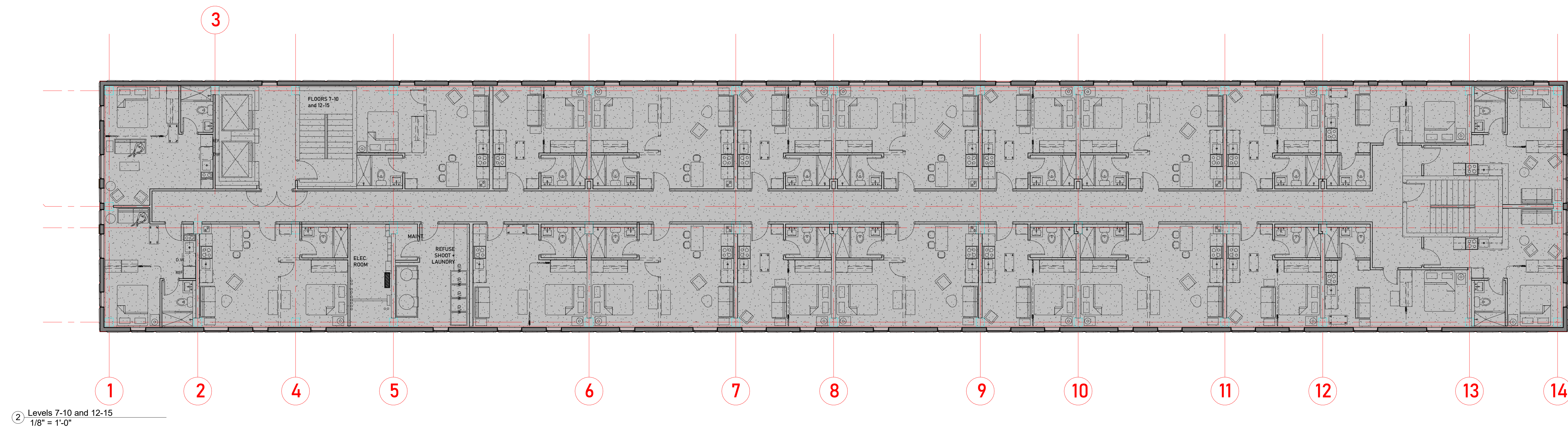
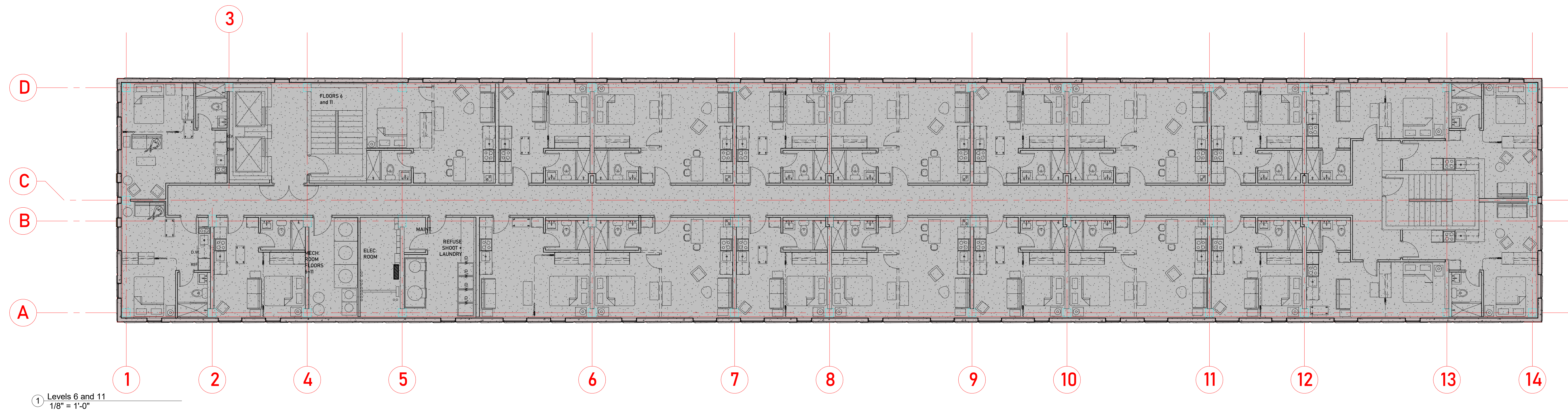
view looking NE onto intersection of Wilson and Hamilton



view S down West Wilson between Hamilton and S. Carroll

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023

A101



Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



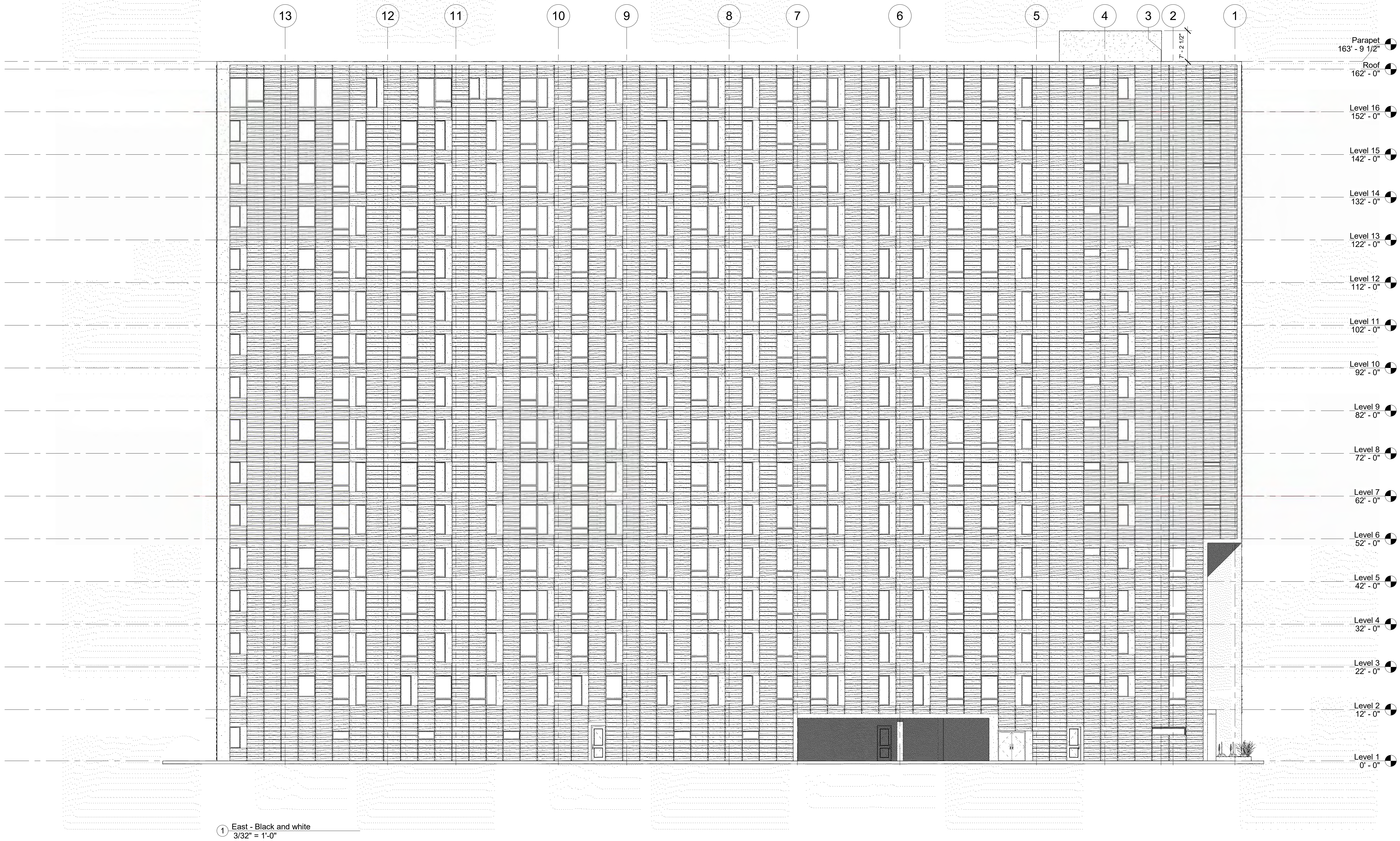
139 West Wilson
Madison, Wisconsin

East Elevation



- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

[illegible]



progression

139 West Wilson
Madison, Wisconsin

East Elevation - B&W

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023

A200.1

ENCLOSED ELEVATOR PENTHOUSE AND
EGRESS STAIR FOR FIRE DEPARTMENT
ACCESS.

ACID ETCHED CONCRETE WALL PANELS
WITH 1' X 4' PROFILED FACETS.
COLOR TO BE PEARL WHITE. TYP.

DARK BRONZE ANODIZED ALUMINUM
FRAME DUAL PANE 1" INSULATED
GLAZING WITH FLUSH- INTEGRATED
LOUVER PANELS WHERE SHOWN. TYP.

