

2010-2011 COMPREHENSIVE PLAN REVIEW

PRELIMINARY LIST OF POTENTIAL COMPREHENSIVE PLAN AMENDMENTS REQUESTED TO ACCOMMODATE SPECIFIC PROPOSED PROJECTS OR FUTURE LAND USES

REQUESTS RECEIVED BEFORE THE MARCH 21, 2011 SUBMITTAL DEADLINE

T. Wall Properties	Dec 1, 2010	High Crossing/Nelson Neighborhood
University Research Park	Mar 1, 2011	Vetter Property/Midtown Neighborhood
Veridian Homes/ Vandewalle & Assoc.	Mar 17, 2011	Grandview Commons/Sprecher Neighborhood
Cherokee Park Inc./ Independent Living Inc.	Mar 17, 2011	Cherokee Park Area
Livesey Company	Mar 18, 2011	Cross Country Neighborhood
CRANES	Mar 21, 2011	Cherokee Park Area

REQUESTS RECEIVED AFTER THE MARCH 21, 2011 SUBMITTAL DEADLINE

Jim Weber	Mar 24, 2011	Elderberry Neighborhood
Johnson Bank William F. White	Apr 25, 2011	Cross County Neighborhood
MSP Real Estate, Inc.	May 9, 2011	Sunset Village (Hoyt Park Area)



T. Wall Properties®

December 1, 2010

Brad Murphy
Planning Division Director
City of Madison
215 Martin Luther King Jr. Blvd., Room LL-100
Madison, WI 53703

Re: Request for City of Madison Comprehensive Plan Amendment – High Crossing Environ

Mr. Murphy:

T. Wall Properties continuously monitors the regional market to gauge opportunities for better planning and development at its properties throughout the Madison area. Given the interest in supporting a potential future eastside commuter rail stop in the City of Madison and the shift to encourage higher densities and a mix of uses in communities throughout the Madison area, T. Wall Properties has begun to revise its plans for the remaining land at High Crossing Environ on Madison's far east side and is requesting an amendment to the City of Madison Comprehensive Plan to allow for this updated concept.

High Crossing Environ is currently designated as "Employment" in the Comprehensive Plan, which limits future development to office and related uses consistent with the current traditional office park pattern. T. Wall Properties is requesting an amendment to the Comp Plan's use category of "Community Mixed Use" to support a more diverse mix of uses and to create a more energizing center for current and future development in High Crossing and surrounding areas. T. Wall Properties is contemplating incorporating a mix of uses including office supporting services, retail, restaurants, and high density residential for the remaining land at High Crossing Environ. These proposed uses would come together to create a more balanced neighborhood that serves the needs of current and future residents, employees, and visitors.

It is understood that prior to developing any uses consistent with this revised designation, a detailed update to the Neighborhood Plan may be required.

