



knothe + bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

SHEET INDEX	
SITE	
C-1.1	SITE PLAN
C-0.1	EXISTING CONDITIONS
C-0.2	DEMOLITION PLAN
C-1.2	SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	USABLE OPEN SPACE
C-1.5	LOT COVERAGE
C-2.0	EROSION CONTROL PLAN
C-3.0	GRADING PLAN
C-4.0	UTILITY PLAN
C-5.0	DETAILS
L-1.1	LANDSCAPE PLAN
ARCHITECTURAL	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-2.3	EXTERIOR ELEVATIONS
A-2.4	RENDERING IMAGE 1
A-2.5	RENDERING IMAGE 2
A-2.6	RENDERING IMAGE 3
A-2.7	RENDERING IMAGE 4
A-5.1	TYPICAL UNIT PLANS

Site Development Data:

Zoning District: TR-U2

Densities:

Lot Area	31,659 S.F. / .73 acres
Dwelling Units	59 units
Lot Area / D.U.	537 S.F./unit
Density	81 units/Acre

Usable Open Space 9,097 S.F. (154 S.F./unit)
Lot Coverage 21,924 S.F. (69%)

Building Height 4 stories

Dwelling Unit Mix:

Studio	11
One bedroom	29
One Bedroom + Den	8
Two Bedroom	11
Total Dwelling Units	59

Vehicle Parking Stalls:

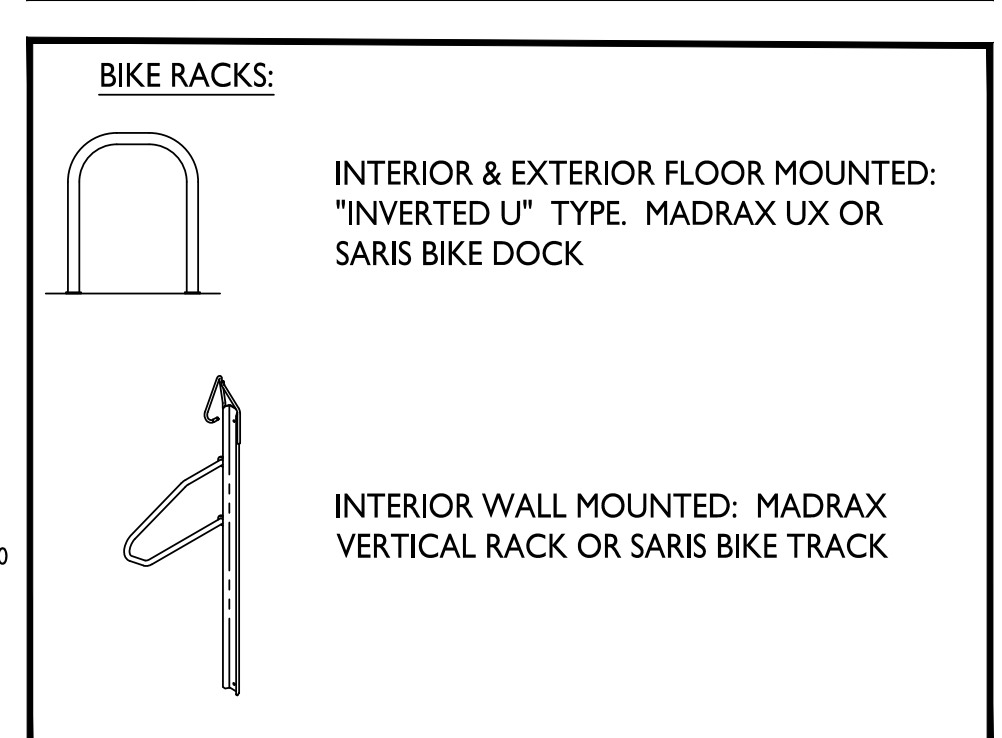
Underground Garage	47
Surface	23
Total	70

Parking Ratio 1.18 stalls/unit

Bicycle Parking:

Garage - wall mount	47
Garage - floor mount	12
Surface - Guest	6
Total	65 Bike Stalls

- GENERAL NOTES:**
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 4. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 5. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
 6. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.



ISSUED
Issued for Land Use & UDC Submittal: 11/20/2019

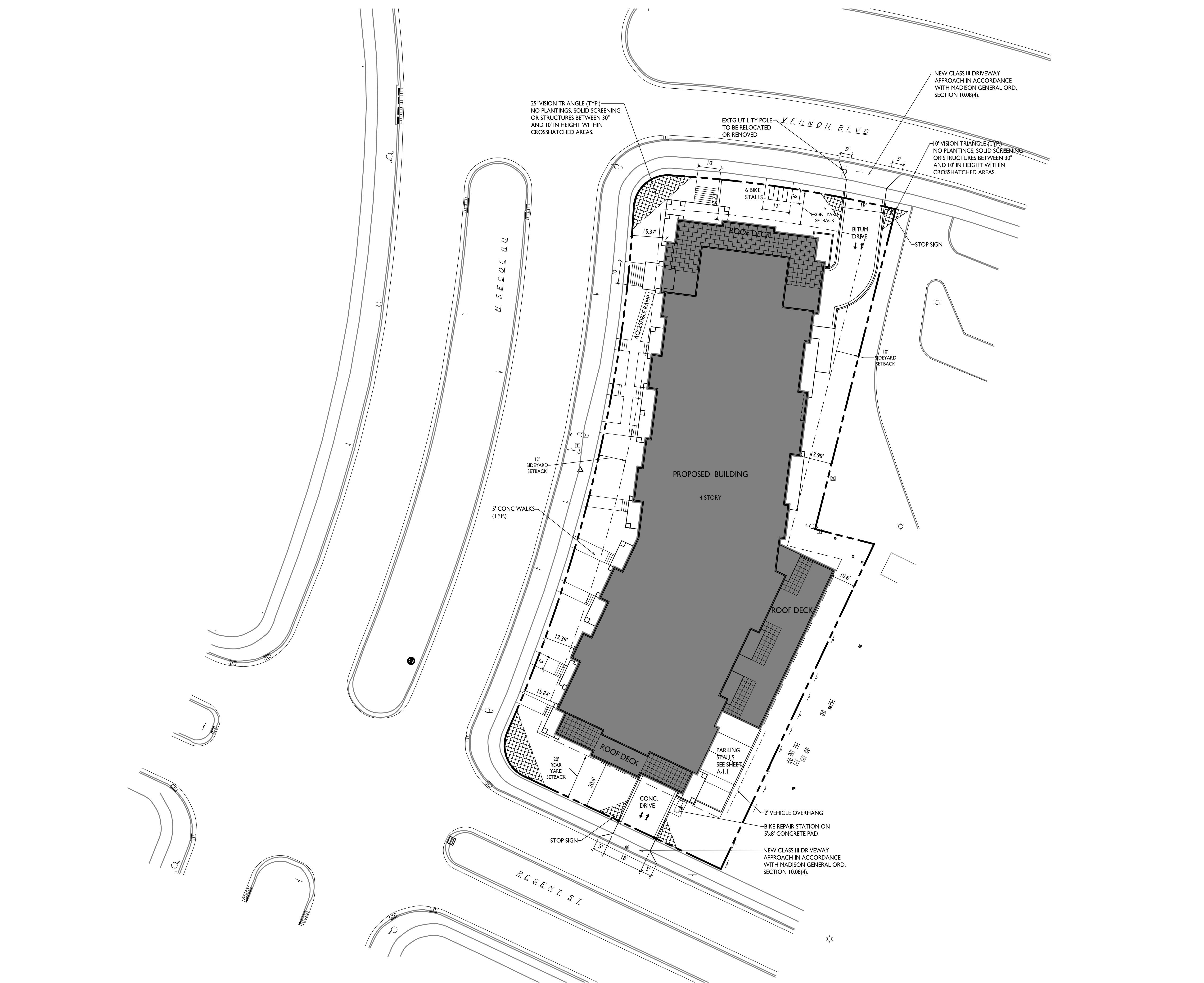
PROJECT TITLE
FLAD - SEGOE

Site Address:
**4510 Regent St & 4513
Vernon Blvd.**
SHEET TITLE
Site Plan

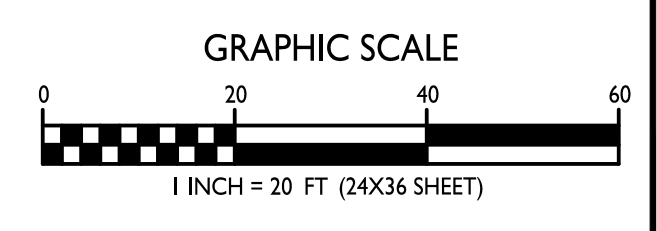
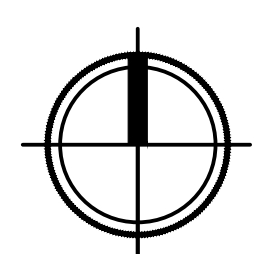
SHEET NUMBER

C-1.1

PROJECT NO. **1945**
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SITE PLAN
1" = 20'-0"



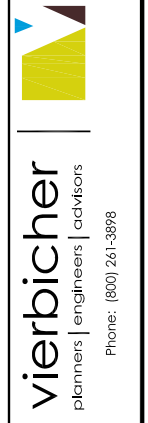
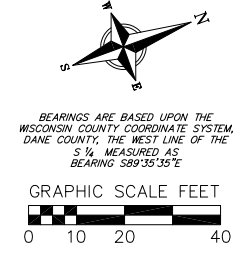
20 Nov 2019 - 12:42a MA\Flood Development\190255_4510 Regent Street, Madison\CADD\190255_Base.dwg by: jday



NOTES:
1. Elevations depicted on this survey are based upon NAVD88 Datum (2012 Geoid).
2. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents.

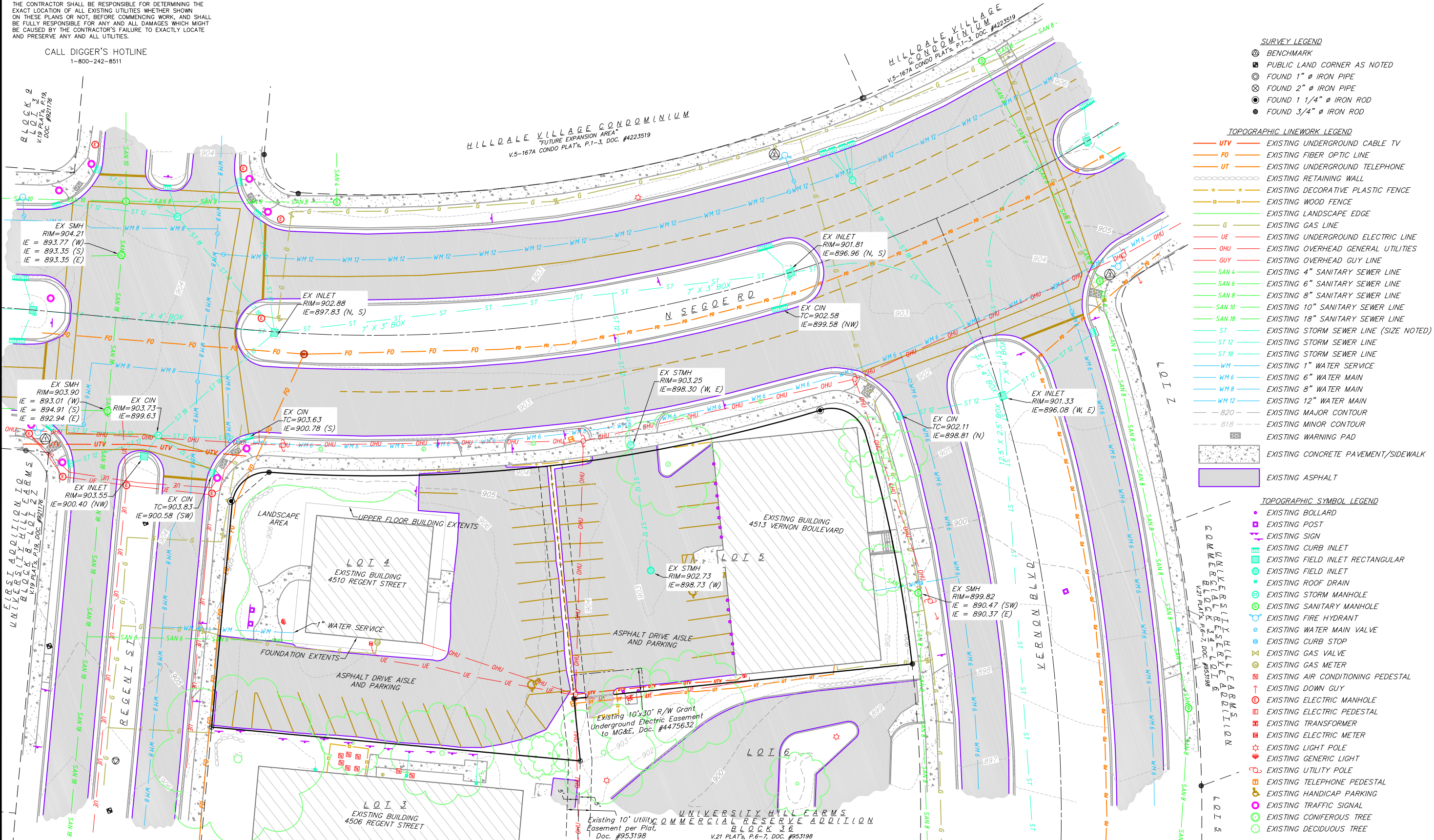
PROJECT BENCHMARKS:
BENCHMARK 1 - ELEV. = 907.96'; TOP NUT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SEGOE ROAD AND REGENT STREET.
BENCHMARK 2 - ELEV. = 906.18'; TOP NUT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SEGOE ROAD AND VERNON BOULEVARD.
BENCHMARK 3 - ELEV. = 908.01'; TOP NUT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF SEGOE ROAD AND VERNON BOULEVARD.