INTERNALLY LIT WALL ART
ENCLOSURE.
See Note 5 this sheet and
detail sheet LT-0



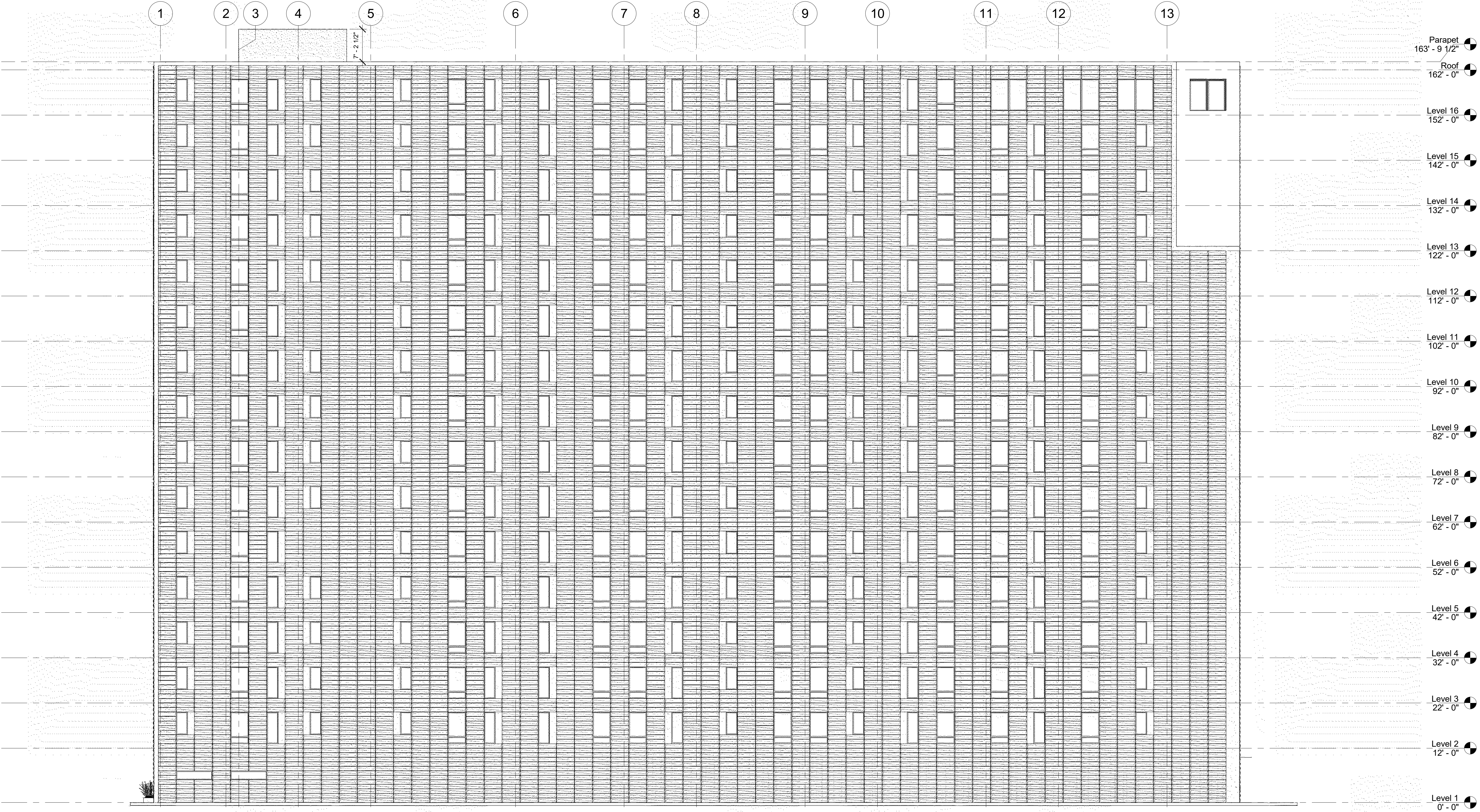
1 West
3/32" = 1'-0"

PEARL WHITE - Concrete wall panel color

GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



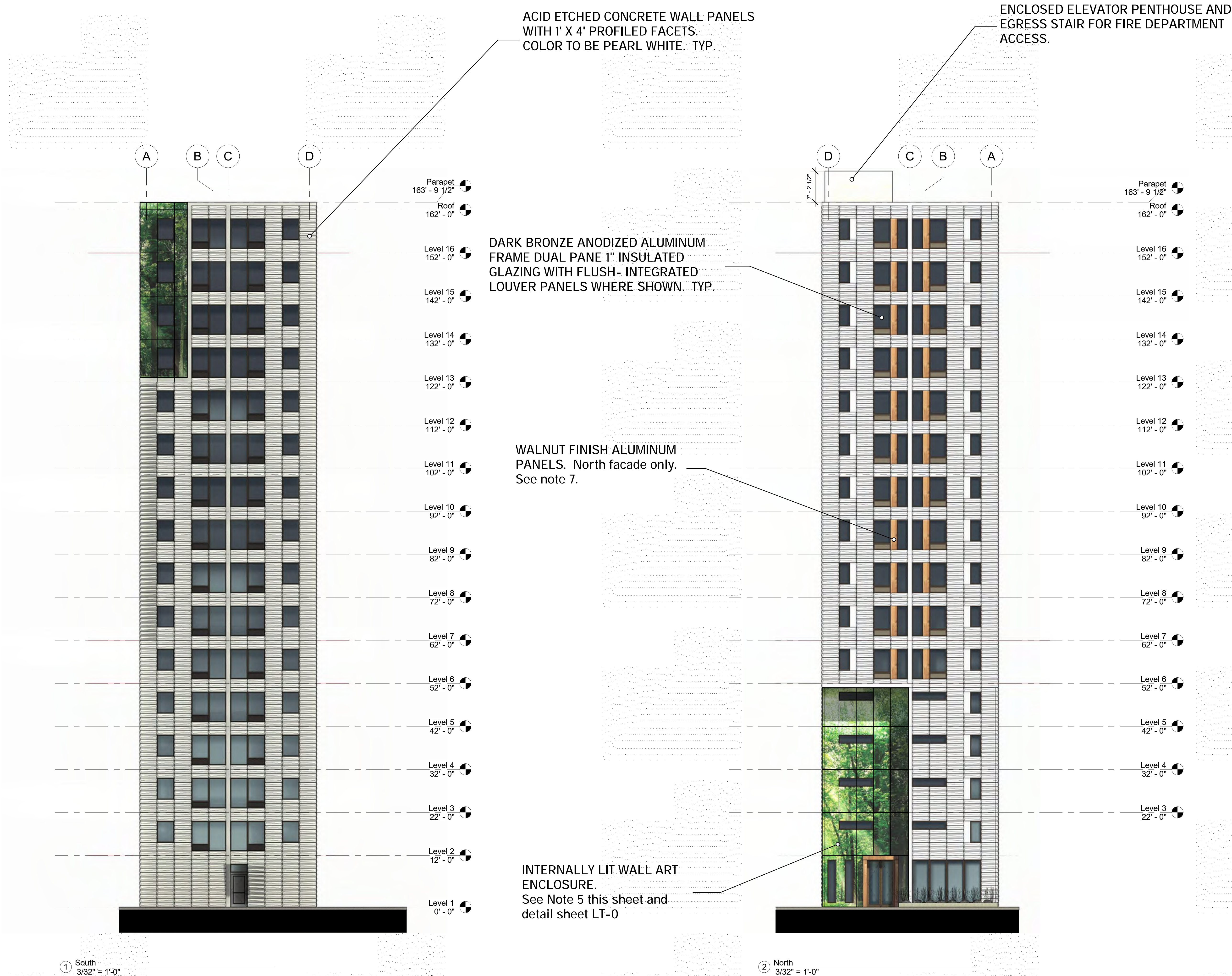
1 West - Black and white
3/32" = 1'-0"

