

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # \_\_\_\_\_

Project # \_\_\_\_\_

18481

DATE SUBMITTED: <u>April 28, 2010</u>	Action Requested
UDC MEETING DATE: <u>May 19, 2010</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 222 West Gorham Street

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
Urban Land Interests VALERIO DEWALT TRAIN ASSOCIATES  
10 EAST DOTY ST. Suite 300 500 North Dearborn St. 9th Fl  
MADISON, WI 53703 Chicago, IL 60654

CONTACT PERSON: Scott Acker  
Address: Quaker Steak and Lube  
2259 Deming Way, Middleton, WI 53562  
Phone: 608.831.5823 OR 262.506.4459  
Fax: \_\_\_\_\_  
E-mail address: QSL.scott.acker@gmail.com

- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_



\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

## LETTER OF INTENT

EXTERIOR REMODELING IN AN URBAN DESIGN DISTRICT  
222 WEST GORHAM STREET

April 28, 2010

This Application for Urban Design Commission Review and Approval is to allow exterior remodeling of the façade of 222 West Gorham Street. The proposed modifications are specifically related to the installation of a new restaurant tenant at 222 West Gorham Street. After twenty-five years, Uno's Chicago Grill vacated the premises at 222 West Gorham Street and 222 Venture, LLP as Landlord has entered into a lease with Wisconsin QSL, LLC d/b/a "Quaker Steak & Lube". The restaurant premises are located adjacent to Bop to the south and the City of Madison Buckeye Parking Lot to the north.

Exterior Remodeling is needed to the exterior of the building in order to a) provide a new entryway from the Gorham Street sidewalk into the restaurant, and b) provide exterior retail signage for the restaurant in a manner that is harmonious with other retail signage in this Urban Design District.

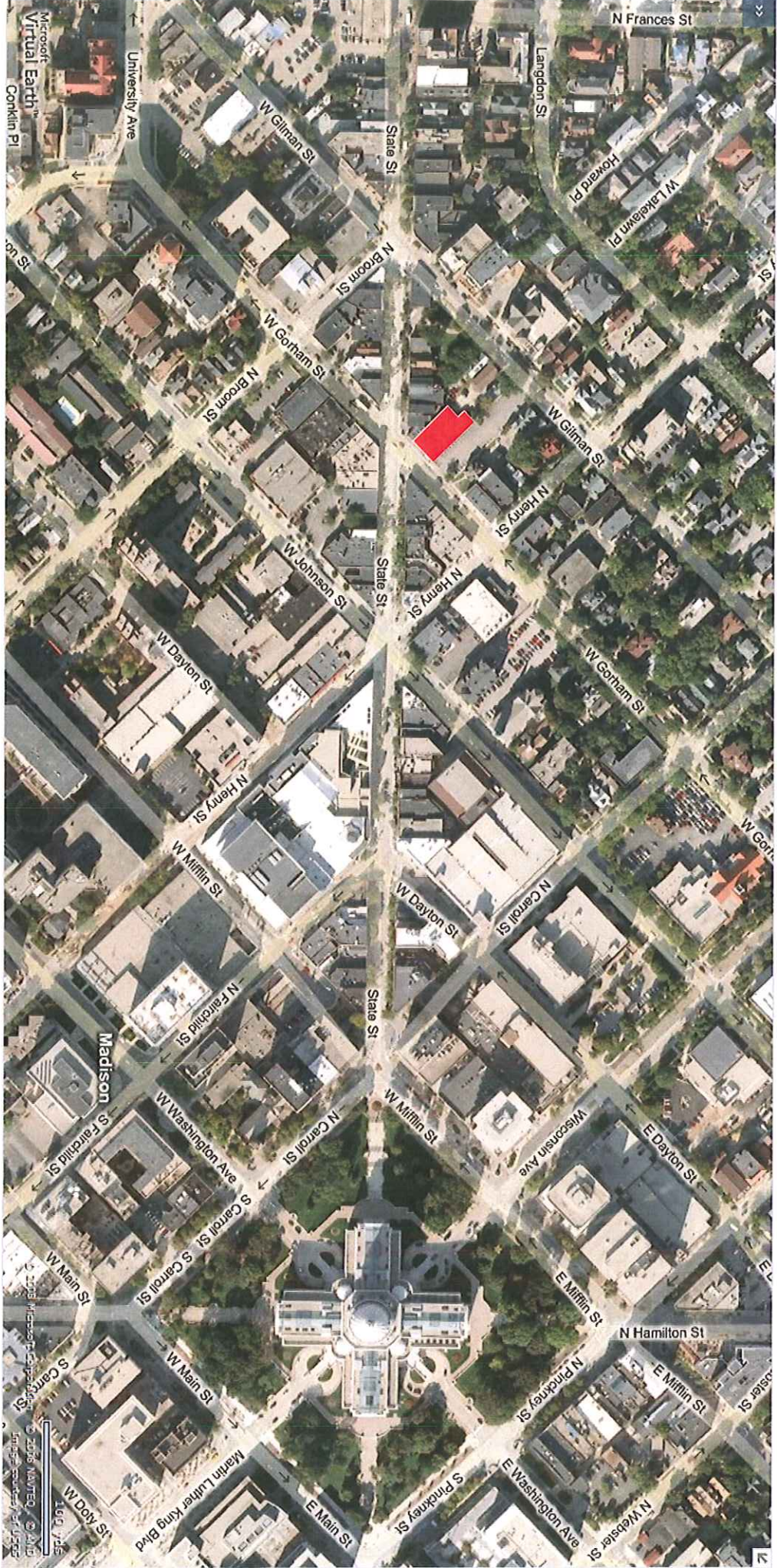
**Exterior Retail Signage.** Attached is a conceptual exterior signage location and size for Quaker Steak & Lube's restaurant.

