

DEMOLITION AND REDEVELOPMENT OF 1224 SOUTH PARK STREET



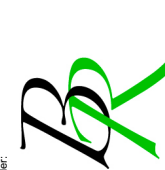
SHEET INDEX

- T100 TITLE SHEET
- A000 NEIGHBORHOOD CONTEXT PLAN
- A001 EXISTING BUILDING PHOTOS
- V-101 EXISTING SITE PLAN
- C-100 DEMOLITION PLAN
- C-101 AERIAL SITE PLAN
- C-102 UPPER/LOWER SITE PLAN LAYOUTS
- C-103 OVERALL GRADING PLAN
- C-104 SITE UTILITY PLAN
- C-401 FIRE LANE ACCESS PLAN
- C-601 SITE LIGHTING PHOTOMETRIC PLAN
- L-101 LANDSCAPING PLAN
- L-102 LANDSCAPE DETAILS
- A100 BASEMENT LEVEL
- A101 MAIN LEVEL
- A102 UPPER LEVEL
- A200 EXTERIOR ELEVATIONS
- A200C EXTERIOR ELEVATIONS COLOR
- A201 EXTERIOR ELEVATIONS
- A201C EXTERIOR ELEVATIONS COLOR

Architect:

**KONTEXT**
architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:


2866 Agriculture Dr.
Madison WI 53718

Project Owner:

**SARA**
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:

1216 South Park Street
Madison, Wisconsin

1216 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI

Sheet Title:
Title Sheet

Revisions:

No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	T100

© KONTEXT architects llc

18 - Plot Date



Neighborhood Context Plan

Scale: Not to Scale



Revisions:		
No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	A000



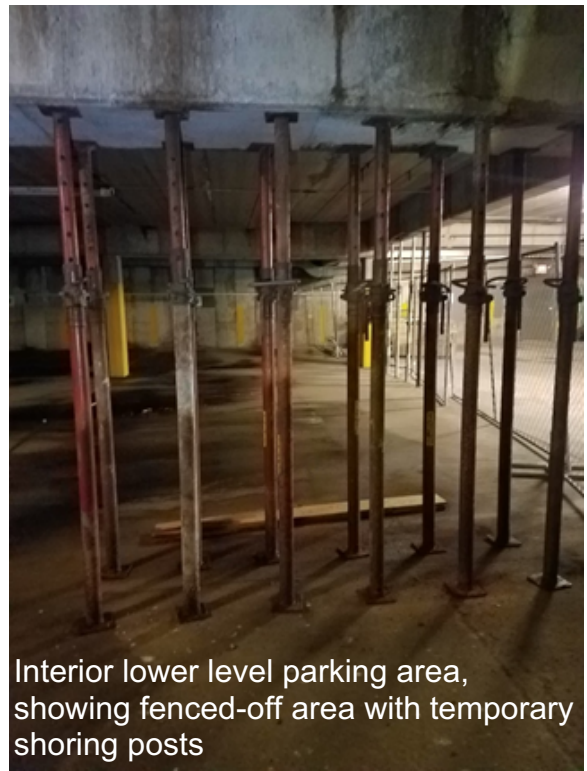
Exterior from Southeast



Exterior looking West



Exterior Lower Level with Neighbor to North and SSM parking lot to South



Interior lower level parking area, showing fenced-off area with temporary shoring posts



Staining on the concrete beams is from rusted rebar inside the precast concrete planks above and the beams themselves.



Lower level former office space with temporary shoring posts. Rust staining and spalled concrete visible.



KONTEXT

architects

building relationships

242 East Main St. - Sun Prairie, WI

Architect:

Builder:

SARA

INVESTMENT REAL ESTATE

1955 Atwood Avenue
Madison, WI 53704

Location:

1216 South Park Street
Madison, Wisconsin

1216 SOUTH PARK STREET
REDEVELOPMENT

MADISON, WI

Sheet Title:
Existing Building Photos

Revisions:

No.	Date:	Description:

Graphic Scale

Not to Scale

Project Number

1903

Set Type

ENTITLEMENT

Date Issued

06/26/2019

Sheet Number

A001

© KONTEXT architects llc

18 - Pot Date

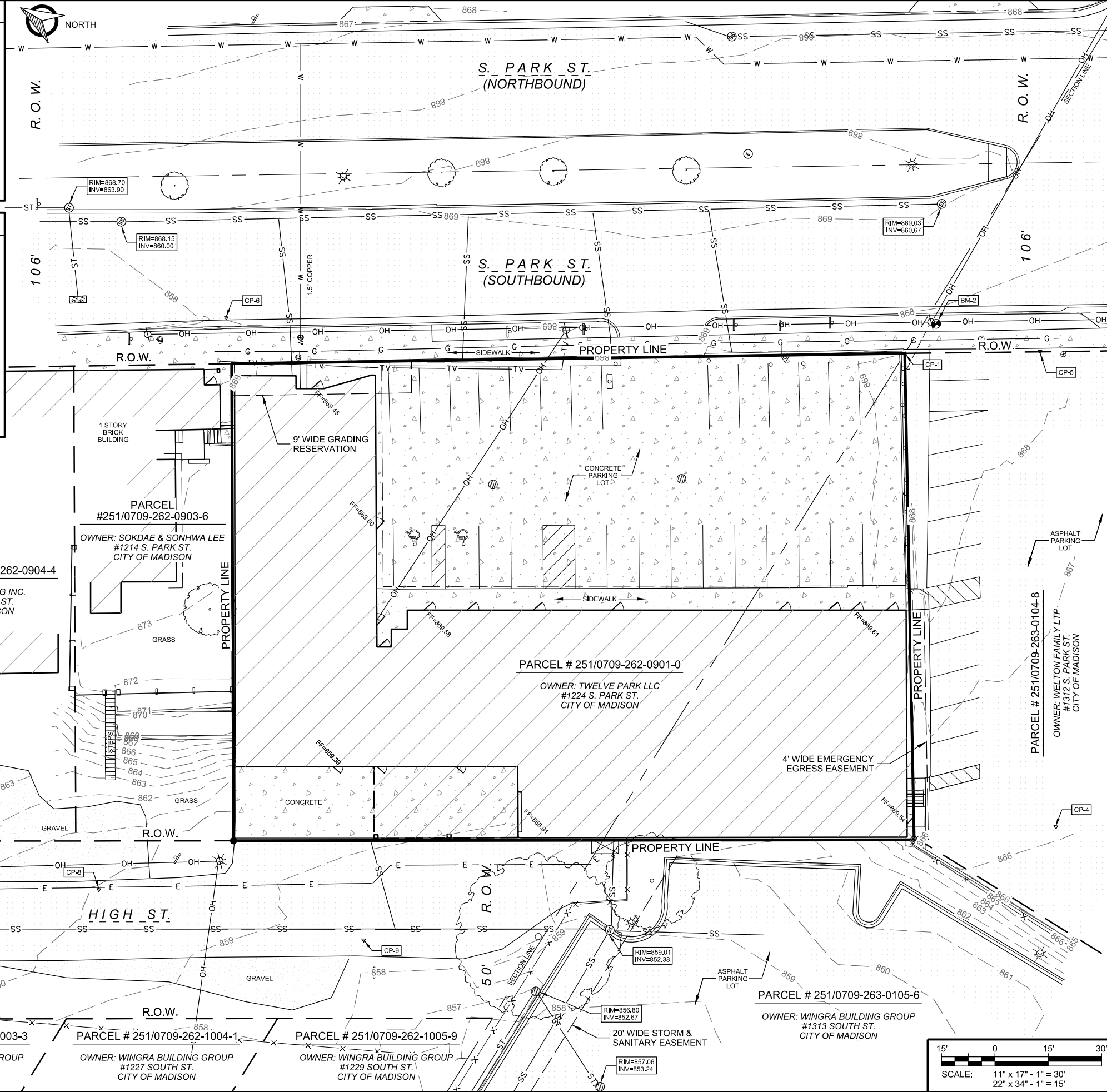
1. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON CERTIFIED SURVEY MAP PREPARED BY MERIDIAN SURVEYING, LLC.
2. HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY.
3. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. CONTOUR INTERVAL IS ONE FOOT
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS.
6. PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
8. THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

— W —	EX. WATER SERVICE		SIGNAGE
— SS —	EX. SANITARY SEWER		TRANSFORMER
— ST —	EX. STORM SEWER		PEDESTAL (ELEC./CABLE/TEL.)
— G —	EX. GAS		METER (PARKING)
— E —	EX. UNDERGROUND ELECTRIC		CURB INLET (INL.)
— OHE —	EX. OVERHEAD ELECTRIC		CATCH BASIN (CB)
	EX. MAN HOLE		BENCHMARK
	HYDRANT		CONTROL POINT
	VALVE		SOIL BORING
	UTILITY POLE		IRON PIPE - FOUND
	LIGHT POLE		EXISTING CONTOUR
	CONCRETE		GRAVEL
	ASPHALT		LANDSCAPE/MULCH BED

SURVEY DATA	
SURVEY DATE(S)	1/17/2019
HORIZONTAL COORD. SYSTEM	DANE COUNTY - NAD83
VERTICAL DATUM	NAVD 88
CONTROL SOURCE	GPS - WISCORS
SURVEY UNITS	US SURVEY FOOT

BENCHMARK		
POINT ID	ELEVATION	DESCRIPTION
BM-1	862.51	NAIL IN UTILITY POLE
BM-2	869.58	NAIL IN UTILITY POLE
BM-3	870.57	HYDRANT "6-6" BURY TAG BOLT @ INTERSECTION OF SPRUCE & S. PARK

CONTROL POINTS				
POINT ID	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	474938.509	818038.161	868.752	PK NAIL SET IN ASPHALT
CP-4	474834.092	817945.52	866.045	PK NAIL SET IN ASPHALT
CP-5	474908.213	818058.221	868.396	PK NAIL SET IN ASPHALT
CP-6	475107.894	817949.419	866.098	PK NAIL SET IN ASPHALT
CP-7	475194.259	817880.518	867.781	PK NAIL SET IN ASPHALT
CP-8	475056.539	817792.8	859.946	PK NAIL SET IN ASPHALT
CP-9	474985.228	817818.641	858.462	PK NAIL SET IN ASPHALT



CONSULTANT:

 **Edge**
Consulting Engineers, Inc.

624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

EXISTING SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

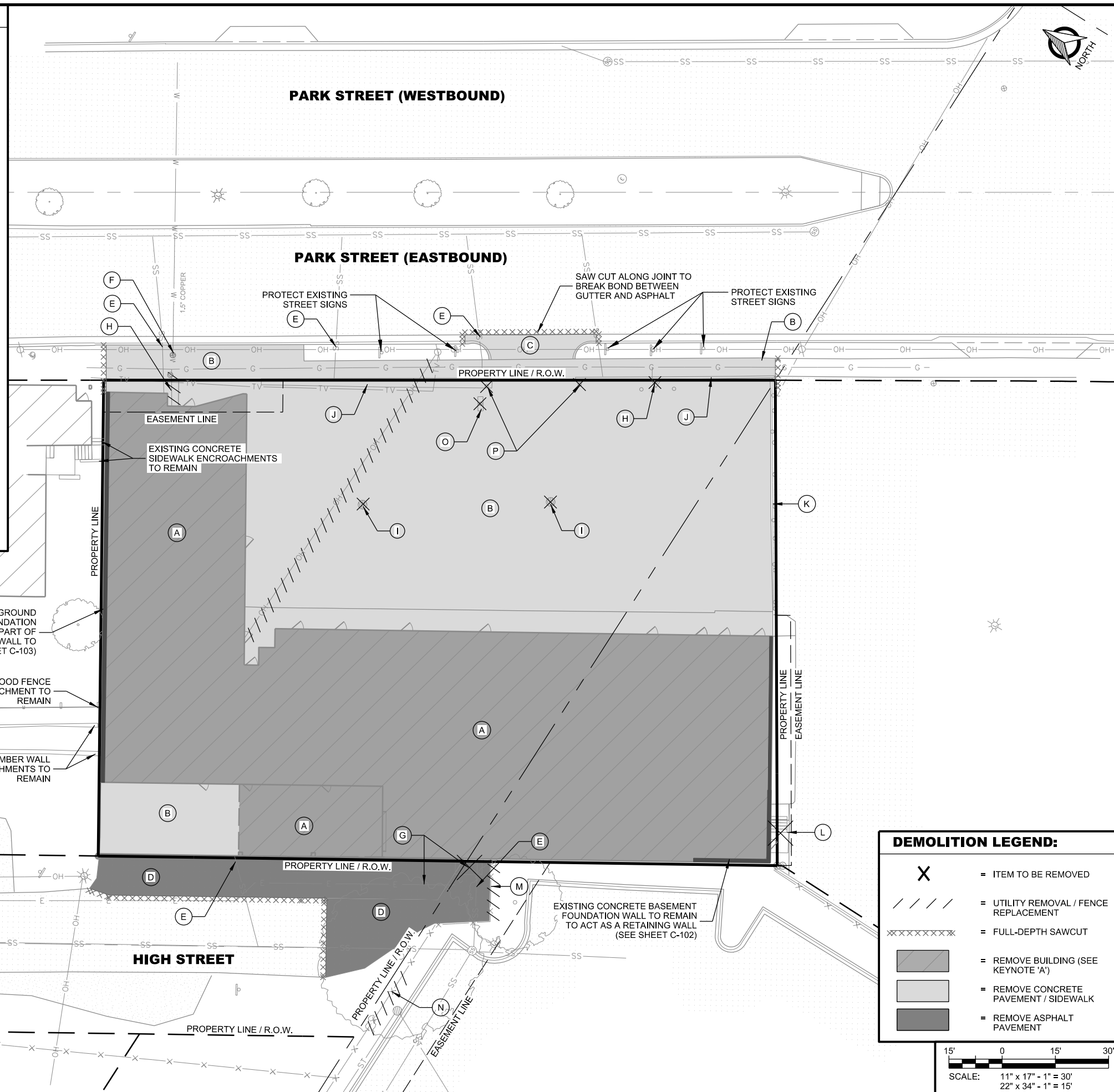
SHEET TITLE:		
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
DRAWN BY		BJB, NED
CHECKED BY		AJO, BJB
PLOT DATE		6/26/2019
PROJECT NUMBER		21781
SET TYPE		FR
SHEET NUMBER		V-101

GENERAL DEMOLITION NOTES:

1. IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PREFORM WORK CONTAINED ON THIS DRAWING. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
2. EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO ENGINEER PRIOR TO STARTING OF WORK.
3. ALL UTILITY SERVICES TO EXISTING BUILDINGS SCHEDULED FOR DEMOLITION SHALL BE REMOVED BY UTILITY PROVIDER OR CONTRACTOR WHERE ALLOWED. MAINTAIN ALL OTHER UTILITY SERVICES ADJACENT TO THIS PROJECT IN SERVICE THROUGHOUT PROJECT. RELOCATE EXISTING UTILITY SERVICES WHEN REQUIRED. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCING WITH ALL AFFECTED UTILITIES. A LISTING OF KNOWN UTILITY PROVIDERS IS AS FOLLOWS:
NATURAL GAS (MADISON GAS & ELECTRIC)
ELECTRIC (MADISON GAS & ELECTRIC)
WATER / SEWER (CITY OF MADISON)
TELECOMMUNICATIONS (AT&T)
CABLE TV (CHARTER COMMUNICATIONS)
4. ALL BENCHMARKS & CONTROL POINTS SHALL BE PROTECTED & MAINTAINED THROUGHOUT PROJECT.
5. STAGING AREAS SHALL BE LOCATED WITHIN THE PROPERTY.
6. BASEMENT FOUNDATIONS LOCATED WITHIN NEW BUILDING FOOTPRINT SHALL BE REMOVED COMPLETELY. PORTIONS OF FOUNDATION WALLS ON THE EXTERIOR OF THE PROPERTY SHALL REMAIN IN PLACE AS SHOWN ON THIS SHEET.
7. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE, TO PROTECT THE PUBLIC AND ALLOW CONTINUED ACCESS TO NEIGHBORING BUILDINGS OUTSIDE OF THE PROJECT LIMITS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH NR447 FOR DUST CONTROL. DEMOLITION TO BE COMPLETED KEEPING BUILDING MATERIALS WET ALLOWING NO VISIBLE EMISSIONS.
9. CONTRACTOR SHALL REMOVE, CONTAIN AND PROPERLY DISPOSE OF ALL HVAC SYSTEMS AND REFRIGERANTS FROM EXISTING A/C UNITS AND OTHER COOLING SYSTEMS.
10. CONTRACTOR TO NOTIFY THE MADISON WATER UTILITY TO REMOVE WATER METERS PRIOR TO DEMOLITION. ALL REMOVED WATER SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH CITY OF MADISON WATER UTILITY REQUIREMENTS.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS TO PERMANENTLY PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVE THE BUILDING(S) BEING DEMOLISHED AT THE MAIN. FOR EACH LATERAL TO BE PERMANENTLY PLUGGED THE CONTRACTOR SHALL PAY FOR THE APPROPRIATE DEPOSITS AND FEES IN ACCORDANCE WITH CITY REQUIREMENTS.
12. SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS.

KEYNOTES: (THIS SHEET)

- A. COMPLETELY REMOVE INTERIOR BUILDING WALLS, FLOORS, CEILINGS, AND FOUNDATIONS. EXTERIOR FOUNDATION WALLS TO REMAIN AS NECESSARY THROUGHOUT CONSTRUCTION.
- B. REMOVE CONCRETE PAVEMENT AND SIDEWALK
- C. REMOVE EXISTING DRIVEWAY & CURB
- D. REMOVE ASPHALT PAVEMENT
- E. PLUG SANITARY SERVICE PER CITY OF MADISON REQUIREMENTS
- F. ABANDON WATER SERVICE PER CITY OF MADISON REQUIREMENTS
- G. DECOMMISSION ELECTRIC SERVICE. TRANSFORMER TO BE RELOCATED.
- H. REMOVE GAS METER & SERVICE LINE COORDINATE WITH UTILITY PROVIDER
- I. REMOVE STORM SEWER CATCH BASIN & ASSOCIATED PIPING
- J. REMOVE CONCRETE RETAINING WALL & METAL FENCE
- K. REMOVE GUARDRAIL & POSTS
- L. REMOVE METAL STAIRS
- M. REMOVE SECTION OF CHAIN-LINK FENCE
- N. REMOVE SECTION OF CHAIN-LINK FENCE & REPLACE AFTER NEW STORM SEWER CONNECTION HAS BEEN INSTALLED
- O. SALVAGE & REMOVE BUILDING SIGN TO OWNER
- P. REMOVE OVERHEAD PARKING ENTRANCE BARRIER



DEMOLITION LEGEND:

- X = ITEM TO BE REMOVED
- /// = UTILITY REMOVAL / FENCE REPLACEMENT
- XXXXXXXXXX = FULL-DEPTH SAWCUT
- [Hatched Box] = REMOVE BUILDING (SEE KEYNOTE 'A')
- [Light Gray Box] = REMOVE CONCRETE PAVEMENT / SIDEWALK
- [Dark Gray Box] = REMOVE ASPHALT PAVEMENT

15' 0 15' 30'

SCALE: 11" x 17" - 1" = 30'
22" x 34" - 1" = 15'

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

DEMOLITION PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

DRAWN BY: BJB, NED

CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **C-100**

ZONING SUMMARY

ZONING DISTRICT: CC-T (COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT)

FRONT YARD SETBACK: NONE

SIDE YARD SETBACK: 6'

REAR YARD SETBACK: 20' (EXCEPT ALONG HIGH STREET FRONTAGE, SETBACK = 0')

MAX LOT COVERAGE: 85%

ZONING REQUIREMENTS PER SECTION 28.067 CITY ZONING CODE.

REDEVELOPMENT SUMMARY

CURRENT LOT AREA: 25,813 SF (0.593 AC)

CURRENT IMPERVIOUS AREA: 25,613 SF (99.2%)

PROPOSED PAVEMENT AREA: 9,796 SF

PROPOSED BUILDING FOOTPRINT: 11,178 SF

TOTAL PRO. IMPERVIOUS AREA: 20,974 SF (81.3%)

PROPOSED PERVIOUS AREA: 4,839 SF (18.7%)

PARKING SUMMARY

LAND USE: TBD PERMITTED USE IN CC-T

BUILDING FLOOR AREA: 19,710 SF TOTAL

MAIN FLOOR AREA: 9,670 SF

UPPER FLOOR AREA: 10,040 SF

PROPOSED STALL COUNT: 70 TOTAL (INCLUDES 4 ADA STALLS)

SURFACE STANDARD STALLS: 19 STALLS

SURFACE ADA STALLS: 2 STALLS

BASEMENT STANDARD STALLS: 47 STALLS

BASEMENT ADA STALLS: 2 STALLS

STALL TO FLOOR AREA RATIO: 1 STALL PER 281.6 SF

PROPOSED BIKE STALLS: 10 (4 AT SURFACE, 6 IN BASEMENT)

BIKES TO FLOOR AREA RATIO: 1 BIKE PER 1,971 SF

LOADING SPACE: 1 - 10'x35' SPACE REQUIRED. THIS SPACE WILL BE IN THE SURFACE PARKING DRIVE AISLE PER SECTION 28.141(13)(e) OF THE ZONING CODE

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

AERIAL SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

DRAWN BY: BJB, NED

CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **C-101**

COVERAGE LEGEND:

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- LANDSCAPING BED
- TURF GRASS

15' 0 15' 30'

SCALE: 11" x 17" - 1" = 30'
22" x 34" - 1" = 15'

PARK STREET (WESTBOUND)

PARK STREET (EASTBOUND)