progression

139 West Wilson
Madison, Wisconsin

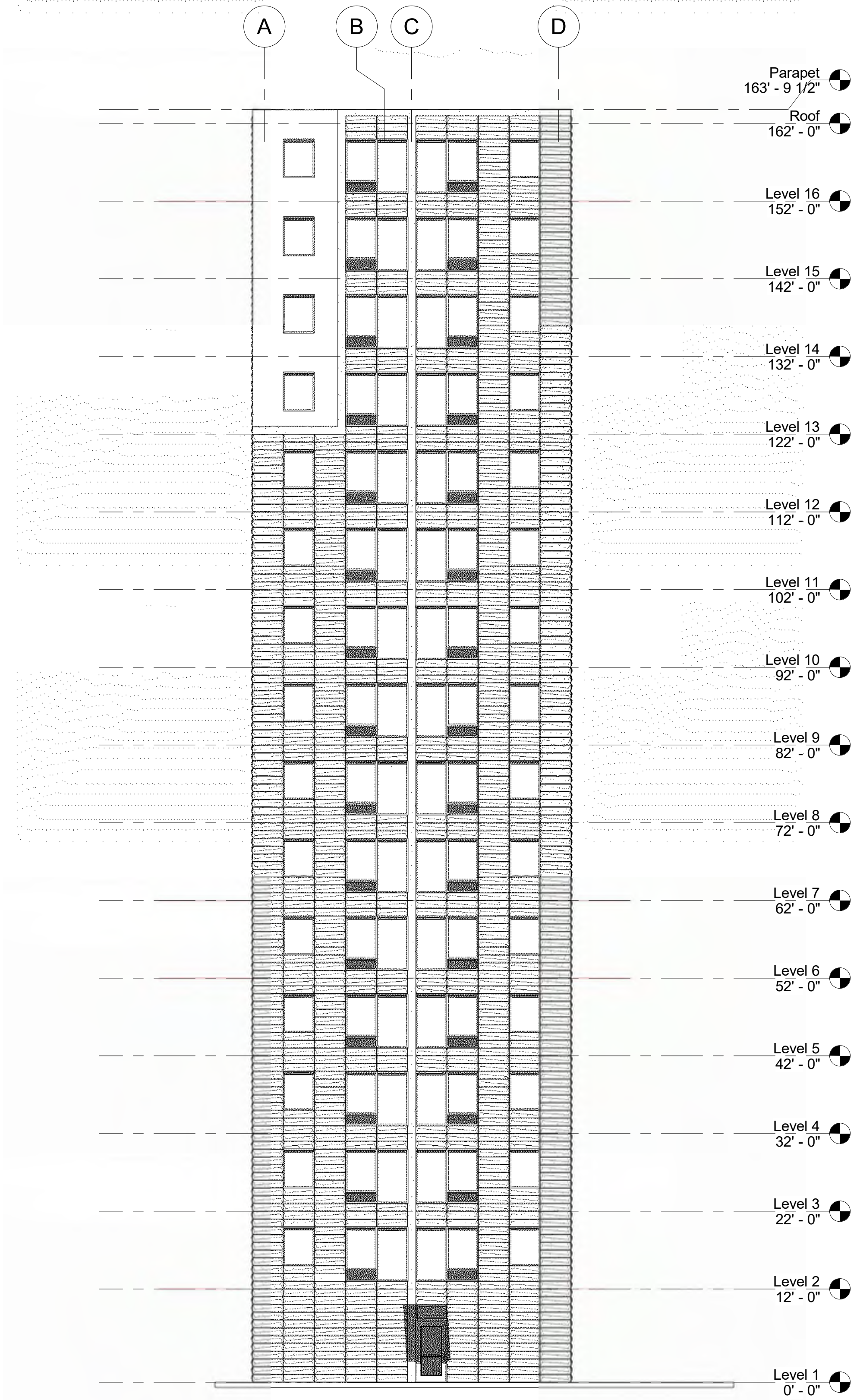
West Elevation - B&W

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023

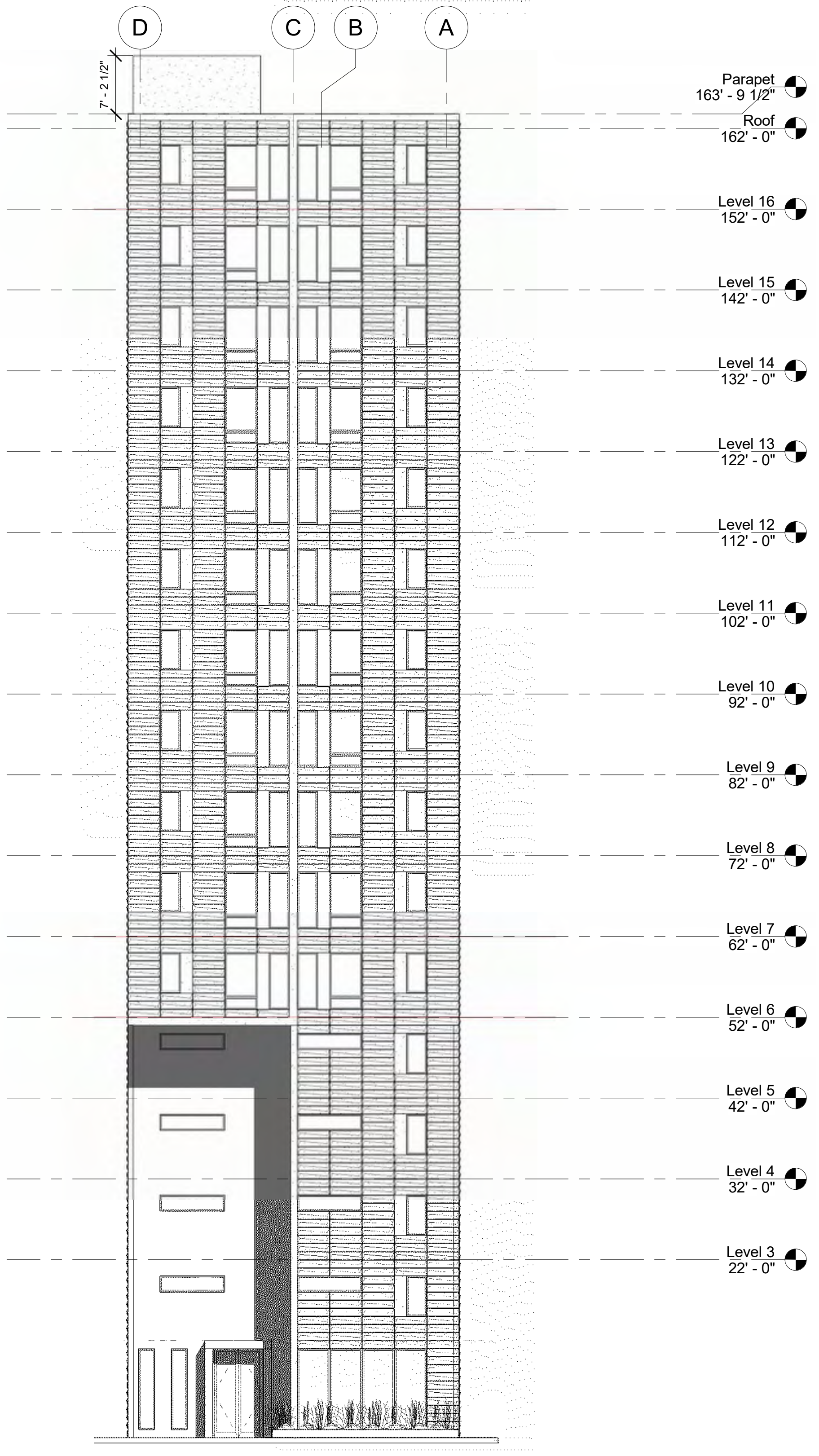


- GENERAL MATERIAL NOTES:
- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
 - 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
 - 3.) The 1' x 4' faceting will occur on all facades.
 - 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
 - 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
 - 6.) Aluminum T&G rain-screen panel. 18"W x 84"H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



1 South - Black and white
3/32" = 1'-0"



2 North - Black and white
3/32" = 1'-0"

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



SE View of street-scape
from West Wilson

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



SW View of 139 West Wilson

Revisions:	
Project #:	21,000
Issued For:	Review
Date:	06/01/2023

A204

progression
139 West Wilson
Madison, Wisconsin
West Wilson Perspectives



progression

139 West Wilson
Madison, Wisconsin
West Wilson Perspective - Dusk

Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023
A204.1	



SW View of Entry from
West Wilson

SEA Design

N3302 South Oakland Road
Town of Oakland, Wisconsin
53538

progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspectives

Revisions:	
Project #:	21000
Issued For:	Review
Date:	06/01/2023

A205



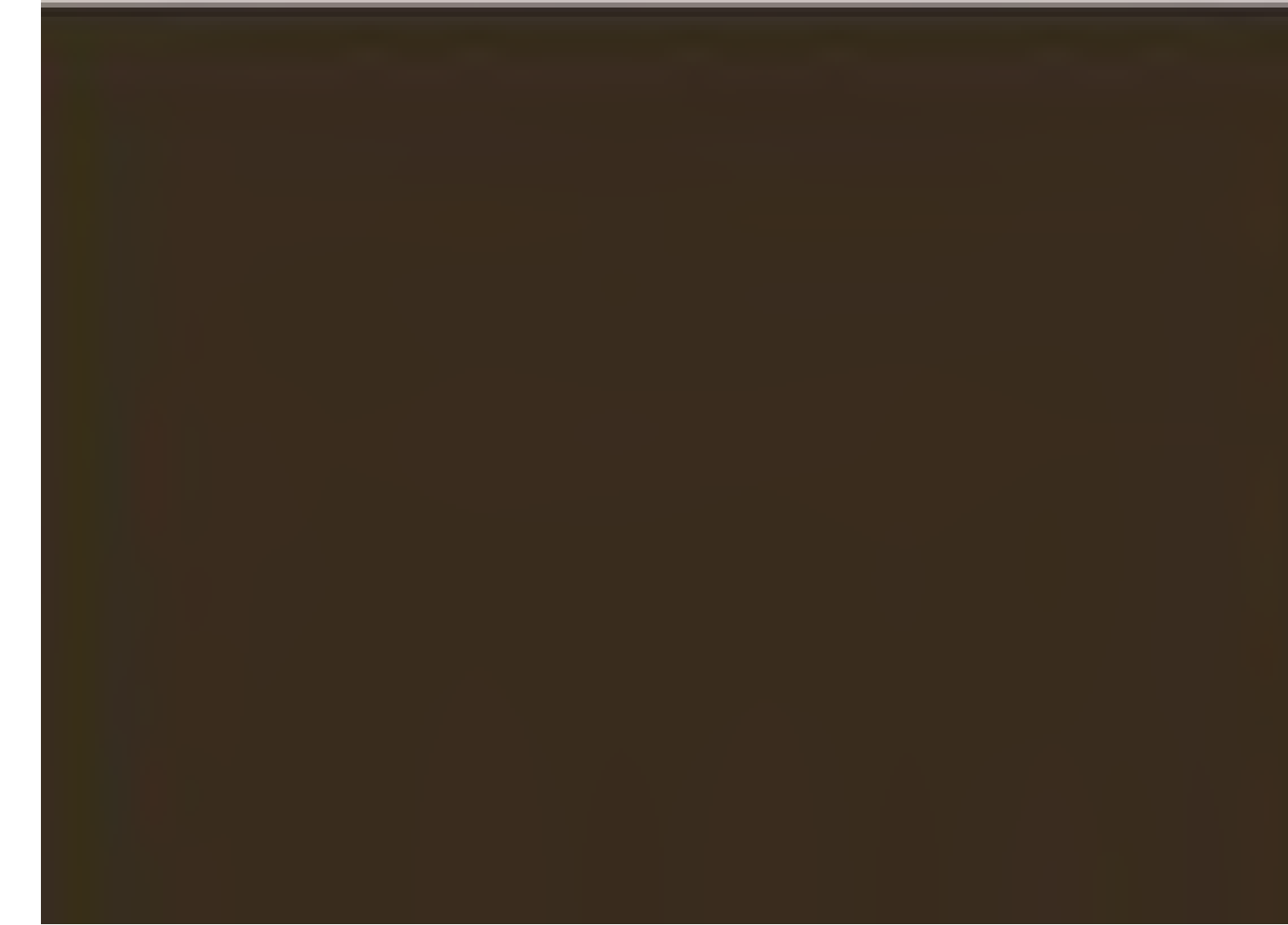


Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023



Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023
A209.1	

progression
139 West Wilson
Madison, Wisconsin
West Wilson Perspective - Dusk



Revisions:	
Project #:	21.000
Issued For:	Review
Date:	06/01/2023

polyurea insulation, Dens-Glass sheathing hi-res digital forest photograph printed directly on aluminum composite material (ACM) Dibond panel.

GWB

Densglass

Continuous run vertical

Tube Steel - 48" O.C. (TYP).

W-section (TYP).