(Exhibit list on following page)

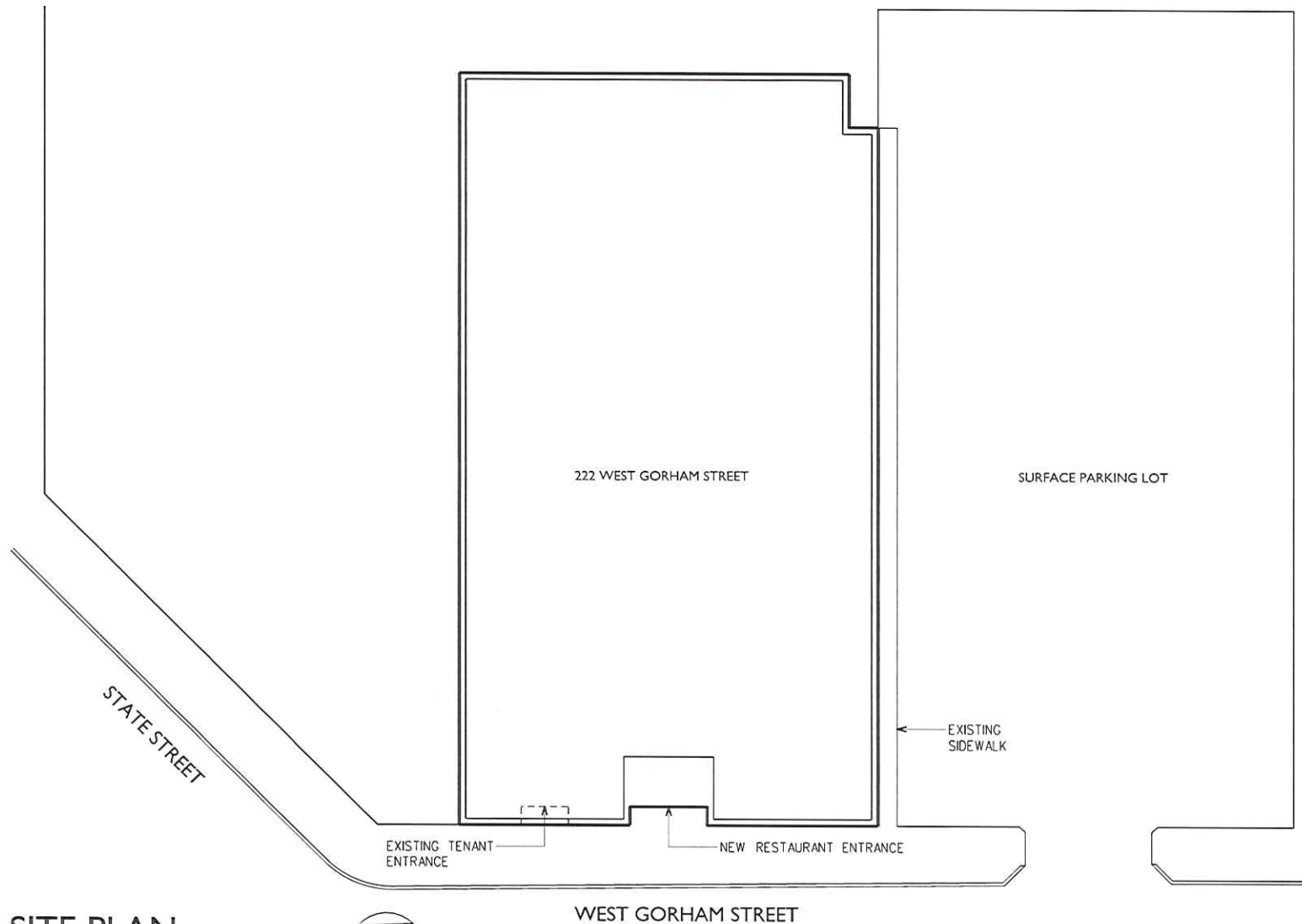
Attached are the following graphics to assist in explaining the proposed work.