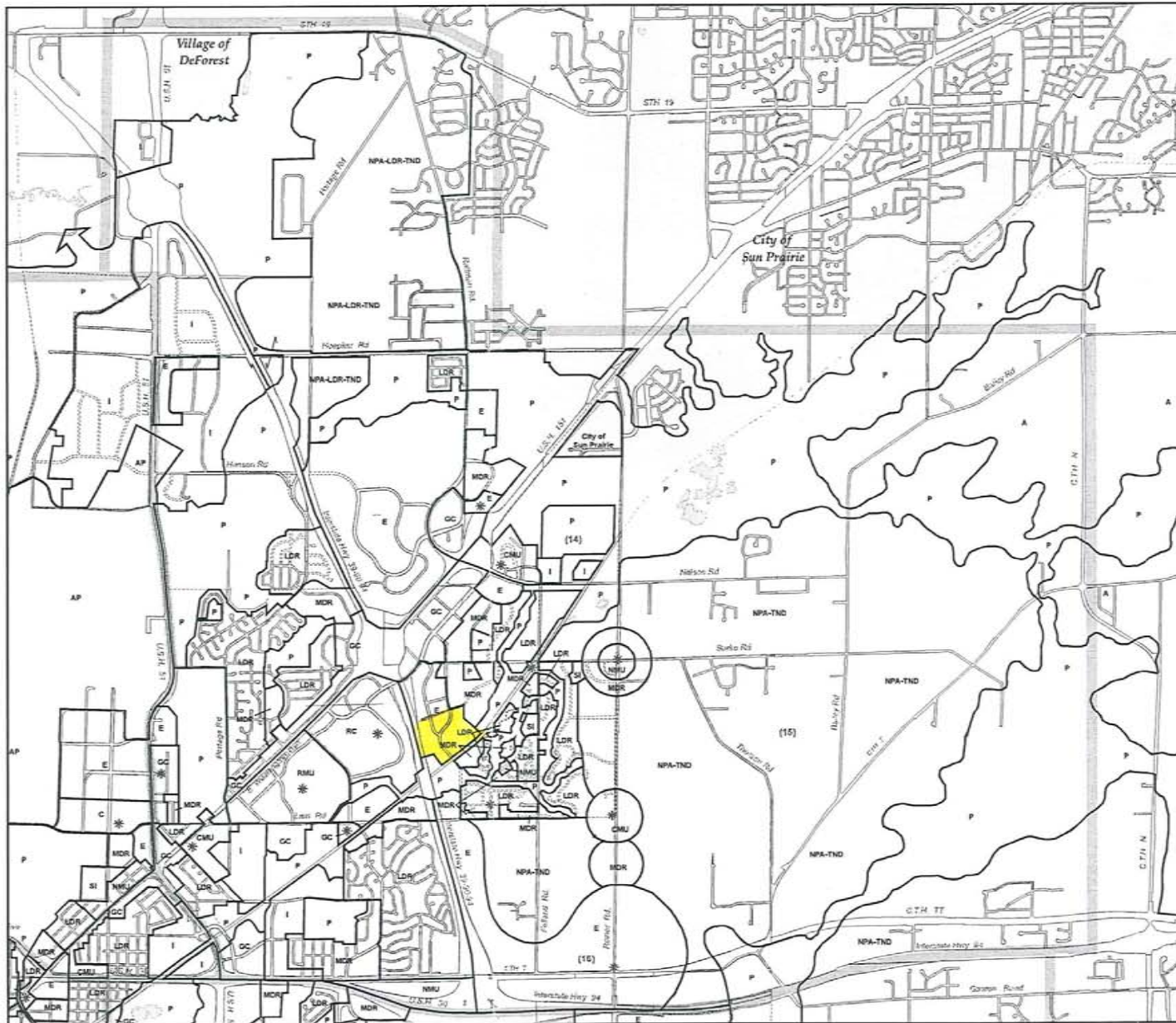
Please refer to the attached Generalized Future Land Use Plan which has been highlighted to identify our location. Feel free to contact me or Jeff Lee with any questions at (608) 830-6300.

Thank you,

Terrence R. Wall
CEO and Chairman
T. Wall Properties

Creating Places Where People Interact®

April 21, 2006 3:30 pm



Generalized Future Land Use Plan

City of Madison
January 2006

RESIDENTIAL DISTRICTS
 LDR Low Density (0 - 15 units/acre)
 MDR Medium Density (16 - 40 units/acre)
 HDR High Density (41 - 60 units/acre)

MIXED USE DISTRICTS
 NLU Neighborhood Mixed-Use
 CMU Community Mixed-Use
 RMU Regional Mixed-Use

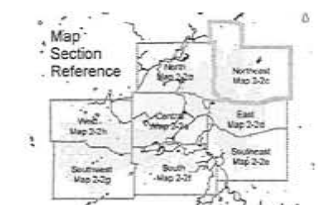
COMMERCIAL/EMPLOYMENT DISTRICTS
 GC General Commercial
 RC Regional Commercial
 E Employment
 I Industrial

OPEN SPACE - AGRICULTURE DISTRICTS
 P Park and Open Space
 A Agriculture/Rural Uses

SPECIAL DISTRICTS
 SI Special Institutional
 AP Airport
 C Campus

- Downtown Districts (See Volume II Map 2-3)
- NPA Neighborhood Planning Area (TND Encouraged)
- SPECIAL OVERLAY DESIGNATIONS**
 TOD Transit-Oriented Development (Conceptual Locations)
 TND Traditional Neighborhood Development (Conceptual locations, TND may be applied to NPA and residential districts as specified in neighborhood and special area plans.)
- (0) Land Use Note Reference