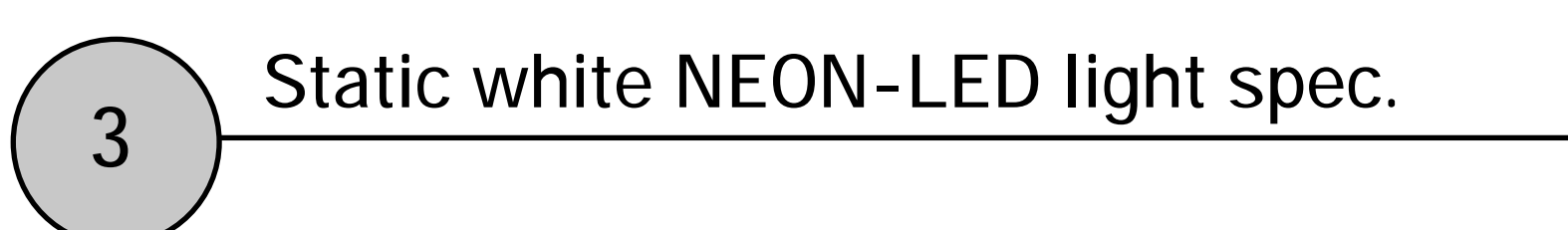
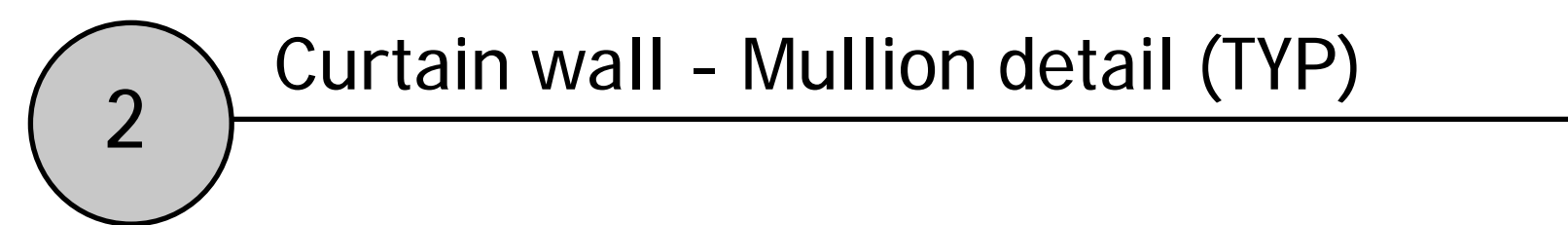
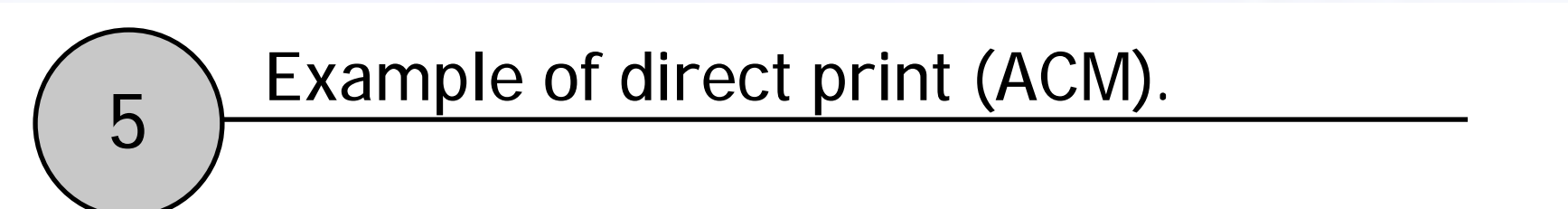
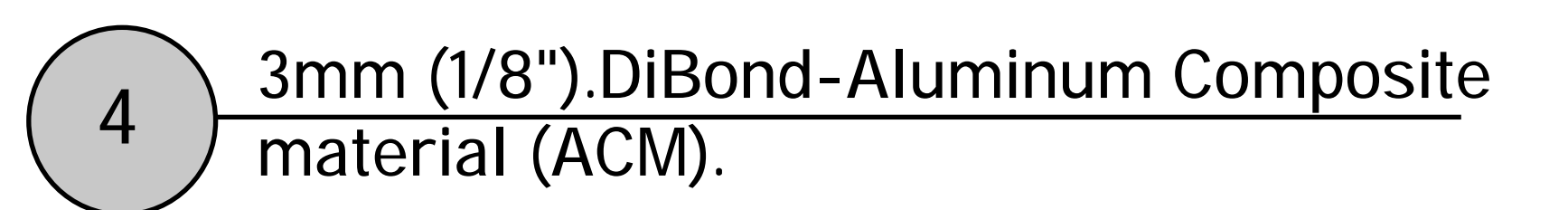
4"

Technical drawing of a cross-section of a railway track. The drawing shows the rail, sleepers, and ballast layers. A detailed view of the rail head and the underlying structure is shown, with arrows indicating the connection points.

YCW Veneer curtain wall system by YKK
 48" x 120" 1/4" clear tempered glass panel
 horizontal 2" wide black anodized aluminum

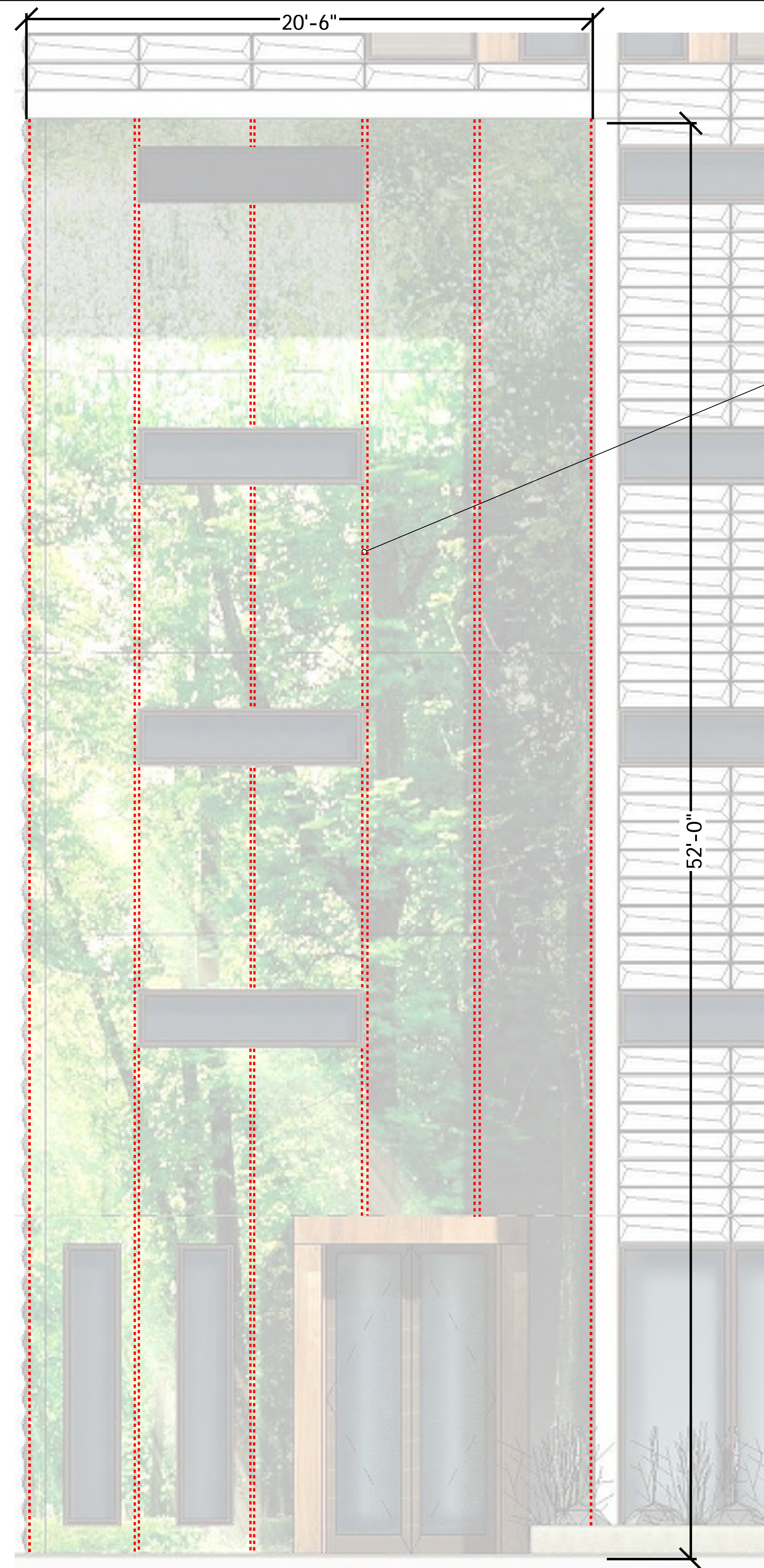
1 Exterior art wall - Plan detail (TYP)

3mm Di-bond panel with forest graphic printed directly on aluminum using waterproof, UV-cured inks.