- Aerial** Color aerial photo showing location
- Map** Subject Property Location
- Site Plan** Site Plan showing building and land area
- East Elevation** Elevation of 222 West Gorham showing the Exterior Remodeling of the façade including new entryway and location of exterior retail/restaurant signage.
- North Elevation** Exterior Remodeling of the façade along the East Elevation of 222 West Gorham showing location and size of exterior retail/restaurant signage.
- East Elevation** Signage specifications including color.
- North Elevation** Signage specifications including color.
- Contextual Site Information** Photographs and layout of adjacent buildings and structures.









# SITE PLAN

SCALE: 1/16" = 1'-0"



WEST GORHAM STREET



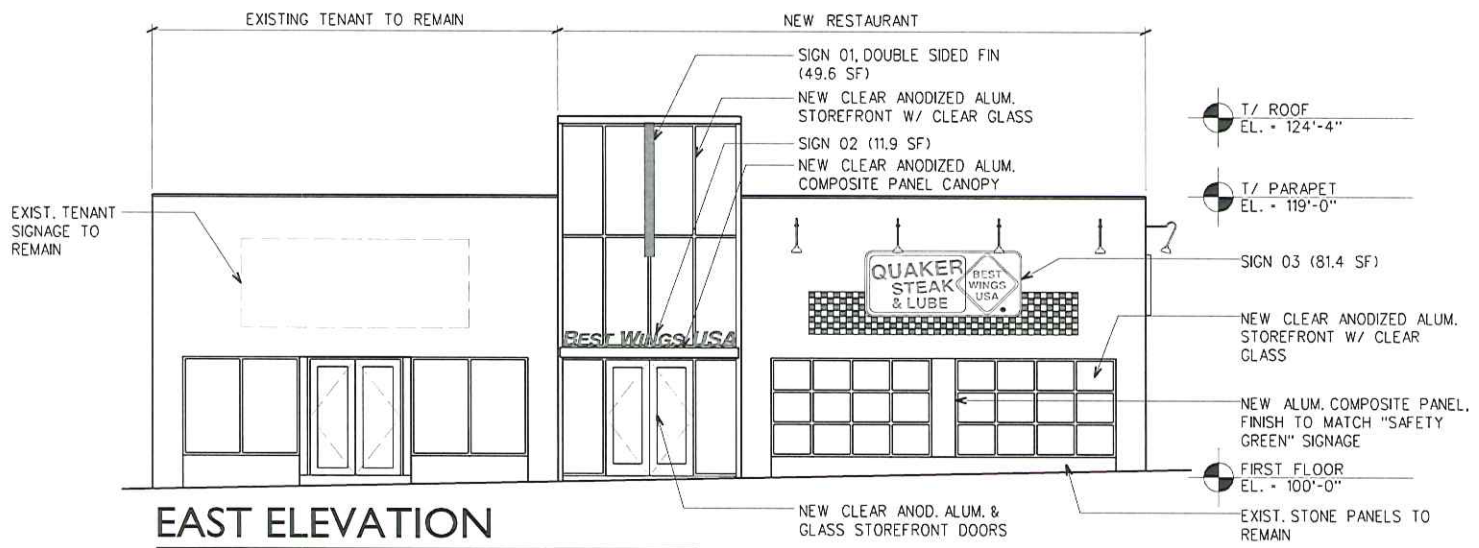
EAT

QUAKER  
STEAK  
& LUBE

BEST  
WINGS  
USA

The Lube

BEST WINGS USA



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION	
ALLOWABLE SIGNABLE AREA: 144.4 SF	
SIGN 01a:	24.8 SF
SIGN 01b:	24.8 SF
SIGN 02:	11.9 SF
SIGN 03:	81.4 SF
SOUTH ELEVATION	
ACTUAL SIGNAGE AREA: 142.9 SF	

132'-0" NTS

SIGN 01, DOUBLE SIDED FIN  
(49.6 SF)

SIGN 04 (32.7 SF)

