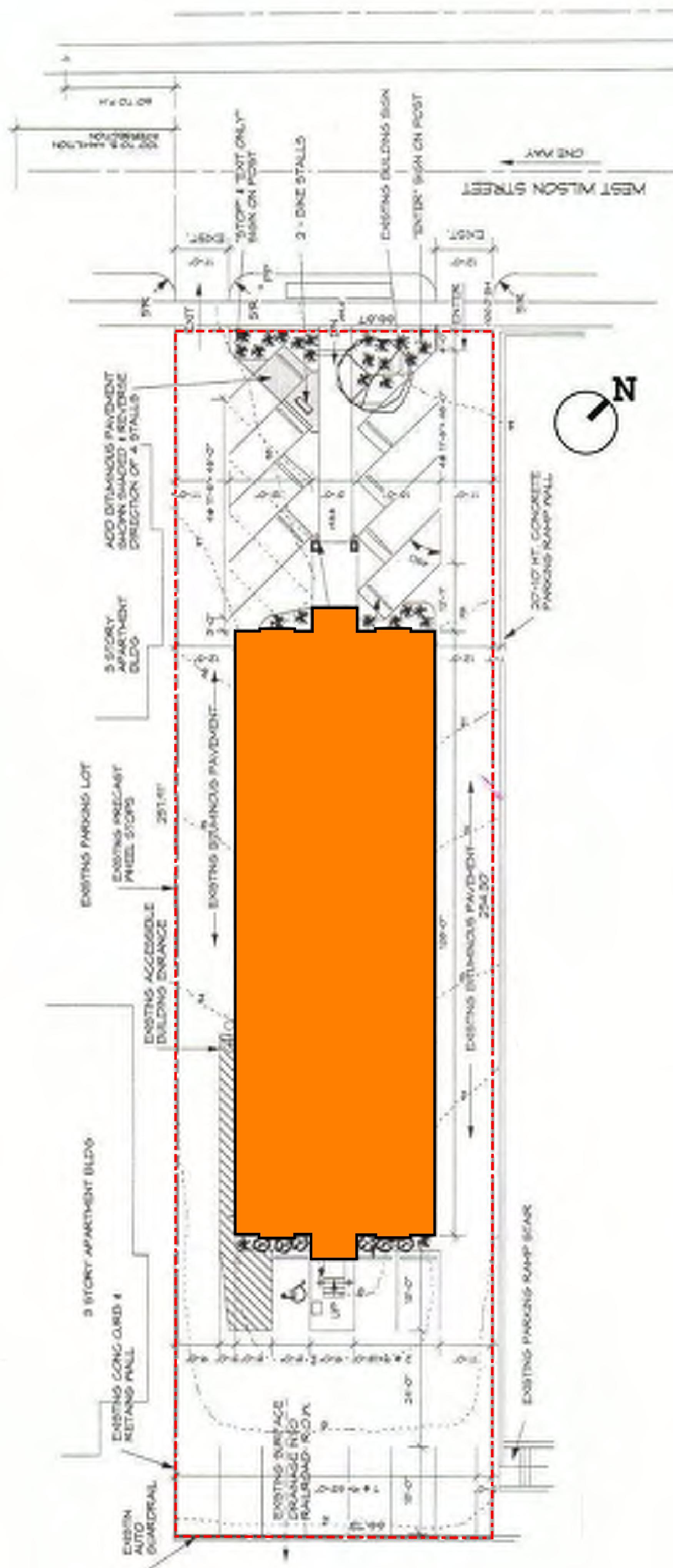
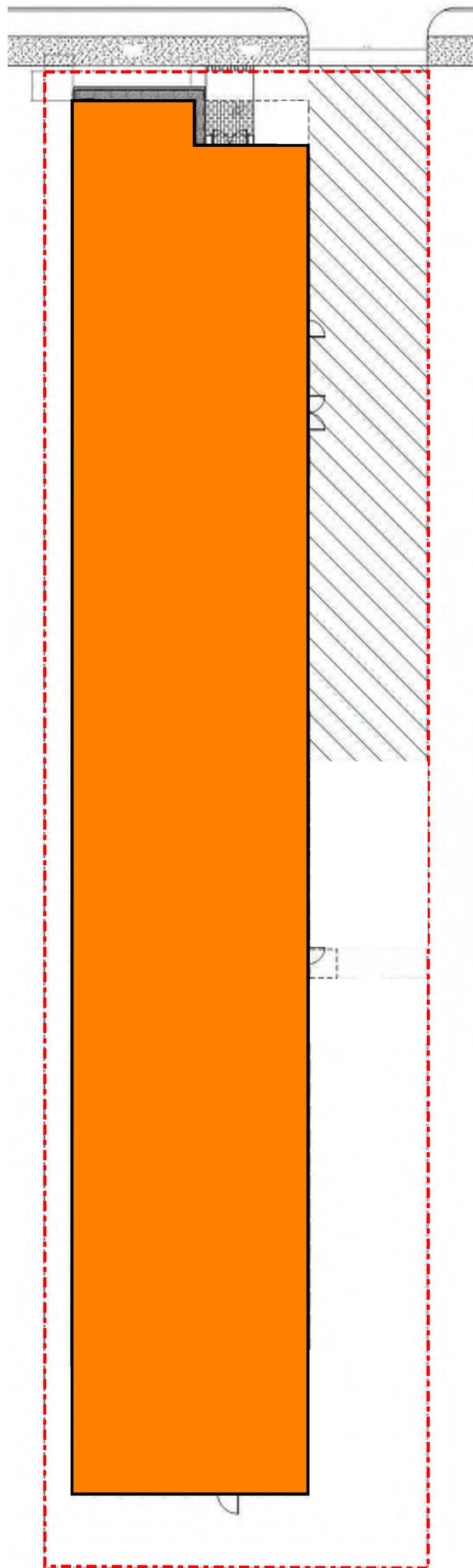


SITE LOCATION MAP



EXISTING BUILDING ON SITE



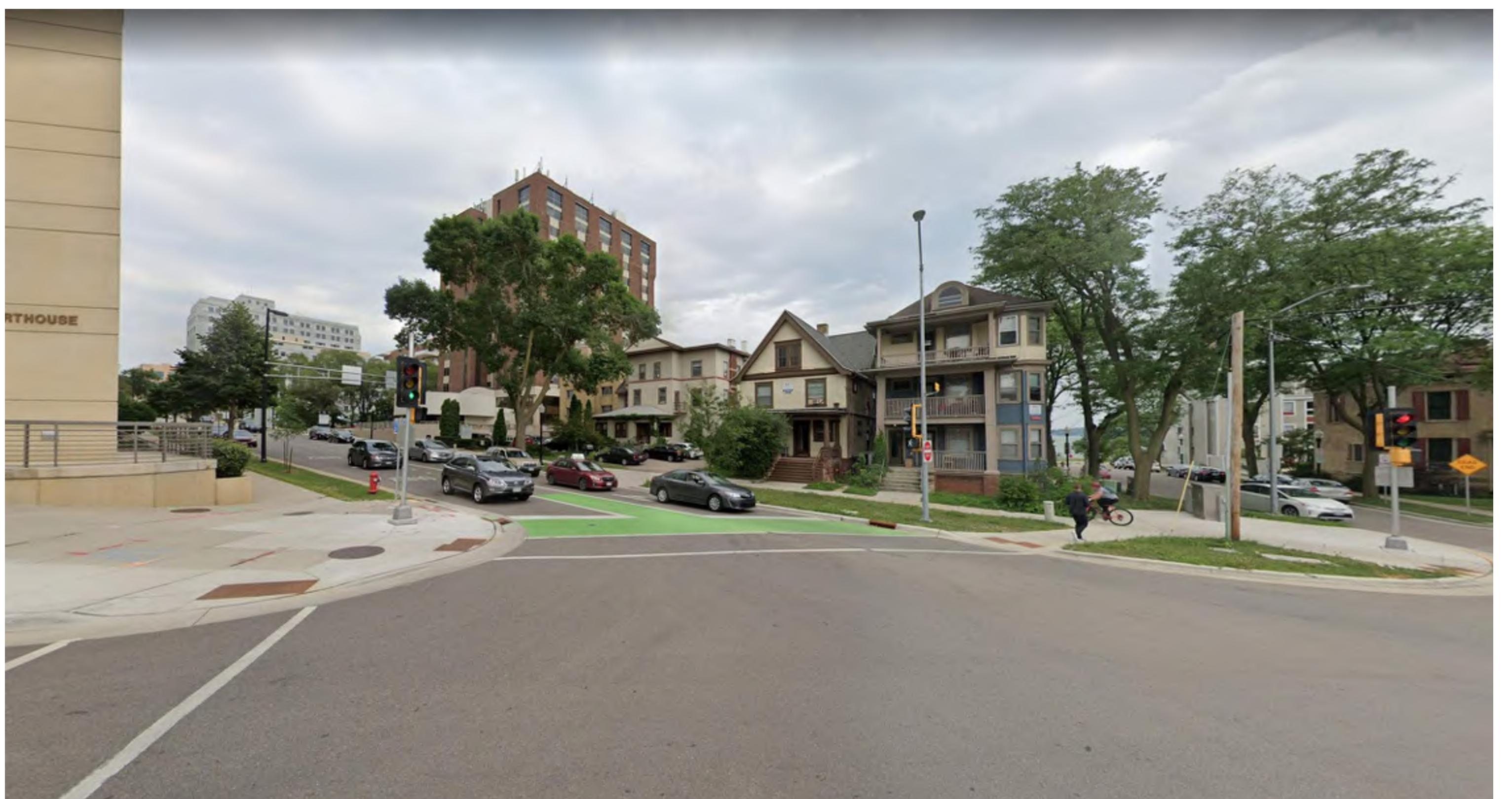
PROPOSED BUILDING ON SITE



view down NE down Wilson east of Hamilton/Henry intersection



view down NE down Wilson west of Hamilton/Henry intersection



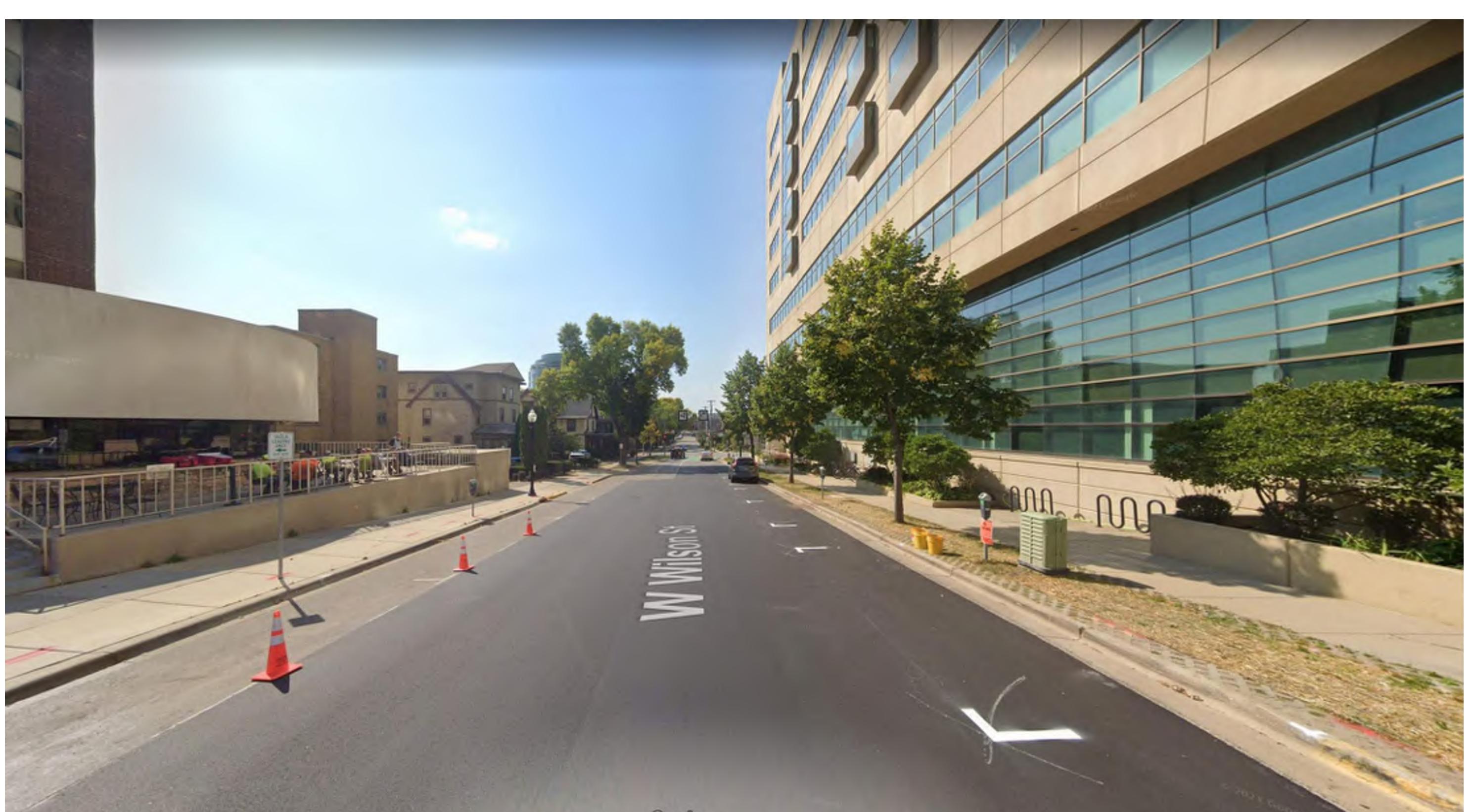
view down S onto Wilson at intersection of Wilson and Hamilton