SURVEYED FOR:
FLAD DEVELOPMENT & INVESTMENT CORP.
3330 UNIVERSITY AVENUE
MADISON, WI 53705
SURVEYED BY:
VIERBICHER ASSOCIATES, INC.
BY: MICHAEL S. MARTY
999 FOURIER DRIVE, SUITE 201
MADISON, WI 53717
(608)-821-3955
mmar@vierbicher.com



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511



- SURVEY LEGEND
BENCHMARK
PUBLIC LAND CORNER AS NOTED
FOUND 1" Ø IRON PIPE
FOUND 2" Ø IRON PIPE
FOUND 1 1/4" Ø IRON ROD
FOUND 3/4" Ø IRON ROD

- TOPOGRAPHIC LINEWORK LEGEND
UTV - EXISTING UNDERGROUND CABLE TV
FO - EXISTING FIBER OPTIC LINE
UT - EXISTING UNDERGROUND TELEPHONE
EXISTING RETAINING WALL
EXISTING DECORATIVE PLASTIC FENCE
EXISTING WOOD FENCE
EXISTING LANDSCAPE EDGE
EXISTING GAS LINE
UE - EXISTING UNDERGROUND ELECTRIC LINE
OHU - EXISTING OVERHEAD GENERAL UTILITIES
GUY - EXISTING OVERHEAD GUY LINE
SAN 4 - EXISTING 4" SANITARY SEWER LINE
SAN 6 - EXISTING 6" SANITARY SEWER LINE
SAN 8 - EXISTING 8" SANITARY SEWER LINE
SAN 10 - EXISTING 10" SANITARY SEWER LINE
SAN 18 - EXISTING 18" SANITARY SEWER LINE
ST - EXISTING STORM SEWER LINE (SIZE NOTED)
ST 12 - EXISTING STORM SEWER LINE
ST 18 - EXISTING STORM SEWER LINE
WM - EXISTING 1" WATER SERVICE
WM 6 - EXISTING 6" WATER MAIN
WM 8 - EXISTING 8" WATER MAIN
WM 12 - EXISTING 12" WATER MAIN
820 - EXISTING MAJOR CONTOUR
818 - EXISTING MINOR CONTOUR
EXISTING WARNING PAD
EXISTING CONCRETE PAVEMENT/SIDEWALK
EXISTING ASPHALT

- TOPOGRAPHIC SYMBOL LEGEND
EXISTING BOLLARD
EXISTING POST
EXISTING SIGN
EXISTING CURB INLET
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TELEPHONE PEDESTAL
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

EXISTING CONDITIONS MAP
LOTS 4 & 5, BLOCK 36
UNIVERSITY HILL FARMS-COMMERCIAL RESERVE ADDITION
CITY OF MADISON, DANE COUNTY, WISCONSIN

Table with columns: REVISIONS, NO., DATE, REMARKS. Includes a scale section: SCALE: 1"=20' (24"x36"), 1"=40' (11"x17").

20 Nov 2019 - 1:04a M:\Flad Development\190255_4510 Regent Street, Madison, CADD\190255_Base.dwg by: jday



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

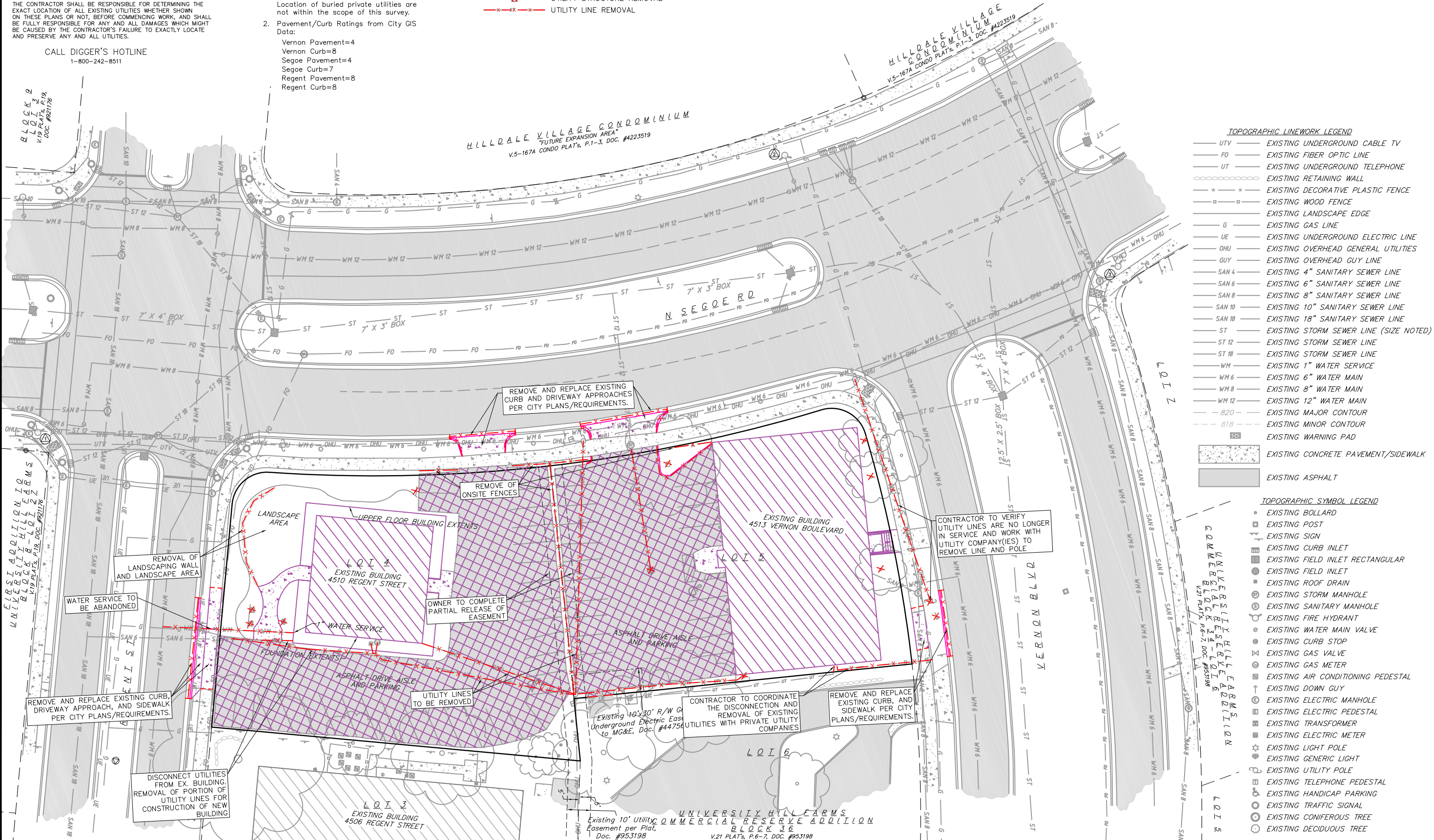
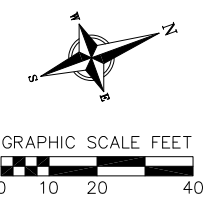
CALL DIGGER'S HOTLINE
1-800-242-8511

NOTES:

- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20193723251, 20193723252, 20193723253, 20193723254, and 20193800654. Location of buried private utilities are not within the scope of this survey.
- Pavement/Curb Ratings from City GIS Data:
Vernon Pavement=4
Vernon Curb=8
Segoe Pavement=4
Segoe Curb=7
Regent Pavement=8
Regent Curb=8

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

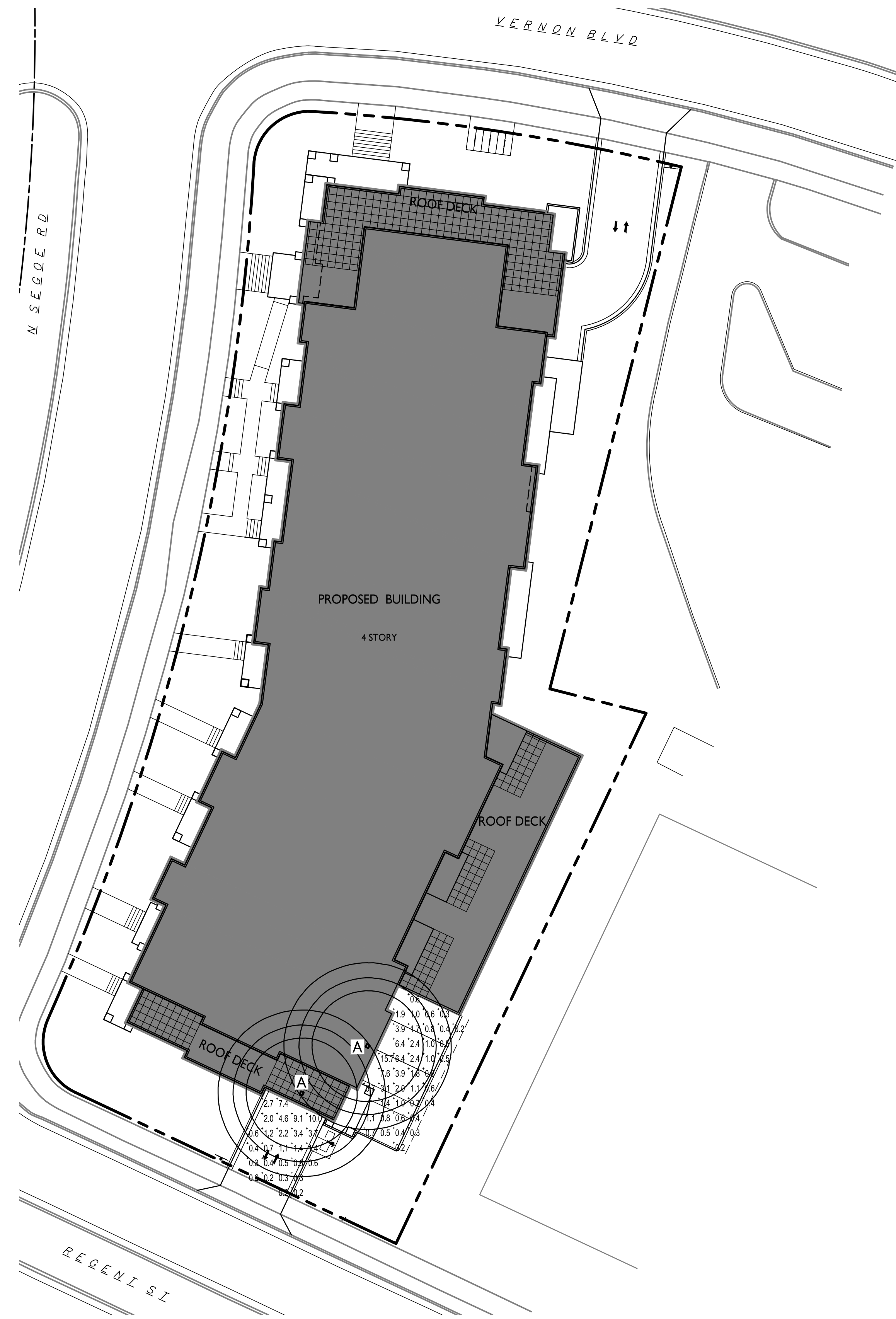


- TOPOGRAPHIC LINework LEGEND**
- UTV — EXISTING UNDERGROUND CABLE TV
 - FO — EXISTING FIBER OPTIC LINE
 - UT — EXISTING UNDERGROUND TELEPHONE
 - — EXISTING RETAINING WALL
 - * * * — EXISTING DECORATIVE PLASTIC FENCE
 - — EXISTING WOOD FENCE
 - — EXISTING LANDSCAPE EDGE
 - G — EXISTING GAS LINE
 - UE — EXISTING UNDERGROUND ELECTRIC LINE
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 - — EXISTING WARNING PAD
 - — EXISTING CONCRETE PAVEMENT/SIDEWALK
 - — EXISTING ASPHALT
- TOPOGRAPHIC SYMBOL LEGEND**
- — EXISTING BOLLARD
 - — EXISTING POST
 - — EXISTING SIGN
 - — EXISTING CURB INLET
 - — EXISTING FIELD INLET RECTANGULAR
 - — EXISTING FIELD INLET
 - — EXISTING ROOF DRAIN
 - ⊙ — EXISTING STORM MANHOLE
 - ⊙ — EXISTING SANITARY MANHOLE
 - ⊙ — EXISTING FIRE HYDRANT
 - ⊙ — EXISTING WATER MAIN VALVE
 - ⊙ — EXISTING CURB STOP
 - ⊙ — EXISTING GAS VALVE
 - ⊙ — EXISTING GAS METER
 - ⊙ — EXISTING AIR CONDITIONING PEDESTAL
 - ⊙ — EXISTING DOWN GUY
 - ⊙ — EXISTING ELECTRIC MANHOLE
 - ⊙ — EXISTING ELECTRIC PEDESTAL
 - ⊙ — EXISTING TRANSFORMER
 - ⊙ — EXISTING ELECTRIC METER
 - ⊙ — EXISTING LIGHT POLE
 - ⊙ — EXISTING GENERIC LIGHT
 - ⊙ — EXISTING UTILITY POLE
 - ⊙ — EXISTING TELEPHONE PEDESTAL
 - ⊙ — EXISTING HANDICAP PARKING
 - ⊙ — EXISTING TRAFFIC SIGNAL
 - ⊙ — EXISTING CONIFEROUS TREE
 - ⊙ — EXISTING DECIDUOUS TREE

DEMOLITION PLAN
LOTS 4 & 5, BLOCK 36
UNIVERSITY HILL FARMS-COMMERCIAL RESERVE ADDITION
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	REMARKS
NO.	DATE	NO.	DATE
1	11/20/19		

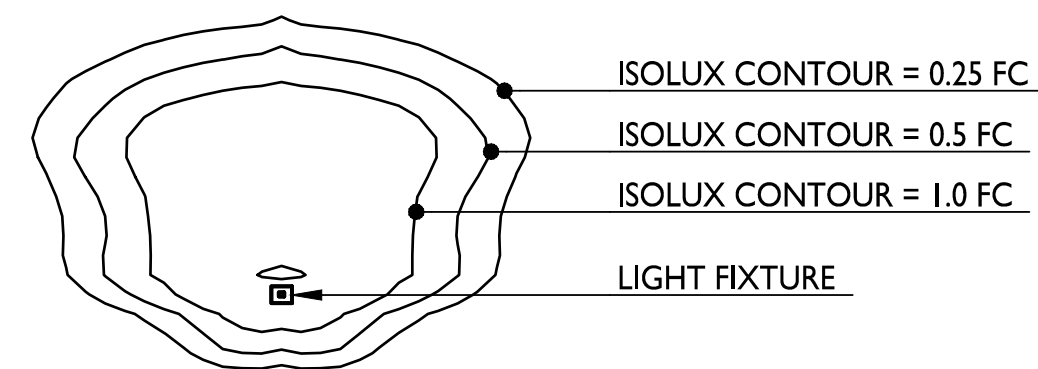
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	1"=40' (11"x17")
DATE:	10/3/19
DRAFTER:	MMAR/AMEA
CHECKED:	PKNU
PROJECT NO.:	190255
SHEET:	2 OF 6
DWG. NO.:	C-0.2



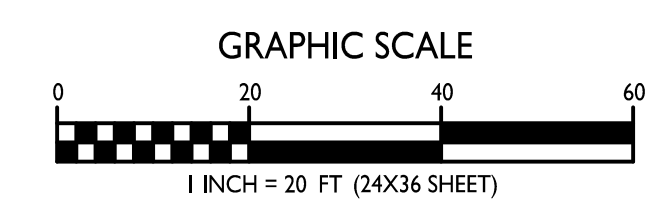
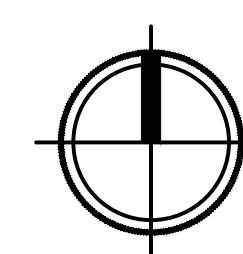
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Uncovered Parking Area	+	2.0 fc	15.7 fc	0.2 fc	78.5:1	10.0:1
Parking Entrance Lighting	+	2.1 fc	10.0 fc	0.2 fc	50.0:1	10.5:1