*The Tube*

NEW CLEAR ANODIZED ALUM.  
STOREFRONT W/ CLEAR  
GLASS

T/ ROOF  
EL. • 124'-4"

T/ PARAPET  
EL. • 119'-0"

FIRST FLOOR  
EL. • 100'-0"

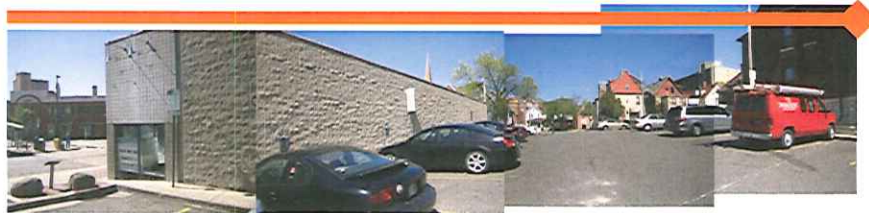
# NORTH ELEVATION

SCALE: 1/8" = 1'-0"

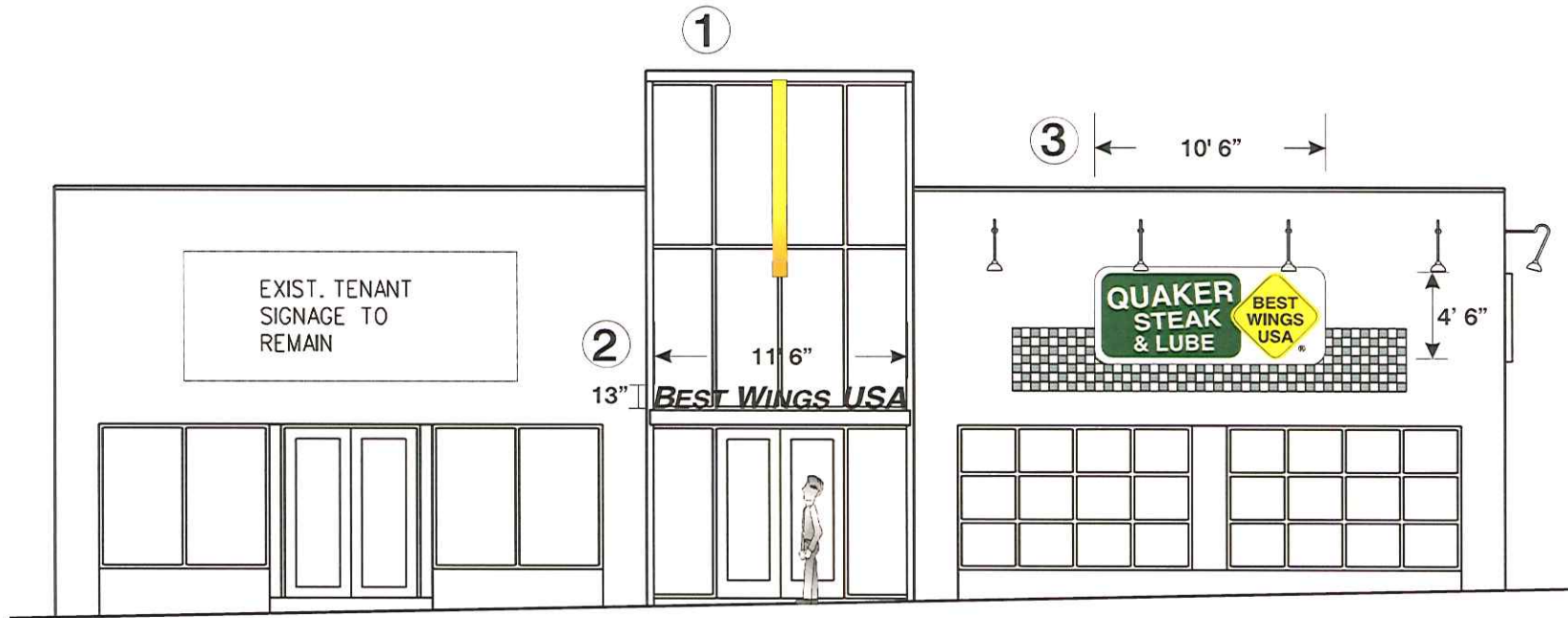


## 222 West Gorham Street—Contextual Site Information

Layout of Adjacent Buildings / Structures



- 1) Projecting Arrow Graphic
- 2) Canopy Mounted Letters
- 3) Aluminum Sign Pan



EAST ELEVATION

**Signage Color**

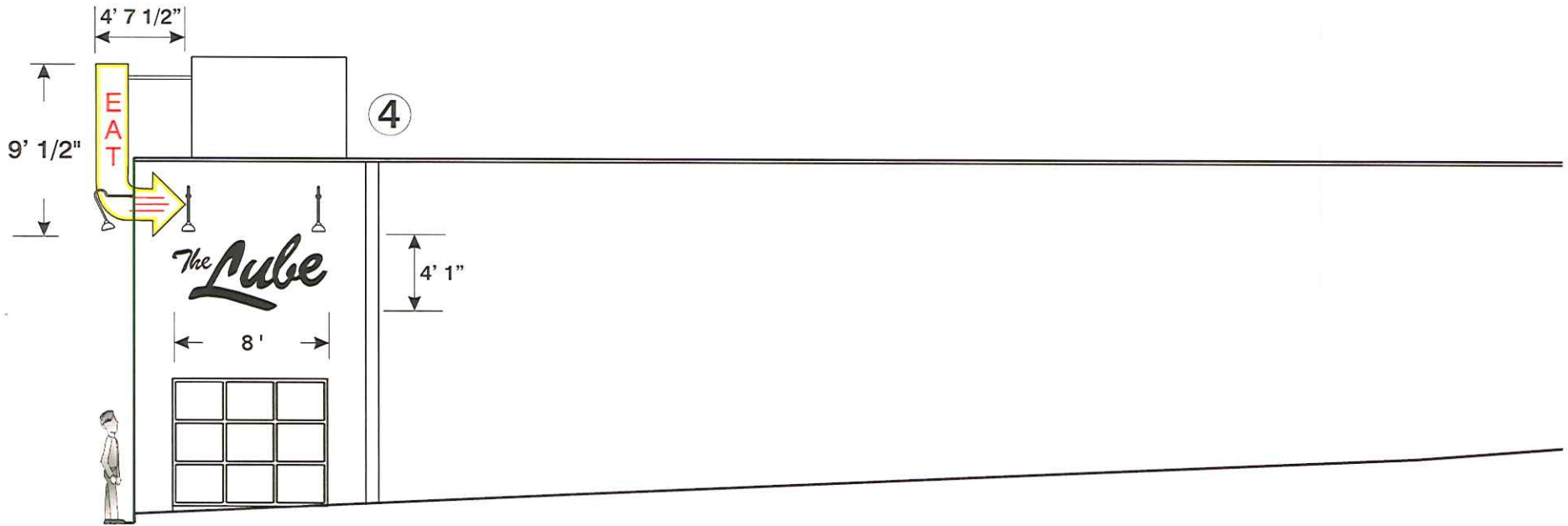
- Sherwin Williams 7005 Pure White
- Sherwin Williams 4084 Safety Yellow
- Sherwin Williams 4085 Safety Green
- Sherwin Williams Red
- Sherwin Williams Black

**Exterior Vinyl Specs.**

- PSV 3630-53 Cardinal Red

<b>Ryan Signs, Inc.</b> <small>3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853</small>		<small>SCALE: 1/8" = 1'-0"</small> <small>DATE: 4/28/10</small> <small>REVISED:</small> <small>DRAWN BY: KW</small>	<small>APPROVED:</small> <small>© Copyright 2010 by Ryan Signs, Inc.</small>
<b>QUAKER STEAK &amp; LUBE - 222 W. GORHAM</b>		<small>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc., Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.</small> <small>client signature</small>	
<b>DRAWING NUMBER:</b> <span style="font-size: 2em; font-weight: bold;">4737</span>			<small>DRAWING NUMBER:</small> <span style="font-size: 2em; font-weight: bold;">4737</span>