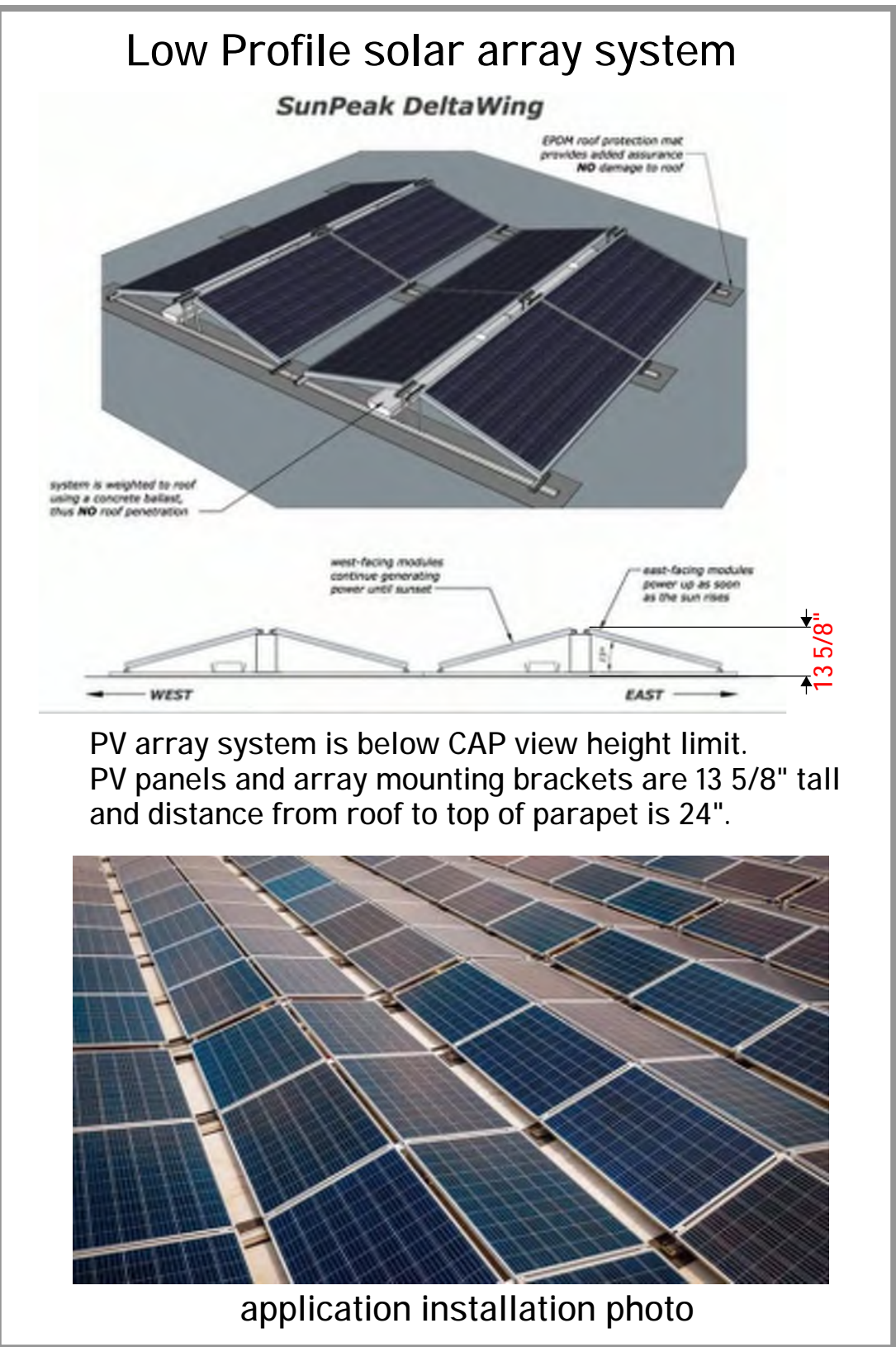
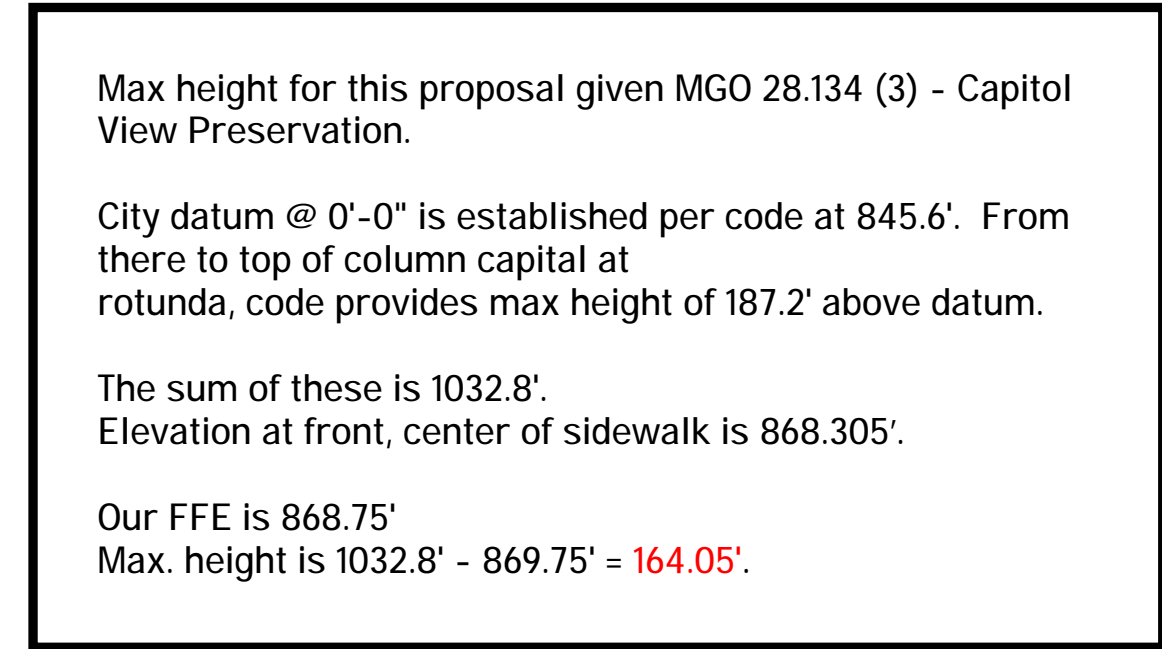


North Curtain wall Elevation



GENERAL NOTE:
Glass curtain wall and illuminated art wall assemblies as shown on East, West and South Elevations to follow same detail and lighting configurations.

North Curtain wall LED light locations

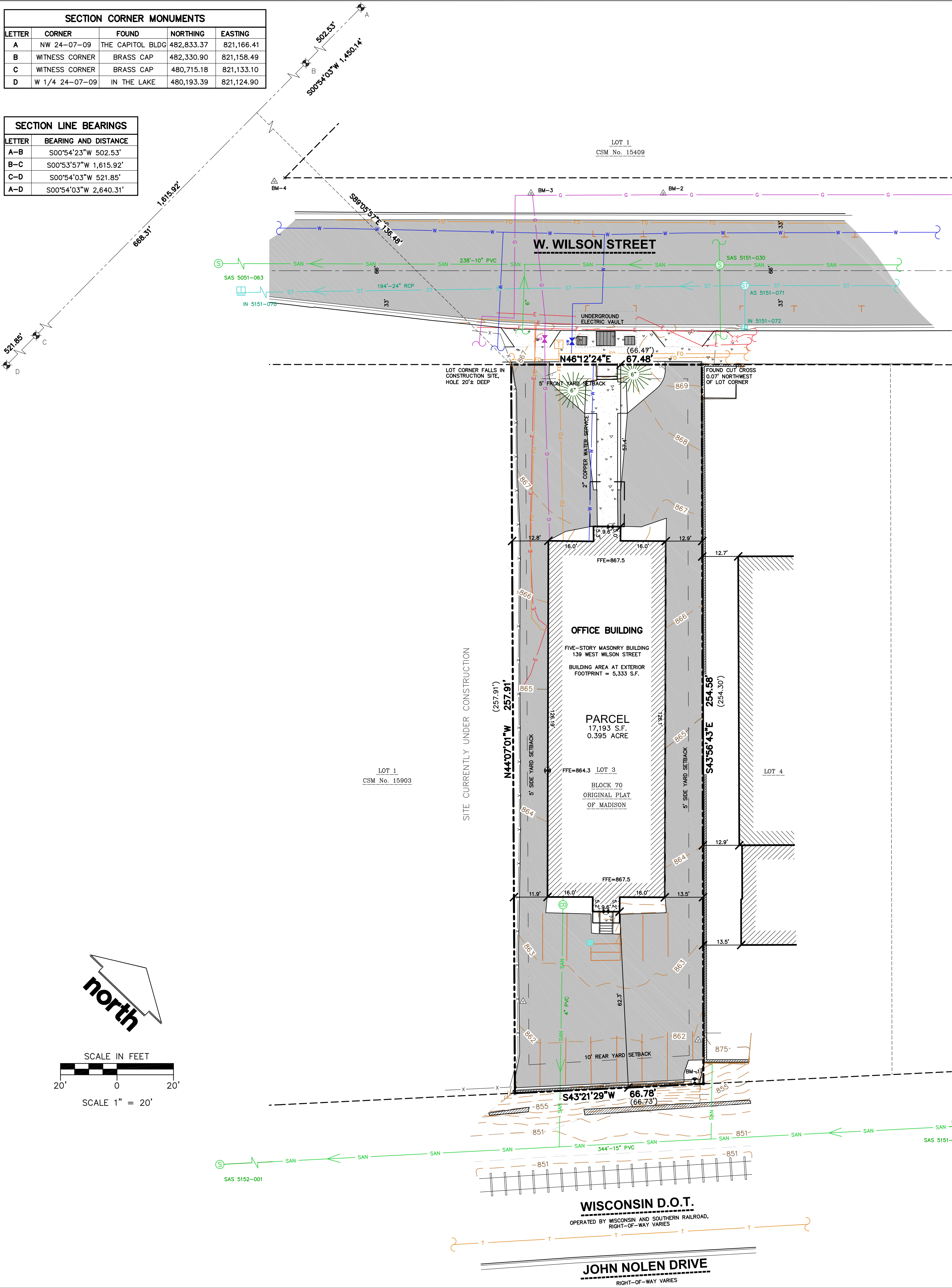
[illegible]

Project #: 2021-05
Issued For: Review
Date: 11/09/2022

A400

SECTION CORNER MONUMENTS				
LETTER	CORNER	FOUND	NORTHING	EASTING
A	NW 24-07-09	THE CAPITOL BLDG	482,833.37	821,166.41
B	WITNESS CORNER	BRASS CAP	482,330.90	821,158.49
C	WITNESS CORNER	BRASS CAP	480,715.18	821,133.10
D	W 1/4 24-07-09	IN THE LAKE	480,193.39	821,124.90

SECTION LINE BEARINGS	
LETTER	BEARING AND DISTANCE
A-B	S00°54'23"W 502.53'
B-C	S00°53'57"W 1,615.92'
C-D	S00°54'03"W 521.85'
A-D	S00°54'03"W 2,640.31'



EXISTING CONDITIONS SURVEY

PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUME A OF PLATS, PAGE 3, AS DOCUMENT No. 102, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - CHISELED 'X' FOUND
 - 3/4" REBAR FOUND
 - CONTROL POINT
 - BENCHMARK
 - FINISHED FLOOR SHOT LOCATION
 - SIGN
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER VALVE
 - STORM MANHOLE
 - SQUARE CASTED INLET
 - CURB INLET
 - GAS VALVE
 - LIGHT POLE
 - TELEPHONE PEDESTAL
 - CONIFEROUS TREE
 - PARCEL BOUNDARY
 - SECTION LINE
 - RIGHT-OF-WAY LINE
- CENTERLINE
 - PLATTED LOT LINE
 - SETBACK LINE
 - FENCE LINE
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - PAVEMENT STRIPING
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED ON JUNE 08, 2022.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 24-07-09, RECORDED AS S00°54'01"W.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT FOR THE WITNESS CORNER TO THE WEST QUARTER CORNER OF SECTION 24-07-09, ELEVATION = 850.32'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20222305367, WITH A START DATE OF JUNE 03, 2022.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 - CITY OF MADISON ENGINEERING
 - MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)
 - CHARTER COMMUNICATIONS
 - AMERICAN TRANSMISSION COMPANY
 - LEVEL 3 IS NOW CENTURYLINK
 - AT&T TRANSMISSION
 - AT&T DISTRIBUTION
 - TDS TELECOM
 - MCI
 - MADISON METROPOLITAN SEWERAGE DISTRICT
 - WINDSTREAM
 - WISCONSIN DEPARTMENT OF ADMINISTRATION-DIVISION OF ENTERPRISE TECHNOLOGY
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHALL BE VERIFIED BEFORE BEING UTILIZED.
- THIS PARCEL IS ZONED URBAN MIXED-USE DISTRICT (UMX) PER THE CITY OF MADISON ZONING MAP.
 - LOT AREA-3,000 SQUARE FEET
 - LOT WIDTH-30 FEET
 - MINIMUM FRONT YARD SETBACK-5 FEET
 - SIDE YARD SET BACK-5 FEET
 - REAR YARD SETBACK-10 FEETCHECK WITH CITY ZONING DEPARTMENT FOR HEIGHT RESTRICTIONS AND SETBACKS PER BUILDING USE.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

LEGAL DESCRIPTION

PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT No. 102, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 EAST, RANGE 09 NORTH, CITY OF MADISON, DANE COUNTY, WISCONSIN.