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
□	A	2	LITHONIA LIGHTING	CNY LED P1 40K MVOLT	CONTRACTOR SELECT CNY LED CANOPY P1=4,500lm	CNY_LED_P1_40K_MVOLT.ies	8'-0" ABOVE PARKING SURFACE

EXAMPLE LIGHT FIXTURE DISTRIBUTION



SITE LIGHTING PLAN
C-1.2 1" = 20'-0"





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608.836.3690 Middleton, WI 53562

ISSUED
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PROJECT TITLE
FLAD - SEGOE

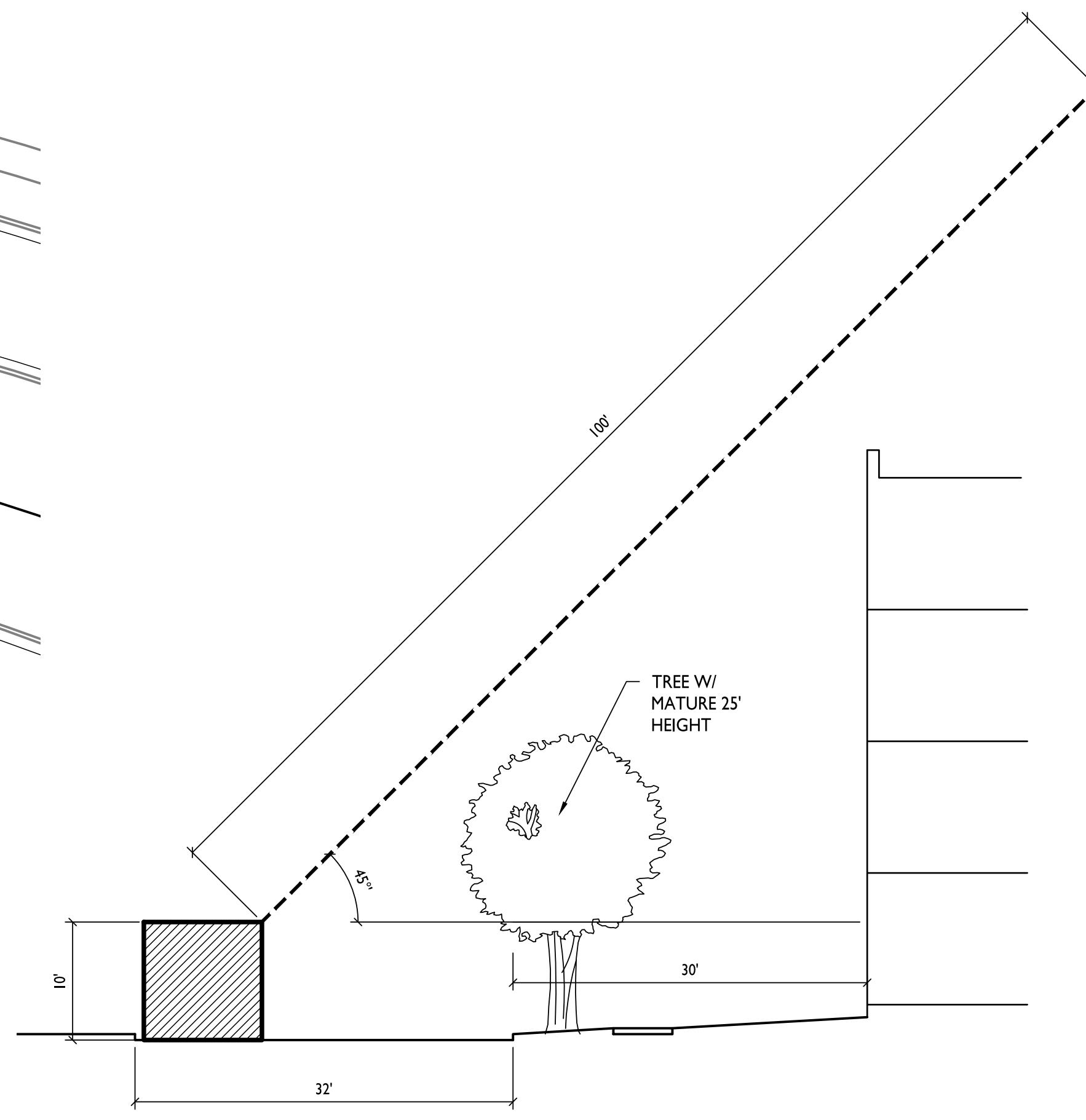
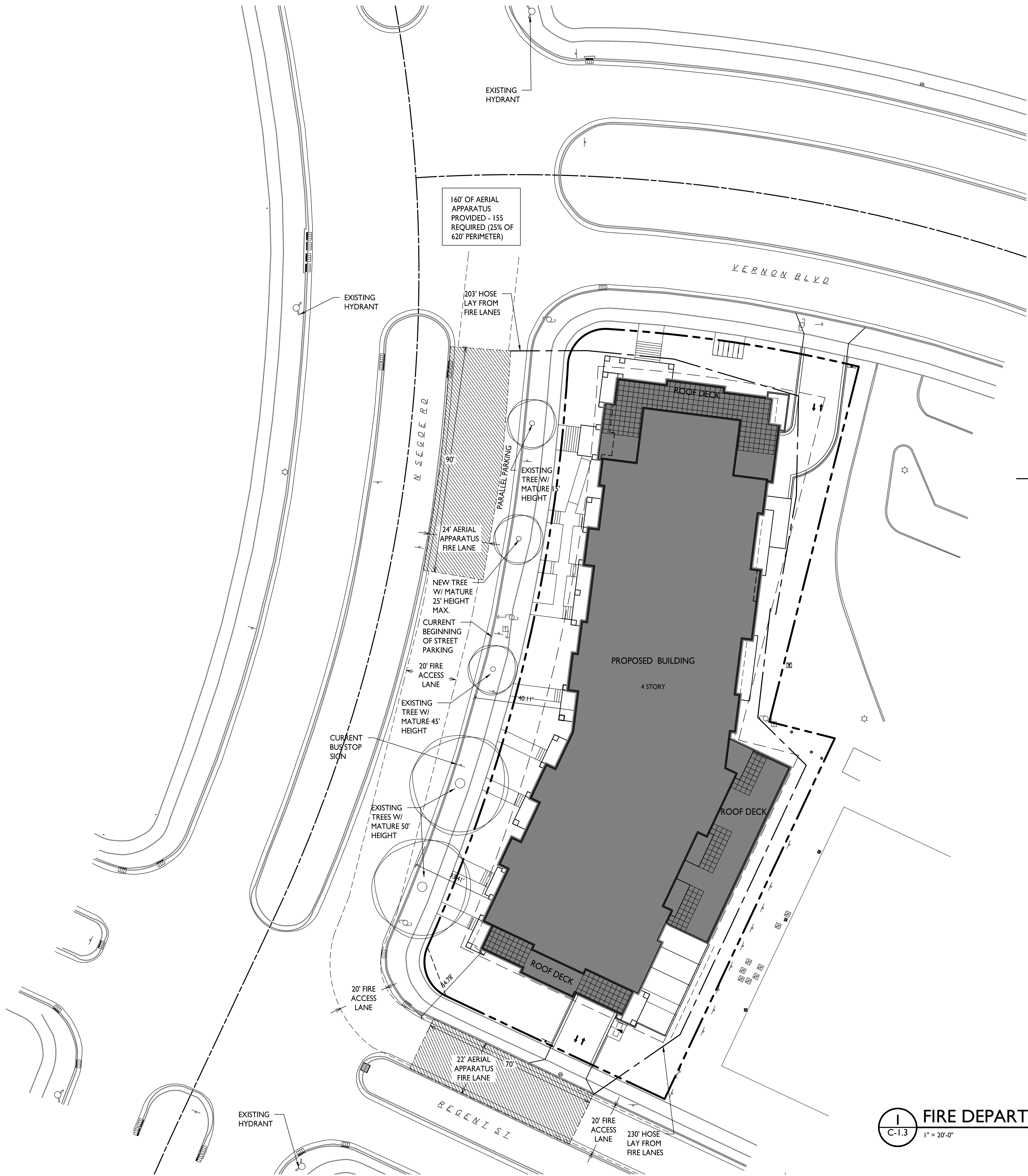
Site Address:
4510 Regent St & 4513
Vernon Blvd.
SHEET TITLE
Fire Department
Access Plan

SHEET NUMBER

C-1.3

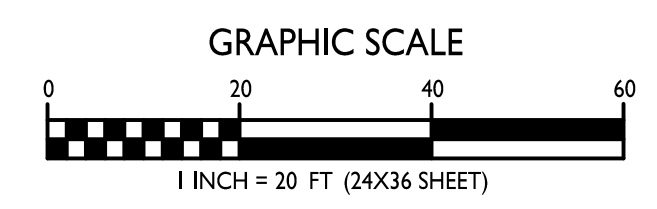
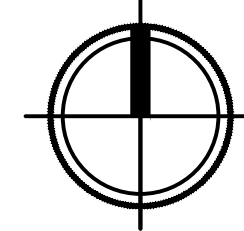
PROJECT NO. 1945

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2 SECTION AT SEGOE RD ACCESS
C-1.3 1" = 10'-0"

1 FIRE DEPARTMENT ACCESS PLAN
C-1.3 1" = 20'-0"



GRAPHIC SCALE

1 INCH = 20 FT (24X36 SHEET)



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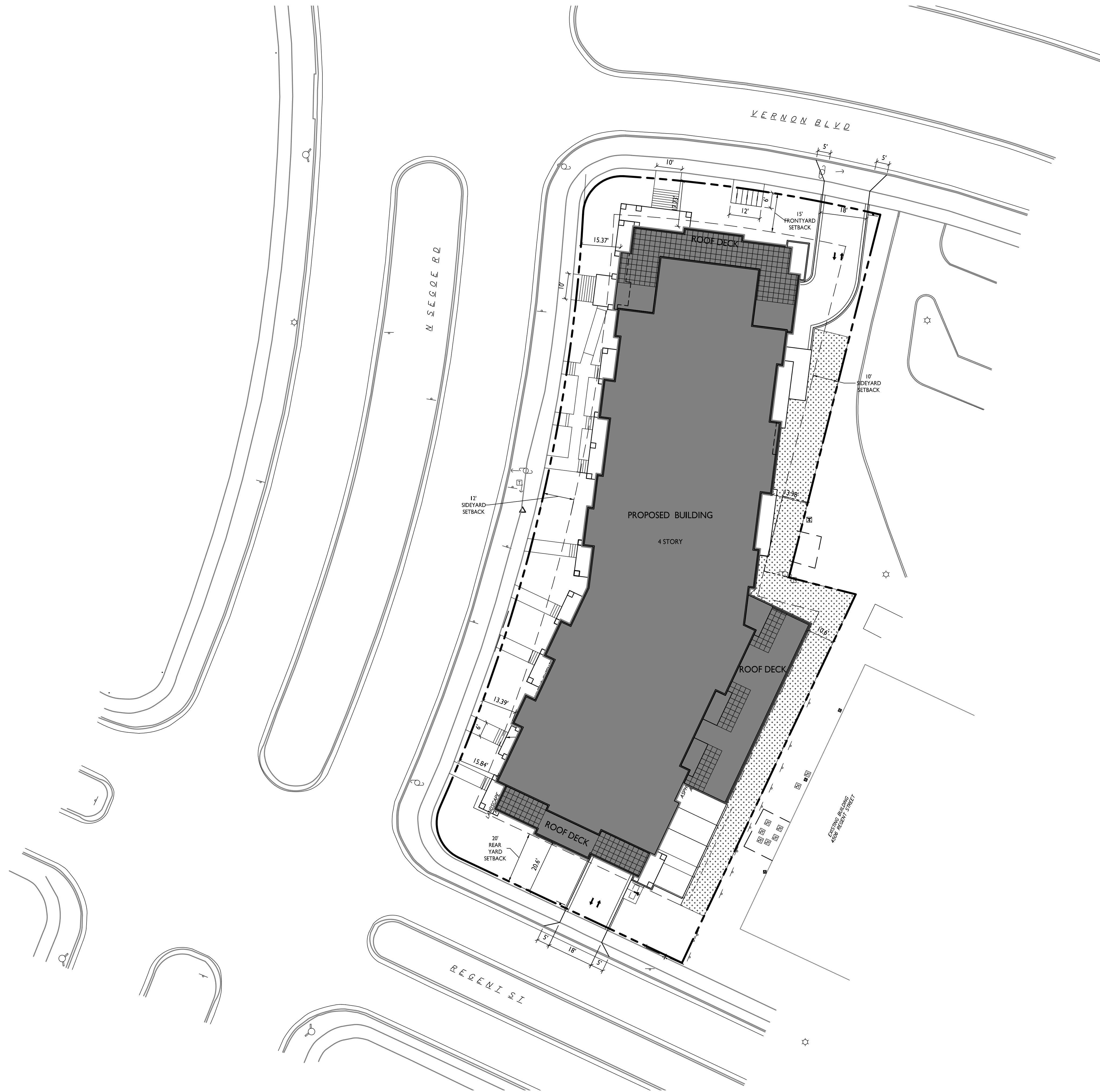
PROJECT TITLE
FLAD - SEGOE