view SE down West Wilson just east of S. Carroll

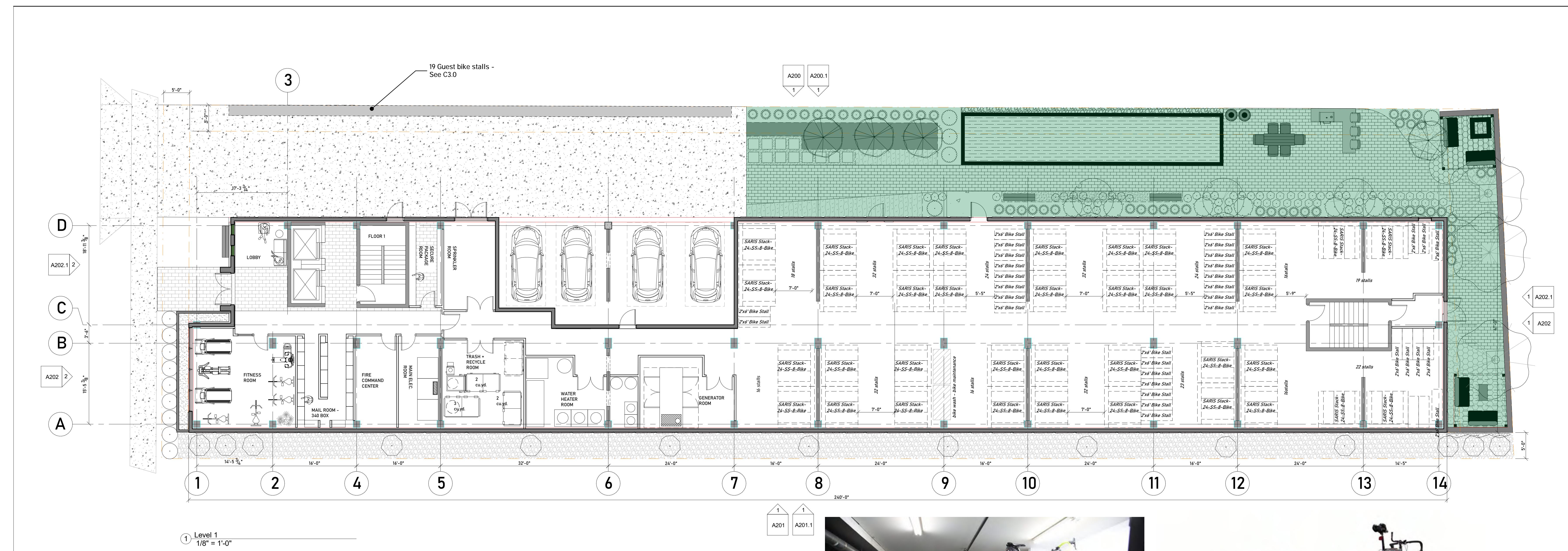


view looking NE onto intersection of Wilson and Hamilton



view S down West Wilson between Hamilton and S. Carroll

Project #: 21.000
Issued For: Review
Date: 06/01/2023



progression

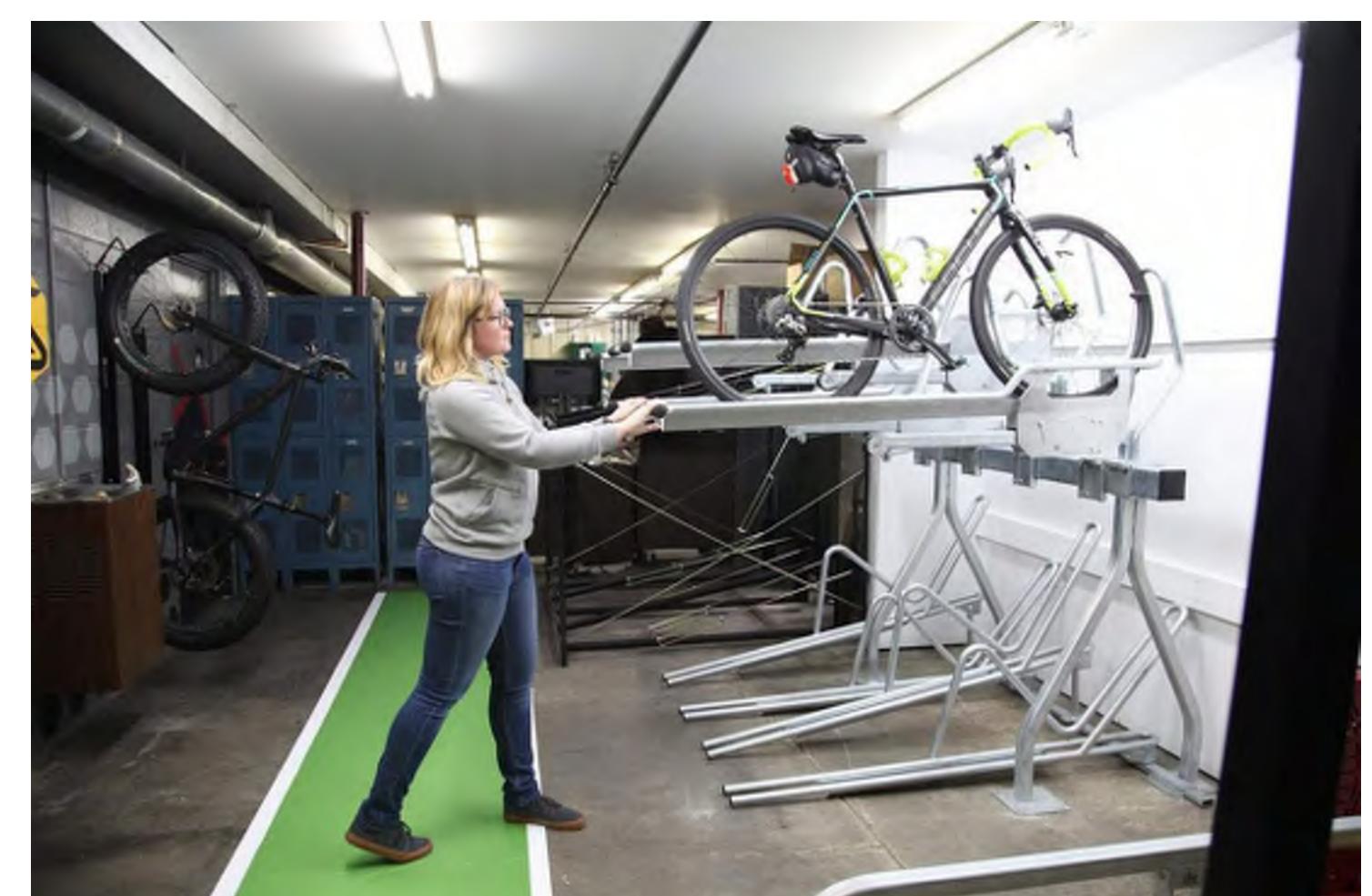
139 West Wilson
Madison, Wisconsin

Floor plans 1-5

BIKE PARKING SUMMARY

BIKE PARKING SUMMARY

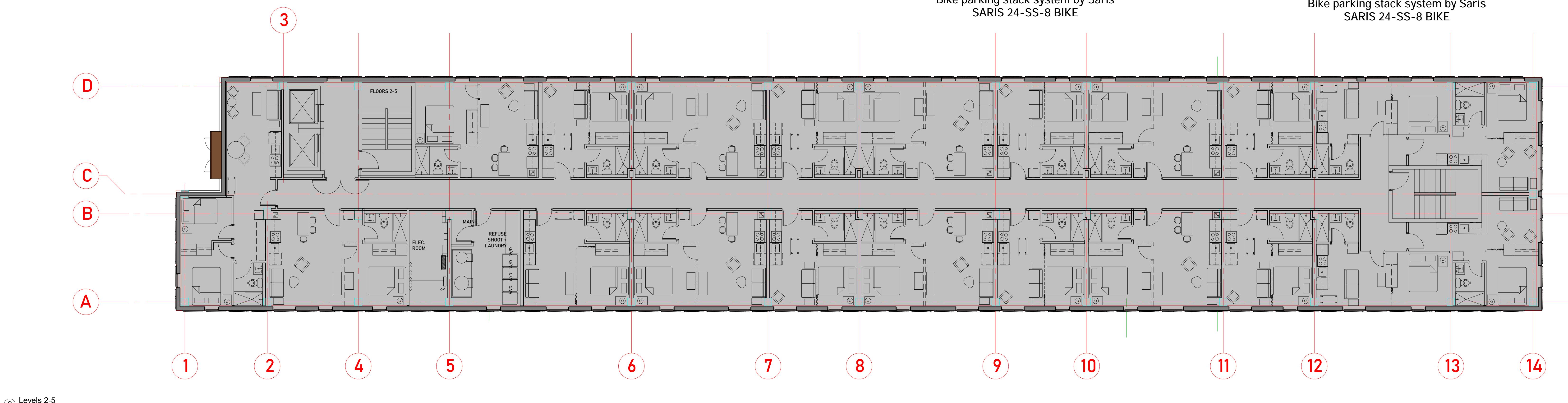
- 1.) For residents: (320) enclosed and secure bike parking spaces using 2x6 ground stall and Saris parking stack system.
- 2.) For guests: (19) 2x6 ground stalls.



Bike parking stack system by Saris SARIS 24-SS-8 BIKE



Bike parking stack system by Saris SARIS 24-SS-8 BIKE



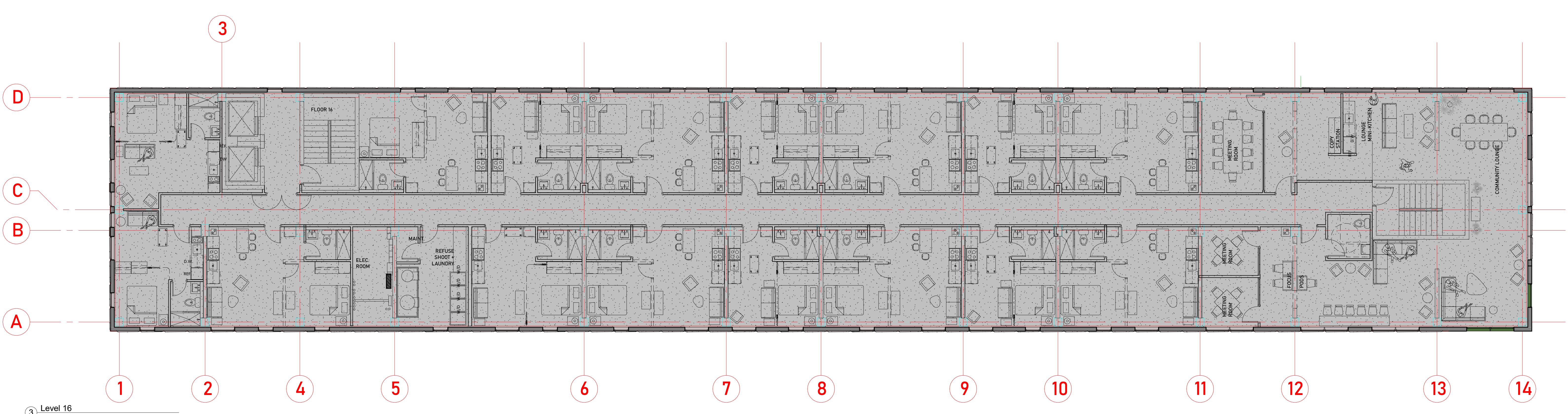
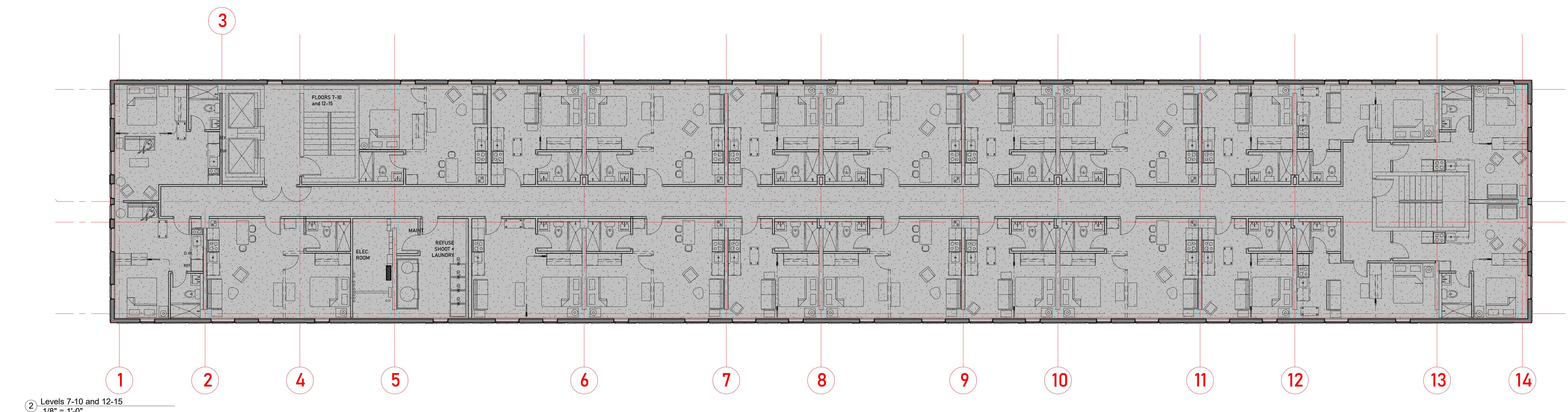
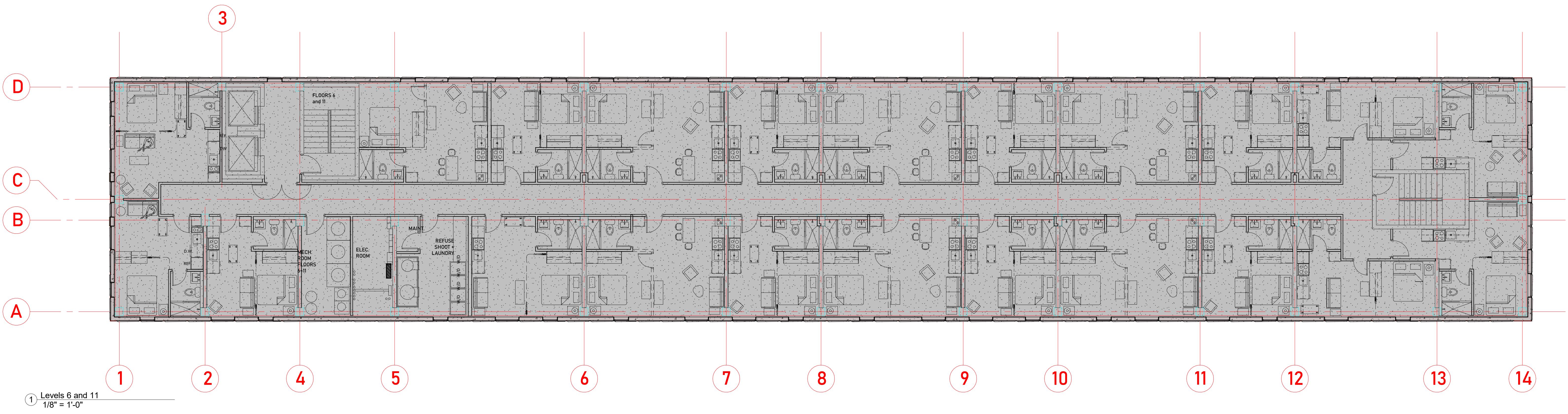
2 Levels 2-5
1/8" = 1'-0"

Project #: 21.000
Issued For: Review
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progression

139 West Wilson
Madison, Wisconsin

Floor plans 6-16



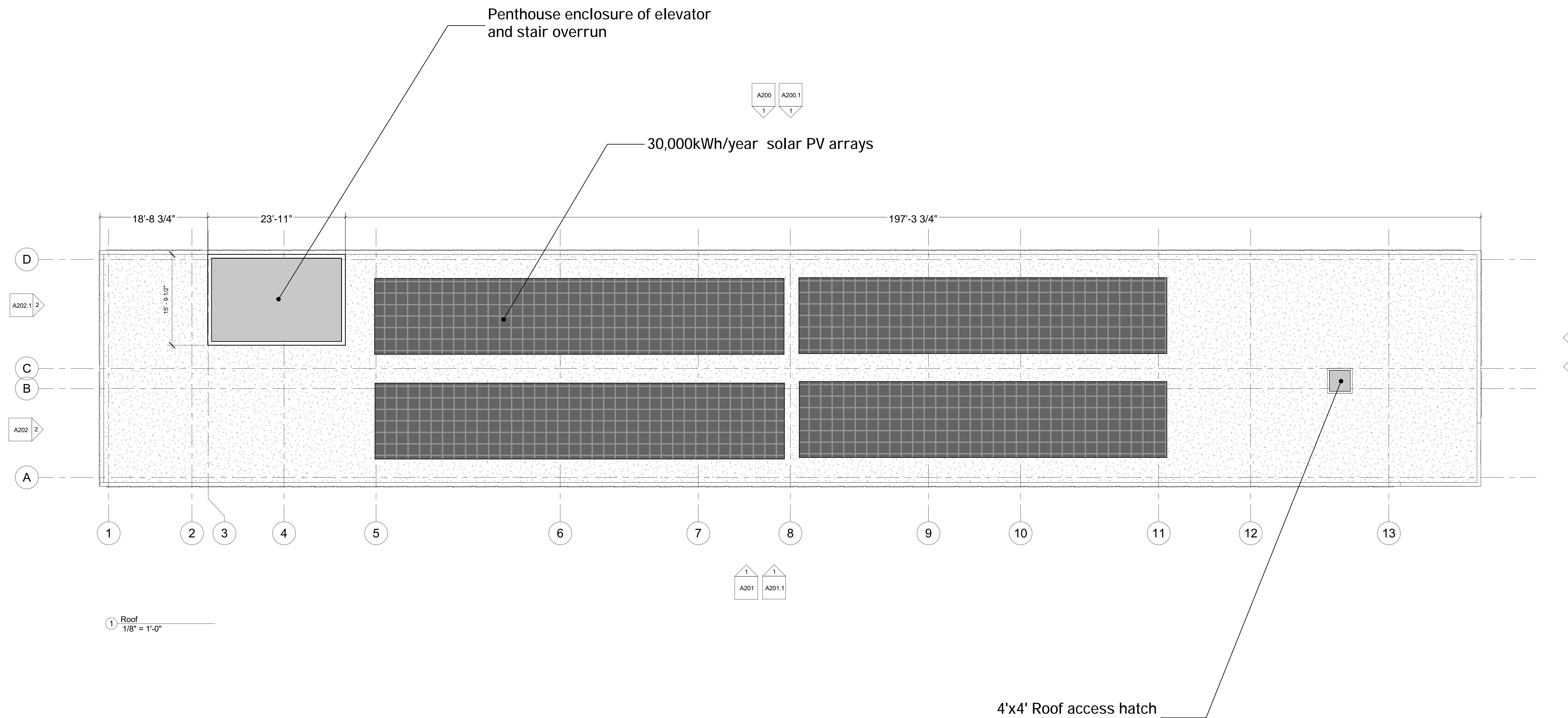
Revisions:

Project #: 21000
Issued For: Review
Date: 06/01/2023

progression

139 West Wilson
Madison, Wisconsin

Roof Plan



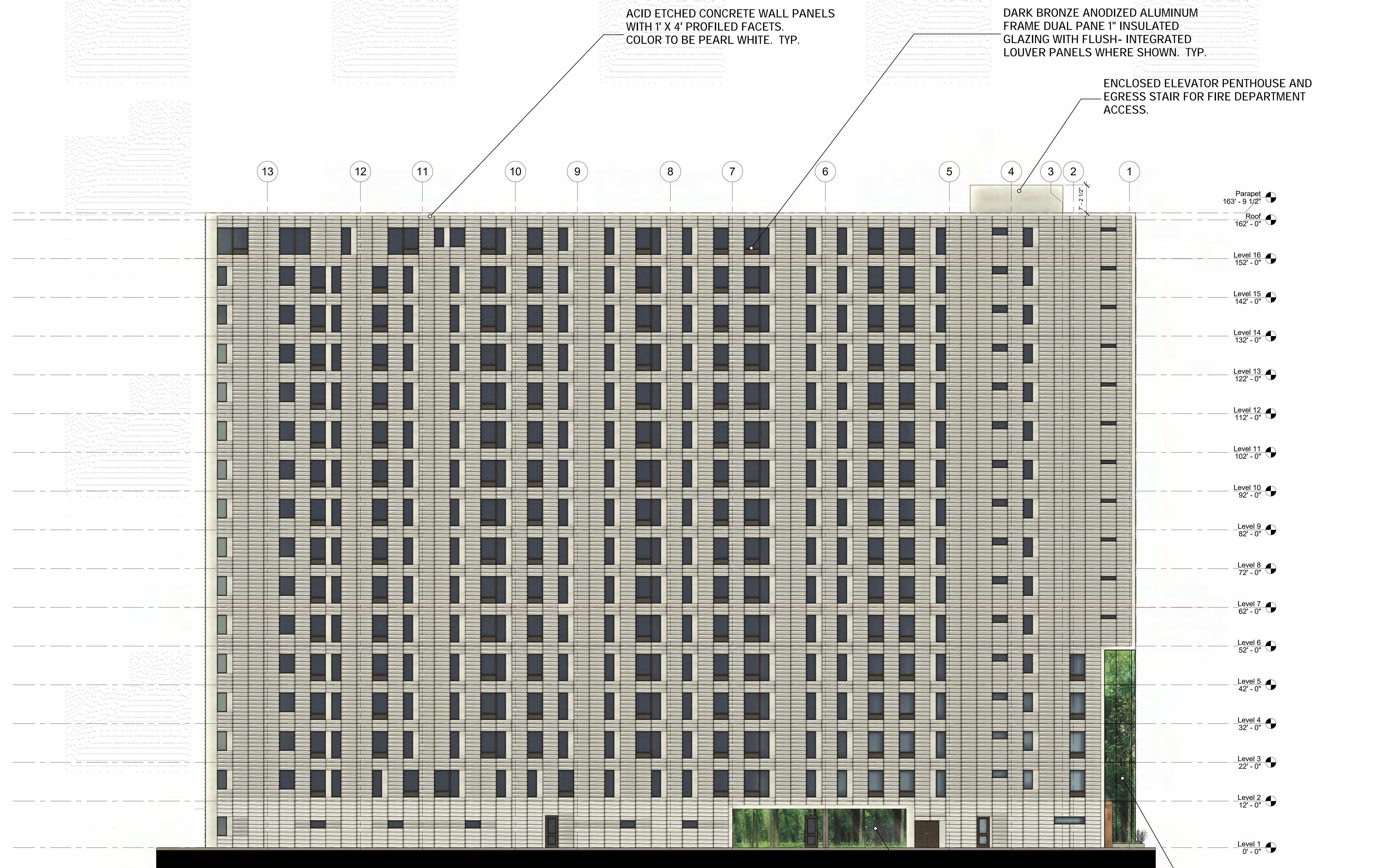
Project #: 21.000
Issued For: Review
Date: 06/01/2023

progression

139 West Wilson

Madison, Wisconsin

East Elevation



GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
 - Recessed Wilson Street entry condition with a 51 feet tall, L-shaped (10' x 20') wide.
 - Wrapping a 42' H x 30' W portion of the upper SW corner facing the lake.
 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
- 6.) Aluminum T&G rain-screen panel. 18" W x 84" H. attached directly to wall panel. Wood grain walnut finish. Longboard Architectural products. See included product sheet.

PEARL WHITE - Concrete wall panel color

Revisions:	

Project #: 21000
 Issued For: Review
 Date: 06/01/2023

progression

139 West Wilson
Madison, Wisconsin

West Elevation

West Elevation

ENCLOSED ELEVATOR PENTHOUSE AND
EGRESS STAIR FOR FIRE DEPARTMENT
ACCESS.

**ACID ETCHED CONCRETE WALL PANELS
WITH 1' X 4' PROFILED FACETS.
COLOR TO BE PEARL WHITE. TYP.**

**DARK BRONZE ANODIZED ALUMINUM
FRAME DUAL PANE 1" INSULATED
GLAZING WITH FLUSH- INTEGRATED
LOUVER PANELS WHERE SHOWN. TYP.**

INTERNALLY LIT WALL ART ENCLOSURE.

See Note 5 this sheet and
detail sheet LT-0

This architectural drawing illustrates a building facade with a grid of vertical and horizontal lines. The facade is composed of a grid of vertical and horizontal lines, with various windows and openings. A series of numbered callouts point to specific features: 1 points to the left edge; 2 points to a vertical line; 3 points to a horizontal line; 4 points to a small yellow rectangular detail at the top left; 5 points to a dimension line indicating a width of 7'-2 1/2"; 6 points to a vertical line; 7 points to a vertical line; 8 points to a vertical line; 9 points to a vertical line; 10 points to a vertical line; 11 points to a vertical line; 12 points to a vertical line; and 13 points to a vertical line. A small inset image in the bottom right corner shows a close-up view of the building's exterior, likely the area indicated by callout 4.