NEW BUILDING

PARCEL #251/0709-262-0903-6

OWNER: SOKDAE & SONHWA LEE
#1214 S. PARK ST.
CITY OF MADISON

PARCEL # 251/0709-262-0904-4

OWNER: JI-YOUNG INC.
#1204 S. PARK ST.
CITY OF MADISON

PARCEL # 251/0709-263-0104-8

OWNER: WELTON FAMILY LTP
#1312 S. PARK ST.
CITY OF MADISON

PARCEL # 251/0709-263-0105-6

OWNER: WINGRA BUILDING GROUP
#1313 SOUTH ST.
CITY OF MADISON

PARCEL # 251/0709-262-1003-3

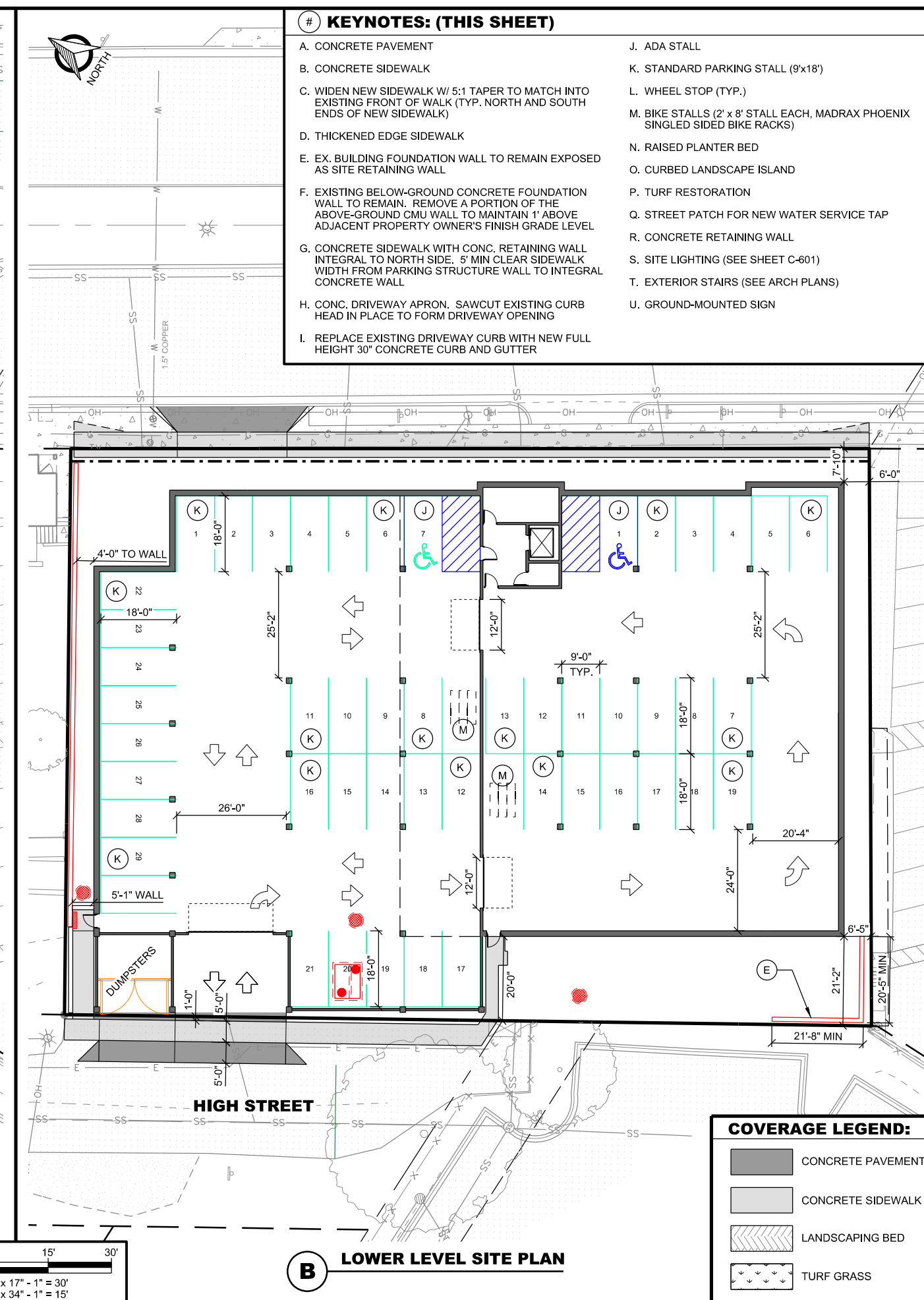
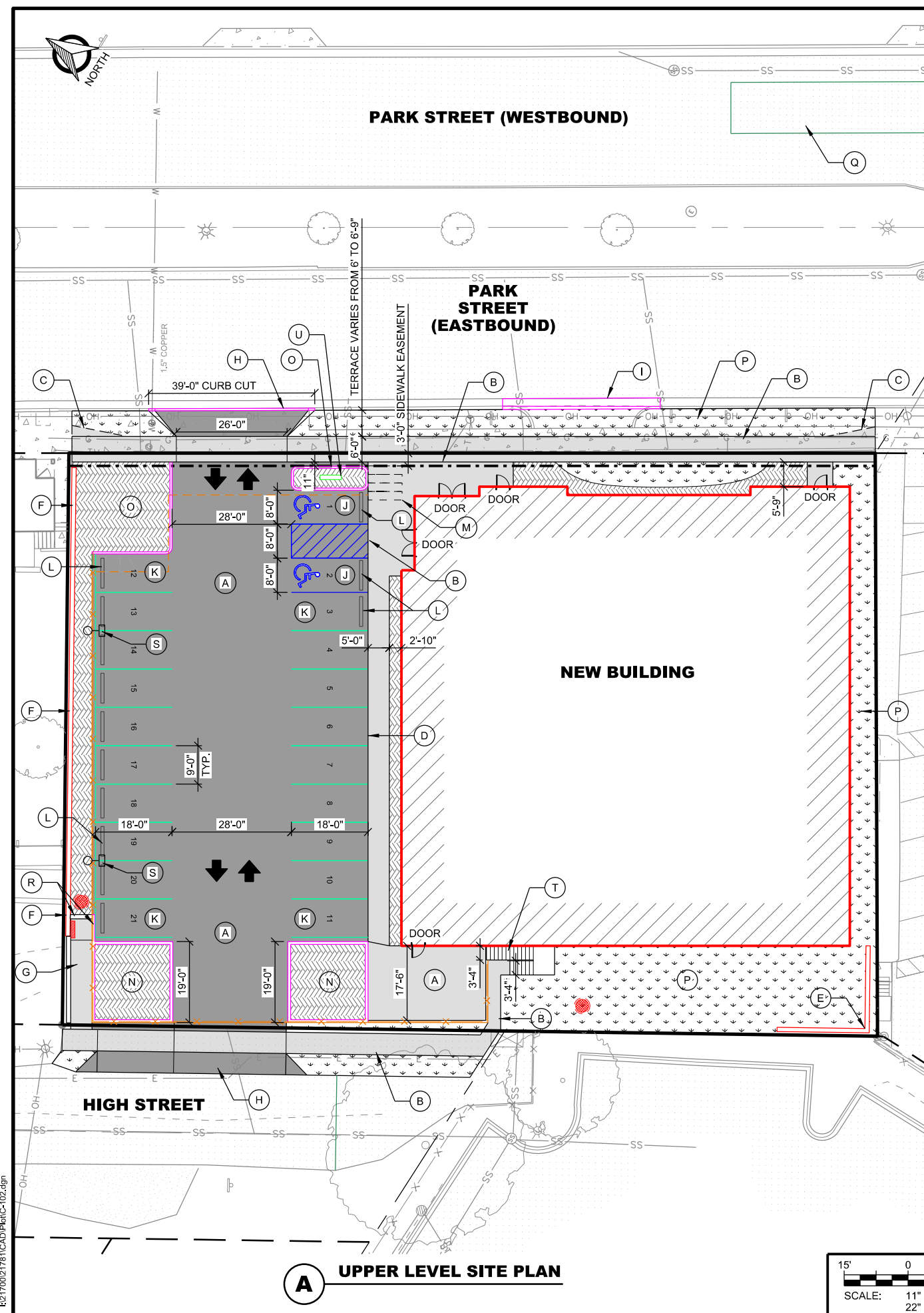
OWNER: WINGRA BUILDING GROUP
#1223 SOUTH ST.
CITY OF MADISON

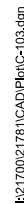
PARCEL # 251/0709-262-1004-1

OWNER: WINGRA BUILDING GROUP
#1227 SOUTH ST.
CITY OF MADISON

PARCEL # 251/0709-262-1005-9

OWNER: WINGRA BUILDING GROUP
#1229 SOUTH ST.
CITY OF MADISON





NEW BUILDING
FFE: 869.25
BFE: VARIES

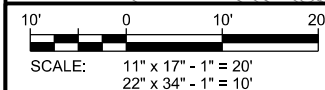
RAISED
PLANTER
TOP OF
WALL= 871.89

RAISED
PLANTER
TOP OF
WALL= 871.89

OVERFLOW= 859.04

PORTION OF EX. BUILDING
— BASEMENT WALL TO REMAIN
TOP OF WALL= 869.6±

900 — = EXISTING CONTOUR
 800 — = PROPOSED CONTOUR
 = FLOW ARROW
 P: = PAVEMENT ELEV.
 G: = GROUND ELEV.
 SW: = SIDEWALK ELEV.



 **Edge**
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

OVERALL GRADING PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
----------	----------

CHECKED BY	AJO, BJB
---------------	----------

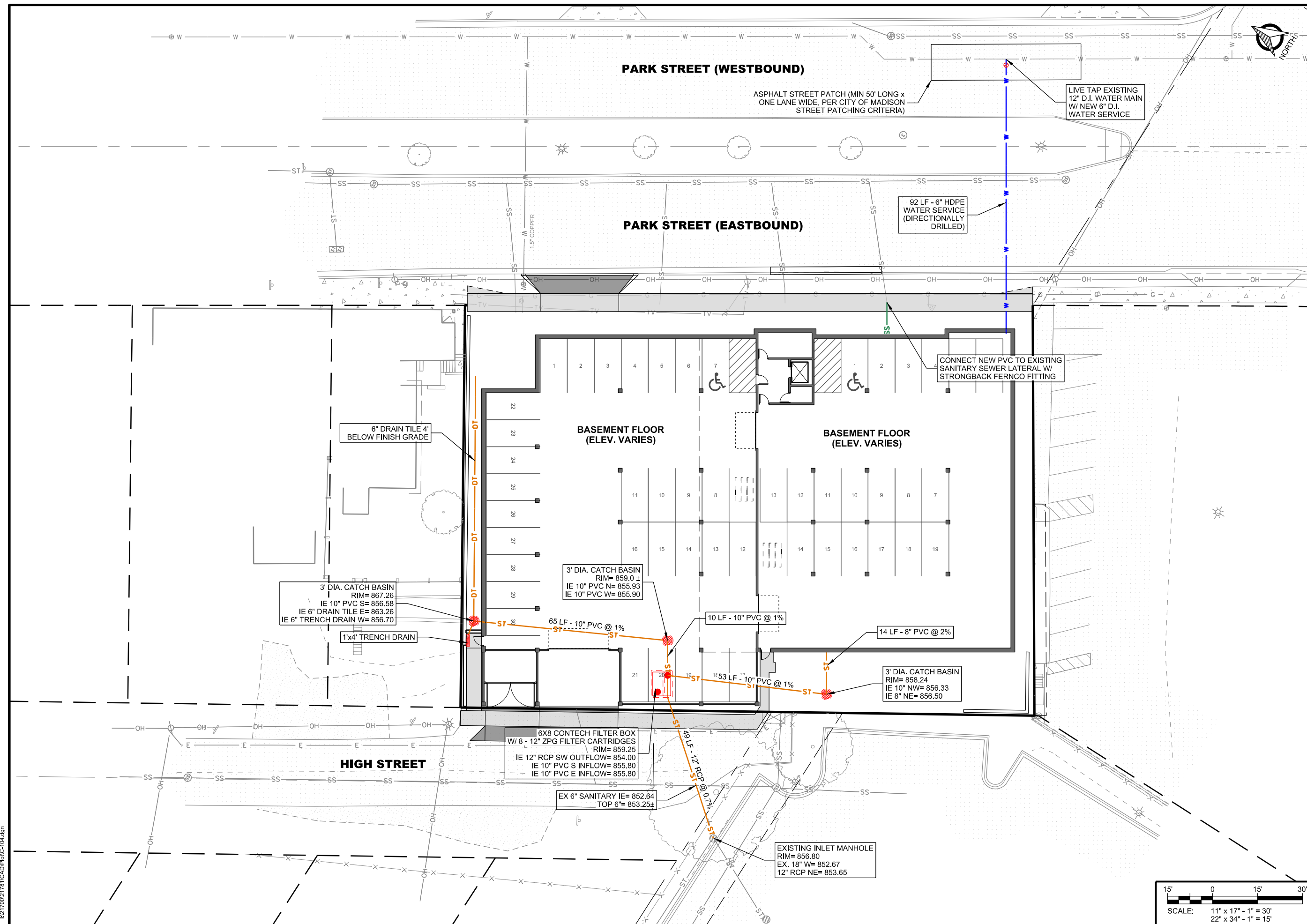
PLOT DATE	6/26/2019
-----------	-----------

PROJECT NUMBER	21781
----------------	-------

SET	FR
TYPE	

SHEET
NUMBER

C-103



☒ CONSULTANT:



CLIENT:

SITE UTILITY PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

[illegible]