Site Address:
4510 Regent St & 4513
Vernon Blvd.
SHEET TITLE
Usable Open
Space

SHEET NUMBER

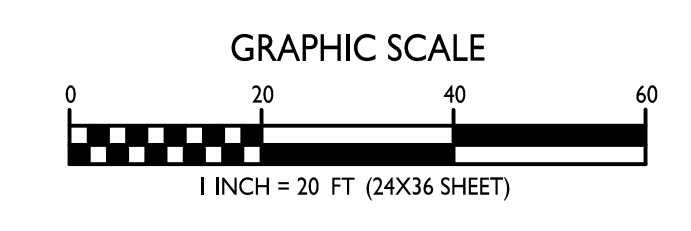
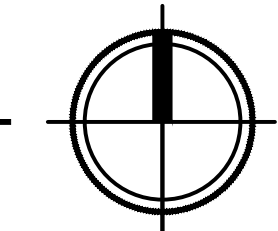
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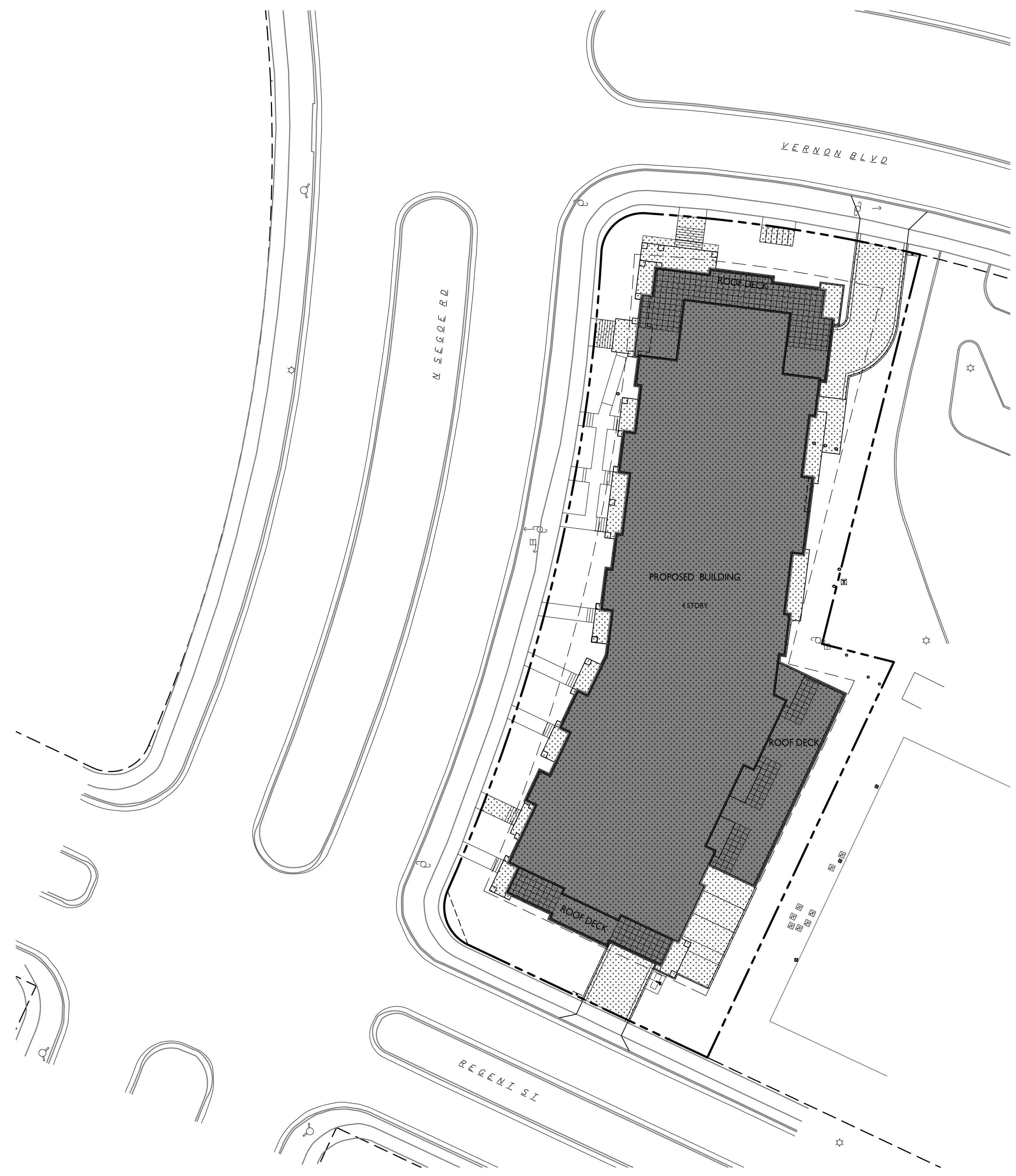
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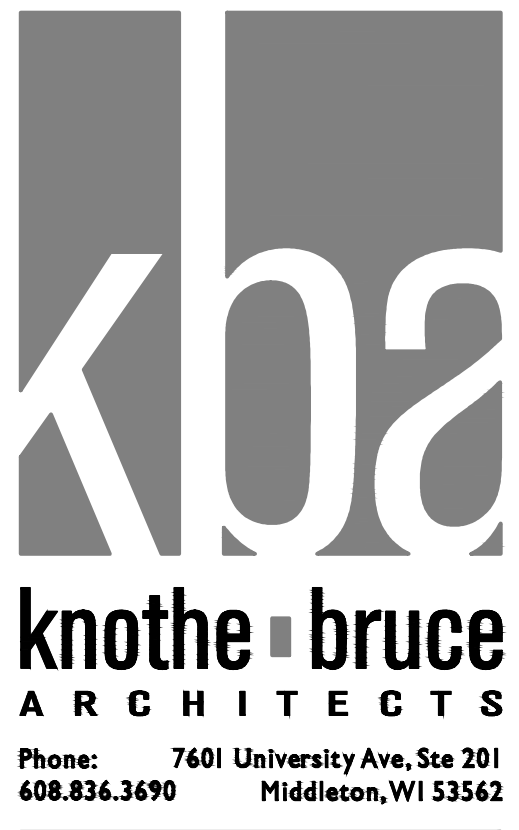
USABLE OPEN SPACE	
ZONING: TR-U2	
REQUIRED OPEN SPACE:	
OPEN SPACE/ UNIT:	140 S.F. / UNIT
DWELLING UNITS:	59 D.U.
TOTAL	8,260 S.F. REQUIRED
OPEN SPACE PROVIDED:	
BALCONIES & ROOF DECK	6,048 S.F.
AT GRADE	3,049 S.F.
TOTAL	9,097 S.F. PROVIDED

USABLE OPEN SPACE
1" = 20'-0"





LOT COVERAGE	
ZONING: TR-U2	
LOT AREA	31,659 S.F.
MAX. ALLOWED	25,327 S.F.(80%)
PROPOSED LOT COVERAGE	21,924 S.F. (69%)



ISSUED
Issued for Land Use & UDC Submittal: 11/20/2019

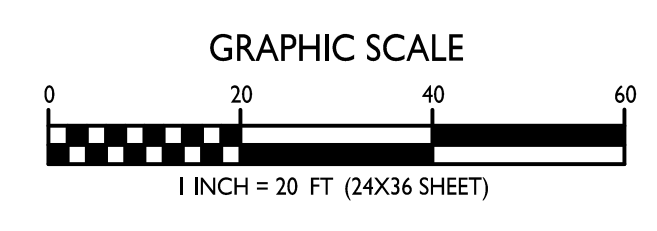
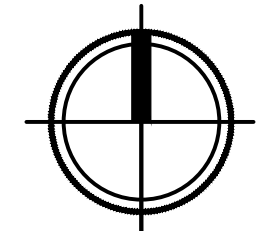
PROJECT TITLE
FLAD - SEGOE

Site Address:
4510 Regent St & 4513
Vernon Blvd.
SHEET TITLE
Lot Coverage

SHEET NUMBER

C-1.5
PROJECT NO. 1945
© Knothe & Bruce Architects, LLC

LOT COVERAGE
C-1.5 1" = 20'-0"



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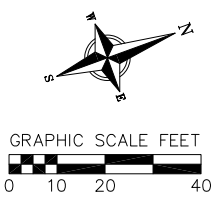
20 Nov 2019 - 12:54d M:\Flood Development\190255_4510 Regent Street, Madison\CADD\190255_Base.dwg by: jdoj

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

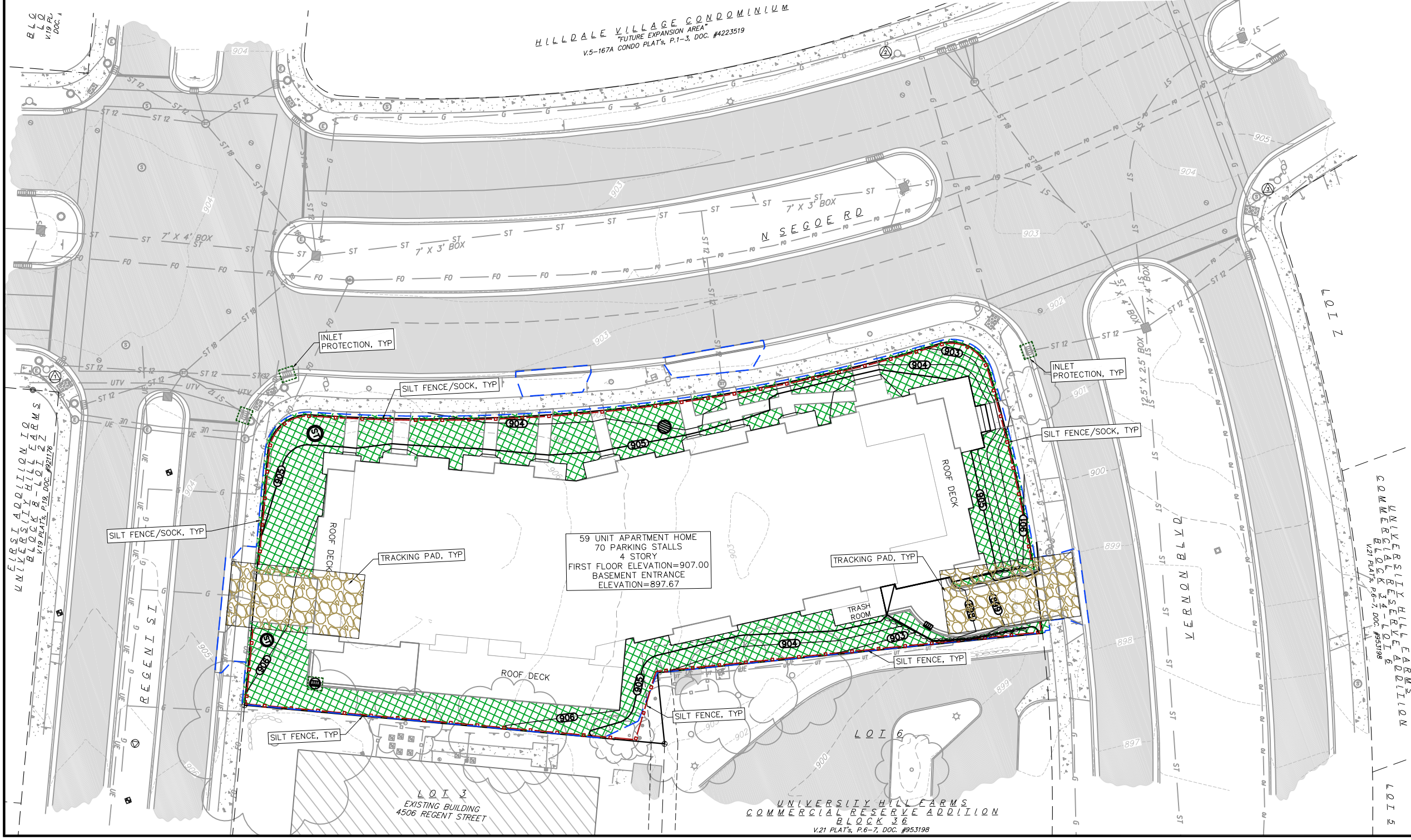
7. STABILIZED DISTURBED GROUND: TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.

12. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
13. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
14. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
15. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
16. SILT FENCE OR SILT SOCK TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
17. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
18. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
19. SEDIMENT TRAPS TO BE CONSTRUCTED AND MAINTAINED PER WDNR CONSERVATION PRACTICE STANDARD 1063.



LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 --- PROPOSED MAJOR CONTOURS
- 818 --- PROPOSED MINOR CONTOURS
- SILT FENCE/SILT SOCK
- DISTURBED LIMITS
- INLET PROTECTION
- EROSION MAT
- TRACKING PAD



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planners | engineers | advisors
Phone: (800) 261-3898

EROSION CONTROL PLAN
LOTS 4 & 5, BLOCK 36
UNIVERSITY HILL FARMS-COMMERCIAL RESERVE ADDITION
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS
1	11/20/19		CITY SUBMITTAL

SCALE:
1"=20' (24"x36")
1"=40' (11"x17")

DATE: 10/3/2019
DRAFTER: JDOJ
CHECKED: TSCH
PROJECT NO.: 190255
SHEET: 3 OF 6
DWG. NO.: C-2.0

20 Nov 2019 - 1:06a M:\Flad Development\190255_4510 Regent Street, Madison, CADD\190255_Base.dwg by: jdoj



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

NOTES:
 1. Elevations depicted on this survey are based upon NAVD88 Datum (2012 Geoid).
 2. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20193723251, 20193723252, 20193723253, 20193723254, and 20193800654. Location of buried private utilities are not within the scope of this survey.