### 4) Fabricated Aluminum Letters



NORTH ELEVATION

#### Signage Color

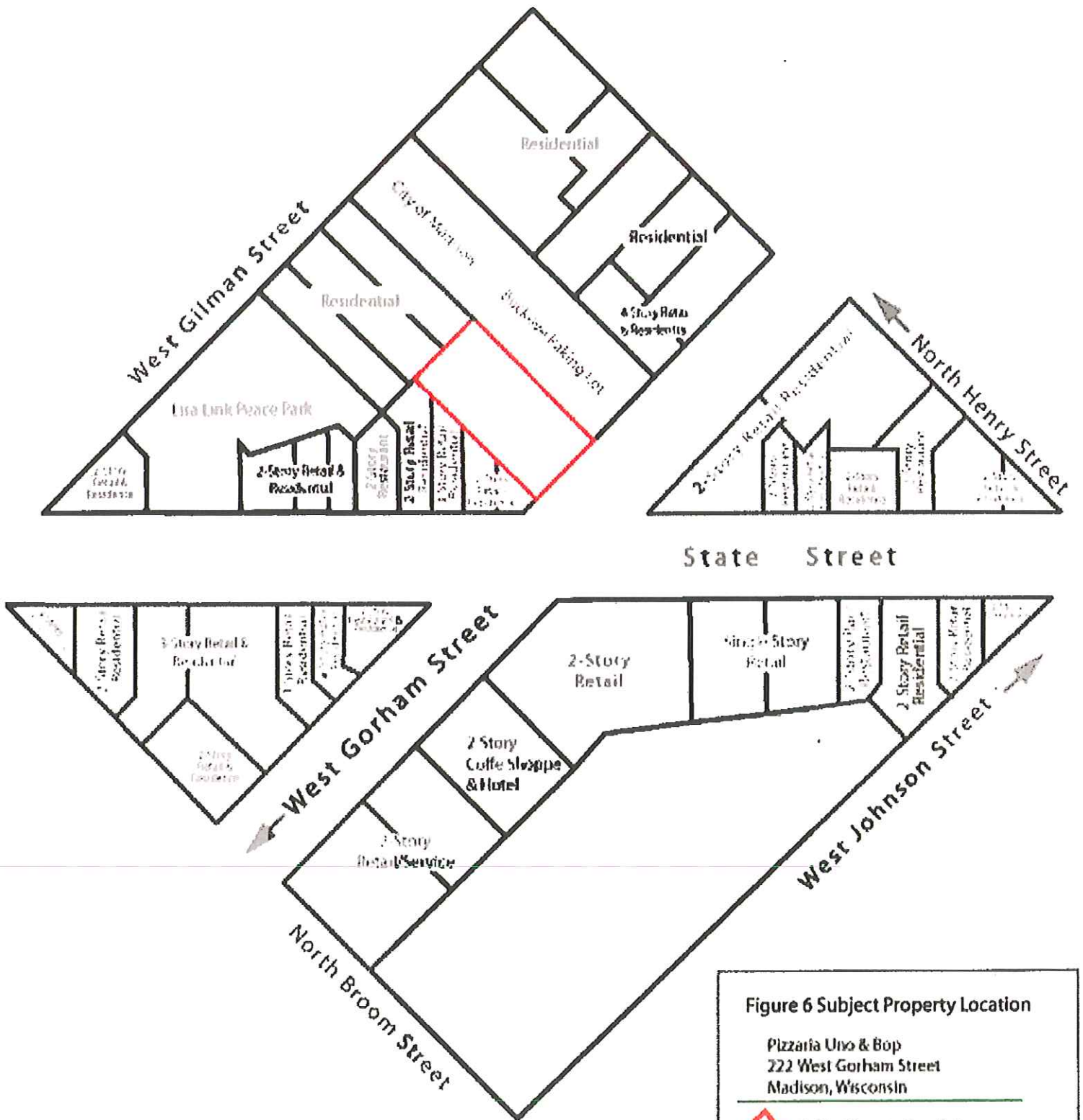
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<b>DRAWING NUMBER:</b>			<b>4737A</b>





**Figure 6 Subject Property Location**

Pizzeria Uno & Bop  
 222 West Gorham Street  
 Madison, Wisconsin

-  Subject Property Boundaries
-  One-Way Street
-  Not to Scale

# Ryan Signs, Inc.

---

3007 Perry Street  
Madison, WI 53713  
608-271-7979 Phone  
608-271-7853 Fax  
mbgrowneyselene@ryansigns.net

May 12, 2010

**TO:** City of Madison Urban Design Commission  
c/o Mr. Al Martin, City of Madison  
**FROM:** Mary Beth Growney Selene  
Serving as Agent for Quaker Steak & Lube  
**RE: QUAKER STEAK & LUBE**  
**222 W, GORHAM STREET**  
**COMPREHENSIVE DESIGN REVIEW**

Dear Urban Design Commissioners;

We are requesting the final approval of a Comprehensive Design Review for the new Quaker Steak and Lube to be located at 222 W. Gorham Street.