DRAWN BY	BJB, NED
-------------	----------

CHECKED BY	AJO, BJB
------------	----------

PLOT DATE	6/26/2019
-----------	-----------

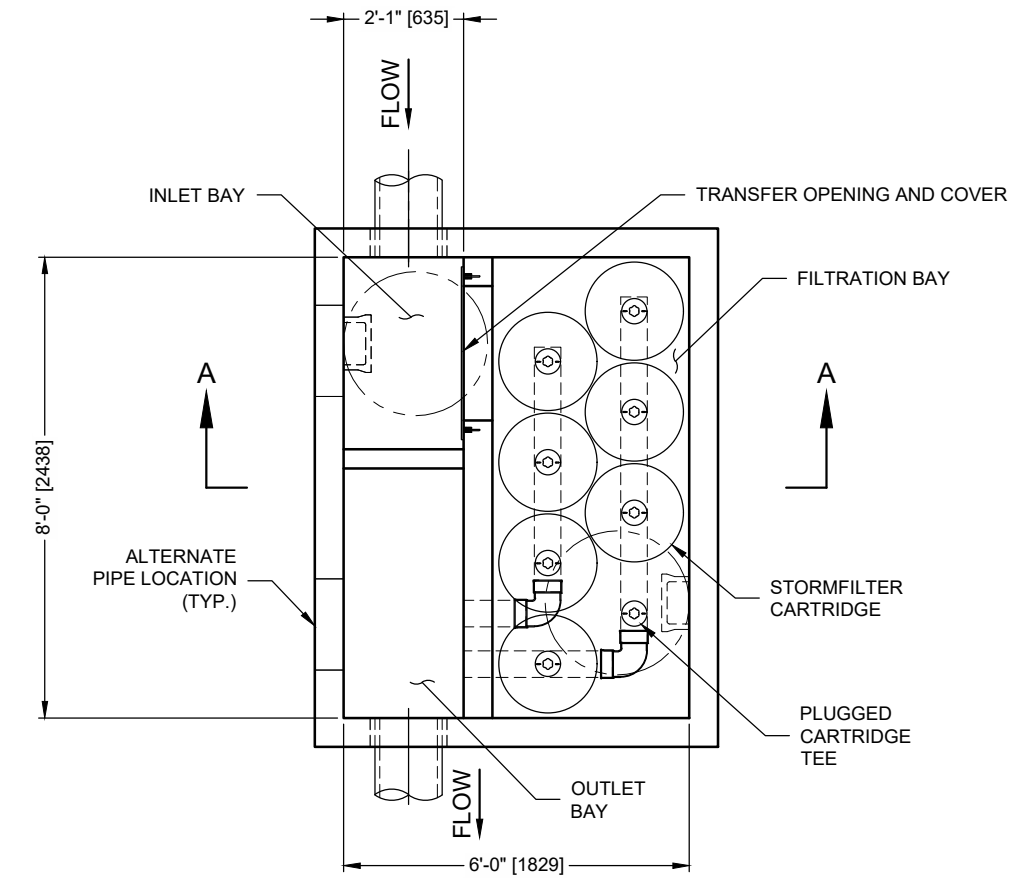
PROJECT NUMBER	21781
----------------	-------

SET TYPE	FR
-------------	----

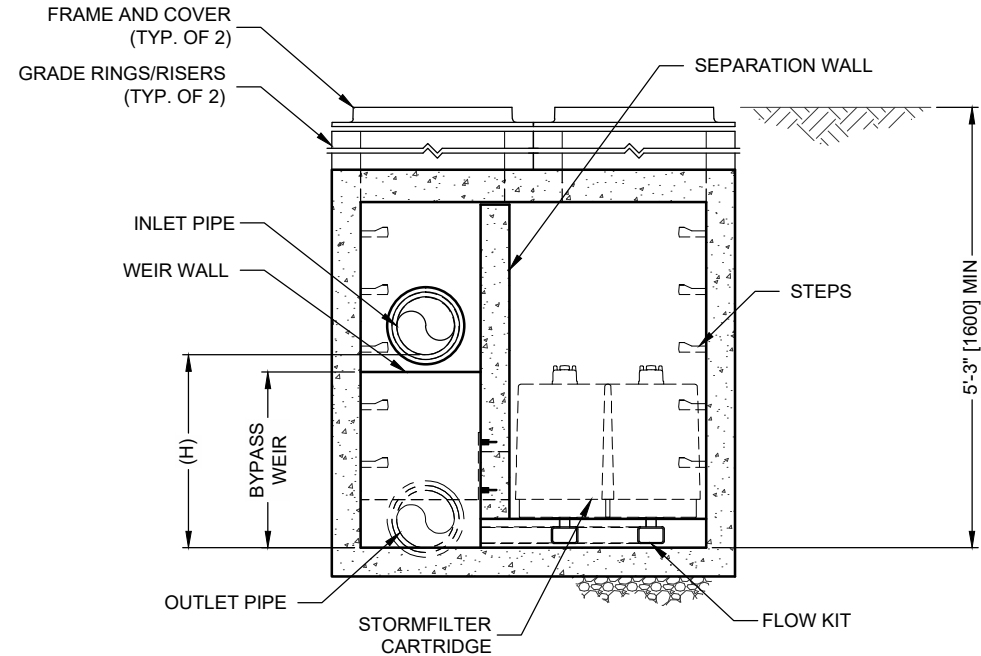
SHEET
NUMBER

© EDGE CONSULTING ENGINEERS, INC

I:\AD-CONTECH-CPI\COMMON\CAD\TREATMENT\10 STORMFILTER\40 STANDARD DRAWINGS\SFPD\DWGIN PROCESS\SFPD0806-DTL.DWG 3/19/2019 1:28 PM



PLAN VIEW
(TOP SLAB NOT SHOWN)



ELEVATION SECTION A-A



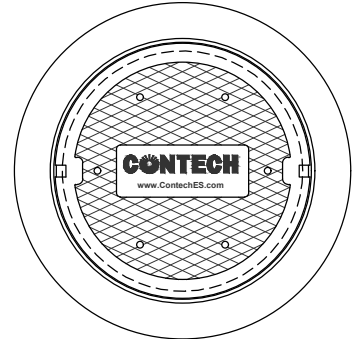
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING
U.S. PATENTS: 5,322,629; 5,524,576; 5,707,527; 5,985,157; 6,027,639; 6,649,048;
RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

STORMFILTER DESIGN NOTES

- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD
- AN 8' x 6' [2438 x 1829] PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (7) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE

CARTRIDGE SIZE (in. [mm])	27 [686]			18 [457]			LOW DROP		
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]			2.3 [701]			1.8 [549]		
SPECIFIC FLOW RATE (gpm/sf [L/s/m ²])	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm [L/s])	22.5 [1.42]	18.79 [1.19]	11.25 [0.71]	15 [0.95]	12.53 [0.79]	7.5 [0.47]	10 [0.63]	8.35 [0.53]	5 [0.32]

* 1.67 gpm/sf [1.13 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

**SITE SPECIFIC
DATA REQUIREMENTS**

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROP (LD))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
FILTER BAY RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

NOTES/SPECIAL REQUIREMENTS:

PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7" [178].** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **38 SECONDS**. SPECIFIC FLOW RATE SHALL BE **2 GPM/SF [1.36 L/s/m²] (MAXIMUM)**. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF [13.39 L/s/m³] OF MEDIA (MAXIMUM)**.

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. ALTERNATE DIMENSIONS ARE IN MILLIMETERS [mm] UNLESS NOTED OTHERWISE.
4. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE.
www.ContechES.com
5. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
6. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' [1524] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- F. CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.



www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

SFPD0806 (8' x 6')
PEAK DIVERSION STORMFILTER
STANDARD DETAIL



294 LF - HOSE LAY DISTANCE

325 LF - HOSE LAY DISTANCE

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

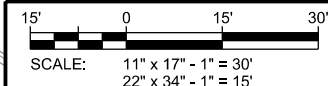
PARK STREET (WESTBOUND)

PARK STREET (EASTBOUND)

FIRE LANE

NEW
SPRINKLERED
BUILDING

HIGH STREET



CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

FIRE LANE ACCESS PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

DRAWN BY: BJB, NED

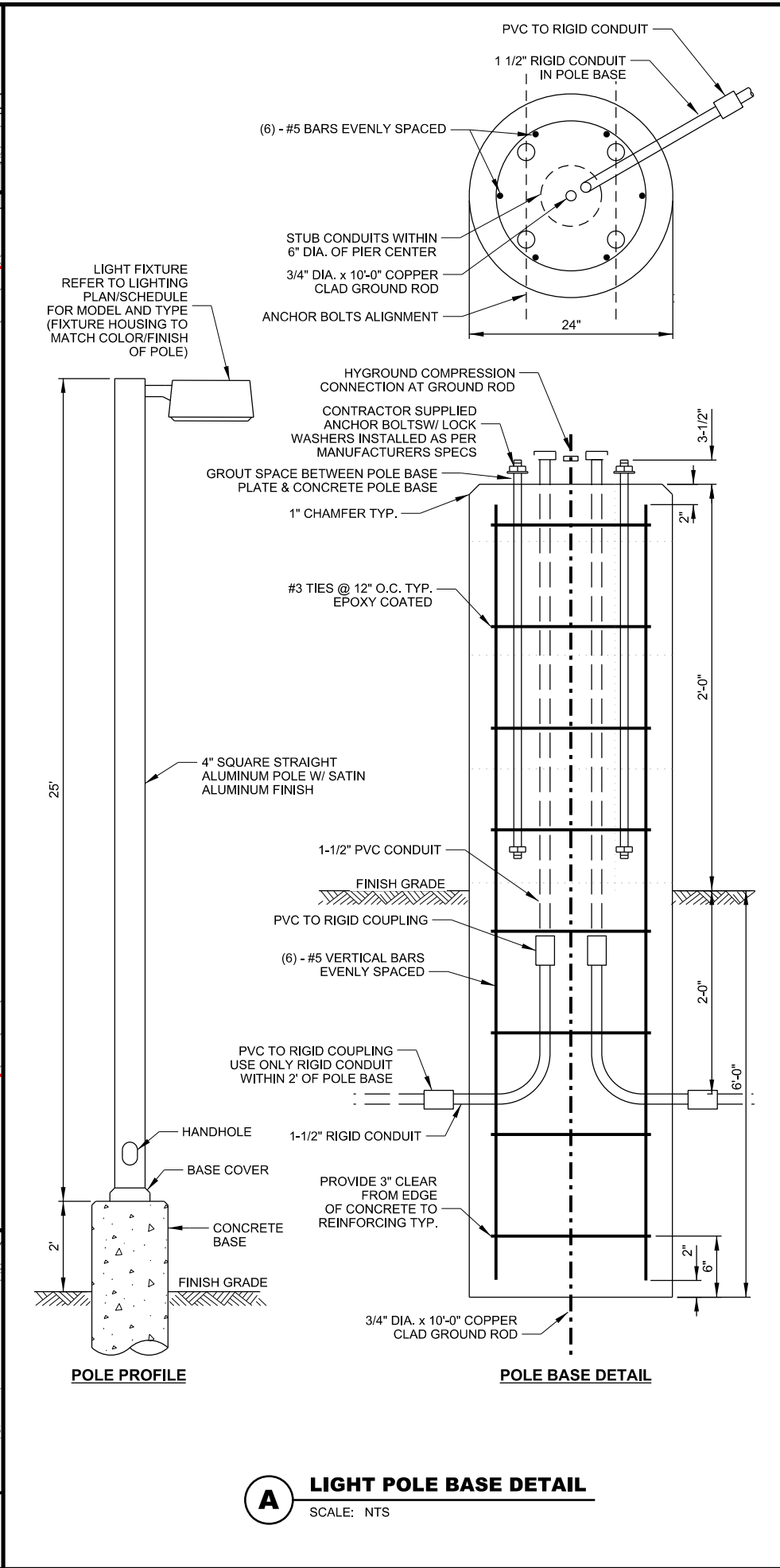
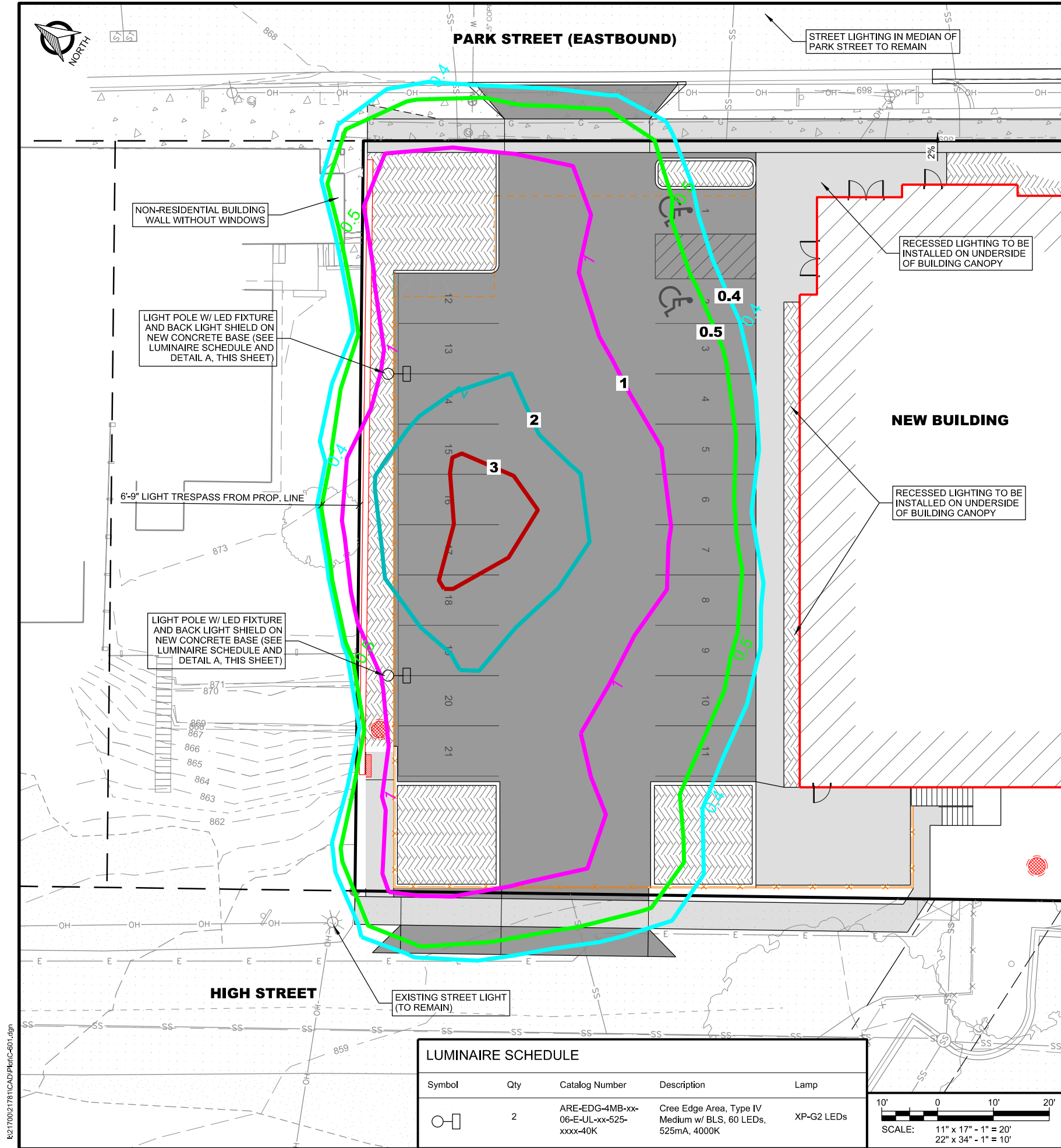
CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **C-401**