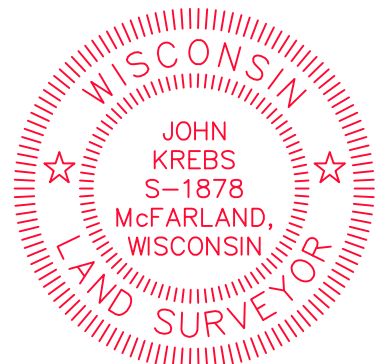
TAX KEY NO. 251/0709-242-0124-0

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT UNDER THE DIRECTION OF SEA DESIGN THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

DATE



STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
AS 5151-071	870.68	NE	863.18	24"	RCP
		SE	866.92	12"	RCP
		SW	863.18	24"	RCP

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL 5151-072	869.99	NW	867.09	12"	RCP
INL 5151-070	863.44	NE	855.15	24"	RCP
		SW	855.15	24"	RCP

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	862.06	CHISELED 'X' IN CONCRETE RETAINING WALL
BM-2	870.68	CHISELED 'X', NORTH SIDE OF W. WILSON STREET
BM-3	868.69	CHISELED 'X', NORTH SIDE OF W. WILSON STREET
BM-4	865.89	CHISELED 'X', NORTH SIDE OF W. WILSON STREET

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAS 5151-013	850.76	NE	845.14	15"	PVC
		SW	845.12	15"	PVC
SAS 5152-022	851.47	NE	844.74	15"	PVC
		NW	846.44	12"	PVC
SAS 5151-030	870.66	SW	844.71	15"	PVC
		NE	860.06	10"	PVC
		SE	861.01	8"	PVC
		NW	860.86	8"	PVC
SAS 5051-063	862.65	SW	860.01	10"	PVC
		NE	851.10	10"	PVC
		N	851.33	8"	PVC
		NE	856.92	8"	PVC
		NE	851.50	8"	PVC
		SE	851.00	12"	PVC



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

SEA DESIGN

CLIENT ADDRESS:

N3302 SOUTH OAKLAND
FORT ATKINSON, WI 53538

PROJECT:

139 W. WILSON STREET

PROJECT LOCATION:

139 W. WILSON STREET
CITY OF MADISON
DANE COUNTY, WISCONSIN

MODIFICATIONS:

#	Date:	Description:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Prepared By: JK 06/14/22
Reviewed By: TJB 06/15/22
Approved By: TJB 06/15/22

SHEET TITLE:

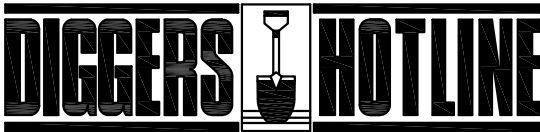
EXISTING
CONDITIONS
SURVEY

SHEET NUMBER:

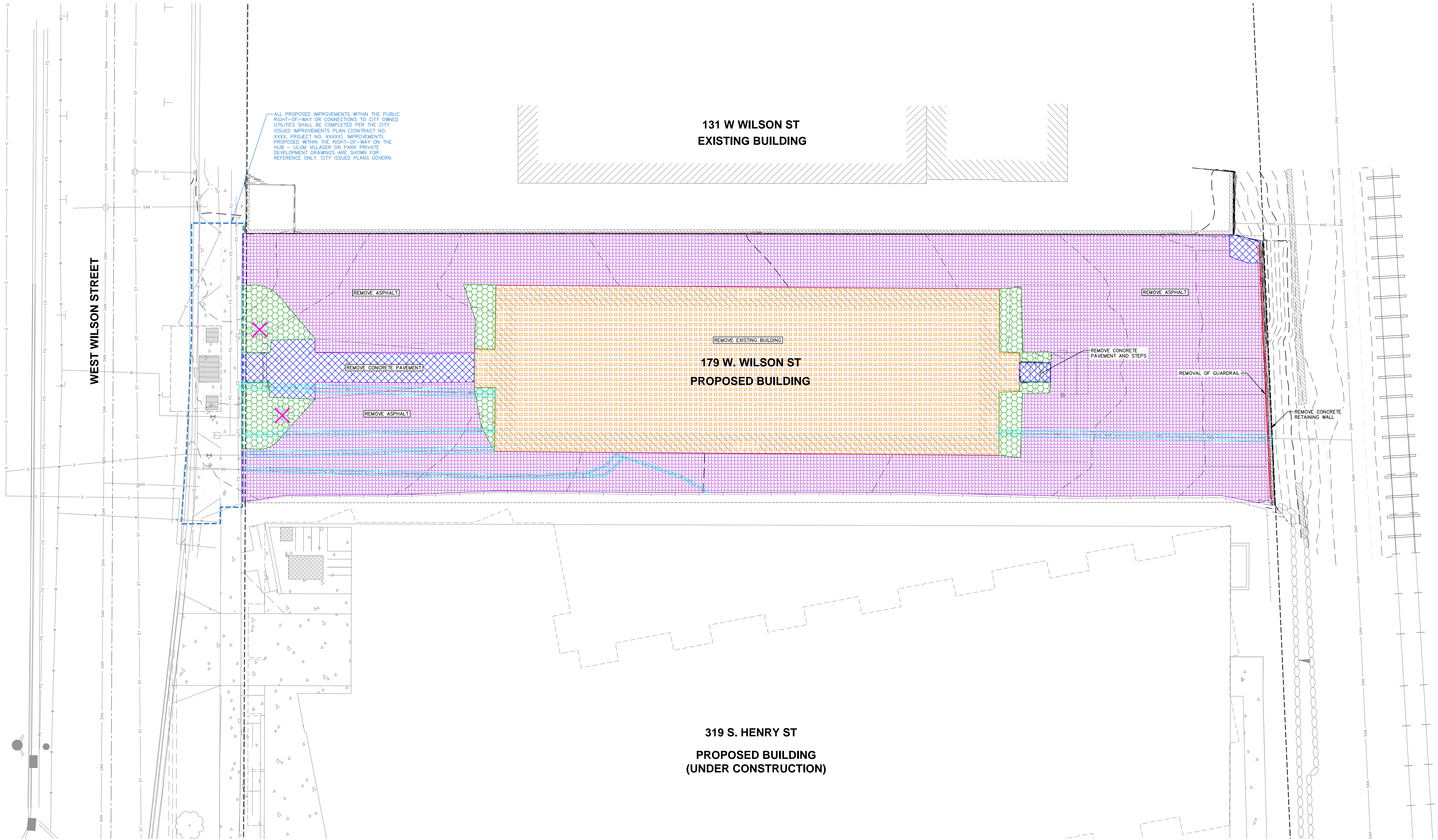
1 OF 1

PROJECT NO:

22-11487



File: L:\02\0221\187\W\Civil\Sheets\0211487 - Con Doc\dwg Layout C2.D 05MAO User: mammel Plotted: Jun 23, 2023 9:27am Xref's:



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
N3302 SOUTH OAKLAND ROAD
TOWN OF OAKLAND, WI 53538

PROJECT:
179 WEST WILSON ST
REDEVELOPMENT

PROJECT LOCATION:
179 WEST WILSON
MADISON, WI 53703

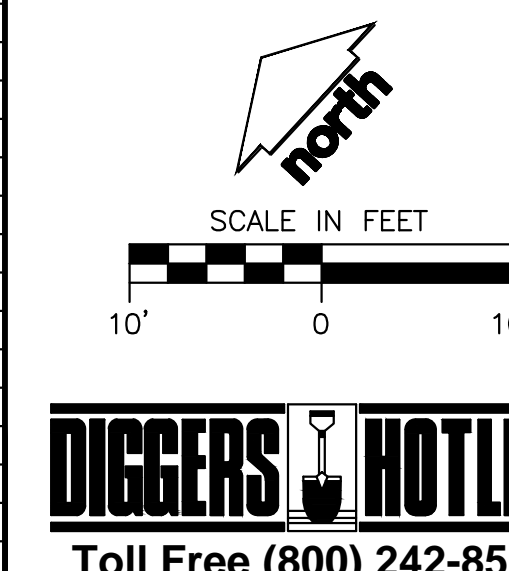
PLAN MODIFICATIONS:		
#	Date:	Description:
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MAS
Reviewed By: KJN
Approved By:

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C2.0

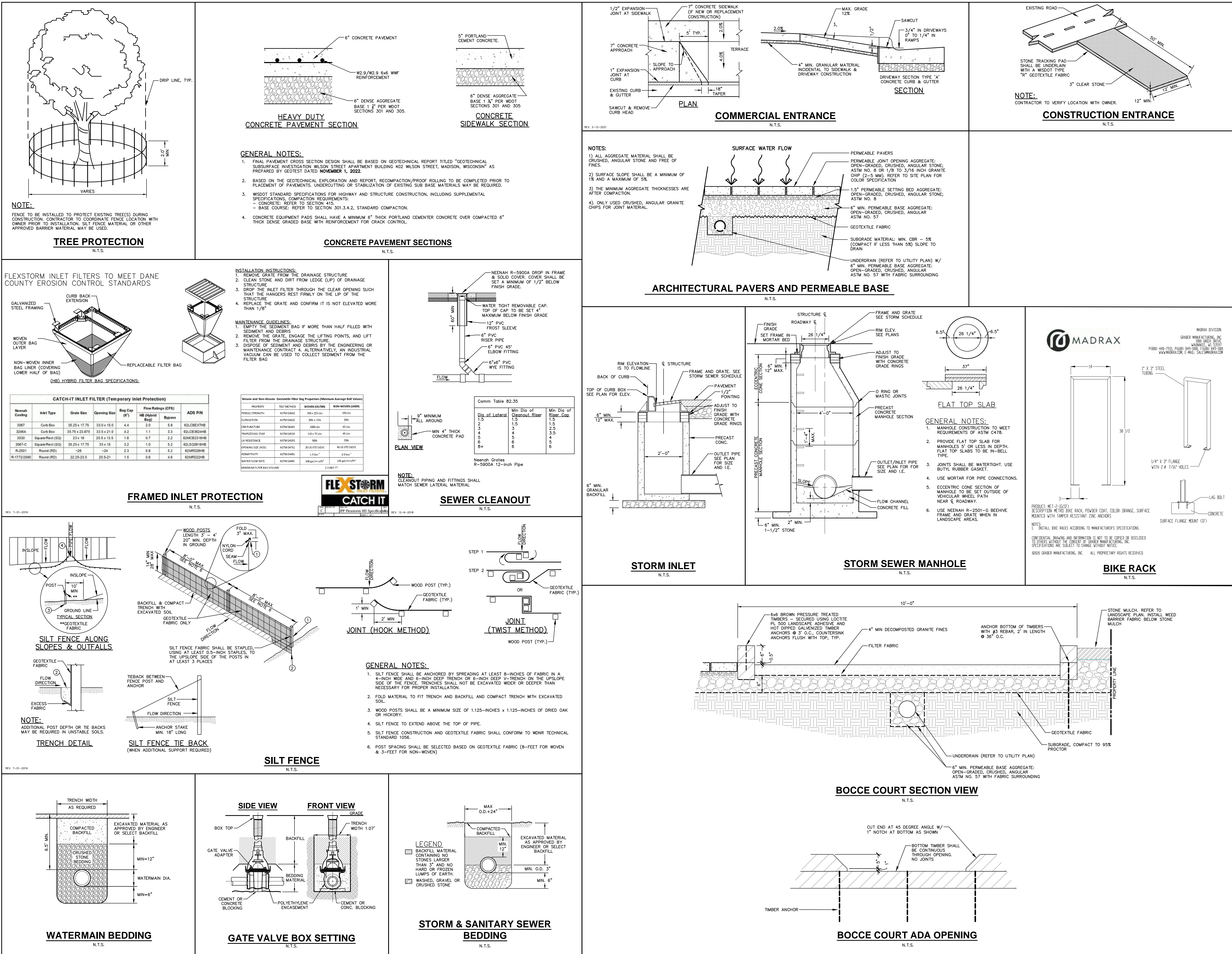
JSD PROJECT NO: 22-11487



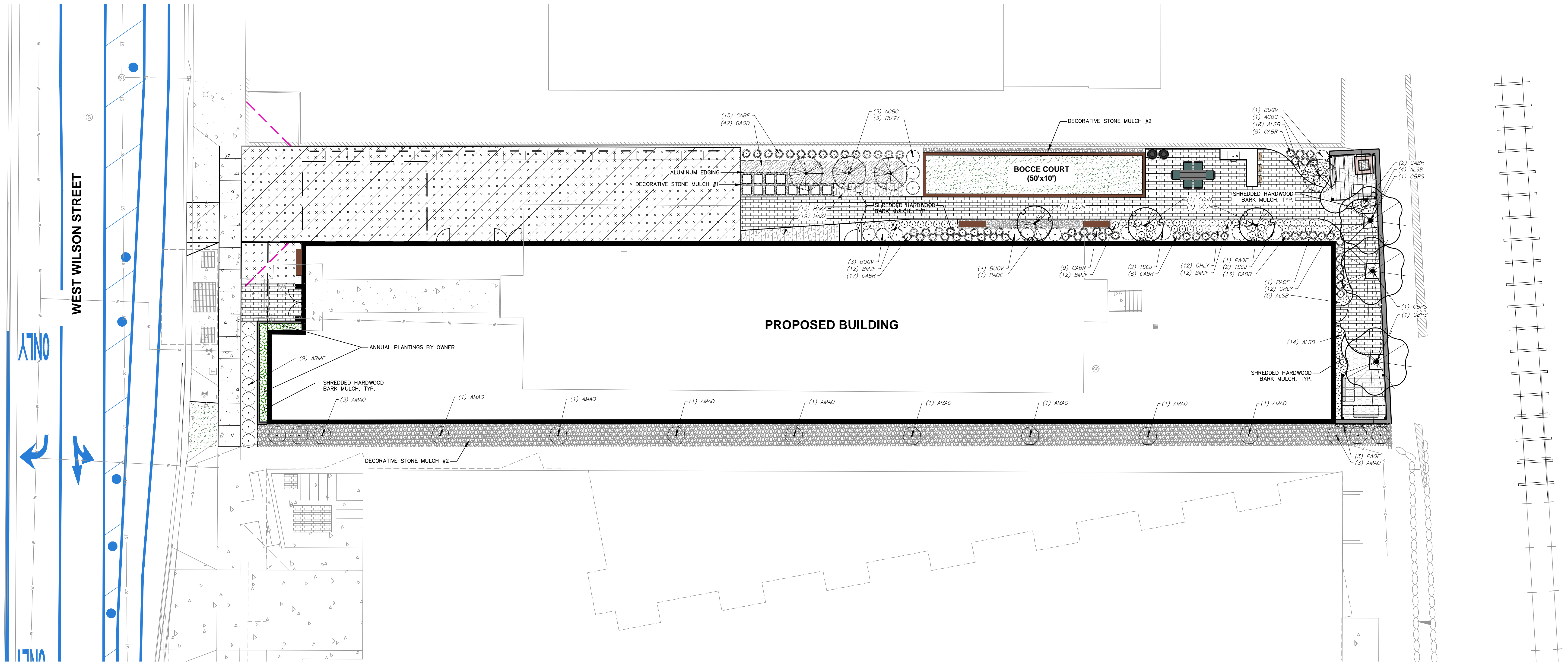


UNILOCK ECO-PRIORA - PERMEABLE - COLOR: SIERRA





File: L:\020221\1670\W0\Landscaping\Sheet021167.dwg Landscape.dwg Layout: L1.d User: rmmmm Printed: Jun 21, 2023 9:46am Xref's:



PLANT SCHEDULE

DECIDUOUS TREES					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
ACBC	Acer saccharum 'Barrett Cole' TM Apollo Sugar Maple	B & B	2.5" Cal	4	
CCJN	Corpinus caroliniana 'J.N. Upright' TM Firespire American Hornbeam	B & B	2.5" Cal	3	
GBPS	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	B & B	2.5" Cal	3	
DECIDUOUS SHRUBS					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
AMAO	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry	B & B	Min. 5' tall	14	
ARME	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Chokeberry	#3	Min. 8"-18"	9	
EVERGREEN SHRUBS					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
BUGV	Buxus x 'Green Velvet' Green Velvet Boxwood	#3	Min. 12"-24"	11	
TSCJ	Tsuga canadensis 'Jeddalah' Jeddalah Eastern Hemlock	#5	Min. 12"-24"	4	
PERENNIALS & GRASSES					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
ALSB	Allium x 'Summer Beauty' Summer Beauty Allium	#1	Min. 6"-18"	33	
BMJF	Brunnera macrophylla 'Jock Frost' TM Jock Frost Siberian Bugloss	#1	Min. 8"-18"	36	
CABR	Calamagrostis brachytricha Korean Feather Reed Grass	#1	Min. 8"-18"	68	
CHLY	Chelone lyonii 'Armitpp02' TM Tiny Tortuga Pink Turtlehead	#1	Min. 8"-18"	24	
PAQE	Parthenocissus quinquefolia engelmannii Engelmann Virginia Creeper	#1	Min. 24"-36"	7	
GROUND COVERS					
CODE	BOTANICAL / COMMON NAME	SPACING	QTY		
GAOD	Galium odoratum Sweet Woodruff	24" o.c.	42		
HAKA	Hakonechloa macro 'Aureola' Golden Variegated Forest Grass	24" o.c.	31		

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
=====	BUILDING OUTLINE
=====	BUILDING OVERHANG
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	CONCRETE PAVEMENT
=====	ANNUAL PLANTINGS BY OWNER
=====	DECORATIVE STONE MULCH
=====	RETAINING WALL
=====	TREE UPLIGHTING
=====	BIKE RACK
=====	ALUMINUM EDGING

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
N3302 SOUTH OAKLAND ROAD
TOWN OF OAKLAND, WI 53538

PROJECT:
179 WEST WILSON ST
REDEVELOPMENT

PROJECT LOCATION:
179 WEST WILSON
MADISON, WI 53703

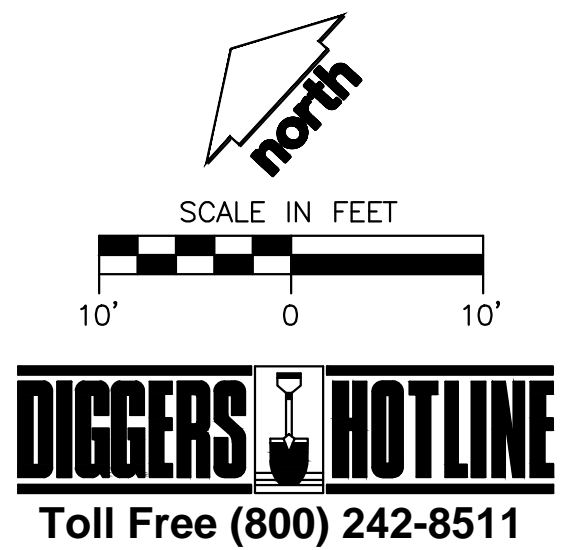
#	Date:	Description:
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