1 West
3/32" = 1'-0"

GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
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PEARL WHITE - Concrete wall panel color

Date: 06/01/2023

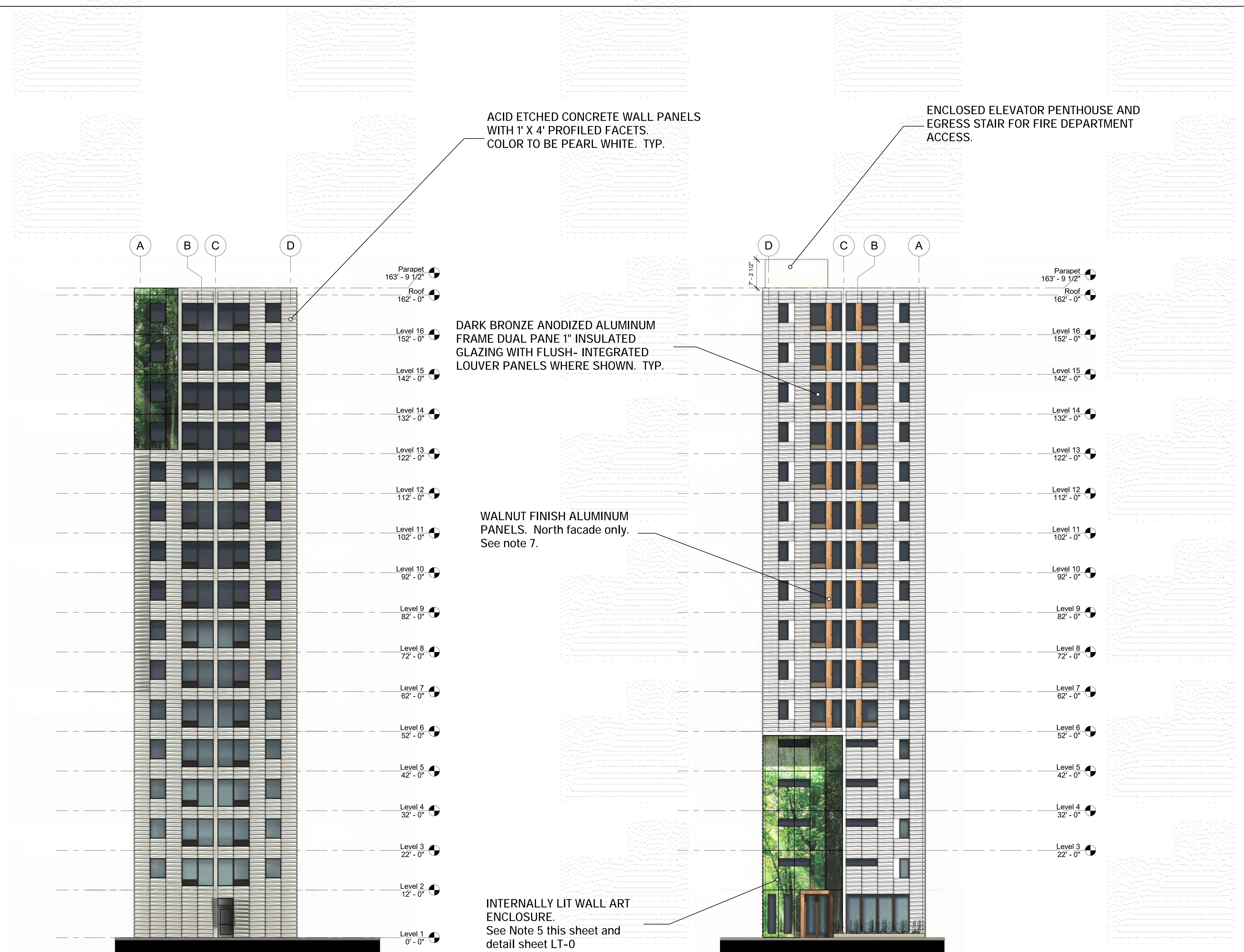
A201

progression

139 West Wilson

Madison, Wisconsin

North & South Elevations



PEARL WHITE - Concrete wall panel color

GENERAL MATERIAL NOTES:

- 1.) The glass on all windows and doors shall be slightly tinted to allow views into and out of the interior.
- 2.) The primary exterior material will be an highly durable acid etched concrete wall panel by Wells Infinite Facades, typically 10' H x 32' W, with a custom faceted profile.
- 3.) The 1' x 4' faceting will occur on all facades.
- 4.) The facets incorporate a horizontal and vertical articulation and twist within each unit, creating a pattern and texture change throughout the facade.
- 5.) Wall art enclosures: See LT-0 for details. The art images would be color jet printed on 4' x 10' Di-bond composite panels, mounted behind a glass curtain wall and internally lit with a programmable LED system. Glass to be 48" w x 120" h 1/4" clear tempered. These would occur in the following locations:
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 - The interior walls of the zip car garage to utilize same wall assembly without glass curtain wall.
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Revisions:	

Project #: 21000
 Issued For: Review
 Date: 06/01/2023

SEA Design

3302 South Oakland Road
Town of Oakland, Wisconsin

3302 South Oakland Road
Town of Oakland, Wisconsin

progression

139 West Wilson
Madison Wisconsin

MIAMI, MIAMI



1 South - Black and white
3/32" = 1'-0"

2 North - Black and white
3/32" = 1'-0"

Project #: 21.000
Issued For: Review
Date: 06/01/2024



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspectives

SEA Design

N3302 South Oakland Road
Town of Oakland, Wisconsin
53338

Revisions:	

Project #: 21000
Issued For: Review
Date: 06/01/2023

SE View of street-scape
from West Wilson

A203



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspectives

SEA Design

Town of Oakland, Wisconsin
53538

Project #: 21.000
Issued For: Review
Date: 06/01/2023

SW View of 139 West Wilson

A204



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspective - Dusk

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Town of Oakland, Wisconsin
53538

Project #: 21.000
Issued For: Review
Date: 06/01/2023

A204.1



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspectives

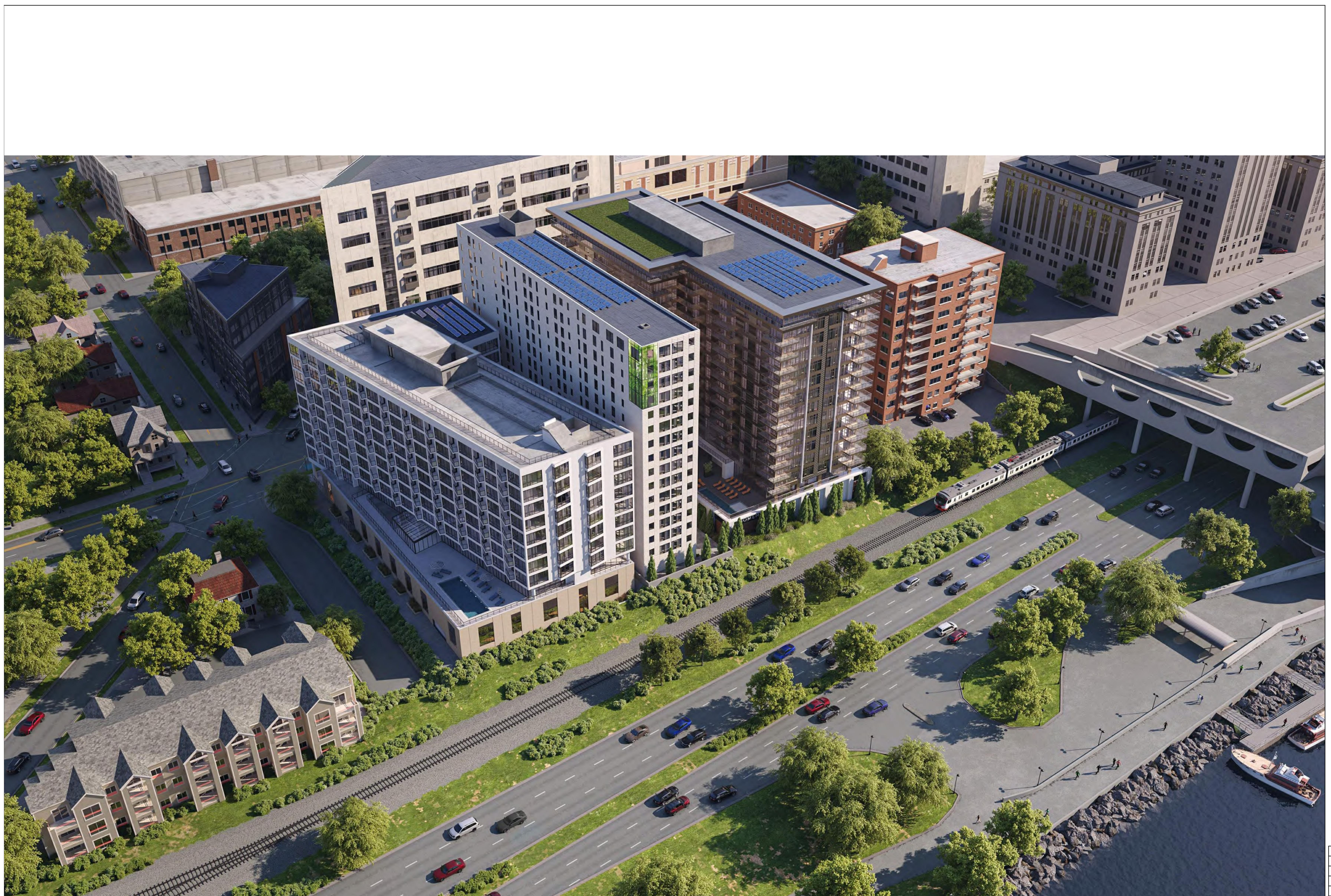
SEA Design

Town of Oakland, Wisconsin
53538

SW View of Entry from West Wilson

ject #: 21.000
ued For: Review
e: 06/01/2023

A205



progression

139 West Wilson

Madison, Wisconsin

West Wilson Perspectives

Revisions:	

Project #: 21000
Issued For: Review
Date: 06/01/2023

A207

SEA Design

N3302 South Oakland Road

Town of Oakland, Wisconsin

53338



progression

SEA Design

N3302 South Oakland Road
Town of Oakland, Wisconsin
53338

139 West Wilson
Madison, Wisconsin
West Wilson Perspectives Copy 1

SW View of street-scape
from West Wilson

Revisions:	

Project #: 21000
Issued For: Review
Date: 06/01/2023

A208



progression

139 West Wilson
Madison, Wisconsin

West Wilson Perspectives

Revisions:	

Project #: 21000
Issued For: Review
Date: 06/01/2023

A209

View from Lake Monona

SEA Design

N3302 South Oakland Road
Town of Oakland, Wisconsin
53338



progression

SEA Design

139 West Wilson

Madison, Wisconsin

West Wilson Perspective - Dusk

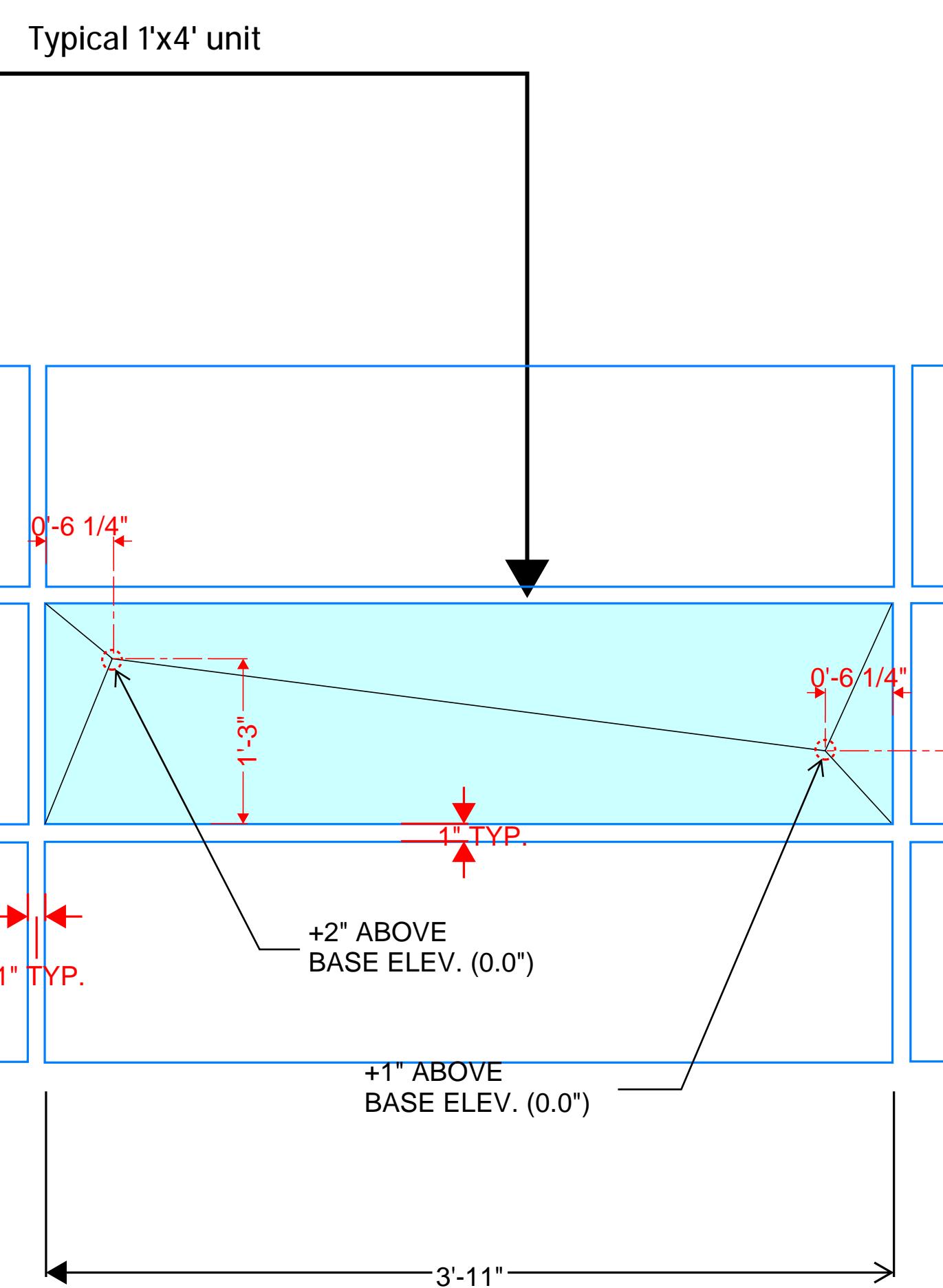
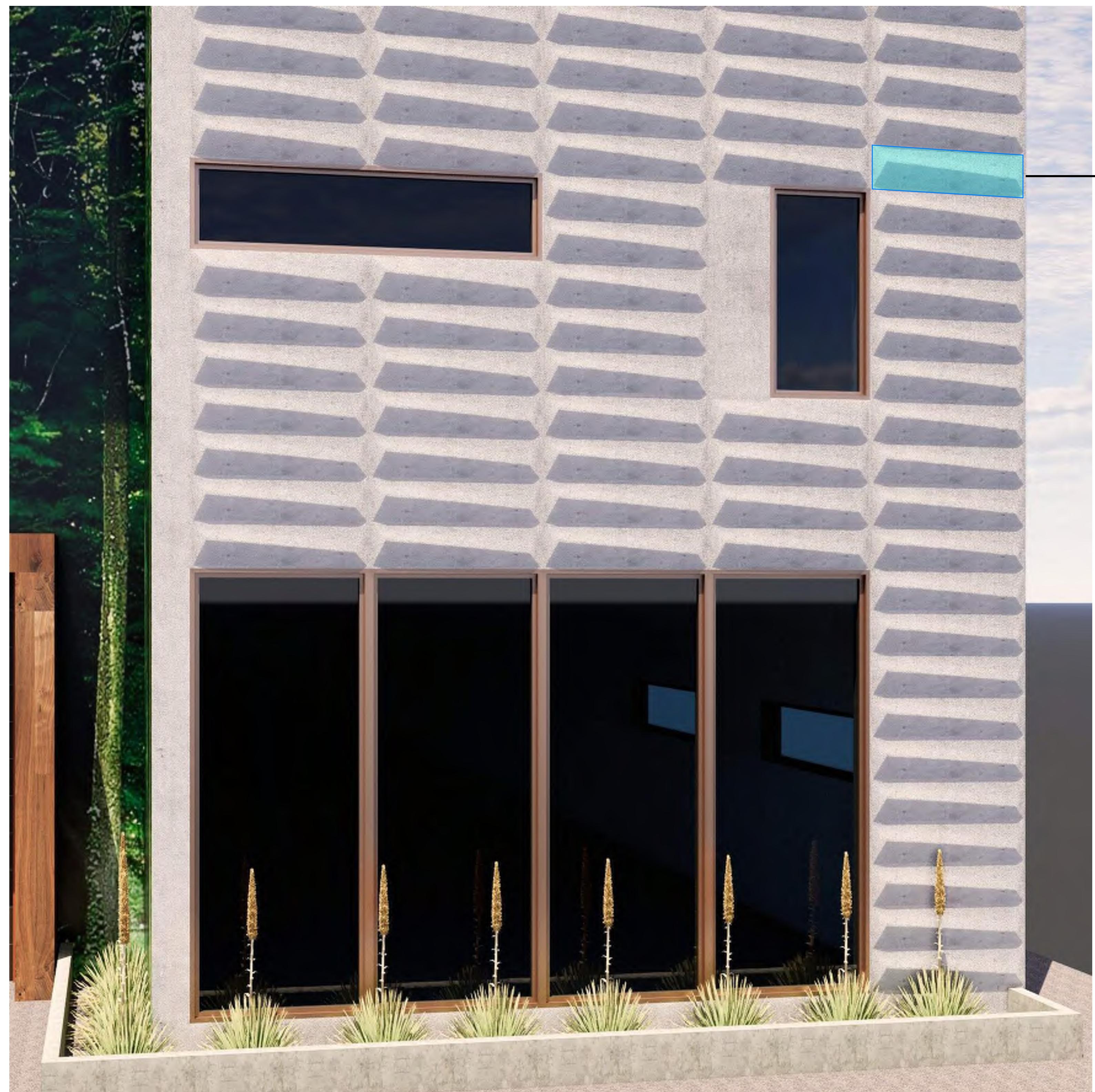
Revisions:	

Project #: 21000
Issued For: Review
Date: 06/01/2023

A209.1

N3302 South Oakland Road

Town of Oakland, Wisconsin
53338



PRIMARY EXTERIOR MATERIAL:

Prefabricated concrete wall panels by Wells Infinite facades. Primary sizes of the wall panels are 10' W x 24' W and 10'H x 32' W. Wall panel manufacturer is Wells Infinite Facade. Project manager is Dan Stenzel (dan.stenzel@wellsconcrete.com) www.infinitefacade.com