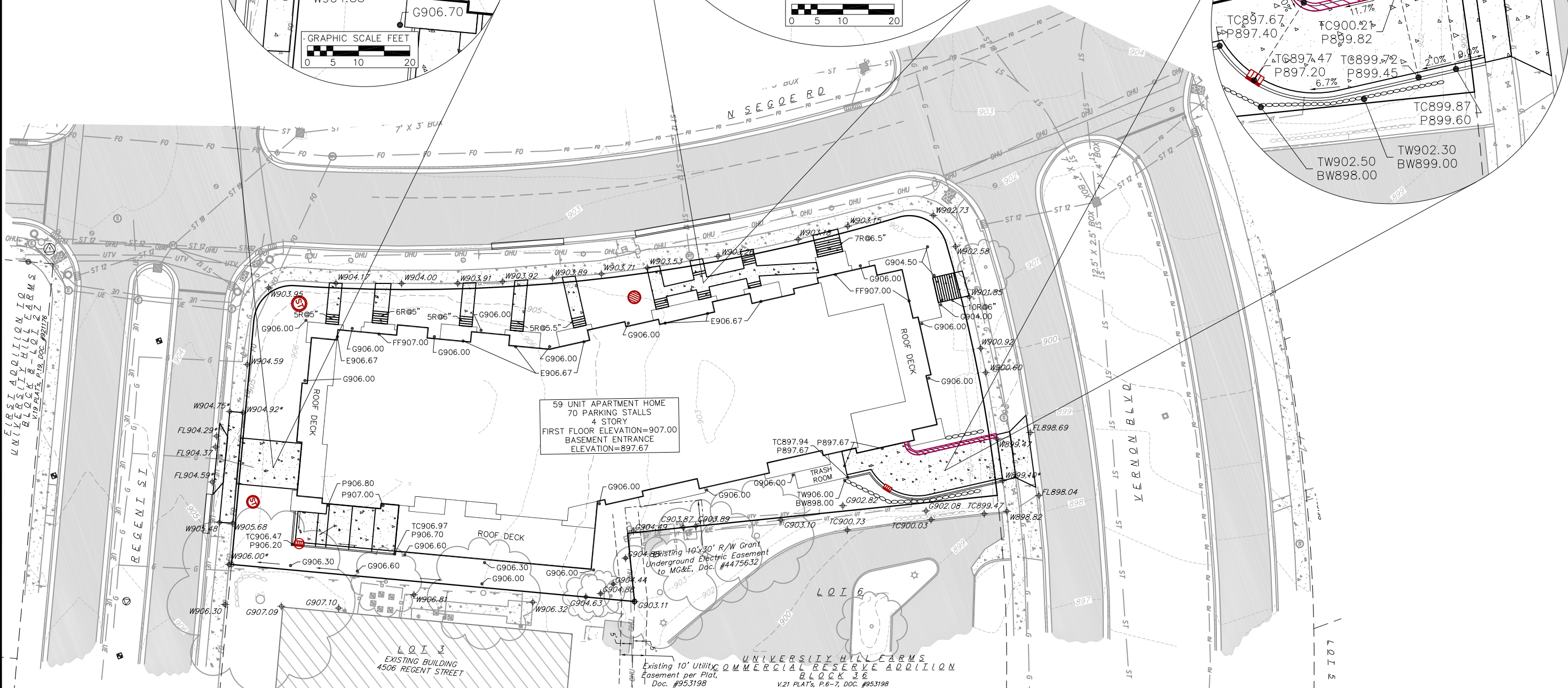
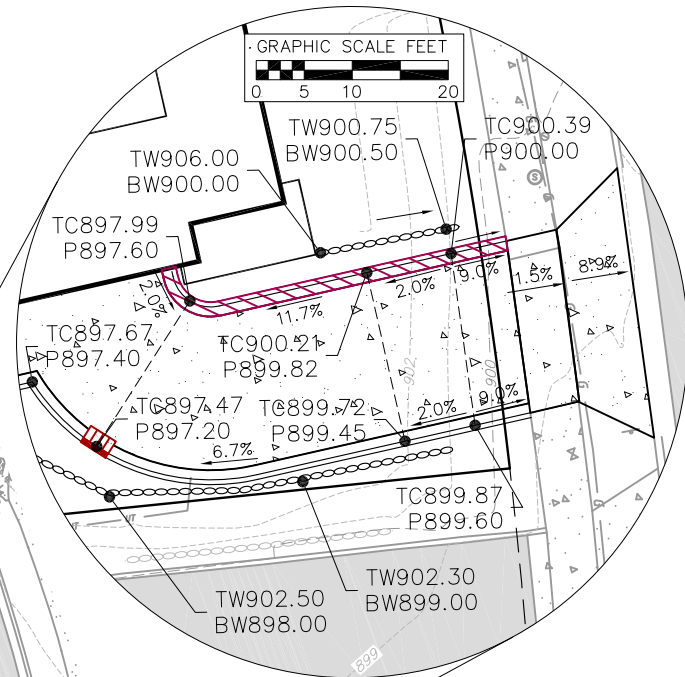
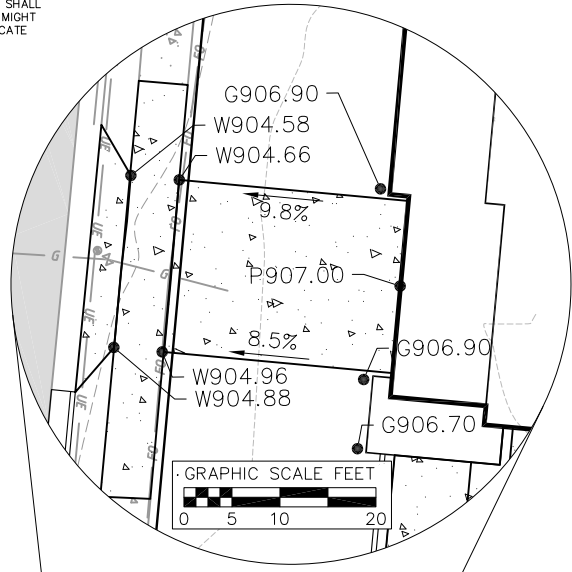
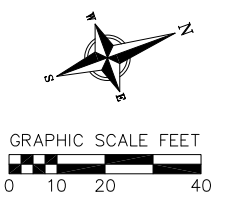
PROJECT BENCHMARKS:
 ① BENCHMARK 1 - ELEV = 907.96'; TOP NUT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SEGOE ROAD AND REGENT STREET.
 ② BENCHMARK 2 - ELEV = 906.18'; TOP NUT OF FIRE HYDRANT LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SEGOE ROAD AND VERNON BOULEVARD.
 ③ BENCHMARK 3 - ELEV = 908.01'; TOP NUT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF SEGOE ROAD AND VERNON BOULEVARD.

GRADING LEGEND

- - - 820 - - - EXISTING MAJOR CONTOURS
- - - 818 - - - EXISTING MINOR CONTOURS
- 820 — PROPOSED MAJOR CONTOURS
- 818 — PROPOSED MINOR CONTOURS
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61* SPOT ELEVATIONS INTERPOLATED FROM EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- — — CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE

ABBREVIATIONS

- BW - BOTTOM OF RETAINING WALL
- C - TOP OF CONCRETE
- E - ENTRANCE ELEVATION
- FF - FIRST FLOOR ELEVATION
- FL - FLOW LINE OF CURB
- G - GROUND
- P - PAVEMENT
- R - STAIR RISER
- TC - TOP OF CURB
- TW - TOP OF RETAINING WALL
- W - SIDEWALK

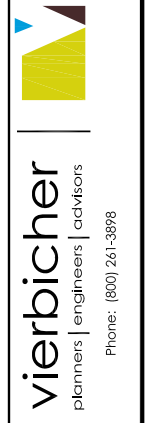


FIRST ADDITION TO UNIVERSITY HILL FARMS BLOCK 36 - LOT 22 V19 PLAT, P-19, DOC. #952176

GRADING PLAN
 LOTS 4 & 5, BLOCK 36
 UNIVERSITY HILL FARMS-COMMERCIAL RESERVE ADDITION
 CITY OF MADISON, DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	11/20/19	CITY SUBMITTAL	

SCALE	1"=20' (24"x36") 1"=40' (11"x17")
DATE	10/3/2019
DRAFTER	JDOJ
CHECKED	TSCH
PROJECT NO.	190255
SHEET	4 OF 6
DWG. NO.	C-3.0



20 Nov 2019 - 1:07a M:\Flad Development\190255_4510 Regent Street, Madison, CADD\190255_Base.dwg by: jdoj



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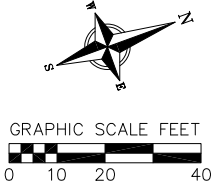
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- BENCHMARK 3 - ELEV. = 908.01';** TOP NUT OF FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF SEGOE ROAD AND VERNON BOULEVARD.

UTILITY NOTES:

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(4).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.30(2).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.30(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.

- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR IS TO COMPLETE TEST HOLES TO OBTAIN CROSSING ELEVATIONS AT ALL UTILITY CROSSING LOCATIONS TO VERIFY ELEVATIONS ARE NOT IN CONFLICT.
- SURVEYOR SHALL CHECK ANY LOCATIONS WHERE PROPOSED SANITARY AND STORM SEWER IS CONNECTING INTO EXISTING SANITARY AND STORM SEWER TO VERIFY EXISTING INVERT ELEVATIONS. CONTACT ENGINEER WITH ANY PLAN DISCREPANCIES.

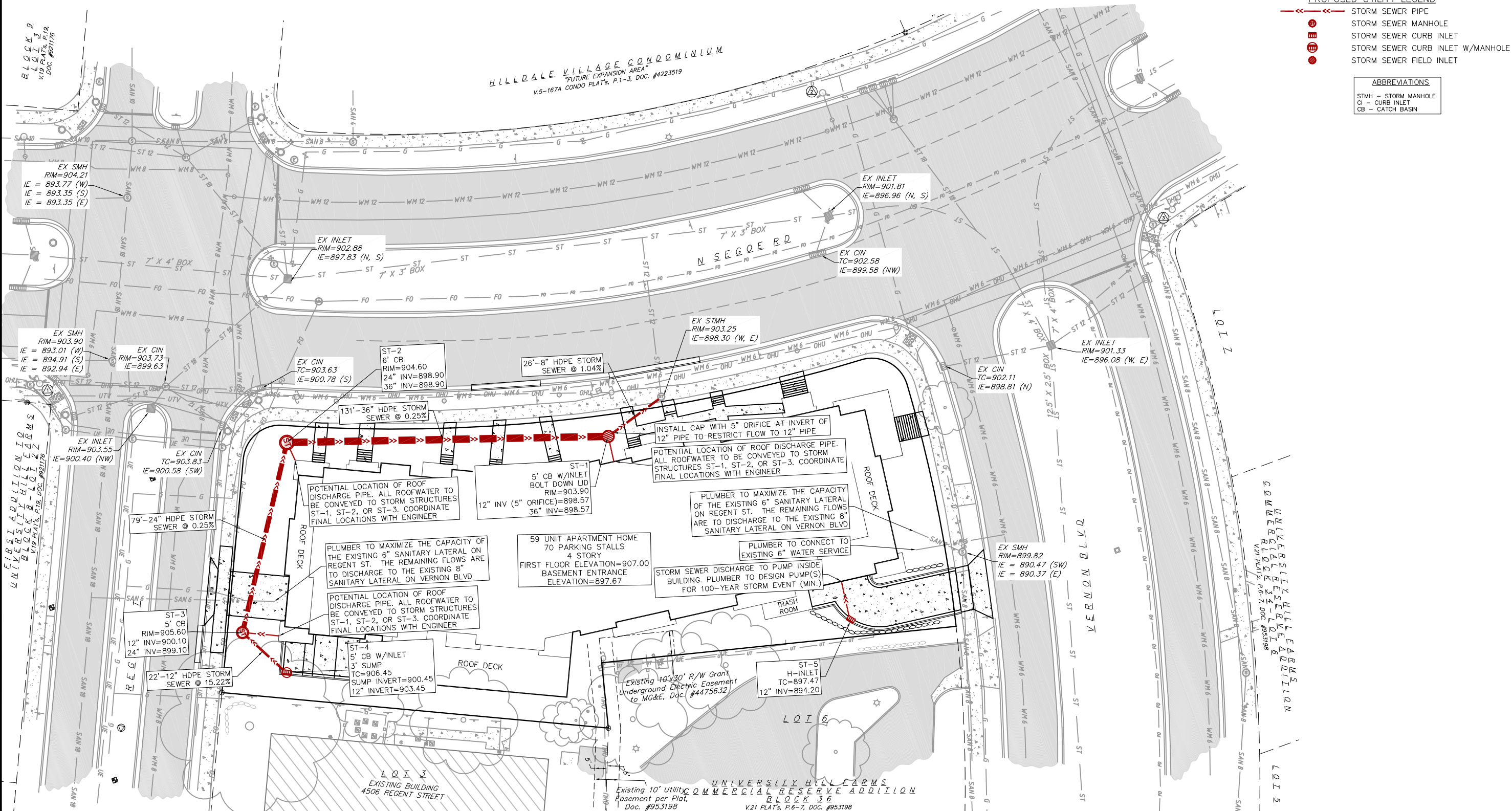


PROPOSED UTILITY LEGEND

- > STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET

ABBREVIATIONS

- STMH - STORM MANHOLE
- CI - CURB INLET
- CB - CATCH BASIN

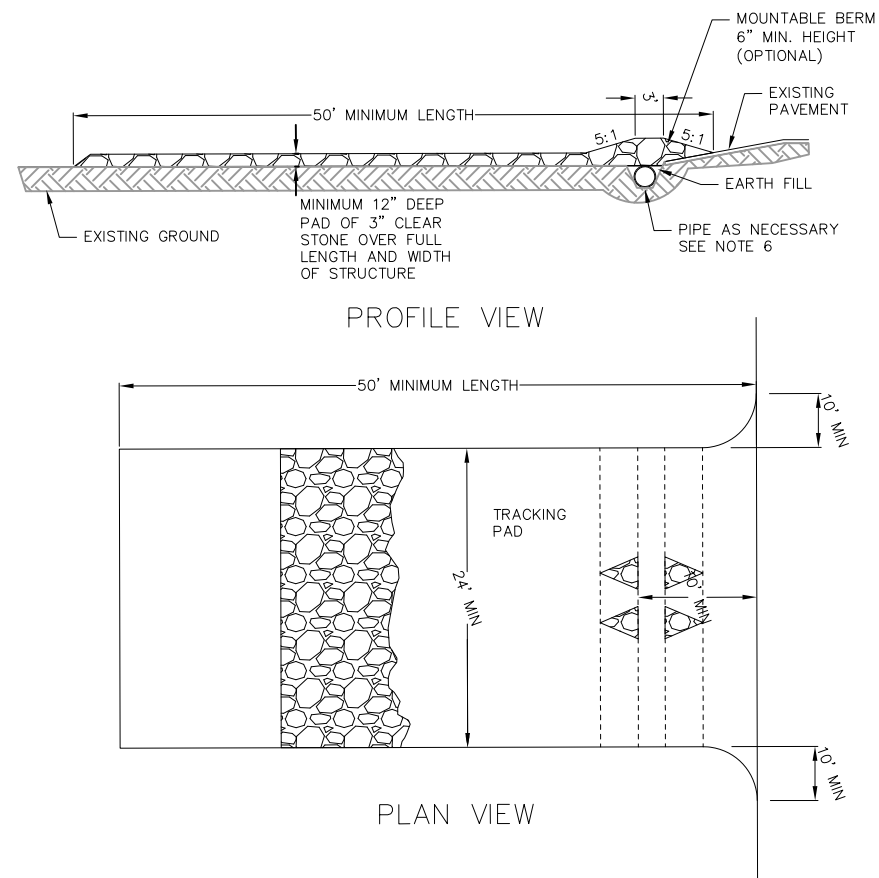
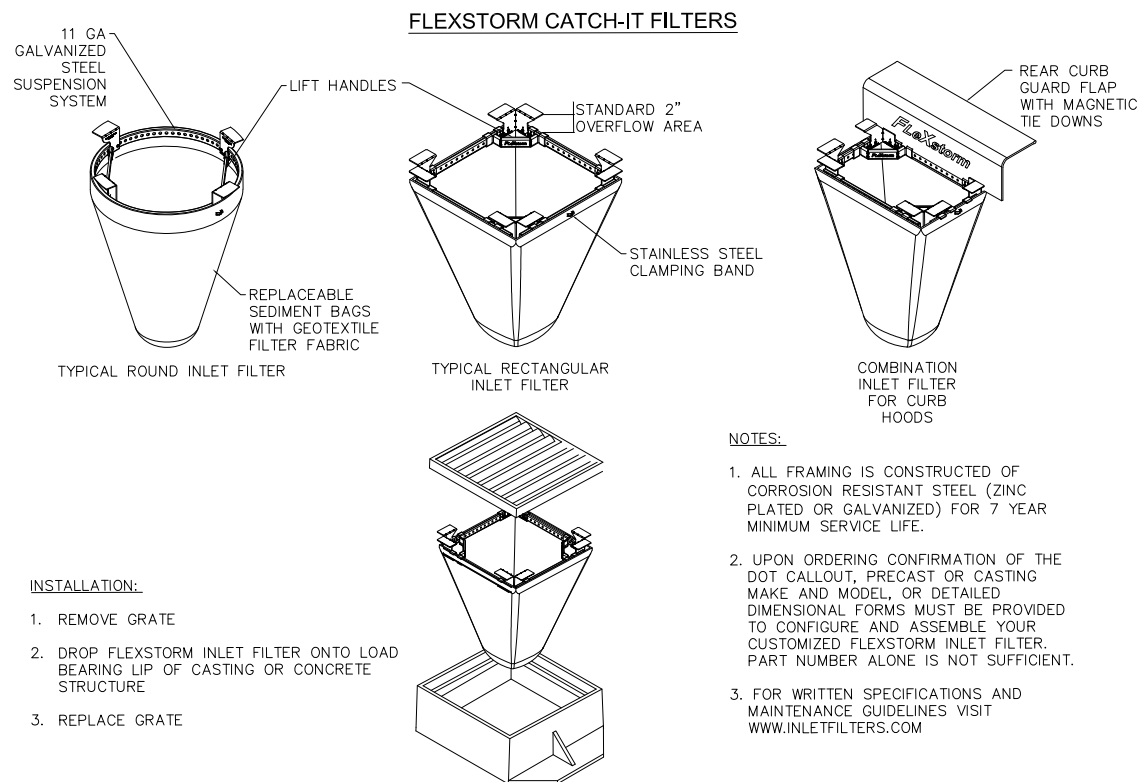