CONSULTANT:

Edge
Consulting Engineers, Inc.

624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

SITE LIGHTING PHOTOMETRIC PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE

SUBMITTAL:

INT.	DATE	DESCRIPTION

DRAWN BY: BJB, NED

CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **C-601**

I:\21700\21781\CAD\Plant_L-102.dgn

1224 S Park Street Redevelopment

LANDSCAPING POINT SUMMARY

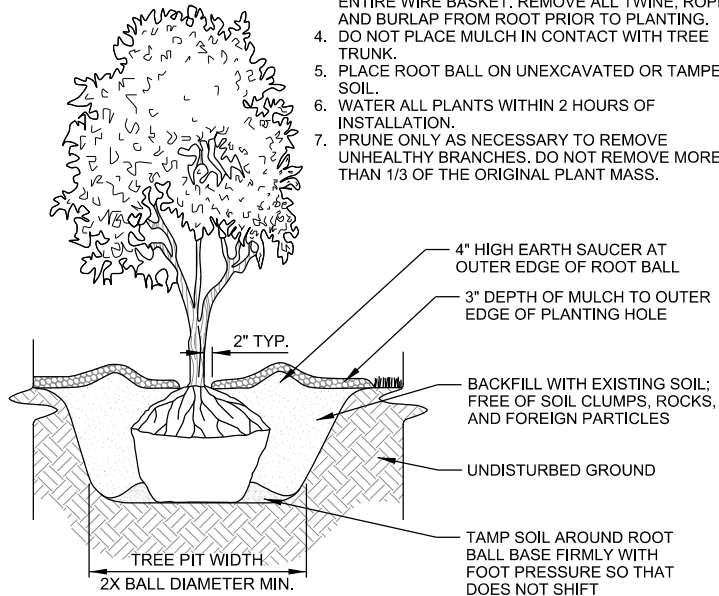
25,813 = Total Lot Area (SF)
9,003 = Developed Area (SF)
150 = Landscape Points Required (5/300 SF)
189.40 = Park Street Frontage (LF)
N/A Exempt - Building at Sidewalk
7,300 = Site Area for Parking Stalls (SF)
584 = 8% of Parking Stall Area (SF)
1,074 = Provided Landscape Island Area (SF)

Interior Parking Lot Island Areas

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
AA	4	Amelanchier arborea	Downy Serviceberry	15-25'	10-12'	1-1/2" BB	15	60
GT	1	Gleditsia triacanthos var. inermis	Thornless Honeylocust	60'	60'	2-1/2" BB	35	35
SHRUBS								
BT	8	Berberis thunbergii var. atropurpurea 'Concorde'	Concorde Japanese Barberry	2'	2'	3 gal.	3	24
HK	7	Hypericum kalmianum	St. John's Wort	2-3'	3'	3 gal.	3	21
JH	5	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	8"	5'	3 gal.	4	20
GRASSES								
CA	21	Calamagrostis acutiflore 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	42
PERENNIALS								
HG	6	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	12
VEGETATED FENCING								
---	96 LF	Celastrus scandens	American Bittersweet	4'	96'	---	4	38
							Subtotal	252

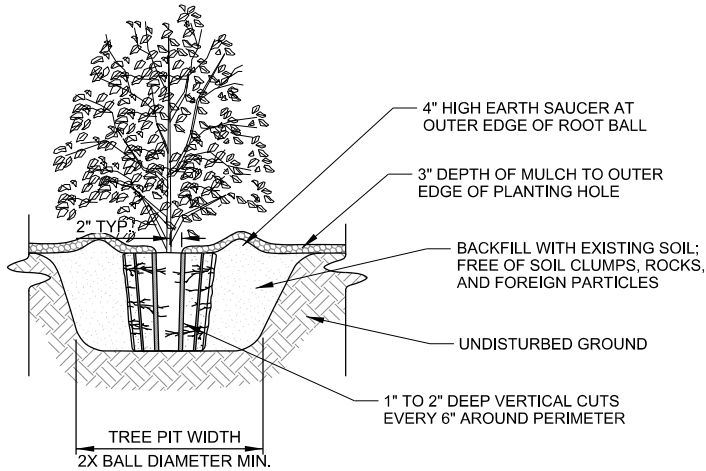
Foundation Plantings

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
OV	1	Ostrya virginiana	Ironwood	25'	15'	1-1/2" BB	15	15
CC	1	Carpinus caroliniana	Musclewood	25'	25'	1-1/2" BB	15	15
SHRUBS								
HA	14	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4'	4'	3 gal.	3	42
GG	14	Buxus x 'Green Gem'	Green Gem Boxwood	2'	2'	3 gal.	3	42
HK	15	Hypericum kalmianum	St. John's Wort	2-3'	3'	3 gal.	3	45
GRASSES								
CA	48	Calamagrostis acutiflore 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	96
PERENNIALS								
HT	12	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	24
							Subtotal	279
							TOTAL POINTS	531
							Points Req'd	150



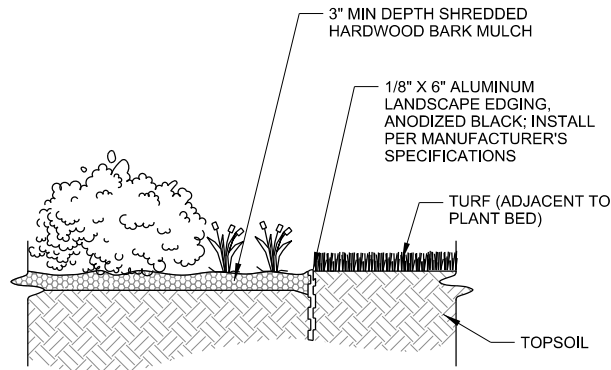
A **BALL & BURLAP TREE PLANTING DETAIL**
SCALE: NTS

- NOTES:**
1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
 2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



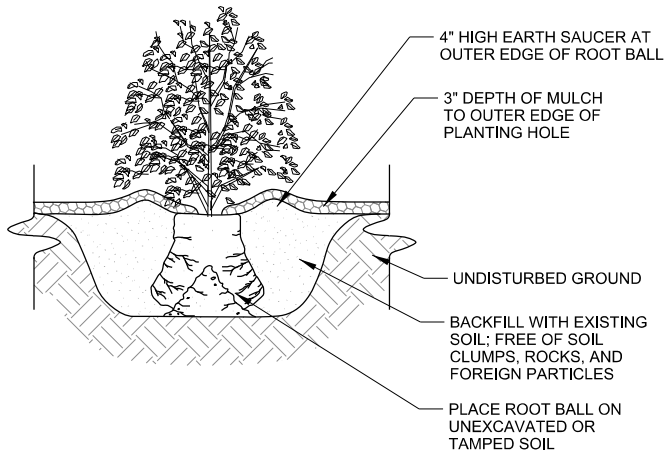
C **LARGE CONTAINER PLANTING DETAIL**
SCALE: NTS

- NOTES:**
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



B **PLANTING BED EDGE DETAIL**
SCALE: NTS

- NOTES:**
1. FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER 1/3 TO 1/2 OF ROOTBALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE MOUNDED PLANTING HOLE.
 2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



D **SMALL CONTAINER PLANTING DETAIL**
SCALE: NTS

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

LANDSCAPE DETAILS
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

DRAWN BY: BJB, NED

CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **L-102**

Parking Below

Stair

Elev

W.

U.

M.