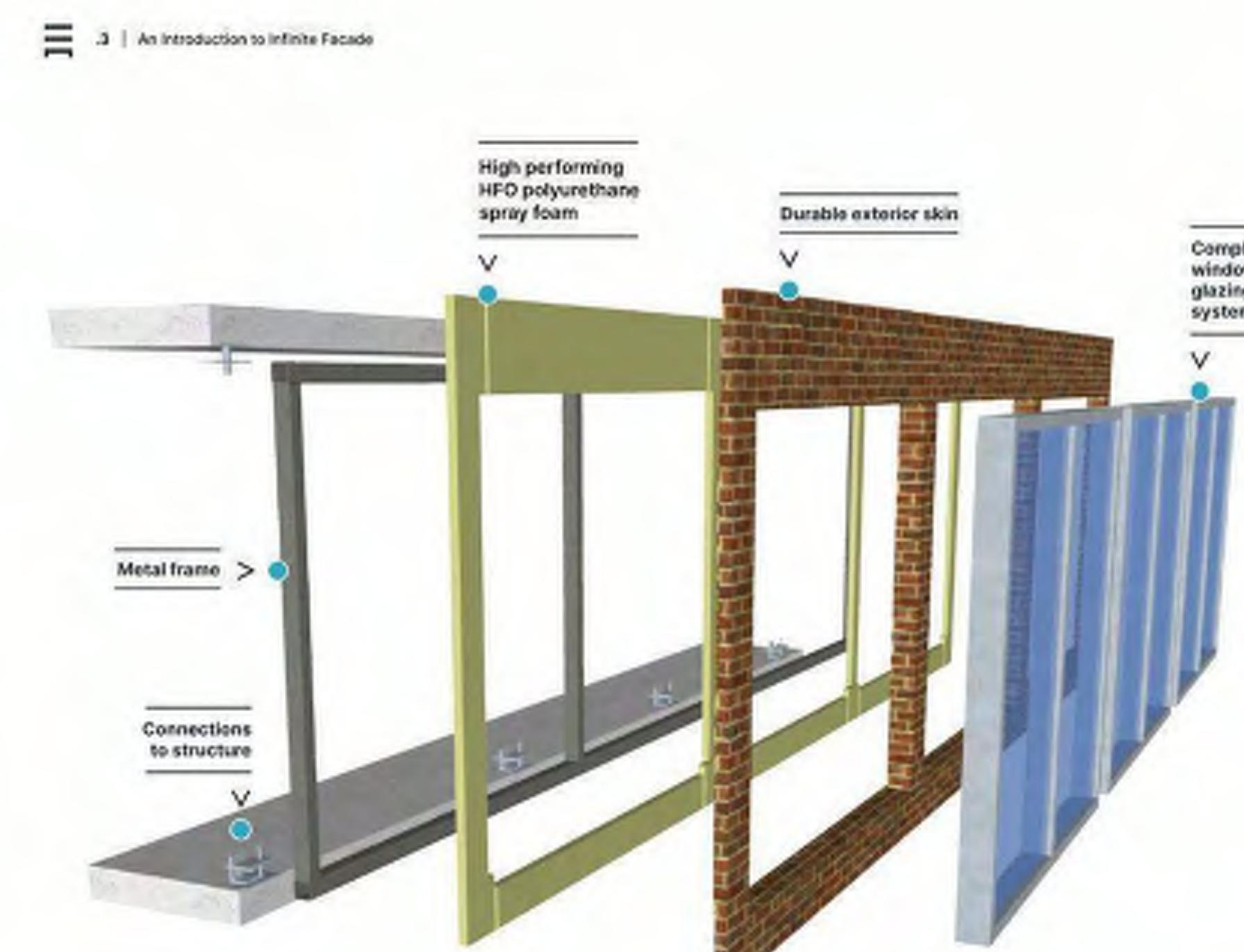
Pearl white acid etched finish



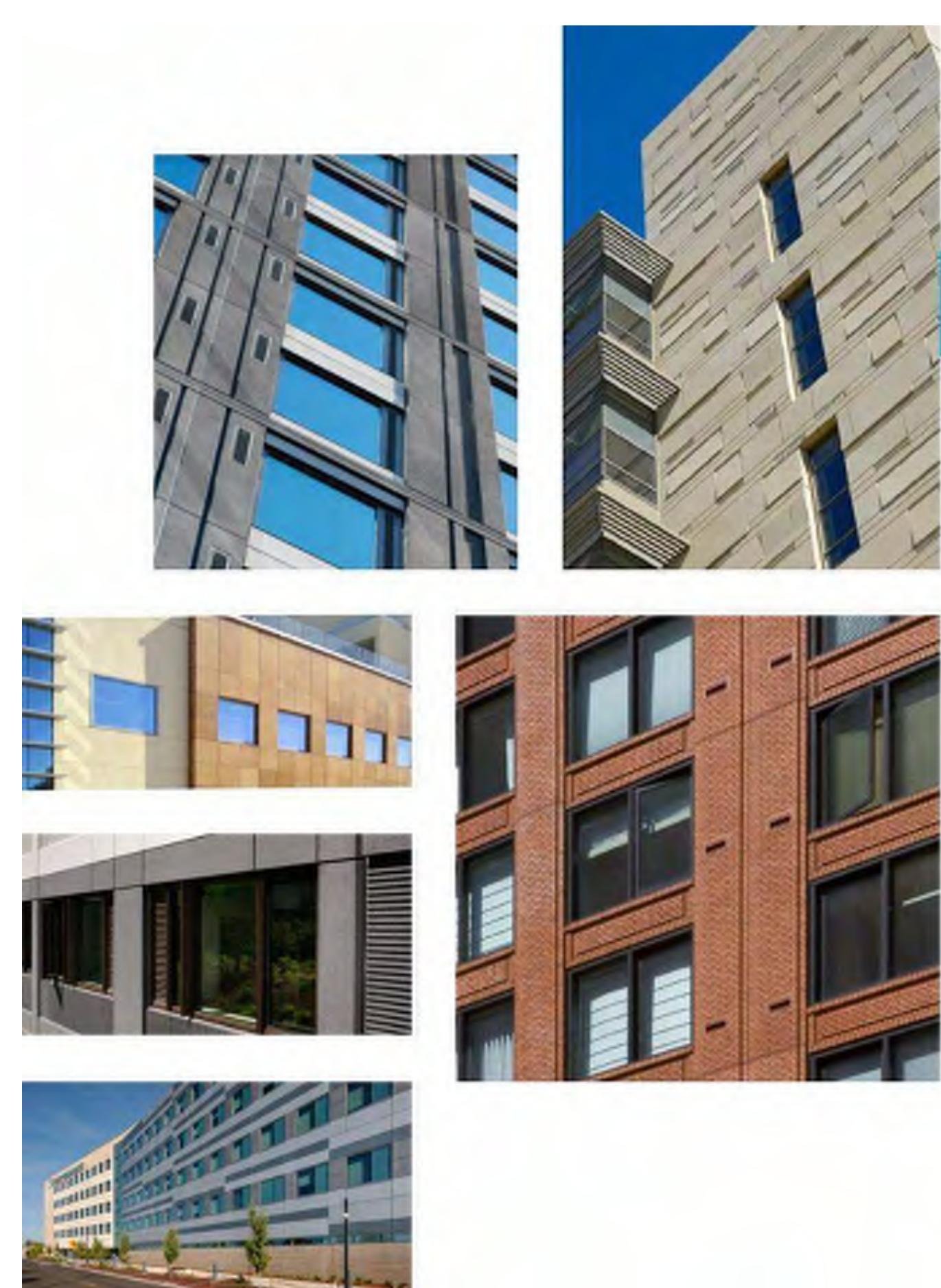
progression

139 West Wilson
Madison, Wisconsin

Exterior materials



Complete wall shipped to site, craned in place and attached to structure, maximizing schedule efficiency.



4 | An Introduction to Infinite Facade



Finishes

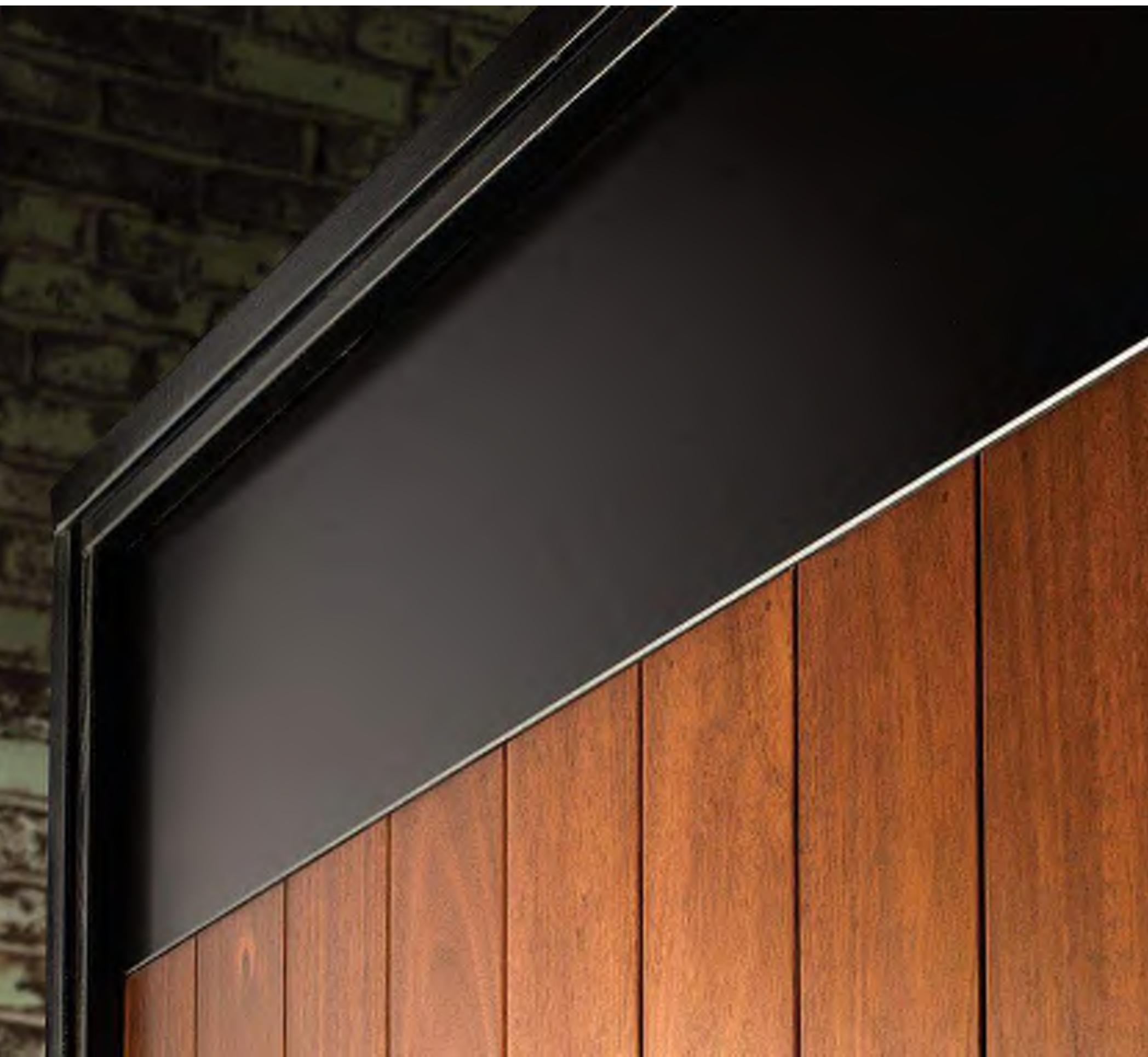
Our exterior finish options are limitless. In addition to the wide variety of colors and textures currently available in traditional precast, other materials can be cast into the exterior veneer – such as brick, terracotta, and stone. The use of form liners also allows for an endless number of geometric patterns and reveals to be incorporated into the design.

Aesthetic Customization



Revisions:											

Project #: 21000
Issued For: Review
Date: 06/01/2023



DARK BRONZE ALUMINUM NEXT TO LONGBOARD TABLE WALNUT-1

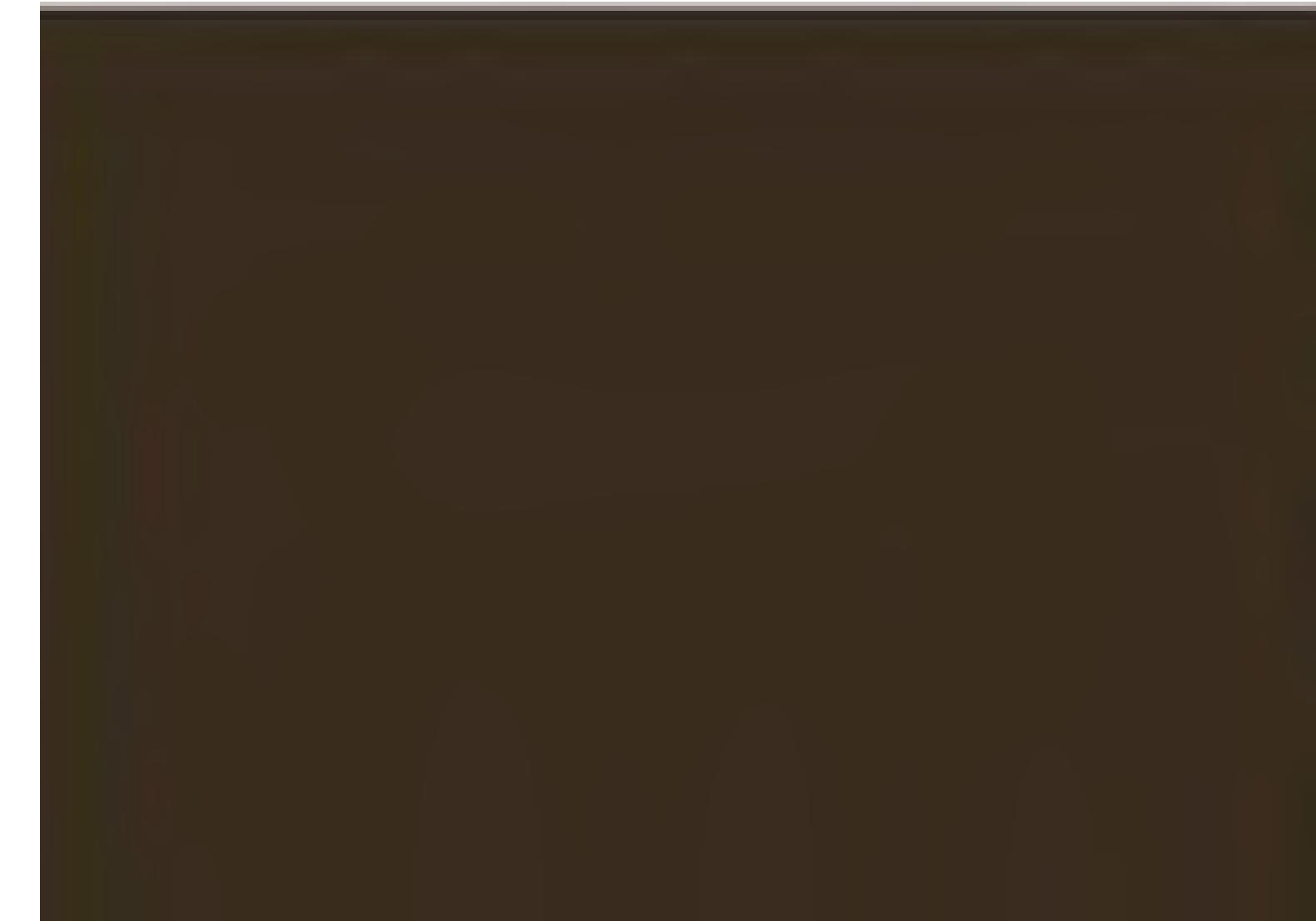


1" INSULATED CELAR GLASS SLIM PROFILE
ALUMINUM STOREFRONT SYSTEM

VERTICAL ACCENT - LONGBOARD



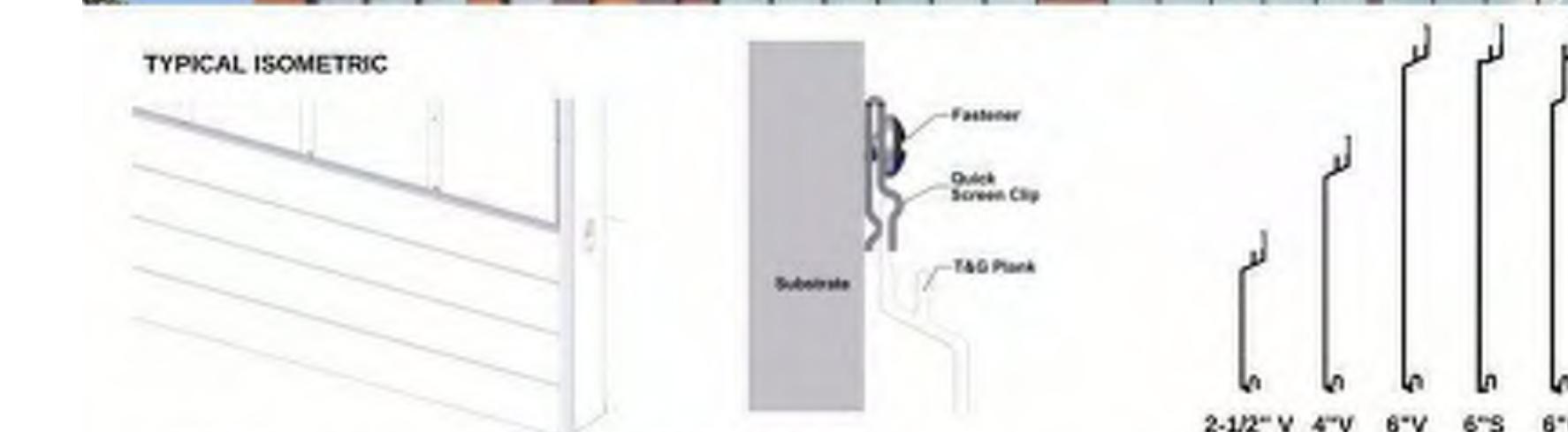
ENALRGED PARTIAL NORTH FAÇADE SHOWING WINDOW-LOUVER-VERTICAL
ACCENT (LONGBOARD) CONFIGURATION



DARK BRONZE ANODIZED
ALUMINUM FINISH AT ALL
EXTERIOW WINDOWS, DOORS AND
LOUVERS.