UTILITY PLAN
 LOTS 4 & 5, BLOCK 36
 UNIVERSITY HILL FARMS-COMMERCIAL RESERVE ADDITION
 CITY OF MADISON, DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	11/20/19		CITY SUBMITTAL

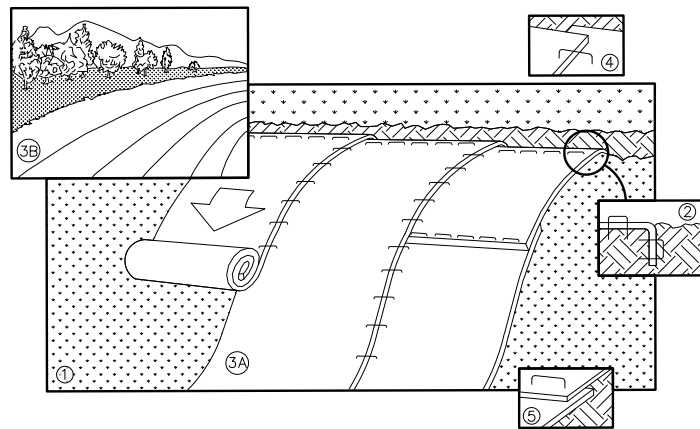
SCALE: 1"=20' (24"x36")
 1"=40' (11"x17")

DATE: 10/3/2019
 DRAFTER: JDOJ
 CHECKED: TSCH
 PROJECT NO.: 190255
 SHEET: 5 OF 6
 DWG. NO.: C-4.0



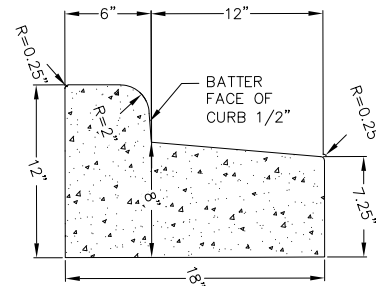
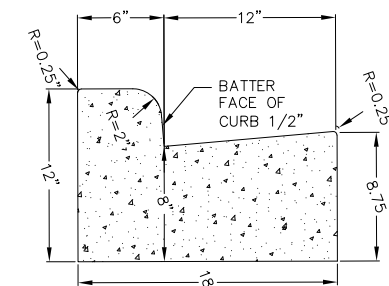
- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1
FRAMED INLET PROTECTION
NOT TO SCALE



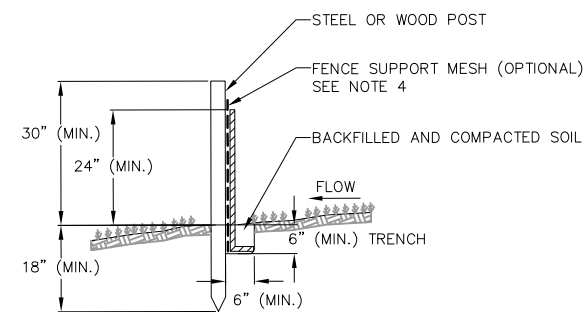
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- TYPE A, URBAN E-MAT SHALL BE USED WITHIN THE PUBLIC ROAD RIGHT OF WAY ON WEST END CIRCLE AND WALL STREET FOR RESTORATION. MULCH SHALL NOT BE USED WITHIN THE PUBLIC ROAD RIGHT OF WAY.



3
18" CONCRETE CURB AND GUTTER
NOT TO SCALE

4
TRACKING PAD
NOT TO SCALE



- NOTES:**
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
 - CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
 - POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
 - SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

2
EROSION MAT
NOT TO SCALE

5
SILT FENCE
NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS
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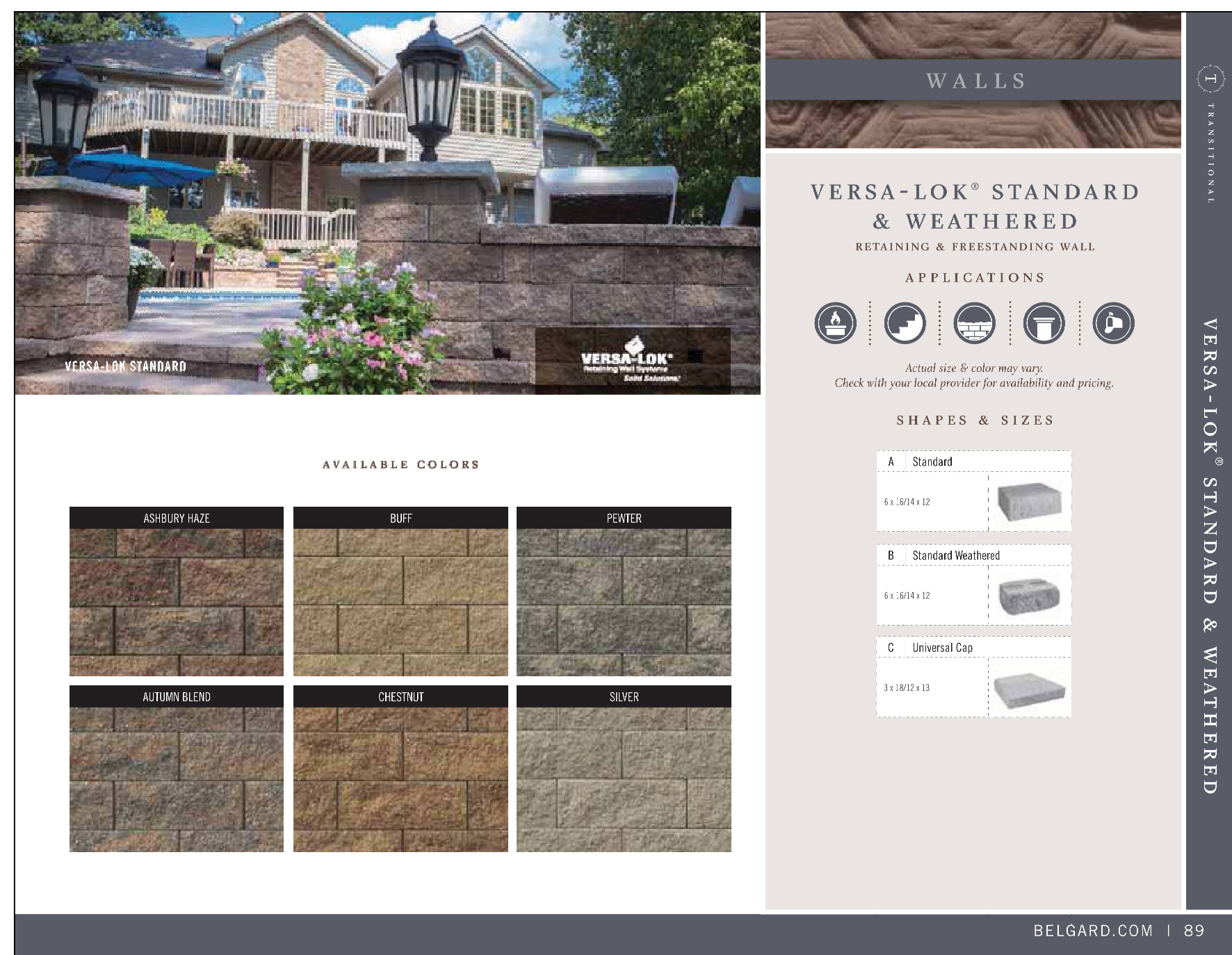
DRAFTER: JDOY

CHECKED: TSCH

PROJECT NO.: 190255

SHEET: 6 OF 6

DWG. NO.: C-5.0



GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "Eau Claire washed stone" to receive 1-1/2" Eau Claire washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Foxy II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Gimney Kentucky Bluegrass
- G) Areas labeled "Seed/Straw Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-
<http://www.cityofmadison.com/business/pw/documents/StdSpecs/2019/Part I.pdf>.
- J) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
4	ARM	Armstrong Maple	Acer X Freemanii 'armstrong'	2 1/2" B&B
4	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	7" B&B
3	GGCT	Golden Glory Corn Cherry (f)	Cornus Mas 'golden Glory' (f)	2" B&B
1	EKC	Espresso Kentucky Coffeetree	Gymmodiads Dioicis 'espresso-jfs'	2" B&B
5	RJC	Red Jewel Crabapple	Malus 'jewelcole'	2" B&B
6	RPO	Regal Prince English Oak	Quercus Robur 'long'	2 1/2" B&B

Plant Material List

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
17	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
3	HA	Holmstrup Arborvitae	Thuja Occidentalis 'holmstrup'	5' B&B
16	EA	Emerald Arborvitae	Thuja Occidentalis 'smazgl'	6' B&B
12	WGA	Woodward Globe Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
54	KFG	Karl Foerster's Feather Reed G	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
17	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
66	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	GFS	Goldflame Spirea	Spiraea Japonica 'goldflame'	#3 CONT.
7	CLV	Chicago Lustre Arwd Viburnum	Viburnum Dentatum 'symstedt'	4" B&B

MADISON LANDSCAPE WORKSHEET

Zoning district is TRU-2
 Total square footage of developed area8,460 SF
 Total square footage of first 5 acres of developed area + 300 square feet =28 Landscape Units
 Total square footage of 0 additional acres of developed area + 100 square feet =0 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
 28 Landscape Units x 5 landscape points for first 5 acres..... 140 points
 0 Landscape Units x 1 landscape point for additional 0 acres.....0 points
TOTAL LANDSCAPE POINTS REQUIRED.....140 points

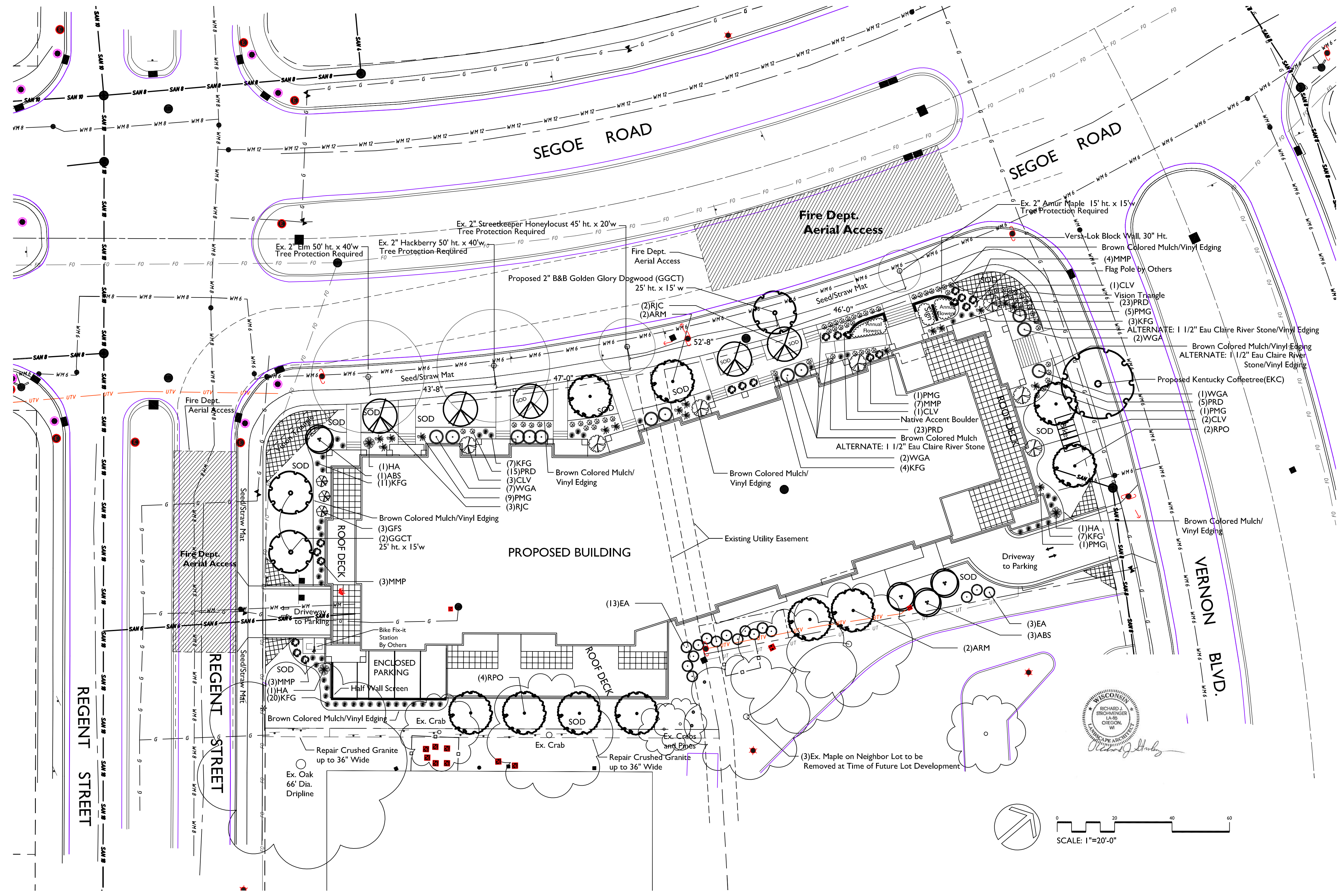
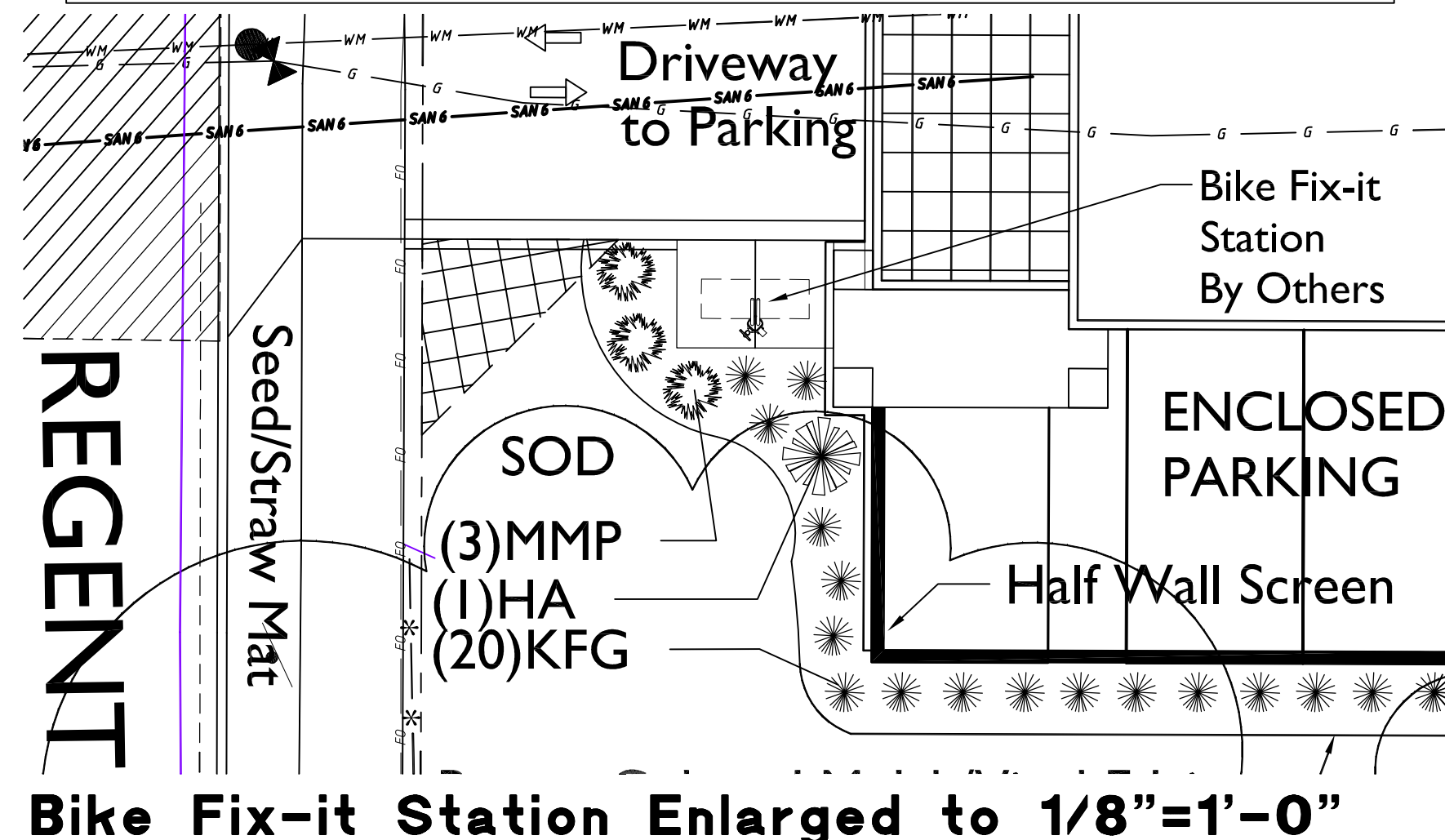
PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	10	350			= 1,125
Tall Evergreen Tree : 5-6 feet tall	35	0	0			
Ornamental Tree : 1-1/2" Caliper (dbh)	15	11	165			
Upright Evergreen Shrub : 3-4 feet tall	10	19	190			
Shrub, deciduous : 3 gallon / 12"-24"	3	10	30			
Shrub, evergreen : 3 gallon / 12"-24"	4	29	116			
Ornamental grass/perennial : 1 gallon / 8"-18"	2	137	274			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
Sub Totals		1,125		+	NA	