## Sign Ordinance Allowances in a C-4 Zoning District

1. Wall signs
  - a. One per street frontage, not to exceed 40% of signable area
  - b. Wall signs adjacent to off-street parking: Wall signs may be displayed on the façade of a building that does not face a street but is adjacent to an off-street customer parking area of at least 33' or more in width, under the following circumstances:
    - i. if the parking area is on the same zoning lot on which the sign is displayed; or
    - ii. if the parking area is not on the same zoning lot but is available for use under a reciprocal cross-access agreement, an approved planned commercial development site or when a conditional use permit has been granted to the owner of an adjacent lot to allow accessory parking for the use within the building on which the sign is to be displayed. Such signs shall be subject to the same limitations as signs on the street side(s) of the building but shall not exceed the area of the maximum size wall sign permitted elsewhere on the building.
2. Projecting signs
  - a. One per street frontage, not to exceed 20 square feet (based on number of traffic lanes (2) and speed limit (0-34)
3. Awnings
  - a. Allowed; signage can be placed in lower 12" of awning with a height not to exceed 6"

## Current Conditions

1. The property has street frontage on W. Gorham Street.
2. This property is adjacent to a City owned, public parking lot.

## Request for Final Approval of a Comprehensive Design Plan as follows:

1. Approval of one Projecting sign:  
The sign, as shown, is 25.5 square feet. The arrow will have a fabricated aluminum structure and red and yellow LED illumination for the EAT lettering and the border illumination.

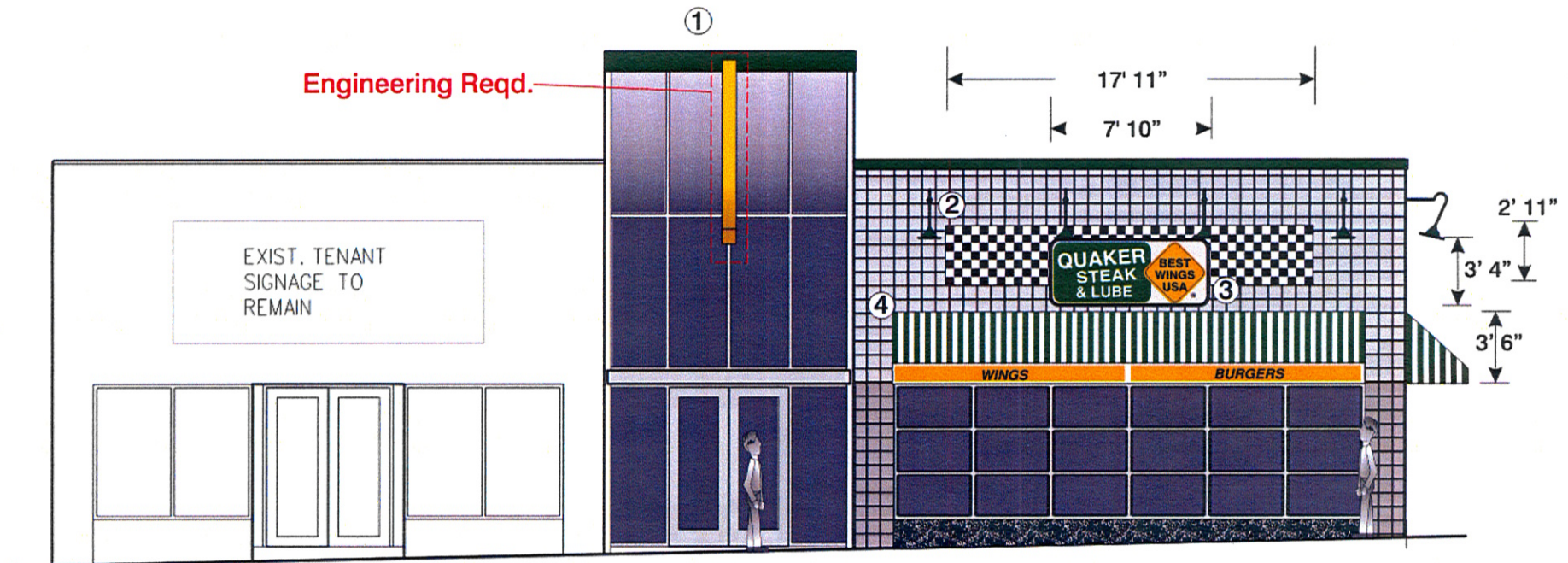
2. Approval of Wall sign on W. Gorham Street  
The sign will consist of a fabricated aluminum background panel with painted "checkerboard" detail (non-illuminated); the Quaker Steak & Lube sign will be flat Lexan faces and applied translucent vinyl graphics. It will be internally illuminated using high output fluorescent lamps. The signable area is 7' x 27' = 189 square feet. 40% of the signable area is 75.6 square feet.  
Checkerboard: 3' x 17'-11" = 53.7 square feet  
Quaker Steak & Lube 1' x 7'-10" = 7.8 square feet (outside the checkerboard area only)  
61.5 square feet
  
3. Approval of Wall sign on wall adjacent to City owned Parking Lot  
The sign will consist of script style, individual letters. The letters will have flat Plexiglas faces and fabricated aluminum sides/backs. The letters will be internally illuminated using red LED.  
"The" = 1'-4" x 2'-0" = 2.7 square feet  
"Lube" = 4'-1" x 7'-0" = 28.7 square feet  
31.4 square feet
  
4. Approval of two Awnings signs; one on W. Gorham Street and one on the wall adjacent to the City owned Parking lot  
The awnings will match the Quaker Steak & Lube trademark awning in color and design. The bottom 12" of each awning will include 6" text to read: WINGS and BURGERS. The awnings will be internally illuminated to allow for lighting of the sidewalk areas below the façade. The illumination will not exceed 75 foot lamberts.