LONGBOARD ARCHITECTURAL
PRODUCTS - TONGUE & GROOVE
CLADDIGN SYSTEM
4" WIDE (4V) VERTICAL
ORIENTATION
COLOR: TABLE WALNUT-1



TECHNICAL SPECIFICATIONS

PHYSICAL DATA
6063-T5 Extruded Aluminum
100% Recyclable
Warranty: Finish 15 year (standard)/20 year* (ultra) (*10 week lead time);
Aluminum: 50 year
Weight (lb/sqft): ~1.5

TESTING
ICC-ES Evaluation Report - Division: 07 00 00 Thermal and Moisture Protection
Section: 07 46 00 - Siding

AAMA 599 Rainscreen W3, V2
LA99 - Los Angeles Department of Building Safety (LADBS) accepts ICC-ES reports as proof of compliance

Florida Product Code: FL2007S

Miami-Dade, Florida, Notice of Acceptance (NOA): NOA No. 22-0209-01

Expiration Date: January 26, 2028

Impact testing: TAS 201

WUFI (The Wildland-Urban Interface) - California Department of Forestry & Fire Protection Office of the State Fire Marshal Listing No. 8140-2298-0500

UL (Underwriters Laboratories) - UL 2599

Fire Rating: Class A Non-Combustible by ASTM E136 & ASTM E84: A2-s1,0,d0 by EN 13501-1

Light Reflectance: 5% (Black) up to 73.2% (Ultra White)

Wind load: Up to 121 psf (5794 Pa) TAS 202, TAS 203

progression

139 West Wilson
Madison, Wisconsin

Exterior materials

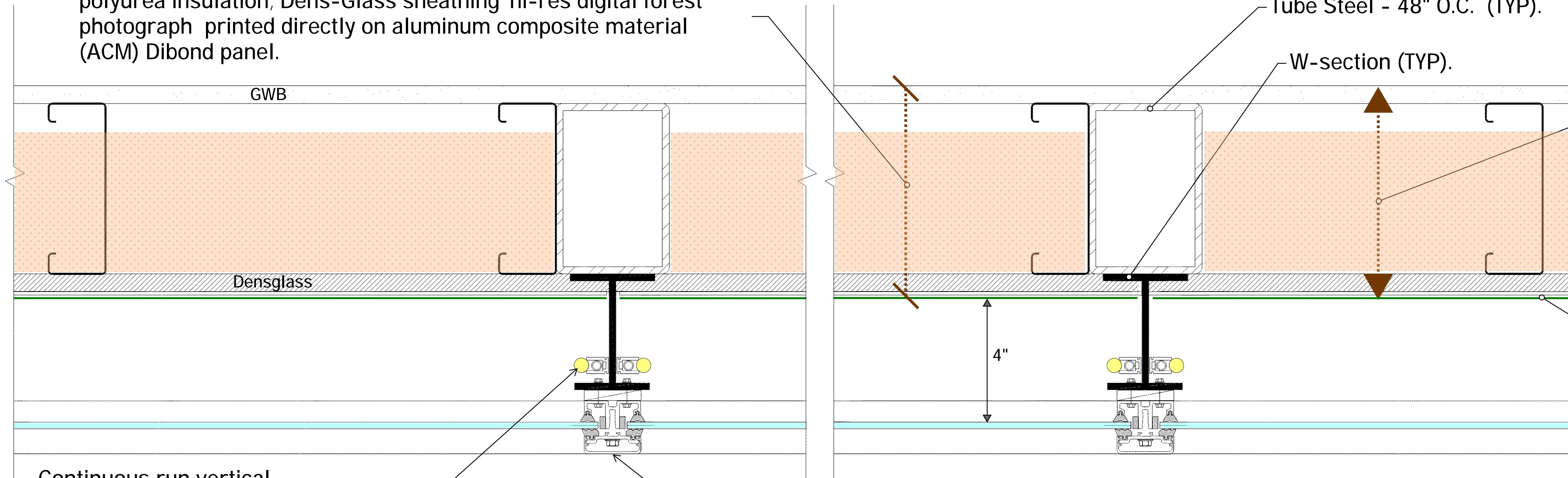
SEA Design

N3302 South Oakland Road

Town of Oakland, Wisconsin
53338

Project #: 21000
Issued For: Review
Date: 06/01/2023

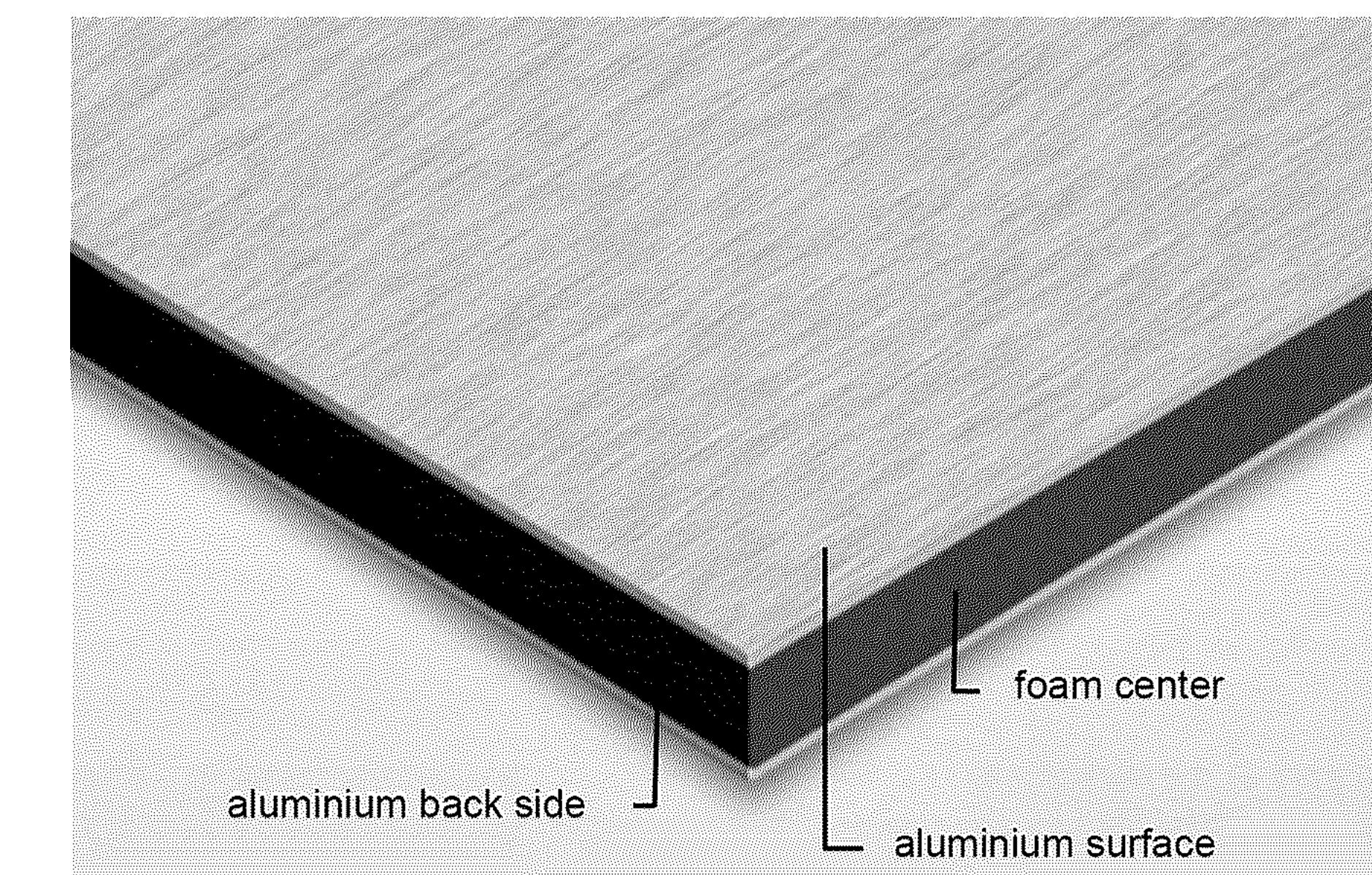
EXTERIOR WALL ASSEMBLY: 5/8" Type 'X' GWB" 6" metal studs; polyurea insulation; Dens-Glass sheathing' hi-res digital forest photograph printed directly on aluminum composite material (ACM) Dibond panel.



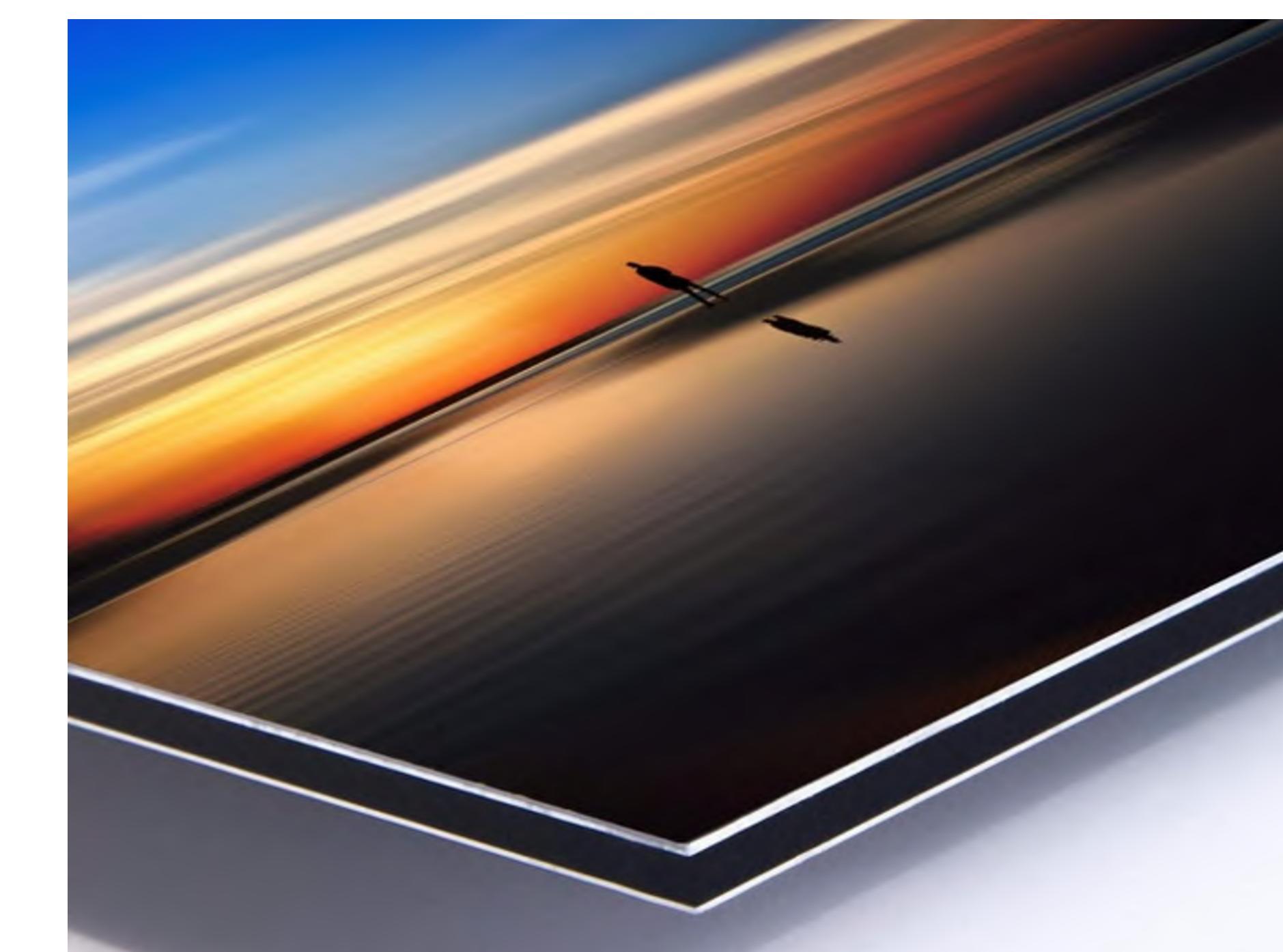
Window systems located within this portion of the overall curtain wall assembly. Where occurs on all elevations. (TYP).

1 Exterior art wall - Plan detail (TYP)

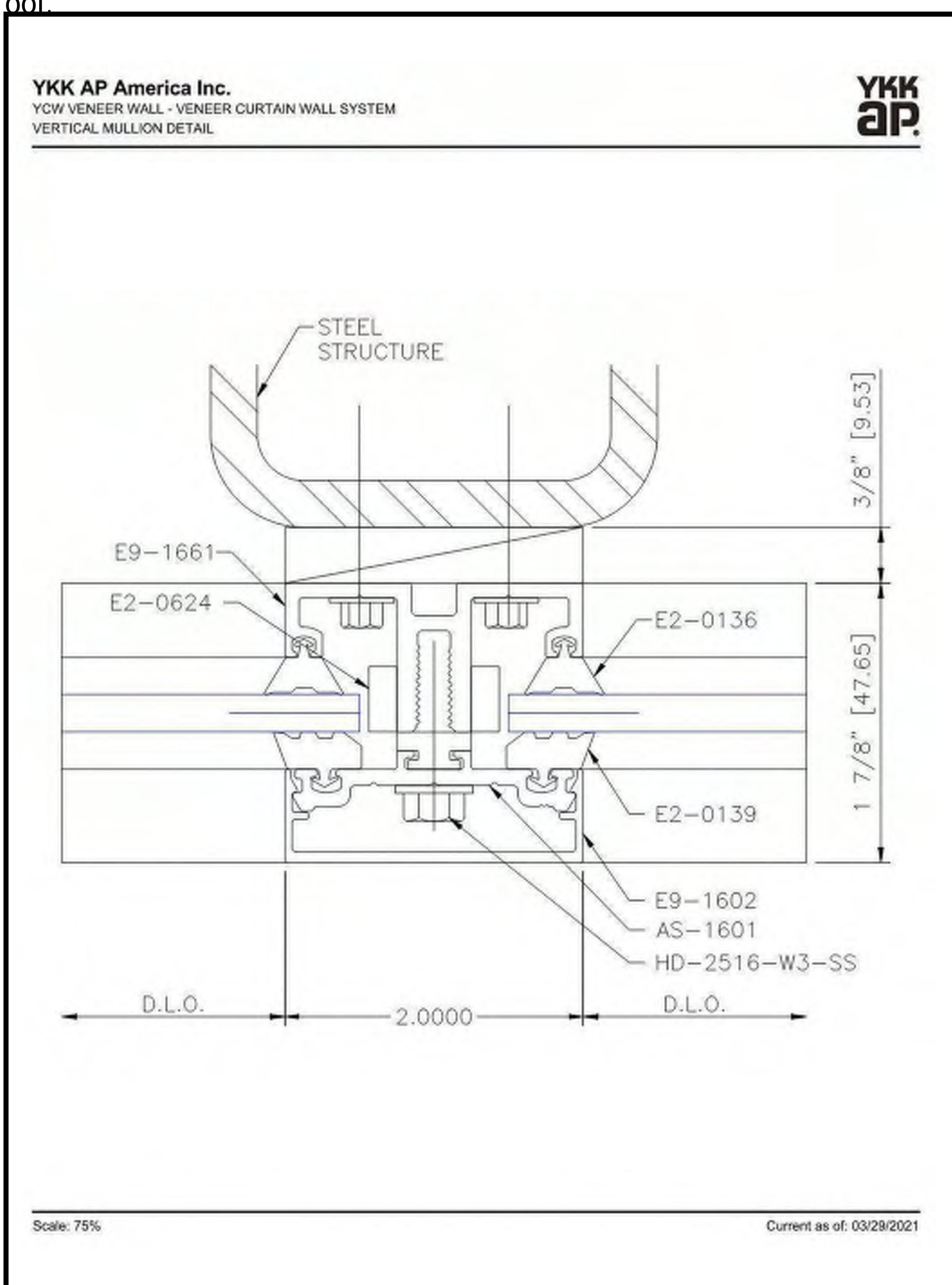
3mm Di-bond panel with forest graphic printed directly on aluminum using waterproof, UV-cured inks.



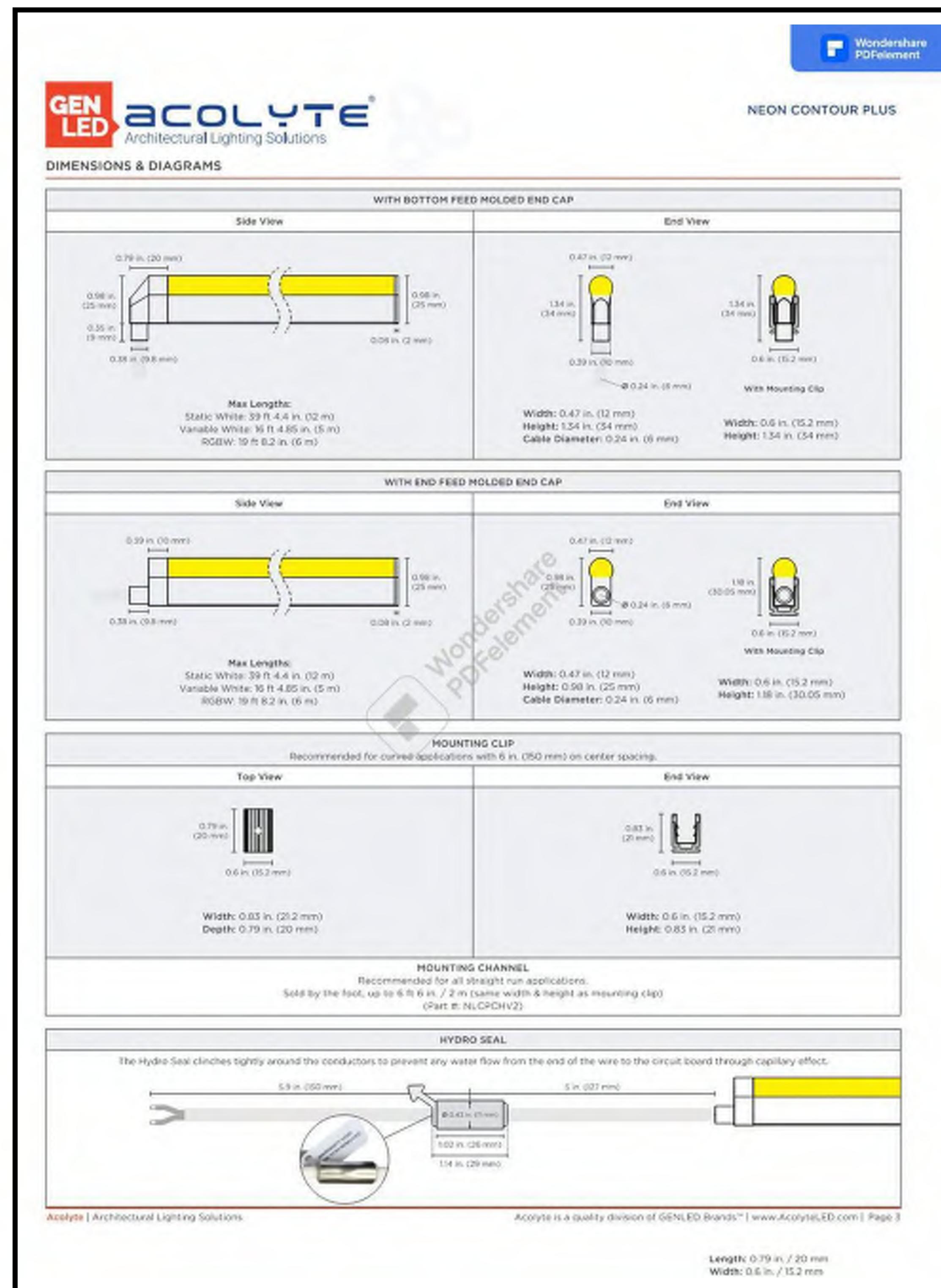
4 3mm (1/8").DiBond-Aluminum Composite material (ACM).