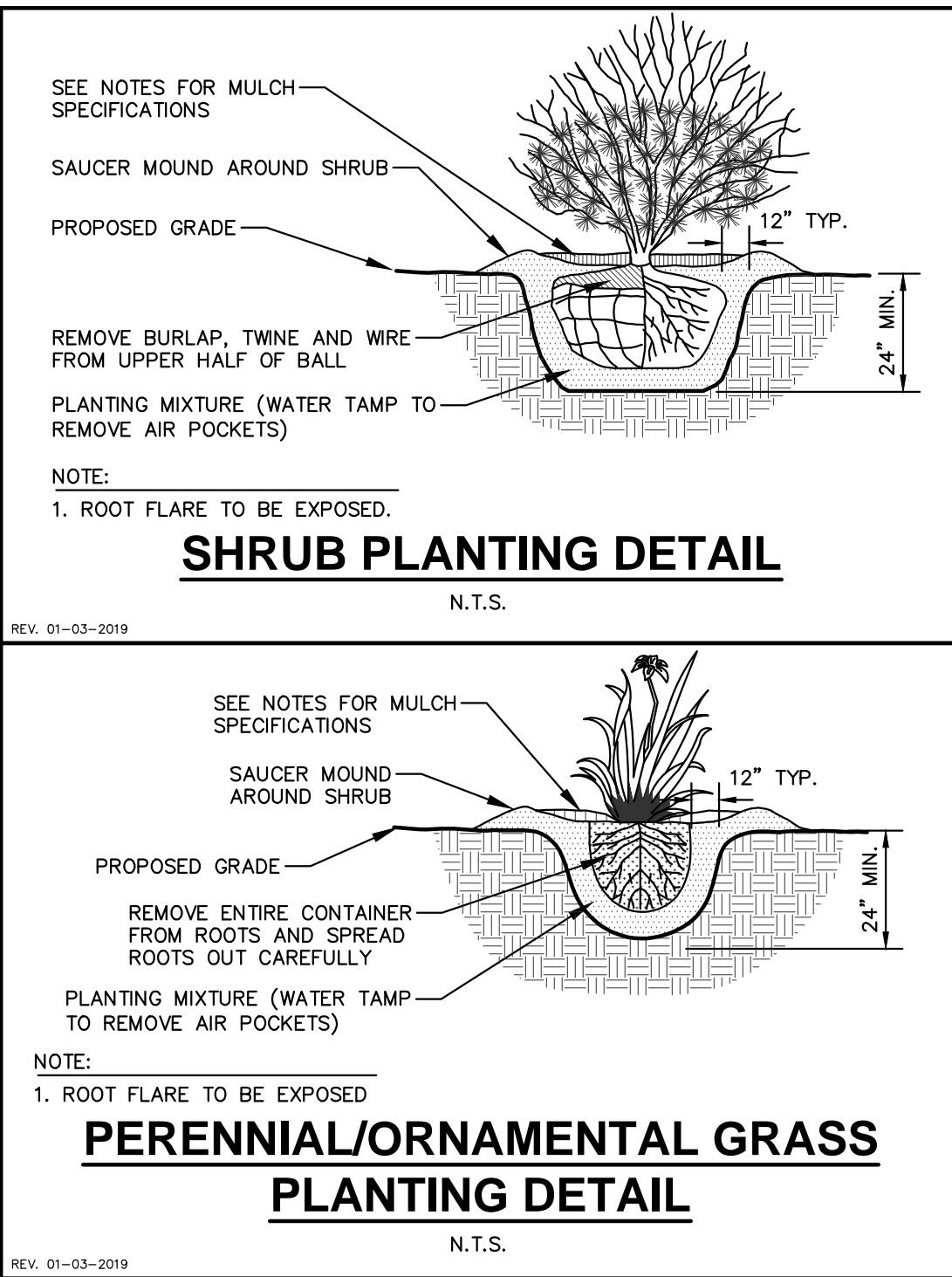
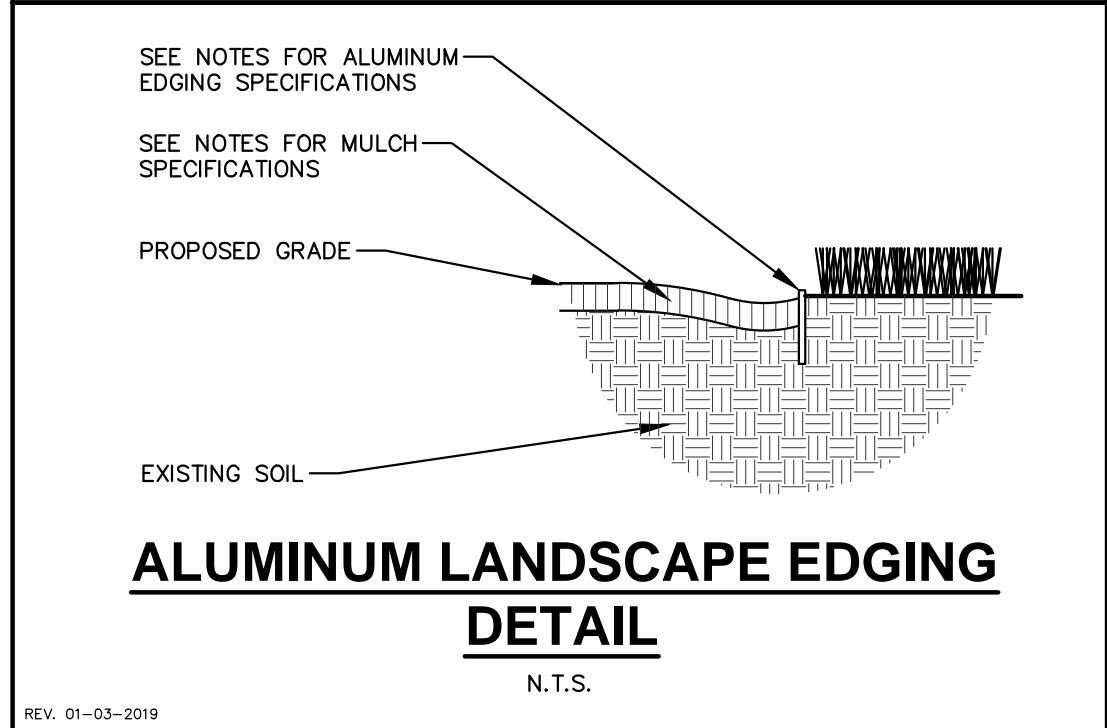
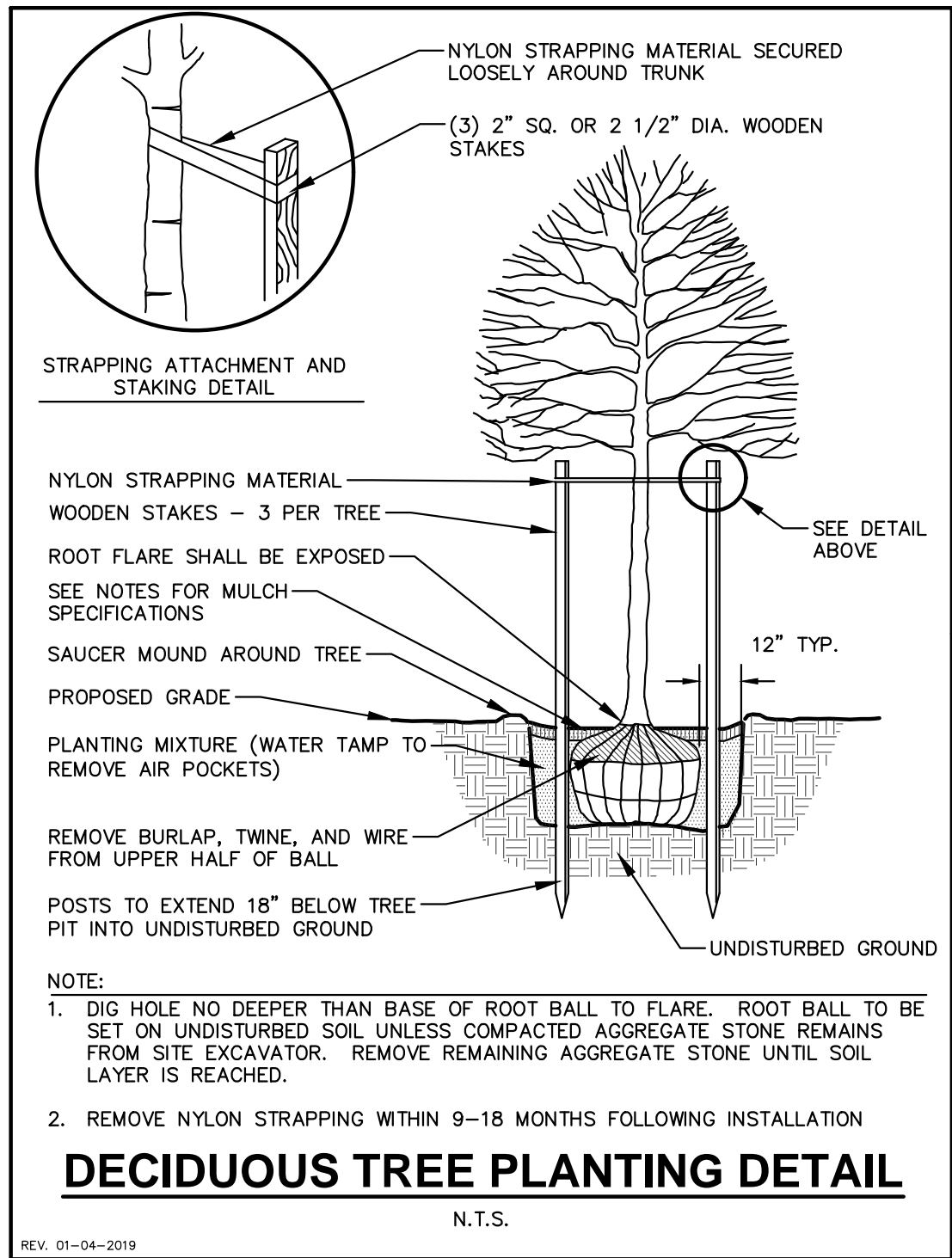
Designed By: MRA
Reviewed By: KJY
Approved By:

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.0

JSD PROJECT NO: 22-11487






LANDSCAPE CALCULATIONS AND DISTRIBUTIONS	
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.	
(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.	
Total square footage of developed area:	4,801
Total landscape points required:	16
(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first Five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.	
Total square footage of developed area:	
Five (5) acres =	
First five (5) developed acres =	
Remainder of developed area:	
Total landscape points required	
(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.	
Total square footage of developed area:	
Total landscape points required:	


TABULATION OF LANDSCAPE CREDITS AND POINTS						
			CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	0	0	3	105
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	7	105
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	33	99
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	15	60
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	168	336
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICLY ACCESSIBLE DEVELOPED AREA, CANNOT COMBINE MORE THAN 10% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				0		705
TOTAL NUMBER OF POINTS PROVIDED			705			

- GENERAL NOTES**
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCUMFURY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
 - DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
 - MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR INCREASE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
 - PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BRANCHED MORTALLY DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE WOUNDED CAMBIUM TISSUE AND REMOVE. SMOOTH AND SHARP WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
 - CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
 - ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

- LANDSCAPE MATERIAL NOTES**
- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
 - MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
 - MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
 - MATERIALS - STONE MULCH #1: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 2" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - STONE MULCH #2: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE, WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
 - MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4". ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

- CONTRACTOR AND OWNER RESPONSIBILITY NOTES**
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
 - CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
 - MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
 - MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION  TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
N3302 SOUTH OAKLAND ROAD
TOWN OF OAKLAND, WI 53538

PROJECT:
179 WEST WILSON ST
REDEVELOPMENT

PROJECT LOCATION:
179 WEST WILSON
MADISON, WI 53703


PLAN MODIFICATIONS:		
#	Date:	Description:
1	06.26.2023	LAND USE / UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: MRA
Reviewed By: KJY
Approved By:

SHEET TITLE:
LANDSCAPE
DETAILS & NOTES

SHEET NUMBER:
L2.0

JSD PROJECT NO: 22-11427



Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.