Stair

Stair

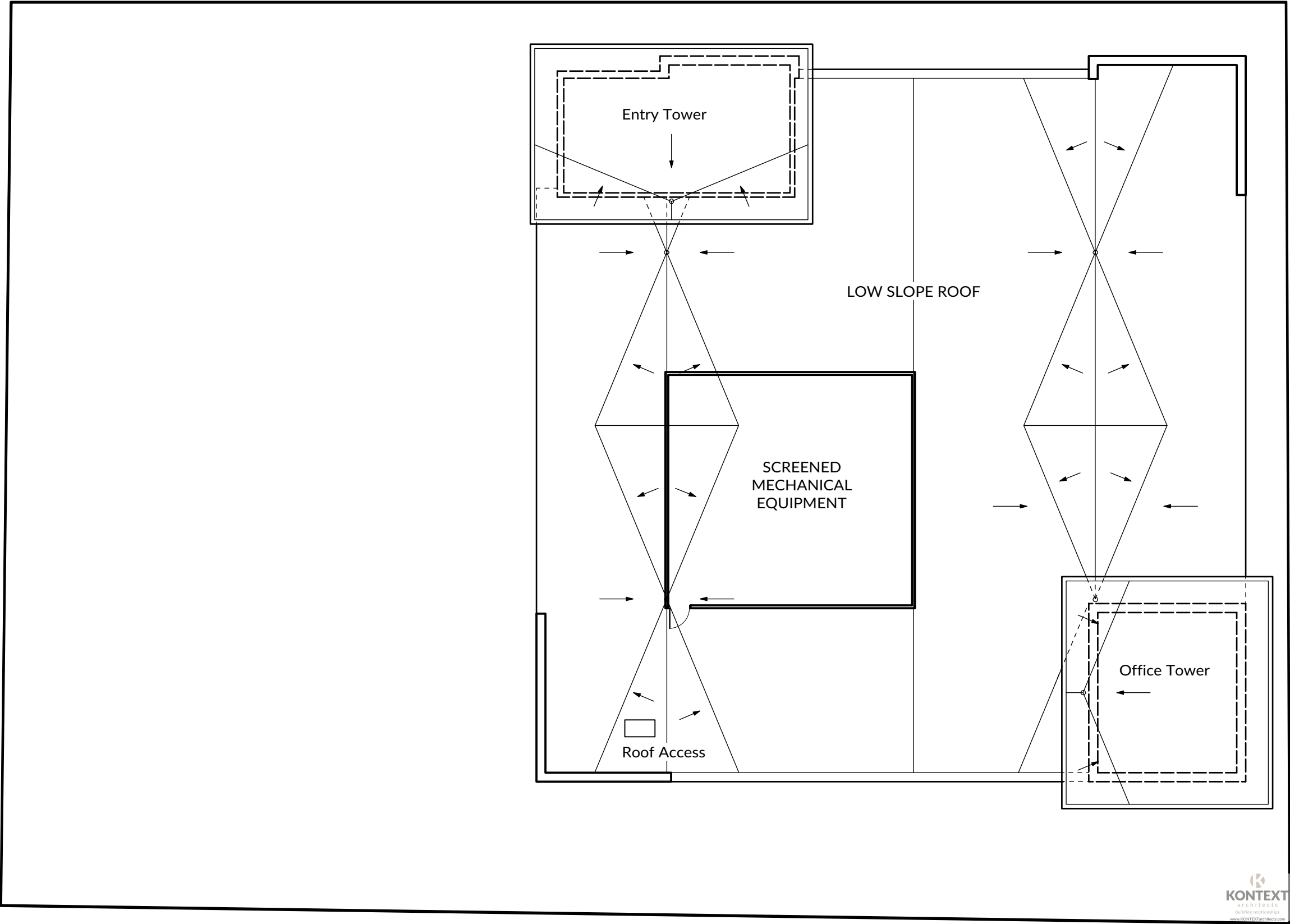
Tenant #2
10,040 NSF

KONTEXT architects
building relationships
www.KONTEXTarchitects.com



KONTEXT
architects
building relationships
www.KONTEXTarchitects.com

© KONTEXT architects llc



Roof Level
Scale: 1/16" = 1'-0"



ENTITLEMENT SUBMITTAL

Architect:

KONTEXT
architects

building relationships
242 East Main St. - Sun Prairie, WI

Builder:

BR

2866 Agriculture Dr.
Madison WI 53718

Project Owner:

SARA
INVESTMENT REAL ESTATE

1955 Atwood Avenue
Madison, WI 53704

Location:

1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT

MADISON, WI

Sheet Title:
Roof Level

Revisions:

No.	Date:	Description:

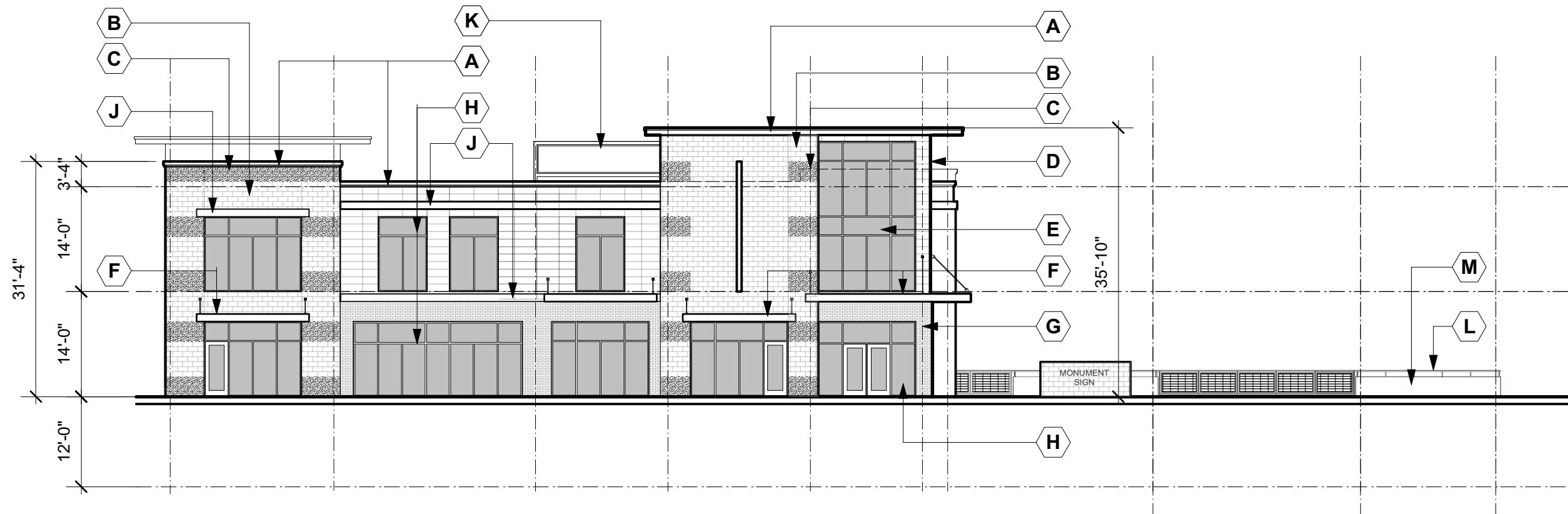
Graphic Scale: 0" 8" 12'

Project Number: 1903

Set Type: Entitlement

Date Issued: 06/26/2019

Sheet Number: **A103**

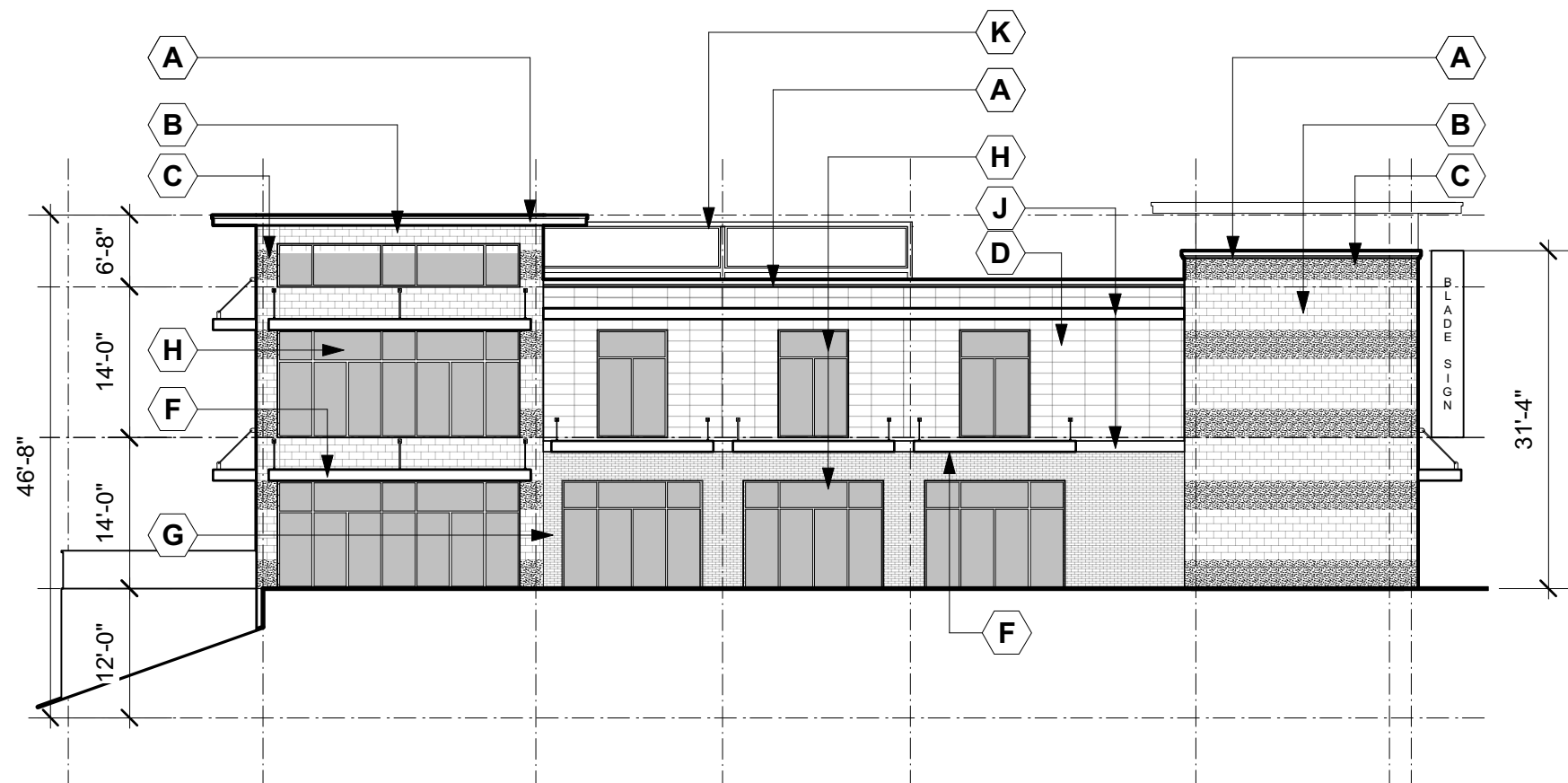


East Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A** SHEET METAL ROOF EDGE
- B** 8x16 BURNISHED CONCRETE MASONRY UNIT
- C** 8x16 SPLIT FACE CONCRETE MASONRY UNIT
- D** FIBER CEMENT WALL PANELS
- E** ALUMINUM CURTAIN WALL ASSEMBLY
- F** PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G** BRICK VENEER
- H** ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J** ALUMINUM BAND
- K** ALUMINUM LOUVER, MECHANICAL SCREENING
- L** EXPOSED CONCRETE WALL
- M** PAINTED STEEL RAILING
- N** PAINTED STEEL STAIR SYSTEM



South Elevation

Scale: 1/16" = 1'-0"

Revisions:

No.	Date:	Description:

Graphic Scale	0" 8" 12"
---------------	-----------

Project Number	1903
----------------	------

Set Type	Entitlement
----------	-------------

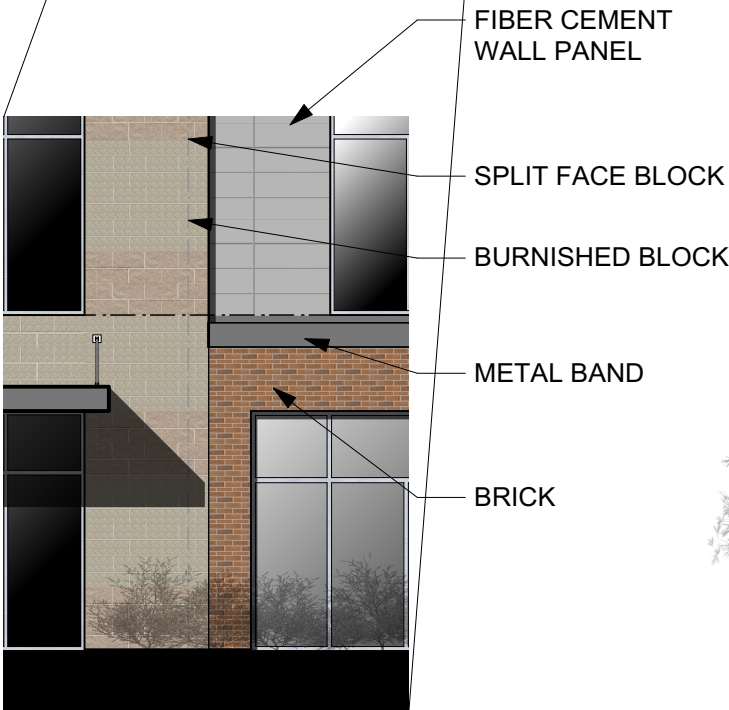
Date Issued	06/26/2019
-------------	------------