Thank you for your consideration.

Respectfully Submitted.



- 1) Projecting Arrow Graphic w/ External LED Rope Lighting
- 2) Checkerboard Panel - 35" x 17' 11"
- 3) Aluminum Sign Cabinet - 3'4" x 7'10"
- 4) Illuminated Awning E. Elevation - A) 4'6' H x 23' w/ 12" Graphic Panel & 6" H Copy



EAST ELEVATION

**Signage Color**

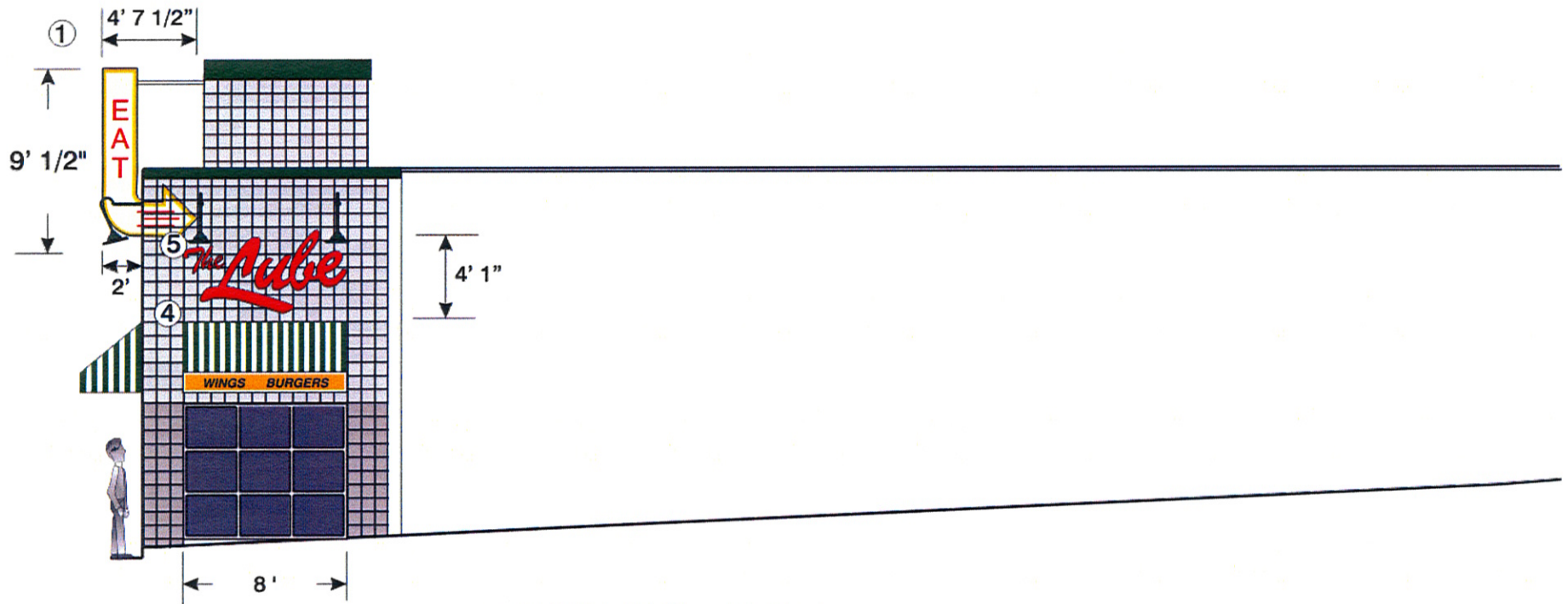
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**Exterior Vinyl Specs.**

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			<b>4737</b>

- 4) Illuminated Awning N. Elevation - A) 4'6" H x 8' w/ 12" Graphic Panel & 6" H Copy
- 5) Internally Illuminated Letters - 4'1" H x 8' W



**NORTH ELEVATION**

**Signage Color**

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**Exterior Vinyl Specs.**

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client signature _____			