Street Frontage Landscape Required

Street Frontage = 481 LF
 Canopy Trees Required: 1 per 30 LF Frontage = 16
 Shrubs Required : 5 per 30 LF Frontage = 80

Street Frontage Landscape Supplied

Proposed Canopy Trees = 10.....Due to site constraints we request alternative requirements as shown per plan
 Proposed Shrubs = 42Due to site constraints we request alternative requirements as shown per plan



Checked By: SS
 Drawn By: 11/14/19 RS
 Revised: 1/14/20 RS
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:
 Revised:



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Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

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PROJECT TITLE
FLAD - SEGOE

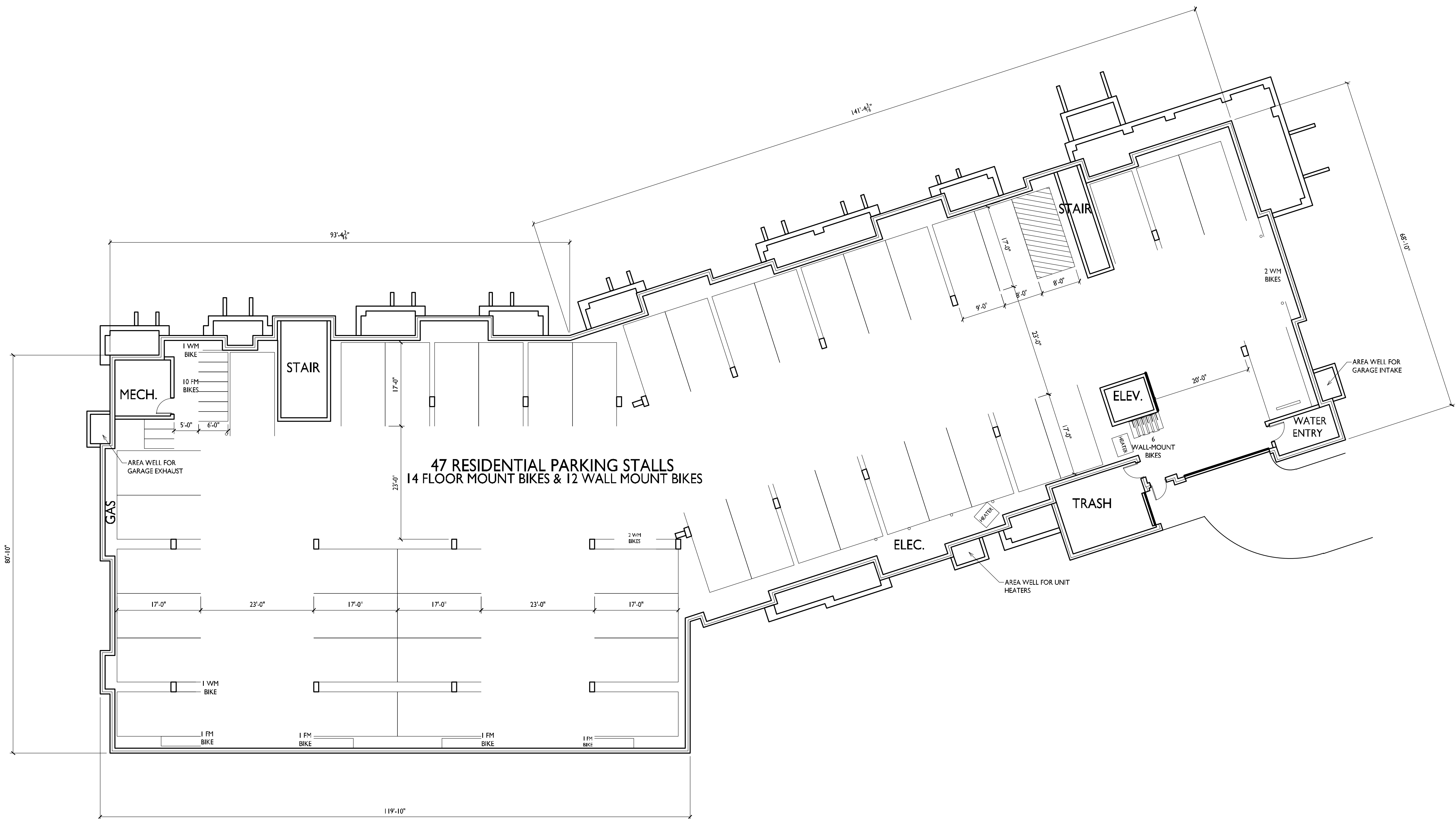
Site Address:
4510 Regent St & 4513
Vernon Blvd.
SHEET TITLE
Basement Floor
Plan

SHEET NUMBER

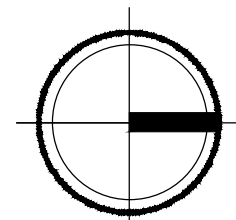
A-1.0

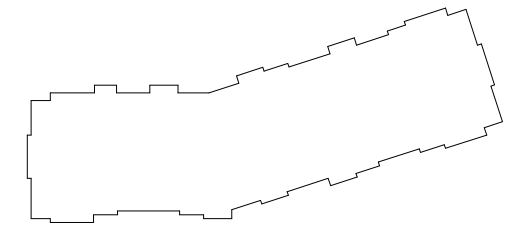
PROJECT NO. 1945

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1 BASEMENT FLOOR PLAN
A-1.0 3/32" = 1'-0"





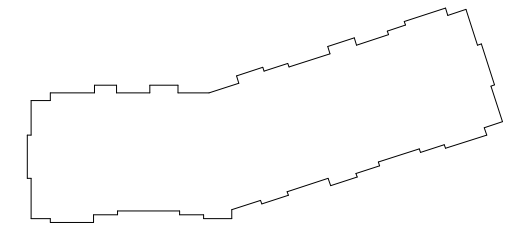
1
A-1.1 **FIRST FLOOR PLAN**
3/32" = 1'-0"



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KEY PLAN



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PROJECT TITLE
FLAD - SEGOE

4510 REGENT ST. &
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MADISON, WI

SHEET TITLE
**Second
Floor Plan**

SHEET NUMBER

A-1.2

PROJECT NUMBER **1945**

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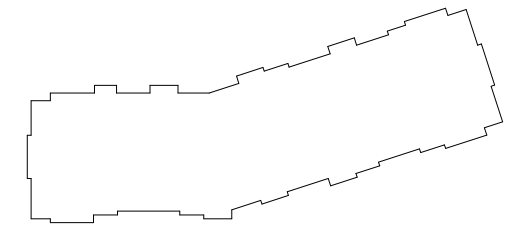
1 SECOND FLOOR PLAN
A-1.2 3/32" = 1'-0"



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PROJECT TITLE
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MADISON, WI

SHEET TITLE
**Third Floor
Plan**

SHEET NUMBER

A-1.3

PROJECT NUMBER **1945**

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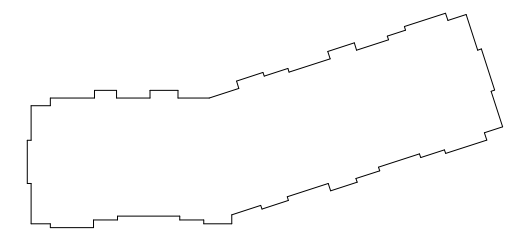
1 THIRD FLOOR PLAN
A-1.3 3/32" = 1'-0"



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MADISON, WI

SHEET TITLE
Fourth Floor
Plan

SHEET NUMBER

A-1.4

PROJECT NUMBER 1945

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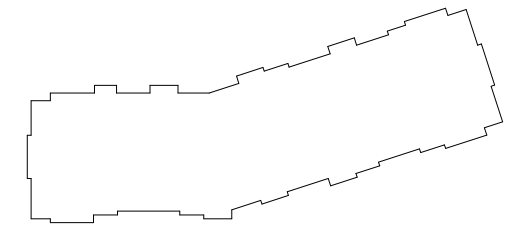
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A-1.4
FOURTH FLOOR PLAN
3/32" = 1'-0"



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KEY PLAN



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PROJECT TITLE
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MADISON, WI

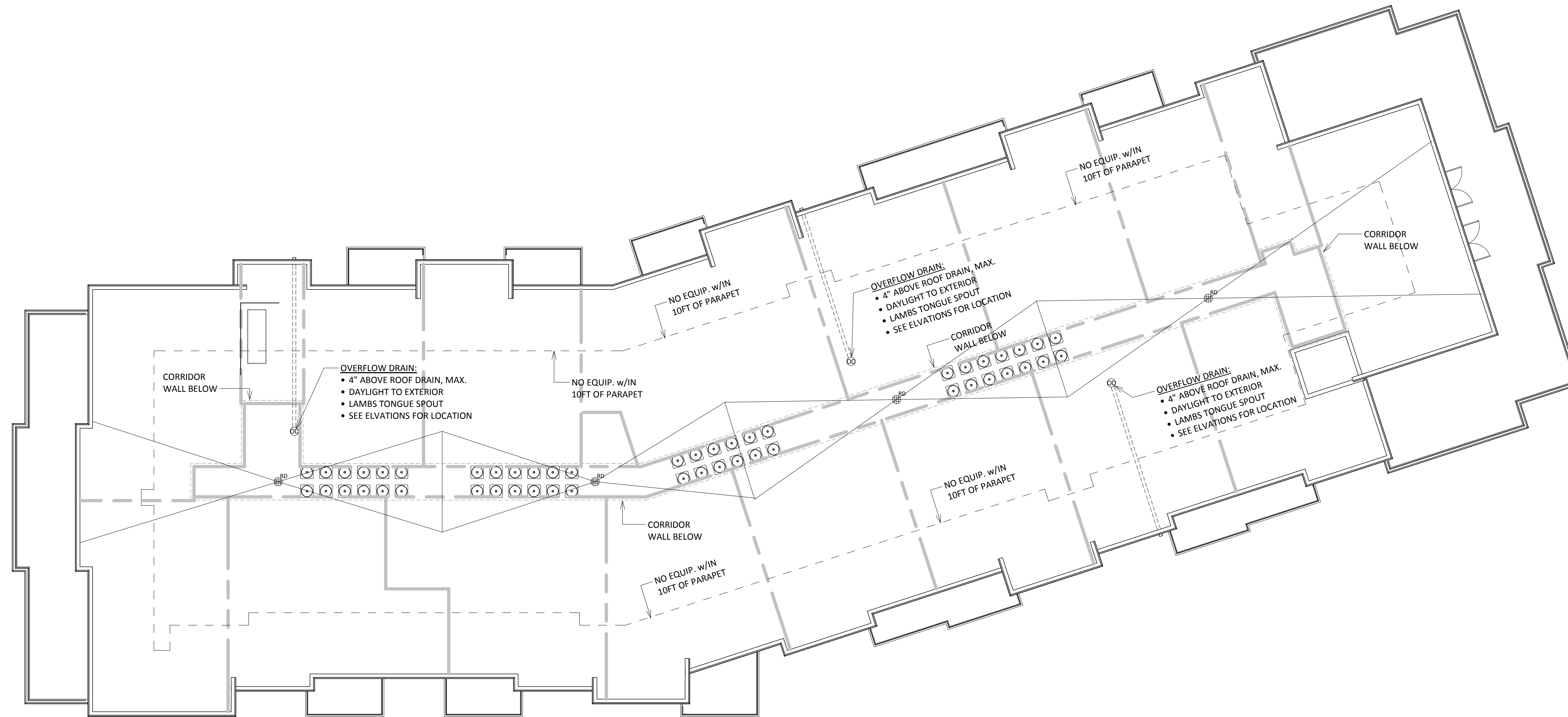
SHEET TITLE
Roof Plan

SHEET NUMBER

A-1.5

PROJECT NUMBER **1945**

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1 ROOF PLAN
A-1.5 3/32" = 1'-0"