5 Example of direct print (ACM).



2 Curtain wall - Mullion detail (TYP)



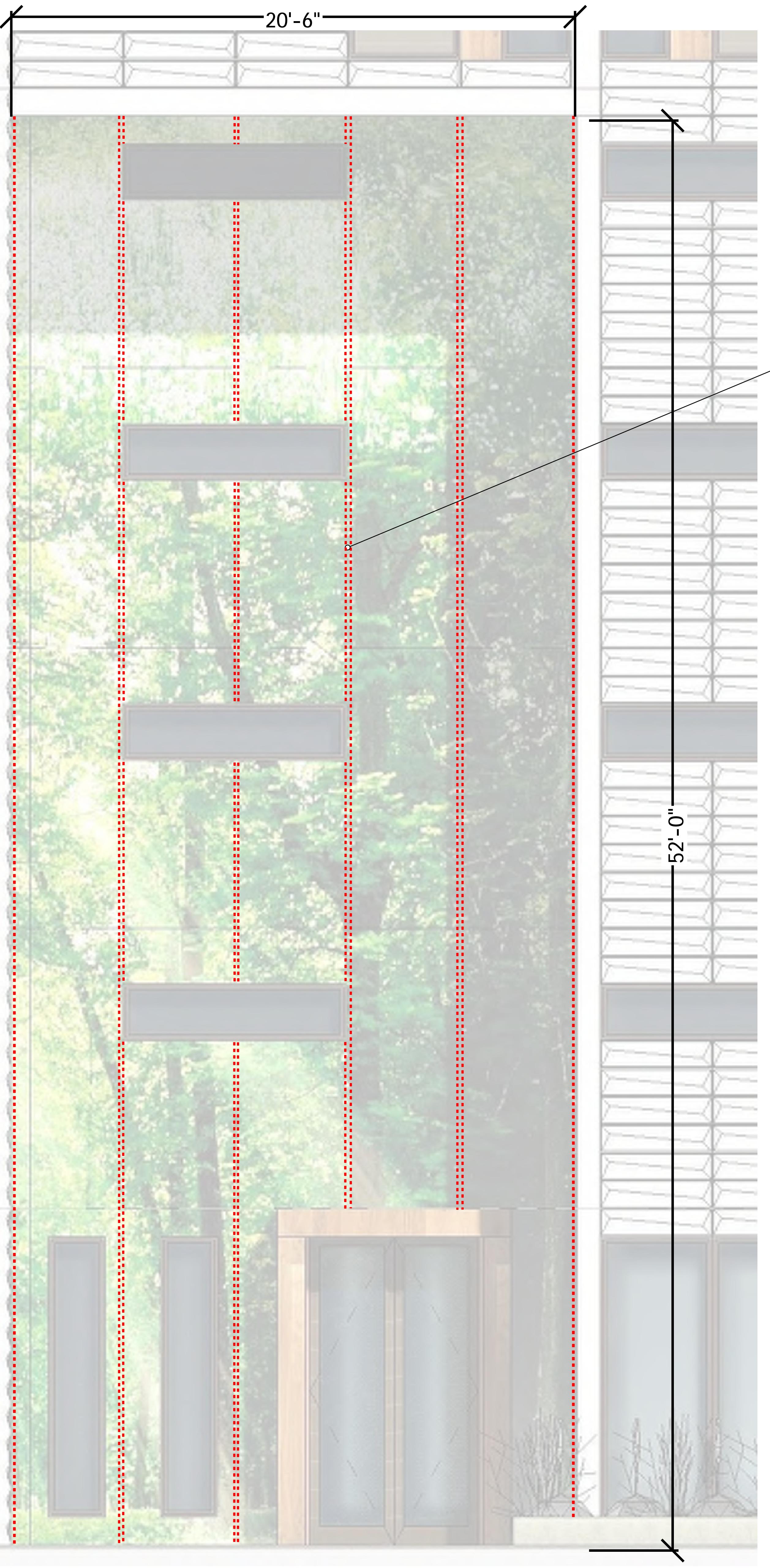
3 Static white NEON-LED light spec.

Revisions:	

Project #: 21000
Issued For: UDC/P.C.
Date: 08.07.2023



1 North Curtain wall Elevation

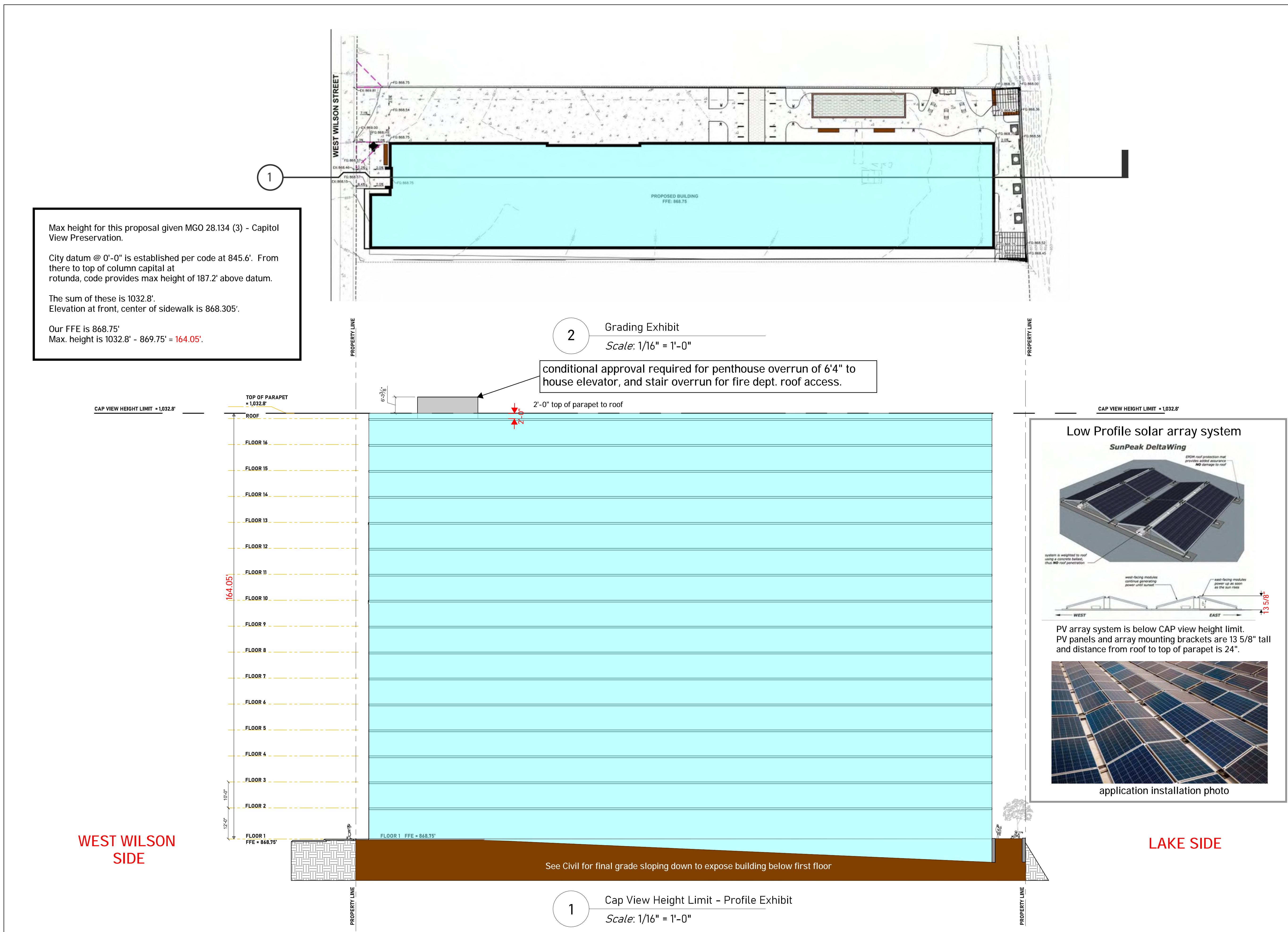


2 North Curtain wall LED light locations

Location of concealed
NEON LED tubes shown in
red dash. See detail
1/A302.

GENERAL NOTE:
Glass curtain wall and illuminated art wall assemblies as shown on East, West and South Elevations to follow same detail and lighting configurations.

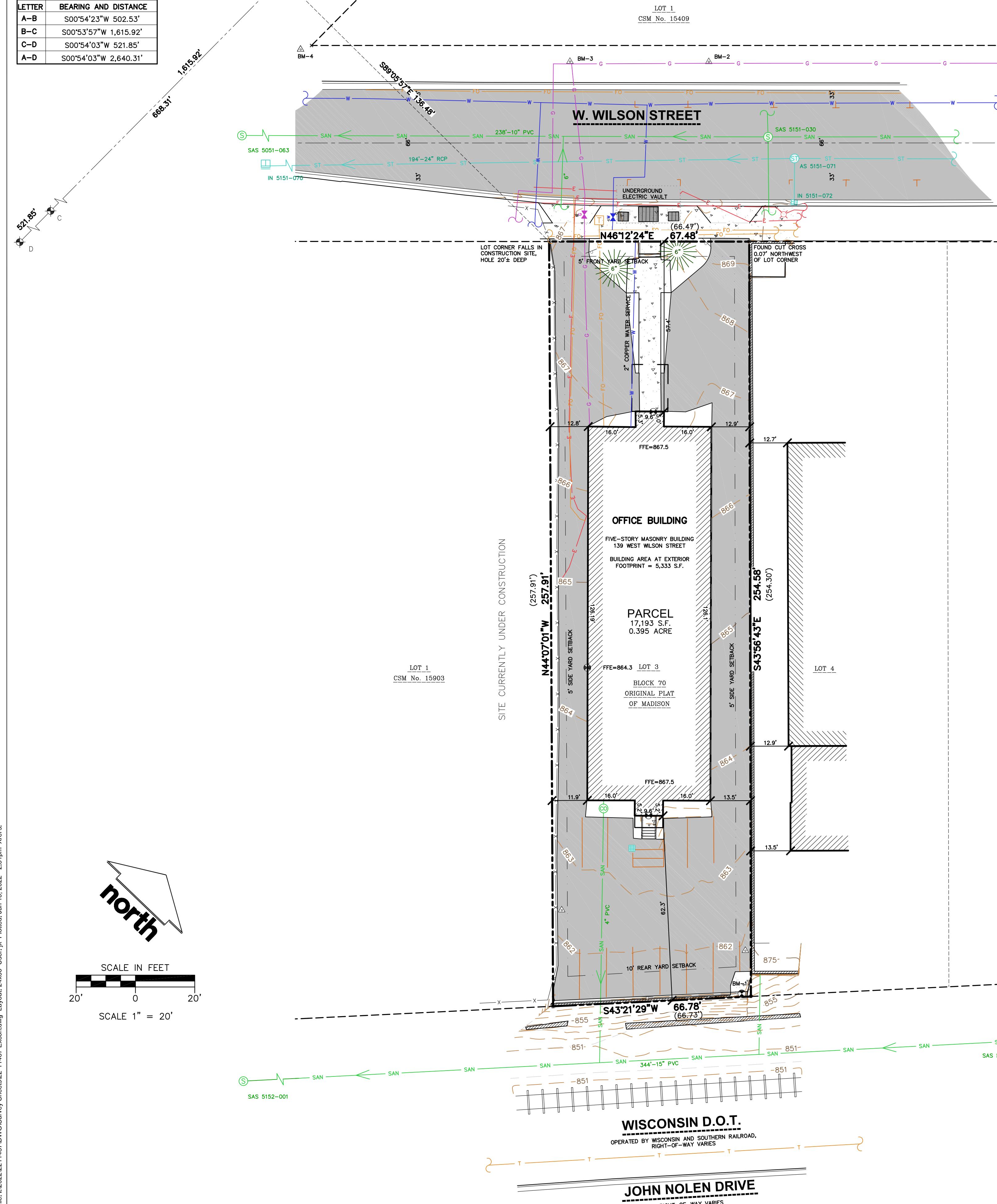
A303



THIS SHEET FOR REFERENCE ONLY

SECTION CORNER MONUMENTS			
LETTER	CORNER	FOUND	NORTHING
			EASTING
A	NW 24-07-09	THE CAPITOL BLDG	482,833.37
B	WITNESS CORNER	BRASS CAP	482,330.90
C	WITNESS CORNER	BRASS CAP	480,715.18
D	W 1/4 24-07-09	IN THE LAKE	480,193.39
			821,166.41
			821,158.49
			821,133.10

SECTION LINE BEARINGS	
LETTER	BEARING AND DISTANCE
A-B	S00°54'23"W 502.53'
B-C	S00°53'57"W 1,615.92'
C-D	S00°54'03"W 521.85'
A-D	S00°54'03"W 2,640.31'



EXISTING CONDITIONS SURVEY

PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUME A OF PLATS, PAGE 3, AS DOCUMENT NO. 102, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

GOVERNMENT CORNER	— CENTERLINE
1" IRON PIPE FOUND	- - - PLATED LOT LINE
CHISELED 'X' FOUND	- - - SETBACK LINE
3/4" REBAR FOUND	- - - X - X - FENCE LINE
CONTROL POINT	— CONCRETE CURB & GUTTER
BENCHMARK	— SAN — SANITARY SEWER
FINISHED FLOOR SHOT LOCATION	— W — WATER LINE
SIGN	— ST — STORM SEWER
SANITARY MANHOLE	— SAN — NATURAL GAS
CLEAN OUT	— SAN — UNDERGROUND ELECTRIC
HYDRANT	— SAN — FIBER OPTIC
WATER VALVE	— SAN — UNDERGROUND TELEPHONE
STORM MANHOLE	— SAN — BUILDING
SQUARE CASTED INLET	— SAN — INDEX CONTOUR
CURB INLET	— SAN — INTERMEDIATE CONTOUR
GAS VALVE	— SAN — BITUMINOUS PAVEMENT
LIGHT POLE	— SAN — CONCRETE PAVEMENT
TELEPHONE PEDESTAL	— SAN — PAVEMENT STRIPPING
CONIFEROUS TREE	— SAN — END OF FLAGGED UTILITIES
PARCEL BOUNDARY	— SAN — DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
SECTION LINE	— SAN —
RIGHT-OF-WAY LINE	— SAN —

NOTES

- FIELD WORK PERFORMED ON JUNE 08, 2022.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 24-07-09, RECORDED AS S00°54'01"W.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT FOR THE WITNESS CORNER TO THE WEST QUARTER OF SECTION 24-07-09, ELEVATION = 850.32'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20222305367, WITH A START DATE OF JUNE 03, 2022.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON ENGINEERING
MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
AMERICAN TRANSMISSION COMPANY
LEVEL IS NOT CENTURYLINK
AT&T TRANSMISSION
AT&T DISTRIBUTION
TDS TELECOM
MCI
MADISON METROPOLITAN SEWERAGE DISTRICT
WINDSTREAM
WISCONSIN DEPARTMENT OF ADMINISTRATION—DIVISION OF ENTERPRISE TECHNOLOGY
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHALL BE VERIFIED BEFORE BEING UTILIZED.
- THIS PARCEL IS ZONED URBAN MIXED-USE DISTRICT (UMX) PER THE CITY OF MADISON ZONING MAP.
LOT AREA=3,000 SQUARE FEET
LOT WIDTH=30 FEET
MINIMUM FRONT YARD SETBACK=5 FEET
SIDE YARD SET BACK=5 FEET
REAR YARD SETBACK=10 FEET
CHECK WITH CITY ZONING DEPARTMENT FOR HEIGHT RESTRICTIONS AND SETBACKS PER BUILDING USE.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

LEGAL DESCRIPTION

PART OF LOT 3, BLOCK 70, ORIGINAL PLAT OF MADISON, RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT NO. 102, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 07 EAST, RANGE 09 NORTH, CITY OF MADISON, DANE COUNTY, WISCONSIN.

TAX KEY NO: 251/0709-242-0124-0

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT UNDER THE DIRECTION OF SEA DESIGN THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

DATE



STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
AS 5151-071	870.68	NE 867.09	12"	RCP	
		SW 866.92	12"	RCP	
		SW 863.18	24"	RCP	

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
INL 5151-072	869.99	NW 867.09	12"	RCP	
INL 5151-070	863.44	NE 855.15	24"	RCP	
		SW 855.15	24"	RCP	

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	862.06	CHISELED 'X' IN CONCRETE RETAINING WALL
BM-2	870.68	CHISELED 'X', NORTH SIDE OF W. WILSON STREET
BM-3	868.69	CHISELED 'X', NORTH SIDE OF W. WILSON STREET
BM-4	865.89	CHISELED 'X', NORTH SIDE OF W. WILSON STREET

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
SAS 5151-013	850.76	NE 845.14	15"	PVC	
		SW 845.12	15"	PVC	
SAS 5152-022	851.47	NE 844.74	12"	PVC	
		NW 846.44	12"	PVC	
		SW 844.71	15"	PVC	
SAS 5151-030	870.66	NE 860.06	10"	PVC	
		SE 861.01	8"	PVC	
		NW 860.86	8"	PVC	
		SW 860.01	10"	PVC	
SAS 5051-063	862.65	NE 851.10	10"	PVC	
		N 851.33	8"	PVC	
		NE 856.92	8"	PVC	
		NE 851.50	8"	PVC	
		SE 851.00	12"	PVC	



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MADISON REGIONAL OFFICE
161 HORIZON DR, SUITE 101
VERONA, WISCONSIN 53593
P. 608.846.5060

CLIENT:
SEA DESIGN

CLIENT ADDRESS:
N3302 SOUTH OAKLAND
FORT ATKINSON, WI 53538

PROJECT:
139 W. WILSON STREET

PROJECT LOCATION:
139 W. WILSON STREET
CITY OF MADISON
DANE COUNTY, WISCONSIN

MODIFICATIONS:		
#	Date:	Description:
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Prepared By: JK 06/14/22
Reviewed By: TJB 06/15/22
Approved By: TJB 06/15/22

SHEET TITLE:
EXISTING
CONDITIONS
SURVEY

SHEET NUMBER:
1 OF 1

PROJECT NO: 22-11487

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GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE" THAT MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE OBSERVATION. THE OWNER/CONTRACTOR WILL DETERMINE WHICH ITEMS MAY BE KNOWN OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEM TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION. THE OWNER/CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. THE OWNER/CONTRACTOR/BIDDER TAKES RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUNDED TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGE TO THE PROPERTY, OR THE CONSTRUCTION OF A CURB AND GUTTER THAT THE CITY OWNER DETERMINES NEEDS TO BE PLACED BECAUSE IT IS AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2-24. OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.1.0.6 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERMIT EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVING FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL DEMOLITION DEBRIS. ALL APPLICABLE PERMITS SHALL BE OBTAINED AND NOT BE BURNED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- SECTION 28.185(9) REQUIRES THAT EVERY APPLICANT FOR A DEMOLITION OR REMOVAL APPROVAL THAT IS REQUIRED APPROVAL BY THE PLAN COMMISSION IS TO GET A REUSE AND RECYCLING PLAN APPROVED BY THE CITY RECYCLING COORDINATOR, JEFFERSON JOHNSON AT STREETS@CITYOFMADISON.COM PRIOR TO RECEIVING A RAZE PERMIT. EVERY PERSON WHO IS REQUIRED TO SUBMIT A REUSE AND RECYCLING PLAN PURSUANT TO SECTION 28.185(9) SHALL SUBMIT THE PLAN AND COMPLIANCE WITH THE PLAN WITHIN SIXTY (60) DAYS OF COMPLETION OF DEMOLITION. A DEMOLITION OR REMOVAL PERMIT IS VALID FOR ONE (1) YEAR FROM THE DATE OF THE PLAN COMMISSION.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- GENERAL
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY GEOTEST DATED MARCH 25, 2022.
 - ALL PAVING SHALL BE OF FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPAL REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DRAWINGS & SPECIFICATIONS OF THE CITY OF MADISON, STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREINAFTER, THIS PUBLICATION WILL BE REFERRED AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO CONSTRUCTION. DO NOT BEGIN PAVING UNTIL THE AMBIENT TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN TEMPERATURE IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AMBIENT TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TAN LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVING SPECIFICATIONS
 - CONCRETE SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROKEN FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - PAVEMENT MARKING SPECIFICATIONS
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE GRADES DRONE PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, ASSESSMENT OF RISK, ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED GRADE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVERSUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES GREATER THAN 1:10 SHALL BE TEMPORARILY SEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 7 DAYS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDRN TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" FOR ANY CONSTRUCTION ACTIVITIES.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAIN COSTS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFY ALL ELEVATIONS, LOCATIONS AND DIRECTIONS OF EXISTING UTILITIES.
 - NOTIFY ALL UTILITIES CONCERNING THE PROPOSED CONSTRUCTION ACTIVITIES.
 - COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS INVOLVED IN CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDRN) TECHNICAL STANDARDS (REFERRED AS BMP'S) AS BMR AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERMITTED EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF THE SOIL. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION IS COMPLETED IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEERS OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER MONTH MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ANY RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONTRACTOR SHALL PREPARE PRECAUTIONS DURING CONSTRUCTION NOT TO DAMAGE, SCRATCH, OR IMPAIR THE BRANCHES OF THE TREES (THE STREET TREES). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADERS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. CONTRACTOR SHALL NOT DAMAGE THE BRANCHES OF THE STREET TREES (EITHER ABOVE OR BELOW GROUND) WHICH MAY DAMAGE THE ROOTS OF THE TREE OR DAMAGE THE TREE PROTECTION ZONE.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED AT THE END OF EACH WORK DAY AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS AFFECTED BY THE CONSTRUCTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS DISCREPANCIES BETWEEN THESE PLANS AND PLANS PROVIDED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS DISCREPANCIES BETWEEN THESE PLANS AND PLANS PROVIDED BY OTHERS.
- ON THE PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TERRACE. THE FENCE SHALL BE REMOVED AS SOON AS CONSTRUCTION IS COMPLETED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ENGINEER AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDRN) TECHNICAL STANDARDS (REFERRED AS BMP'S) AS BMR AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- COORDINATE CONSTRUCTION ACTIVITIES WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERMITTED EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF THE SOIL. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE CONSTRUCTION IS COMPLETED IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEERS OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER MONTH MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ANY RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONTRACTOR SHALL PREPARE PRECAUTIONS DURING CONSTRUCTION NOT TO DAMAGE, SCRATCH, OR IMPAIR THE BRANCHES OF THE TREES (THE STREET TREES). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADERS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. CONTRACTOR SHALL NOT DAMAGE THE BRANCHES OF THE STREET TREES (EITHER ABOVE OR BELOW GROUND) WHICH MAY DAMAGE THE ROOTS OF THE TREE OR DAMAGE THE TREE PROTECTION ZONE.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED AT THE END OF EACH WORK DAY AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS AFFECTED BY THE CONSTRUCTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS DISCREPANCIES BETWEEN THESE PLANS AND PLANS PROVIDED BY OTHERS.
- ON THE PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TERRACE. THE FENCE SHALL BE REMOVED AS SOON AS CONSTRUCTION IS COMPLETED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.</li