Sheet Number	A200
--------------	-------------



East Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"

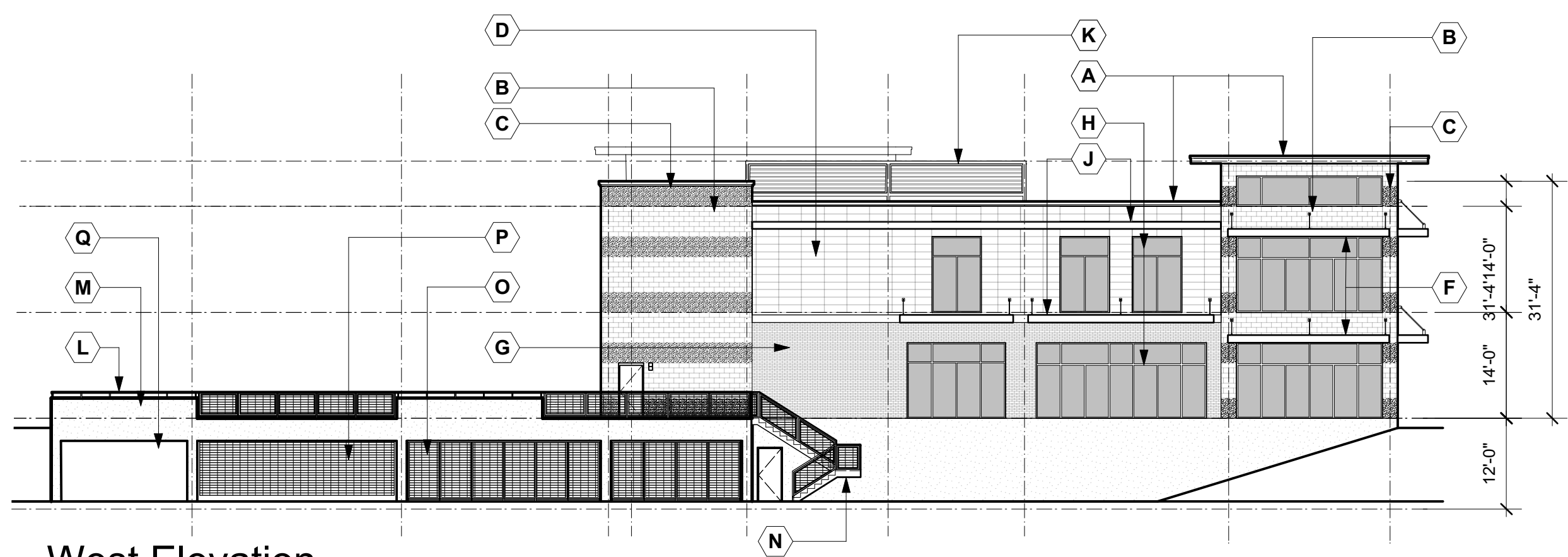


South Elevation

Scale: 1/16" = 1'-0"

Revisions:		
No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A200C

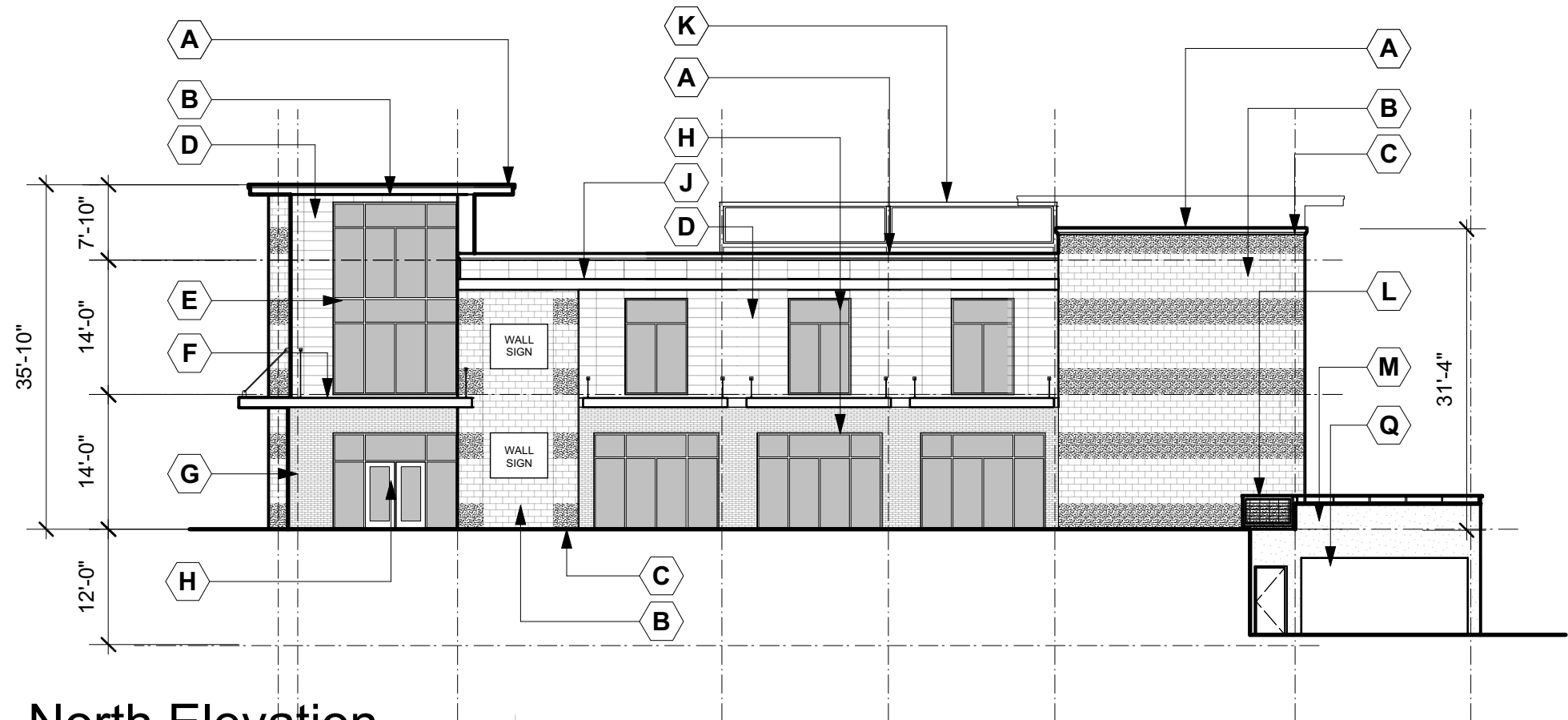


West Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A SHEET METAL ROOF EDGE
- B 8x16 BURNISHED CONCRETE MASONRY UNIT
- C 8x16 SPLIT FACE CONCRETE MASONRY UNIT
- D FIBER CEMENT WALL PANELS
- E ALUMINUM CURTAIN WALL ASSEMBLY
- F PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G BRICK VENEER
- H ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J ALUMINUM BAND
- K ALUMINUM LOUVER, MECHANICAL SCREENING
- L EXPOSED CONCRETE WALL
- M PAINTED STEEL RAILING
- N PAINTED STEEL STAIR SYSTEM
- O PREFINISHED STEEL FENCING
- P ALUMINUM COILING SECURITY SCREEN DOOR
- Q PREFINISHED STEEL COILING DOOR (TRASH ENCLOSURE)



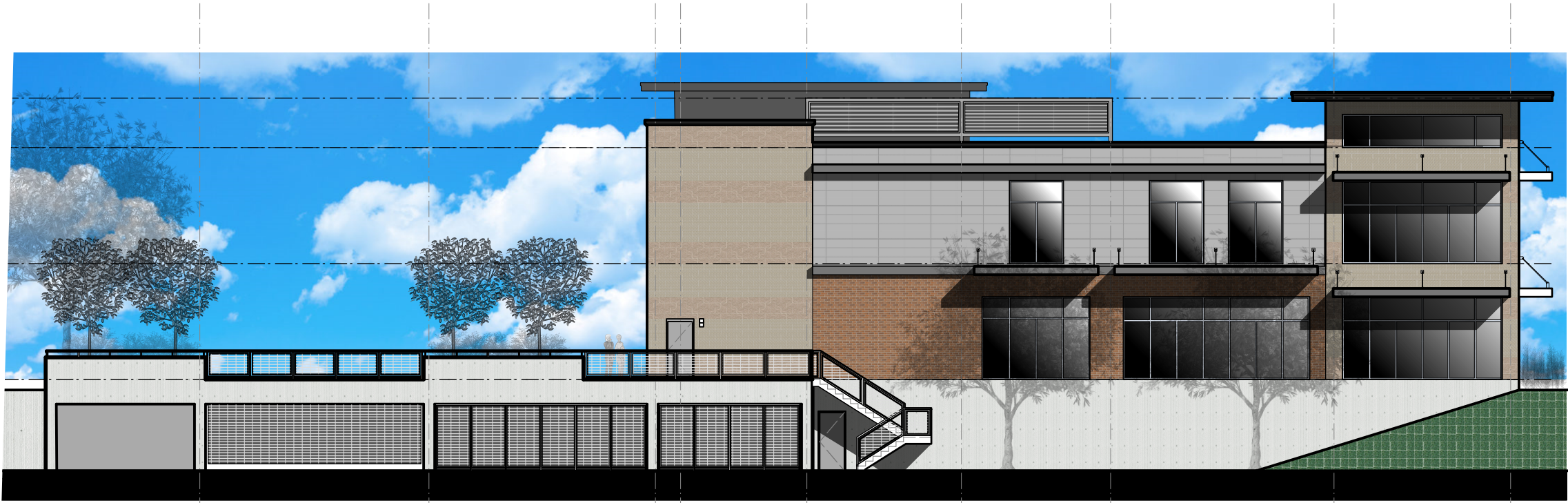
North Elevation

Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

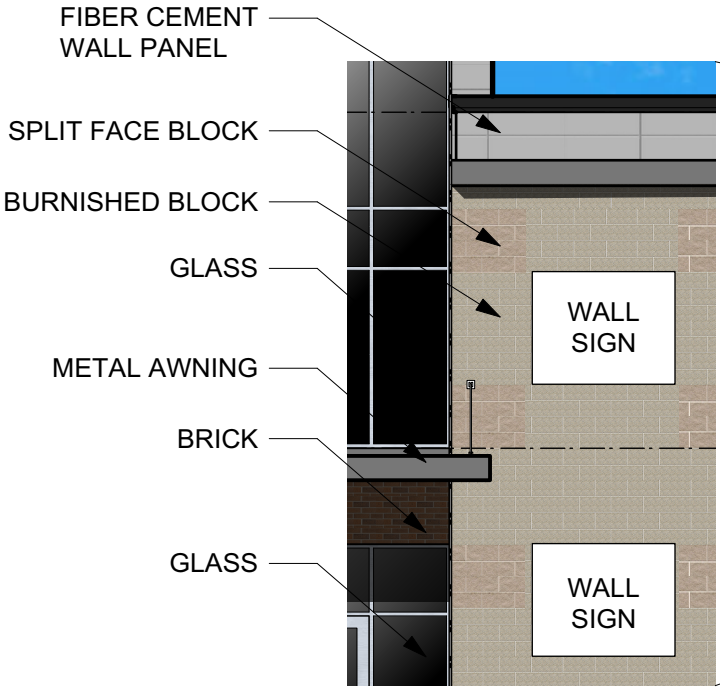
Revisions:

No.	Date:	Description:



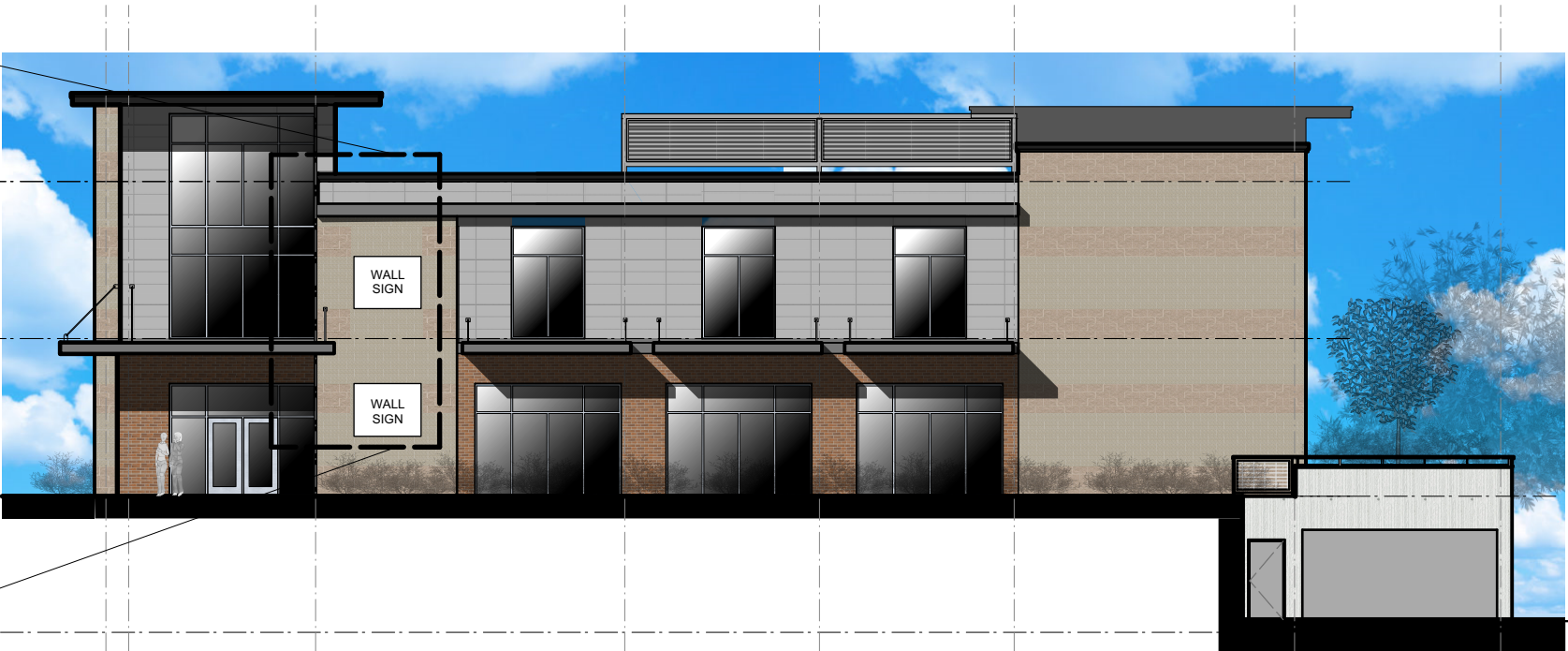
West Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"



North Elevation

Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

Architect:

KONTEXT
architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:

BR
2866 Agriculture Dr.
Madison WI 53718

Project Owner:

SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:

1216 South Park Street
Madison, Wisconsin

1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI

Sheet Title:
Building Elevations Color

Revisions:

No.	Date:	Description:

Graphic Scale:
0' 8' 12'

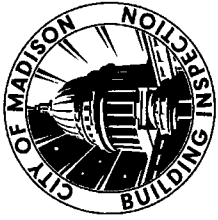
Project Number:
1903

Set Type:
Entitlement

Date Issued:
06/26/2019

Sheet Number:
A201C

© KONTEXT architects llc



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address	1224 South Park Street, Madison, WI 53715		
Name of Project	1224 South Park Street Redevelopment		
Owner / Contact	John Van Note (SARA Investment)		
Contact Phone	608-577-7936	Contact Email	jvannote@sarainvest.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 9,003 SF

Total landscape points required 150 pts

~~(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.~~

~~Total square footage of developed area~~

~~Five (5) acres = 217,800 square feet~~

~~First five (5) developed acres = 3,630 points~~

~~Remainder of developed area~~

~~Total landscape points required~~

~~(c) For the Industrial = Limited (IL) and Industrial = General (IG) districts, one (1) point shall be provided~~

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			1	35
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			6	90
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			58	174
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			5	20
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			87	174
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			96'	38
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				0		531

Total Number of Points Provided 531

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1224 South Park Street, Madison, WI 53715

Contact Name & Phone #: John Van Note (SARA Investment) 608-577-7936

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	☒ Yes ☐ Yes ☒ Yes	☐ No ☐ No ☐ No	☐ N/A ☐ N/A ☐ N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	☒ Yes ☒ Yes ☒ Yes ☐ Yes ☒ Yes ☐ Yes ☐ Yes ☐ Yes	☐ No ☐ No ☐ No ☐ No ☐ No ☒ No ☒ No ☒ No	☐ N/A ☐ N/A ☐ N/A ☒ N/A ☐ N/A ☐ N/A ☐ N/A ☐ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes ☐ Yes ☐ Yes	☐ No ☐ No ☐ No	☒ N/A ☒ N/A ☒ N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes ☐ Yes	☒ No ☐ No	☐ N/A ☒ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	☐ Yes	☒ No	☐ N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☒ Yes ☒ Yes ☒ Yes ☐ Yes ☐ Yes ☒ Yes ☒ Yes	☐ No ☐ No ☒ No ☒ No ☐ No ☐ No ☐ No	☐ N/A ☐ N/A ☐ N/A ☐ N/A ☐ N/A ☐ N/A ☐ N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	☒ Yes ☒ Yes ☒ Yes ☒ Yes ☐ Yes ☒ Yes	☐ No ☐ No ☐ No ☐ No ☐ No ☐ No	☐ N/A ☐ N/A ☐ N/A ☐ N/A ☒ N/A ☐ N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.

Cree Edge™ Series

LED Area/Flood Luminaire

Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

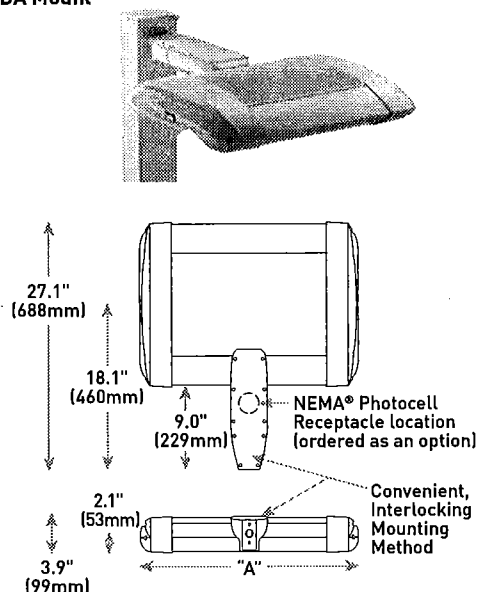
Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel

DA Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions

Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	2M Type II Medium	AA Adjustable Arm	02	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA - Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse HL HI/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only
	3MB Type III Medium w/BLS	DA Direct Arm	04					
	4MP Type IV Medium w/Partial BLS	DL Direct Long Arm	06					
	2MB Type II Medium w/BLS		08					
	3MP Type III Medium w/Partial BLS		10					
	2MP Type II Medium w/Partial BLS		12					
	4M Type IV Medium w/Partial BLS		14					
	3M Type III Medium w/BLS		16					
FLD-EDG	25 25° Flood	AA Adjustable Arm						PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others - Refer to ML spec sheet for availability with ML options 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
	70 70° Flood	SA Side Arm - Available with 20-60 LEDs						
	N6 NEMA® 6							

* Reference EPA and pole configuration suitability data beginning on page 19



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V7 R1 10/02/2018

Canada: www.cree.com/canada



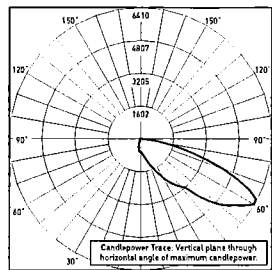
T (800) 473-1234 F (800) 890-7507

Cree Edge™ LED Area/Flood Luminaire

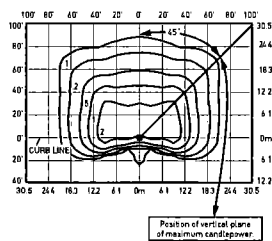
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/cree-edge-series-1>

4MB



RESTL Test Report #: PL01023-002B
ARE-EDG-4MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,985



ARE-EDG-4MB-**-10-E-UL-525-40K
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 13,185
Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
14	12,924	B1 U0 G2	13,181	B1 U0 G2
16	14,771	B2 U0 G2	15,063	B2 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
10	13,185	B1 U0 G2	13,461	B1 U0 G2
12	15,821	B2 U0 G3	16,153	B2 U0 G3
14	18,341	B2 U0 G3	18,726	B2 U0 G3
16	20,962	B2 U0 G3	21,401	B2 U0 G3
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

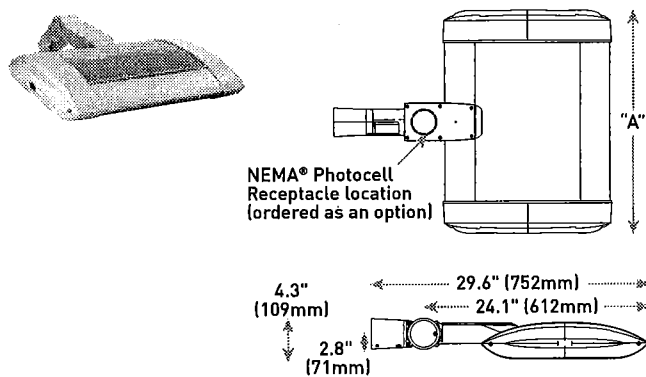
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit:
<https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>



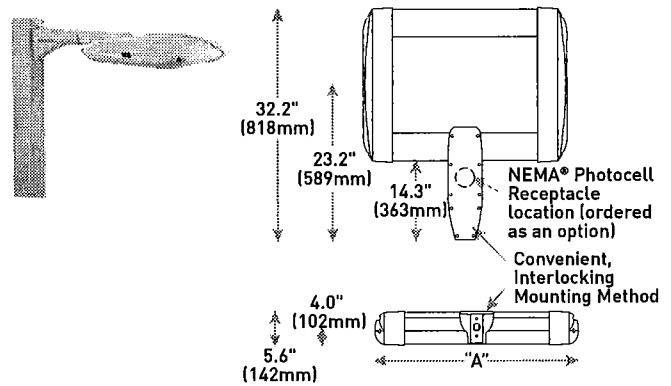
Cree Edge™ LED Area/Flood Luminaire

AA Mount



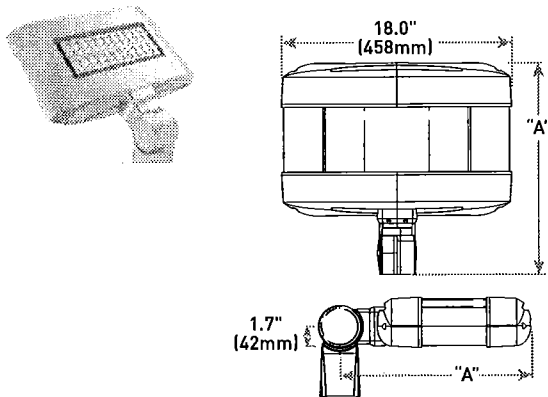
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

DL Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

SA Mount



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)