1 PARTIAL WEST ELEVATION
A-2.1 1/8" = 1'-0"



2 PARTIAL WEST ELEVATION
A-2.1 1/8" = 1'-0"

TYPICAL MATERIALS

- COMPOSITE SIDING (#1)
- COMPOSITE SIDING (#2)
- ALUMINIUM RAILING
- COMPOSITE TRIM
- COMPOSITE WINDOWS
- COMPOSITE PANELING
- STONE VENEER
- CAST STONE HEADS, SILLS & BANDS

EXTERIOR MATERIAL SCHEDULE

BUILDING ELEMENT	MANUFACTURER	COLOR
6" COMPOSITE LAP SIDING (#1)	JAMES HARDIE	NIGHT GRAY
6" COMPOSITE LAP SIDING (#2)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE PANEL	JAMES HARDIE	NIGHT GRAY
COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
STONE VENEER	NATURAL STONE VENEERS	SUTTON
VINYL WINDOWS	ANDERSON SILVERLINE	WHITE
ALUM. STOREFRONT	N/A	BLACK ANODIZED
METAL DOORS/FRAMES	N/A	MATCH WINDOWS
STONE SILLS & BANDS	EDWARDS	TBD
SOFFITS & FASCIA	N/A	MATCH COMPOSITE TRIM
RAILINGS	N/A	BLACK

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PROJECT TITLE
FLAD - SEGOE

4510 REGENT ST. &
4513 VERNON BLVD.
MADISON, WI

SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.1

PROJECT NUMBER 1945

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1 NORTH ELEVATION
A-2.2 1/8" = 1'-0"



2 SOUTH ELEVATION
A-2.2 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
6" COMPOSITE LAP SIDING (#1)	JAMES HARDIE	NIGHT GRAY
6" COMPOSITE LAP SIDING (#2)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE PANEL	JAMES HARDIE	NIGHT GRAY
COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
STONE VENEER	NATURAL STONE VENEERS	SUTTON
VINYL WINDOWS	ANDERSON SILVERLINE	WHITE
ALUM. STOREFRONT	N/A	BLACK ANODIZED
METAL DOORS/FRAMES	N/A	MATCH WINDOWS
STONE SILLS & BANDS	EDWARDS	TBD
SOFFITS & FASCIA	N/A	MATCH COMPOSITE TRIM
RAILINGS	N/A	BLACK



1 PARTIAL EAST ELEVATION
A-2.3 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION
A-2.3 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
6" COMPOSITE LAP SIDING (#1)	JAMES HARDIE	NIGHT GRAY
6" COMPOSITE LAP SIDING (#2)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE PANEL	JAMES HARDIE	NIGHT GRAY
COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
STONE VENEER	NATURAL STONE VENEERS	SUTTON
VINYL WINDOWS	ANDERSON SILVERLINE	WHITE
ALUM. STOREFRONT	N/A	BLACK ANODIZED
METAL DOORS/FRAMES	N/A	MATCH WINDOWS
STONE SILLS & BANDS	EDWARDS	TBD
SOFFITS & FASCIA	N/A	MATCH COMPOSITE TRIM
RAILINGS	N/A	BLACK

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PROJECT TITLE
FLAD - SEGOE

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SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.3

PROJECT NUMBER 1945

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PROJECT TITLE
FLAD - SEGOE

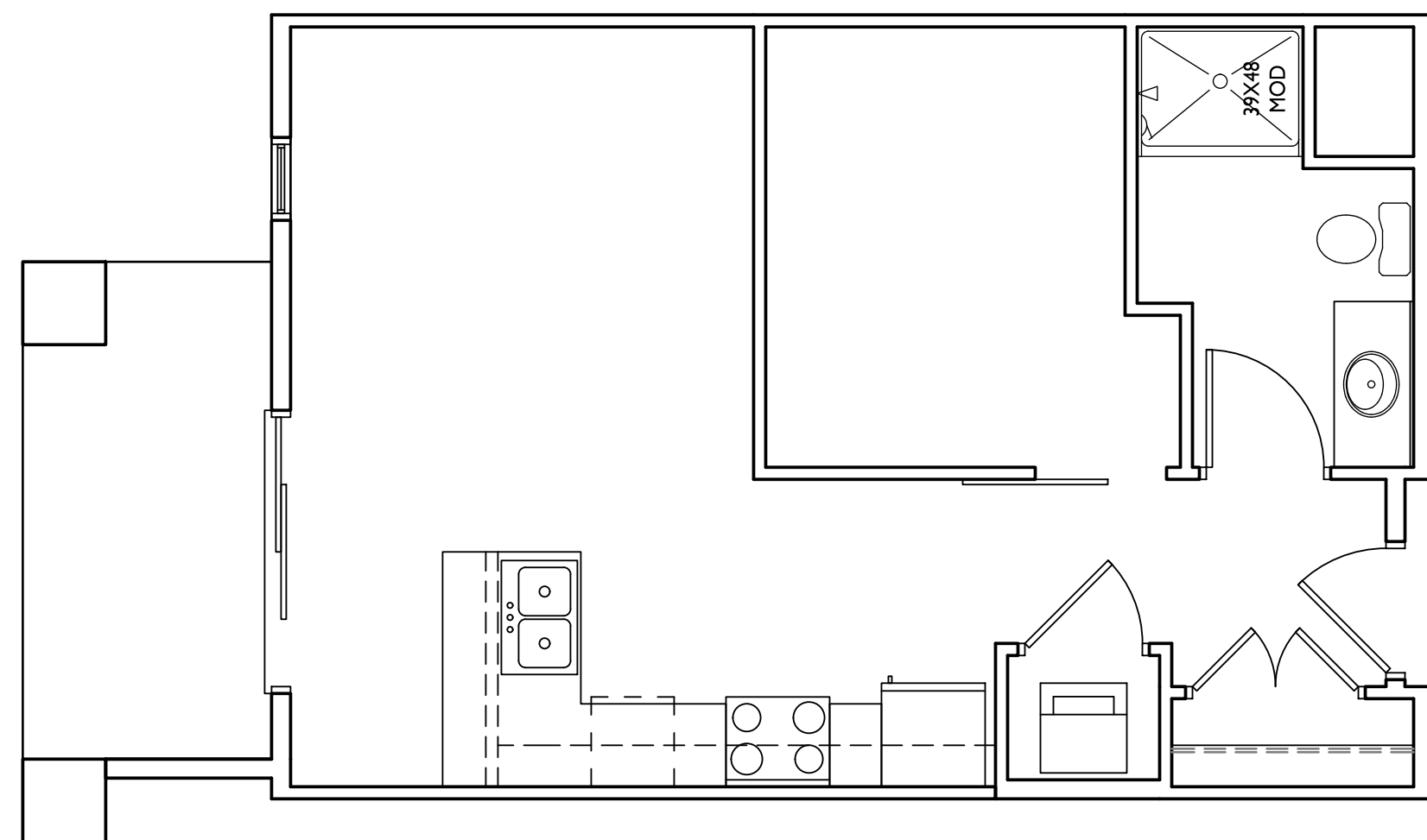
Site Address:
4510 Regent St & 4513
Vernon Blvd.
SHEET TITLE
Typical Unit Plans

SHEET NUMBER

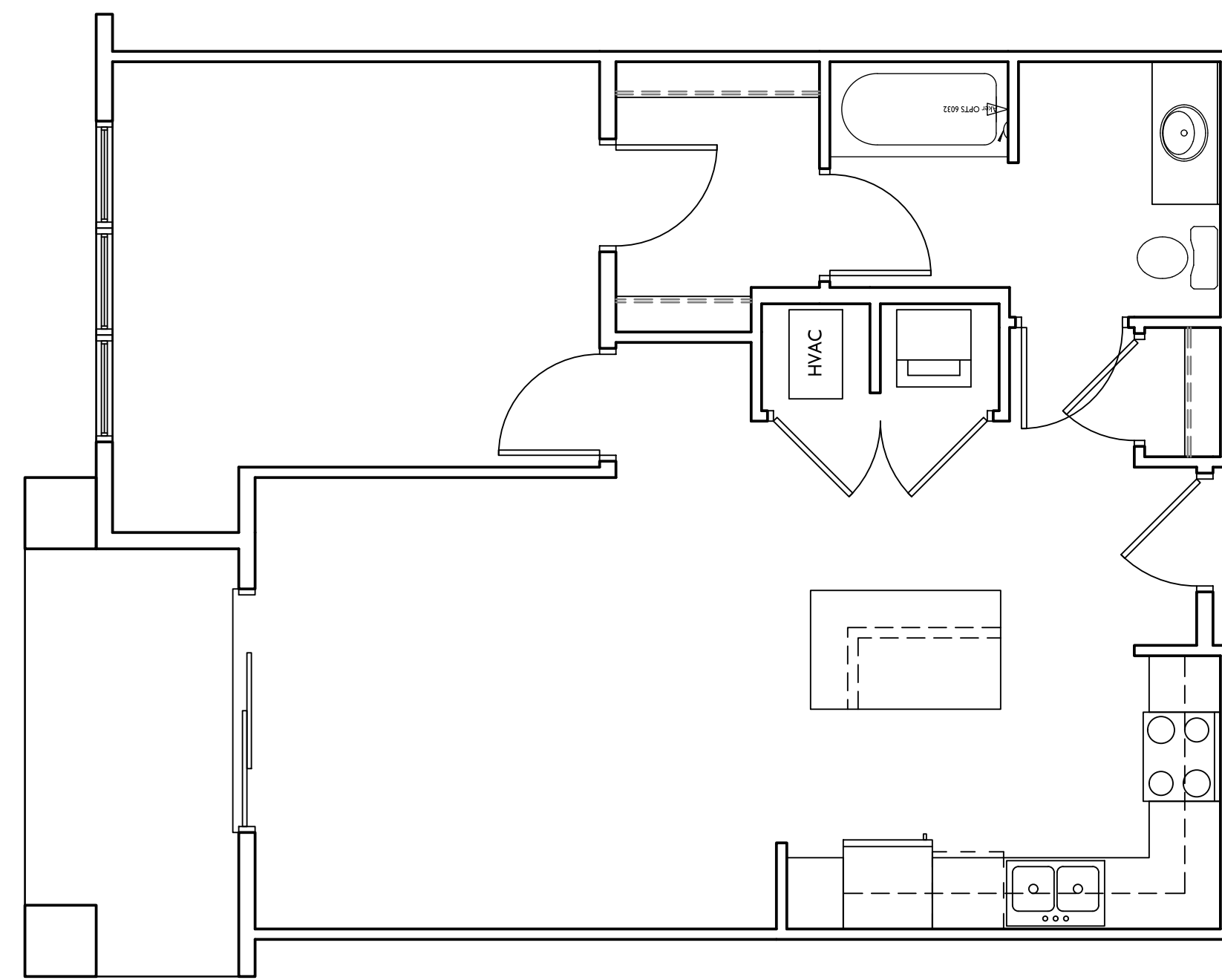
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PROJECT NO. **1945**

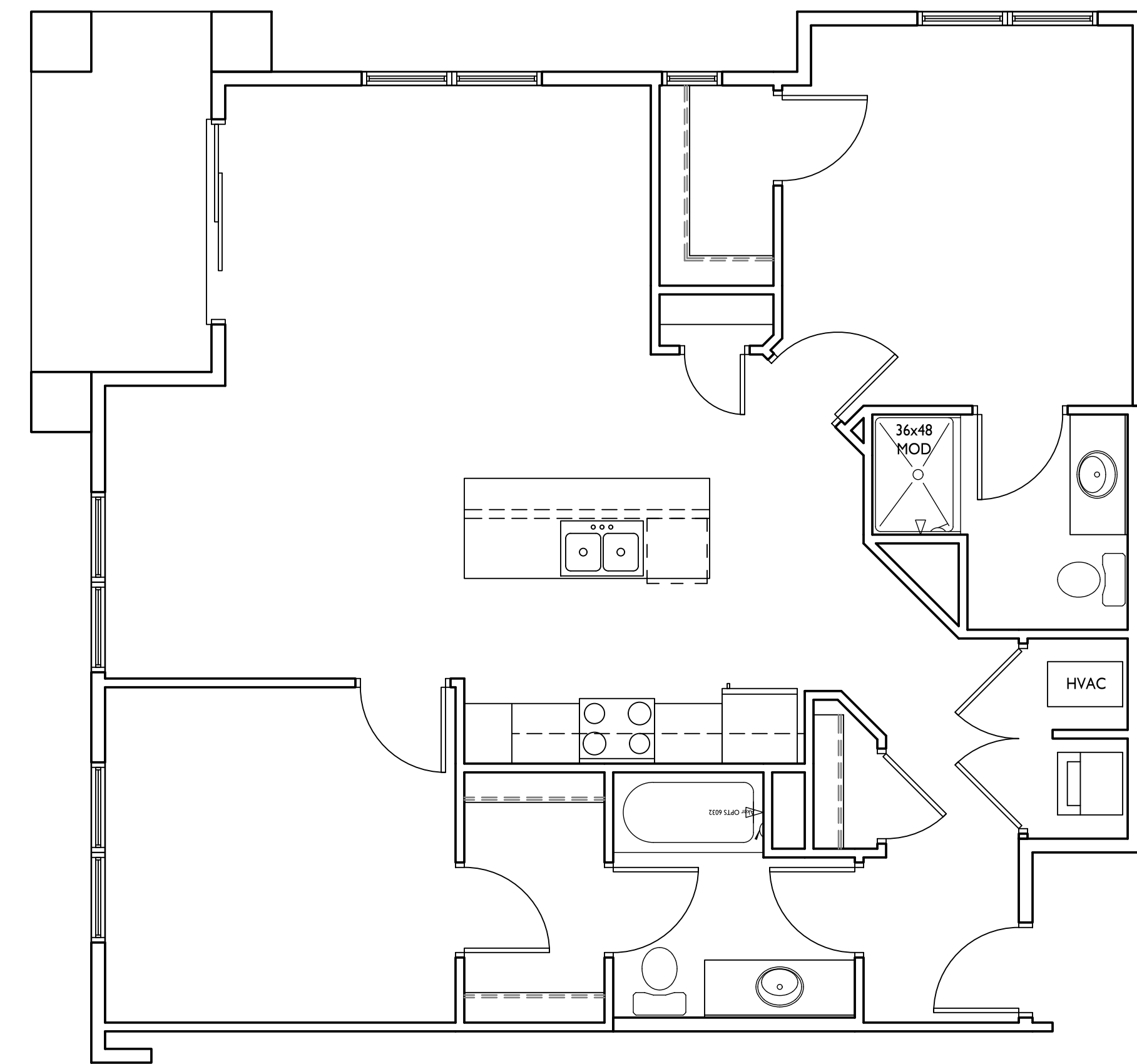
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STUDIO



ONE BEDROOM



TWO BEDROOM

TYPICAL UNIT PLANS

A-5.1 1/4" = 1'-0"