PLAN MODIFICATIONS:	
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Designed By: MAS
Reviewed By: KJY
Approved By:

SHEET TITLE:
DEMOLITION PLAN

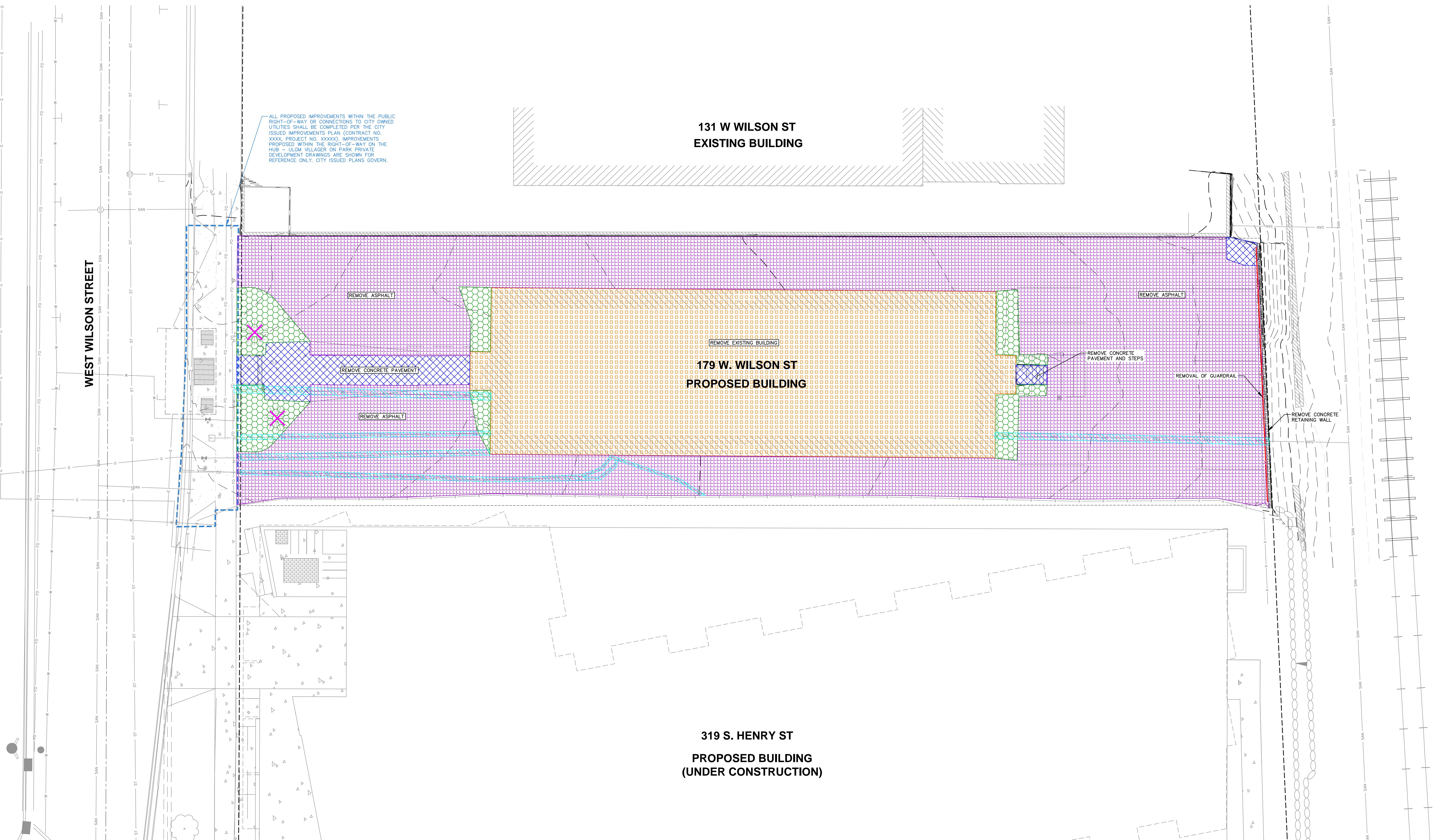
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JSD PROJECT NO: 22-11487

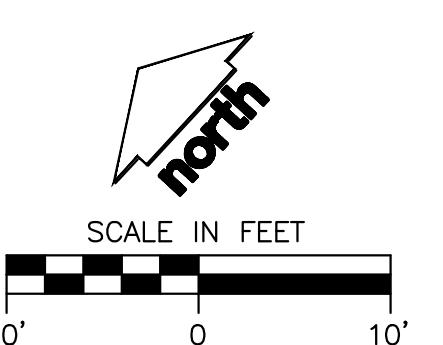
Page 1 of 1



131 W WILSON ST
EXISTING BUILDING

179 W. WILSON ST
PROPOSED BUILDING

319 S. HENRY ST
PROPOSED BUILDING
(UNDER CONSTRUCTION)



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Designed By: MAS
Reviewed By: KJY
Approved By:

SHEET TITLE:
SITE PLAN - ANNOTATED

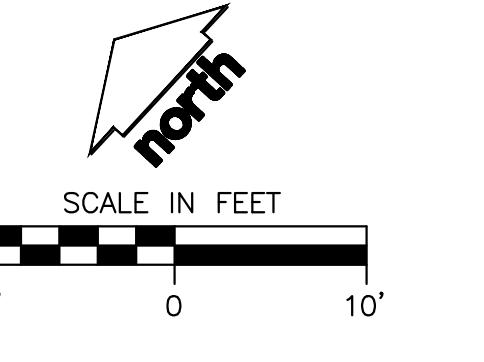
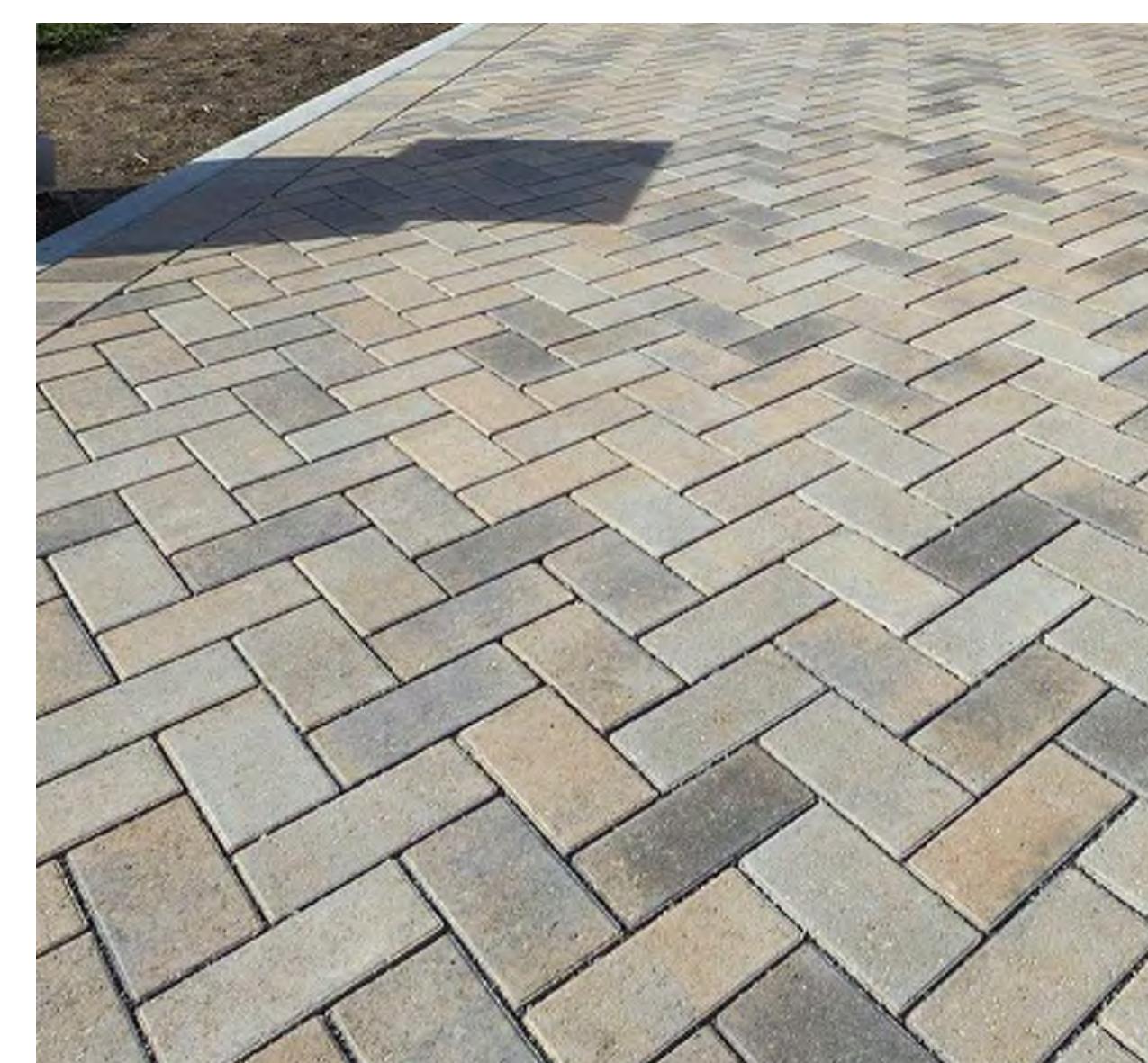
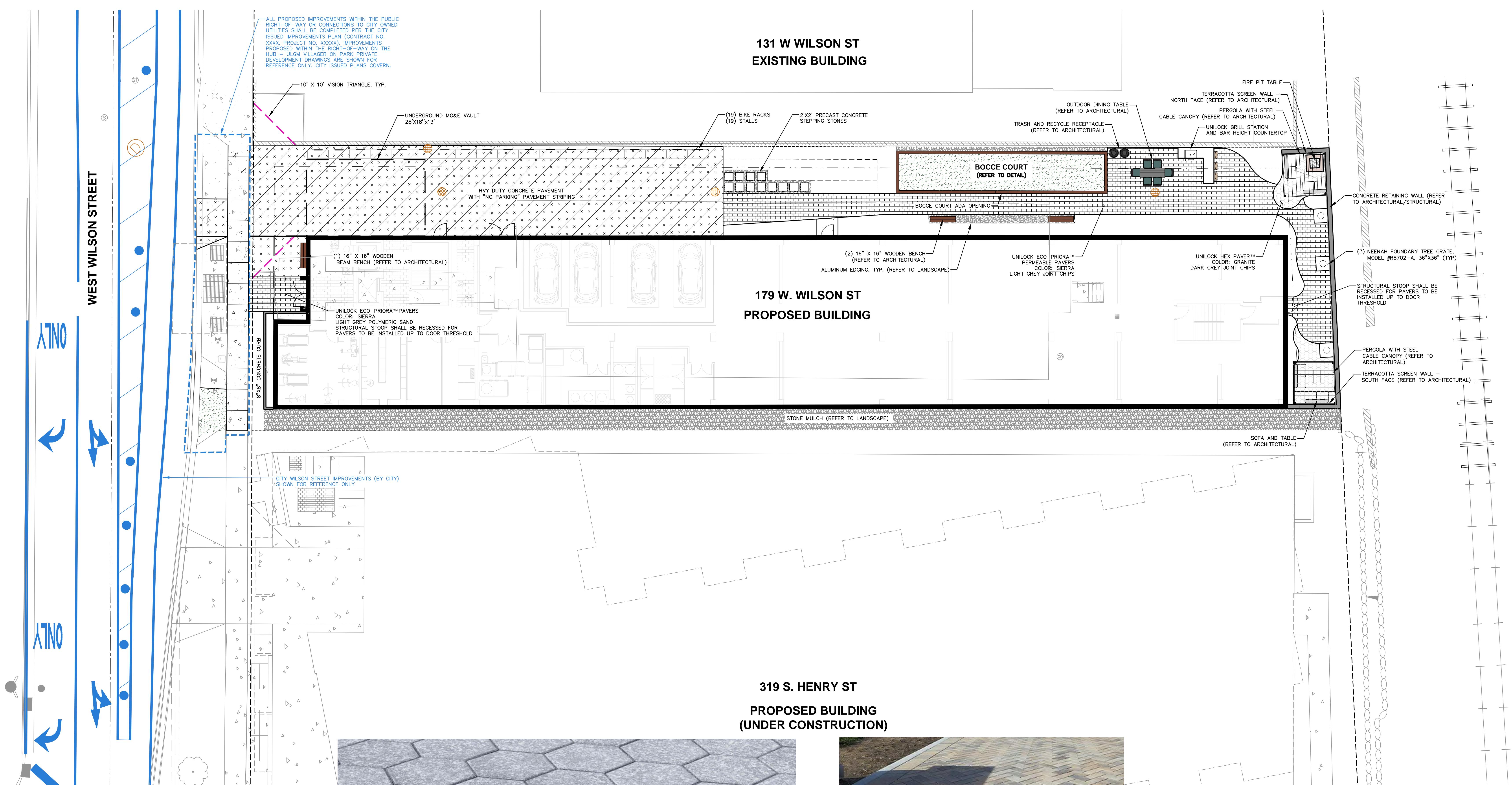
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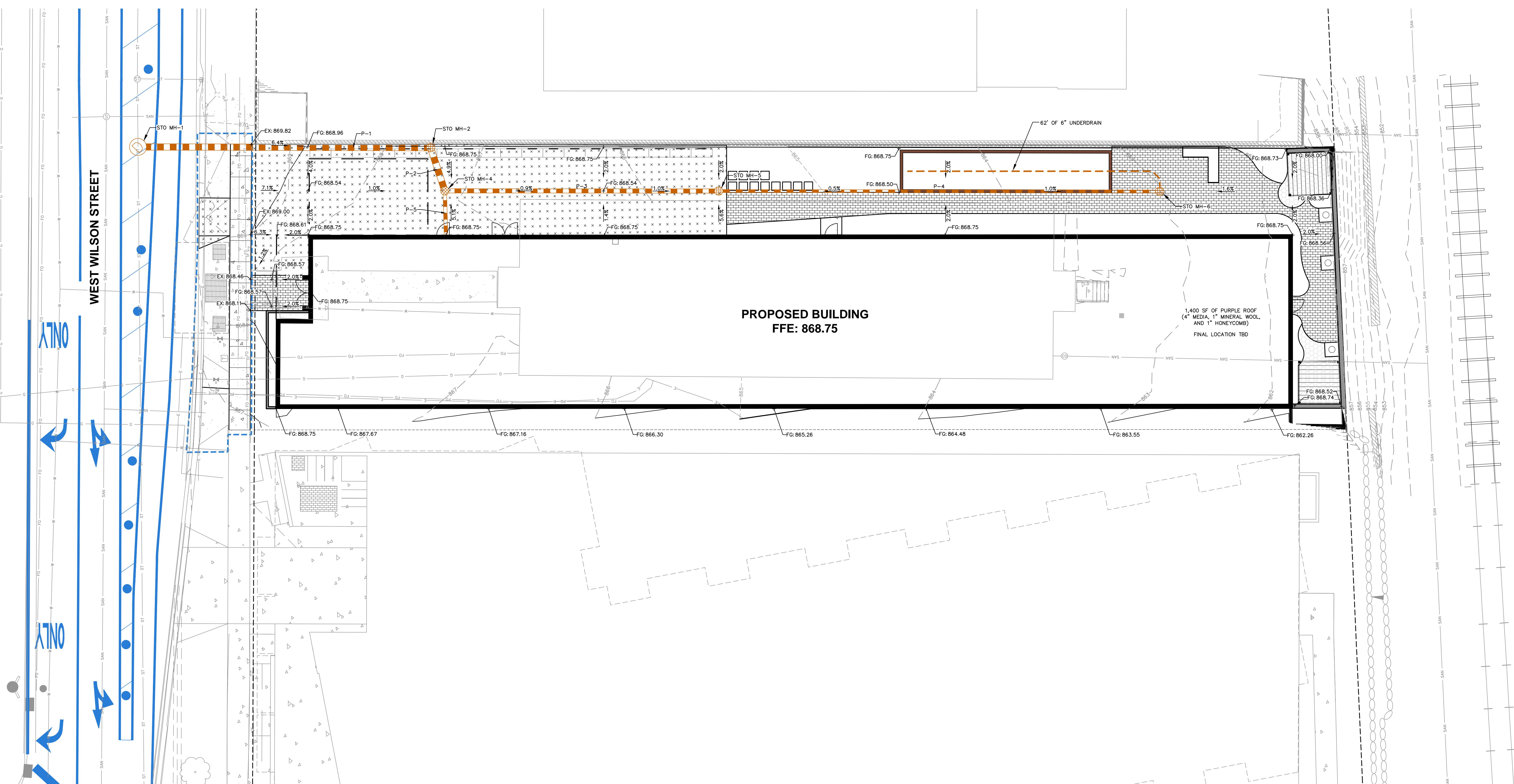


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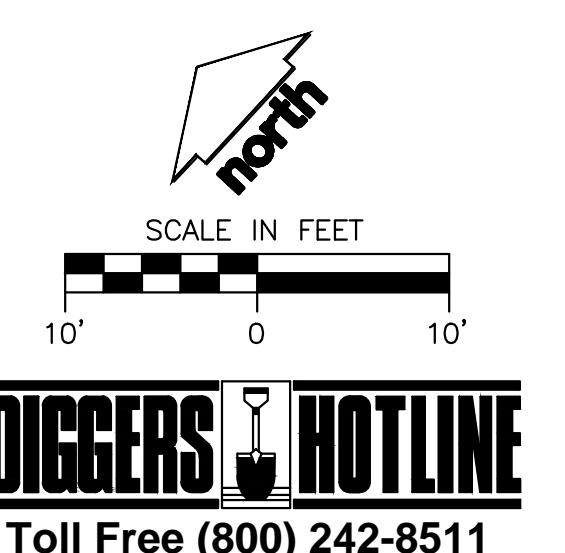
SHEET NUMBER:

22-11487



PROPOSED STORM SEWER STRUCTURE TABLE				
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.
STO MH-1	869.12	EX SW INV: 862.52 (24") SE INV: 863.50 (18") EX NE INV: 862.52 (24")	6.6	48 IN MH R-1550 SOLID GRATE
STO MH-2	868.76	NW INV: 864.10 (18") SW INV: 864.29 (18")	4.6	24 IN DB STANDARD OPEN GRATE
STO MH-4	868.22	NE INV: 864.45 (18") SE INV: 864.95 (12") SW INV: 865.12 (10")	3.8	24 IN DB STANDARD OPEN GRATE
STO MH-5	868.27	NW INV: 865.27 (12") SE INV: 865.60 (8")	3.0	24 IN DB STANDARD OPEN GRATE
STO MH-6	868.04	NW INV: 866.12 (8")	1.9	24 IN DB STANDARD OPEN GRATE

PROPOSED STORM SEWER PIPE TABLE					
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)
P-1	STO MH-2	STO MH-1	69'	864.19	863.50
P-2	STO MH-4	STO MH-2	11'	864.45	864.29
P-3	STO MH-5	STO MH-4	65'	865.27	864.95
P-4	STO MH-6	STO MH-5	104'	866.12	865.60
P-5	ROOF	STO MH-4	10'	865.27	865.12



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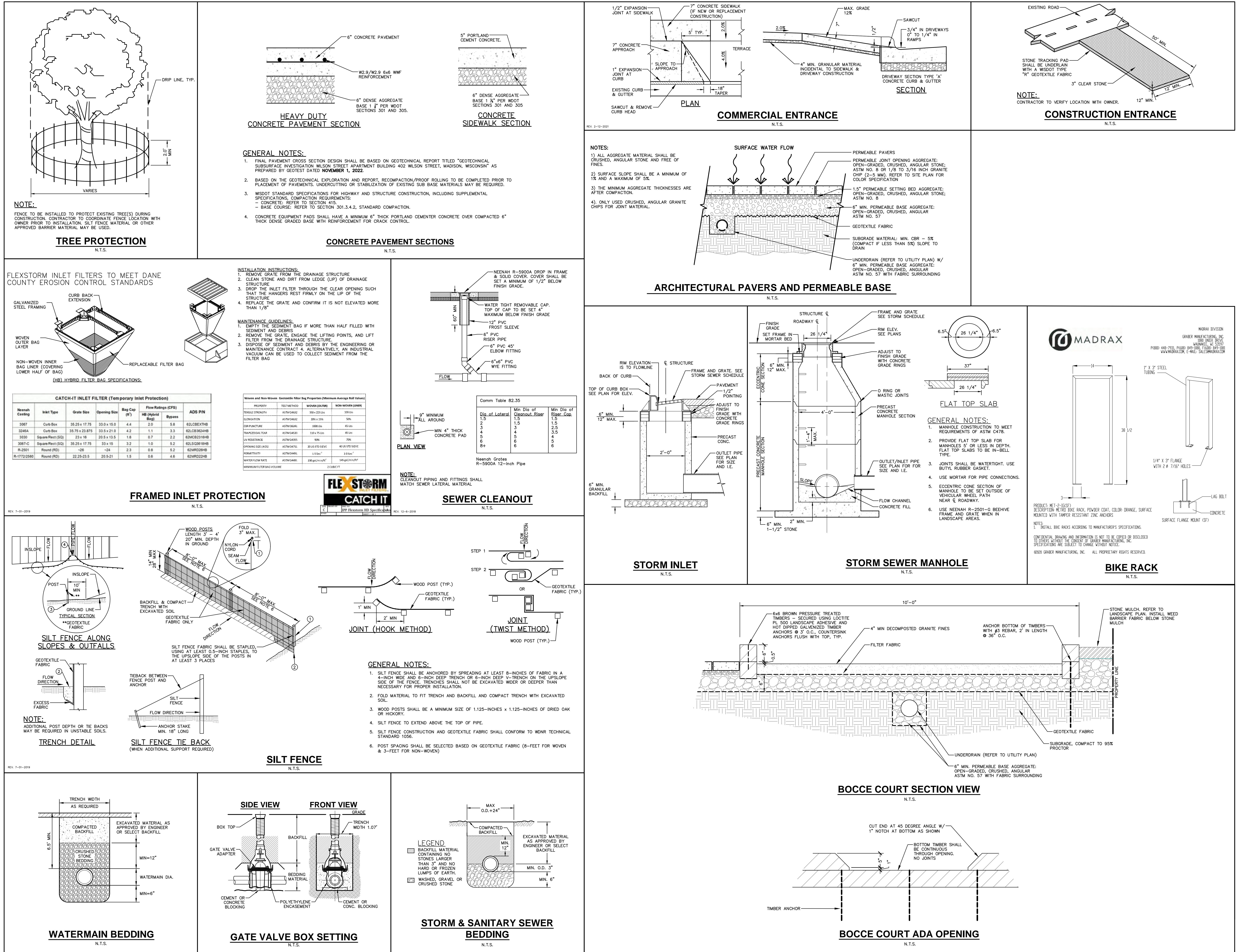
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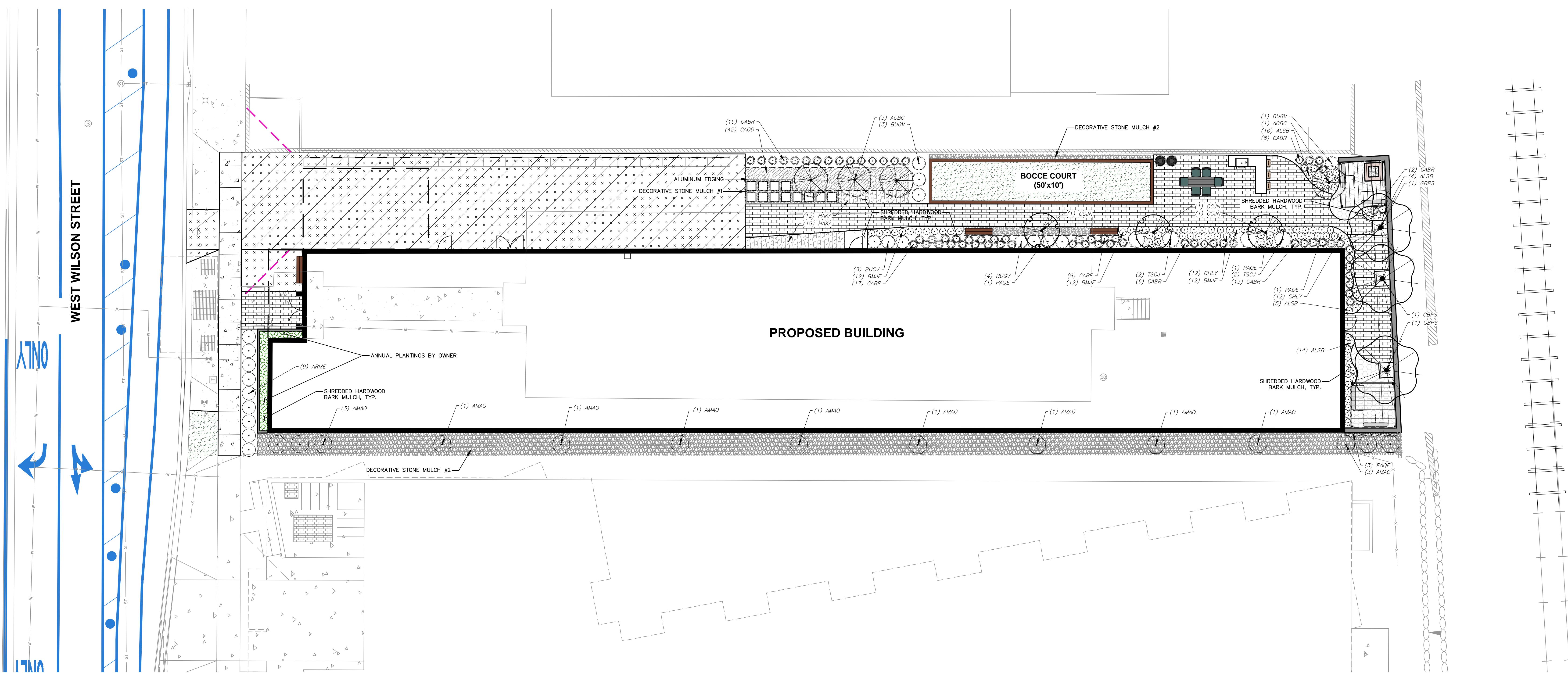
Designed By: MAS
Reviewed By: KJV
Approved By:

SHEET TITLE:
GRADING, EROSION
CONTROL, AND UTILITY
PLAN

SHEET NUMBER:

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Toll Free (800) 242-8511

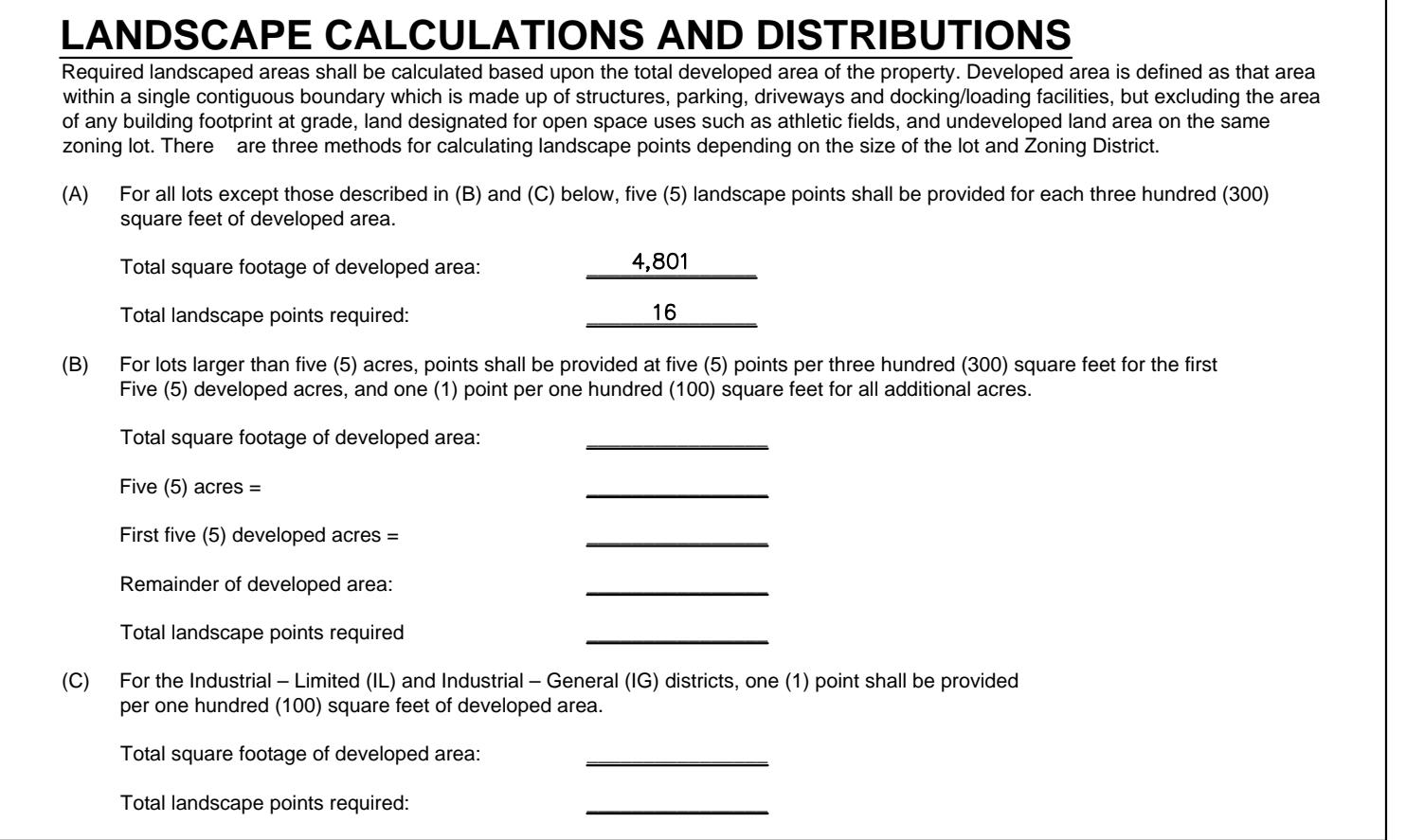
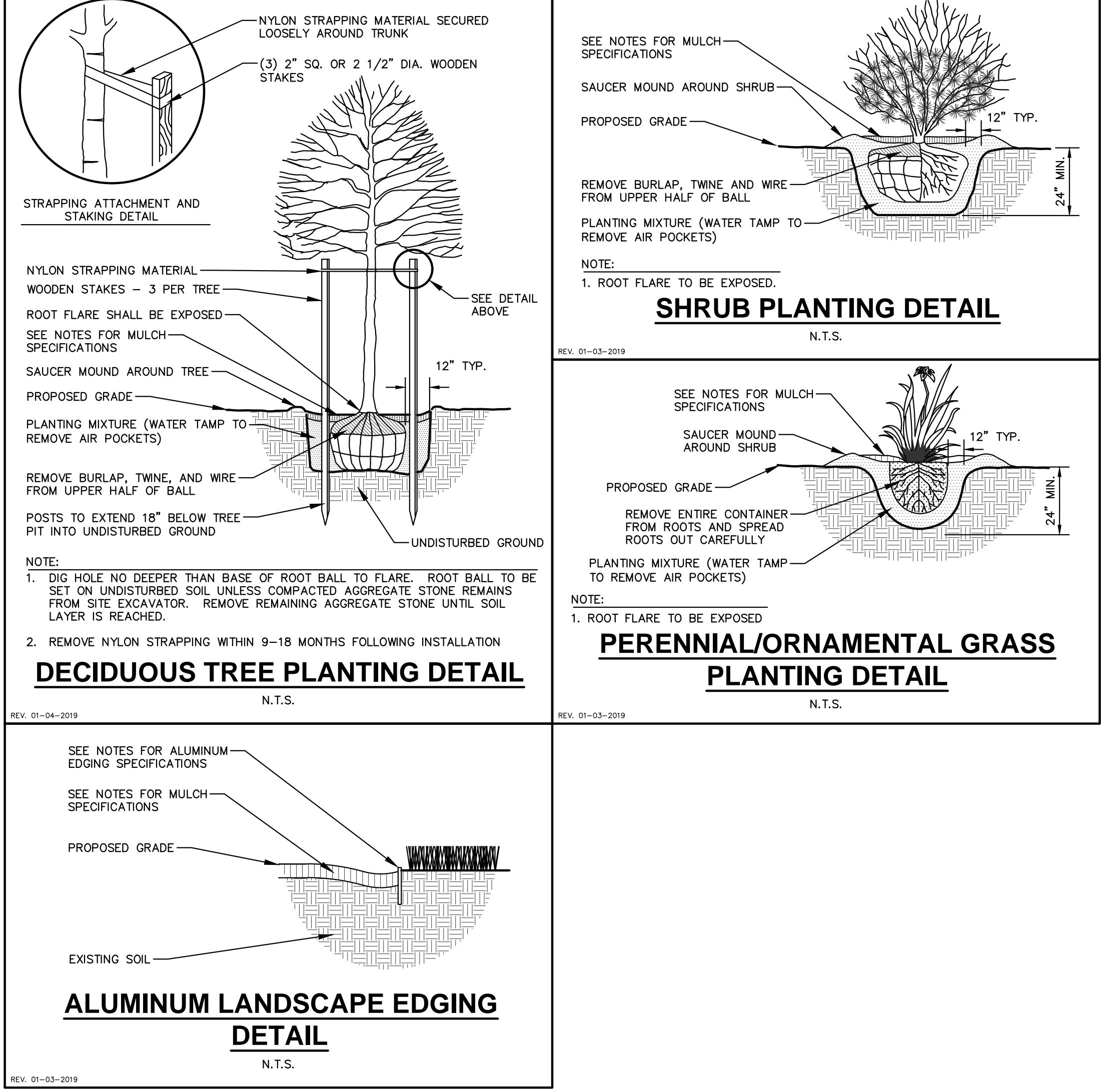




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 Designed By: MRA
Reviewed By: KJY
Approved By:

 SHEET TITLE:
LANDSCAPE
DETAILS & NOTES

 SHEET NUMBER:
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Toll Free (800) 242-8511
DIGGERS  HOTLINE
JSD PROJECT NO: 22-11487


GENERAL NOTES

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY RESULT IN DISPUTED ACTIONS BY ANY OF THE REGULATORY AGENCIES LOCATED. ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR SHALL USE 200-240-250 AMPERES OF UTILITY POWER AT LEAST 100 DAYS PRIOR TO BEGINNING LAND AND INVESTMENT PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL PLANTING, PLACEMENT AND RESTORATION WITH THE GRADE CONTRACTOR.

2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DURING PLACEMENT. PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE PLANT MATERIALS WITH WET SOIL, MULCH, HAY OR OTHER SUBSTRATE. PLANT MATERIALS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROW STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BAULE PLANTS BY STEM OR ROOTS. PLANT STOCK SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY. CONTRACTOR SHALL NOT PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.

3. MATERIALS – PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY AND FREE FROM DISEASE AND INSECT PESTS. PLANTS SHALL BE PLANTED IN SOIL AND CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE PLANTED IN SOIL THAT IS FREE FROM DISEASE AND INSECT PESTS. PLANTS SHALL BE FIRM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPA, LARVAE, AND NECTARINE). PLANTS SHALL BE PLANTED IN SOIL THAT IS FREE FROM DISEASE AND INSECT PESTS. PLANTS SHALL BE PLANTED IN SOIL THAT IS FREE FROM DISEASE AND INSECT PESTS. PLANTS SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS, AND BE PLANTED IN A DISEASE AND INSECT FREE SOIL. PLANTS SHALL BE PLANTED IN SOIL. LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISION AND PHYSICAL CLEARANCE.

4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE REMOVED. THE CONTRACTOR SHALL BE ALLOWED TO PRUNE AND PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE ACCORDING TO STANDBY HORTICULTURE PROVIDED. CUTS OVER 1/4" DIAMETER AND DEBRIS FROM SCARS ON BARK, THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN PESTS. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTICRACK PAINT. PRUNE IN SPRING OR SUMMER IN SEASON. DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM OCTOBER TO OCTOBER.

5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND OTHER ACTIVITIES. THE CONTRACTOR SHALL NOT LEAVE ANY DEBRIS ON THE PROPERTY. SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNREMOVED PLANTS SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

1. MATERIALS – PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. MATERIALS – TOPSOIL: TOPSOIL TO BE CLEAN, FRAMBLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHOULD HAVE A MINIMUM SIZE OF 1/2" INCHES. TOPSOIL AND OTHER SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT USE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
3. MATERIALS – SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROXIMATELY 1/2" INCHES. SHREDDED HARDWOOD BARK MULCH SHOULD BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. MATERIALS – STONE MULCH #1: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 3" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIER SHALL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
5. MATERIALS – STONE MULCH #2: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" BLUE GRANITE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIER SHALL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
6. MATERIALS – TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEALED LAWN AREAS SHOULD BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE PLANT. THE CONTRACTOR SHALL USE A 5" DEPTH SHOVEL CUT EDGE. THE TREE RING SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
7. MATERIALS – ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND TYPE AS THE PLANT THAT WAS REPLACED. OWNER'S REPRESENTATIVE RESTORES BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL LINE GRADING AND RESTORATION WITH THE GRADE CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLANTINGS, PLACEMENT, PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.