Other Cities and Villages
 Existing Street
 Conceptual Street



Data Source:
 City of Madison Department of Planning and Development, Planning Unit



March 1, 2011



Mr. Michael Waidelich, Principal Planner
Planning Division, City of Madison
215 Martin Luther King Jr. Blvd., Suite LL100
Madison, WI 53703

Dear Michael:

University Research Park, Inc., which is affiliated with the University of Wisconsin-Madison, requests a planning amendment for the Vetter property at the southwest corner of Valley View and Junction Road. The amendment would change planned land uses to Research and Development Center from Public Park, Low and Medium Density Residential. University Research Park, Inc. has an option to purchase the land from Mrs. Ruth Vetter that is contingent on agreement with the City of Madison on plan and zoning changes and annexation.

Our plan amendment request is consistent with planned and zones uses immediately north of this property. The City of Madison and University Research Park successfully concluded, in 2010 planning and platting for the expansion of the Park on 274 acres immediately north of this site. The planning and platting created 134 acres zoned for Research and Development Center, 13 acres for a mixed-use center under a PUD-GDP, 8 acres for open space and storm water management and a 119-acre out lot for future development.

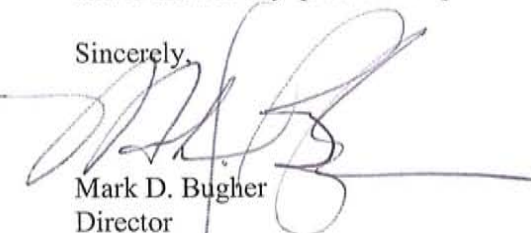
The current University Research Park has proven, over 25 years, that it can successfully develop and operate a research park in the immediate area of residential development. University Research Park enjoys a strong working relationship with both the Hilldale and Midvale Heights Neighborhood Associations. We have been a good neighbor and a positive addition to the neighborhoods.

The addition of this property will lengthen the period of time that University of Wisconsin-Madison can do agricultural research operations on the 119-acre out lot. It will also extend the time the City of Madison and Dane operate emergency radio services, and most of the television stations servicing the Madison market can broadcast, from the site.

Finally, Mrs. Ruth Vetter's representatives have indicated Mrs. Vetter's strong personal preference that her family farm not be developed for residential housing but developed in a way that advances the interests and goals of the University of Wisconsin-Madison.

We're available to continue to work with City staff, City Committees and the City Council on the details of the proposals and to answer any questions or provide additional supporting information.

Sincerely,



Mark D. Bugher
Director

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SECRETARY/TREASURER**

Mark D. Bugher

510 Charmany Drive
Suite 250
Madison, WI 53719

P. 608.441.8000

F. 608.441.8010

universityresearchpark.org



UNIVERSITY RESEARCH PARK²

UNIVERSITY OF WISCONSIN-MADISON



Potential
53.2 Acres of
Developable
Parcels

LEGEND

- Science and Technology Phase 2
- Science and Technology Phase 1
- Neighborhood Mixed Use Center
- High Density Residential
- Medium Density Residential
- Low-Medium Density Residential
- Low Density Residential
- Employment
- Science and Technology Sites
- Bike/Pedestrian Underpass

0 100' 200' 400'

N



VANDEWALLE & ASSOCIATES INC.

Thursday, March 17, 2011

City of Madison Plan Commission
Attn: Mike Waidelich
215 Martin Luther King Jr. Blvd.
Suite 100
Madison, WI 53710

Re: Grandview Commons Grocery Store
Comprehensive Plan Amendment Request

Dear Mr. Waidelich:

This letter summarizes the request on behalf of Veridian Homes for the City of Madison to undertake the Track 2 Comprehensive Plan Amendment process for the potential development of a grocery store within the Grandview Commons Neighborhood. This project has been under discussion for some time, and the process outlined in the Track 2 approvals will allow additional opportunities to discuss the project over the course of the year.

The Grandview Commons Project, designed in 1998, has undergone many incremental changes over the course of its implementation, but none have been able to spark the creation of the long desired town center. The creation of an anchor grocery store offers an opportunity to create momentum for the commercial uses, facilitate the City of Madison Library site, and offer the local region a walkable grocery and mixed use center; however, implementation of this project will require remapping the site to Community Mixed Use, revisions to the Sprecher Neighborhood Plan, and amending the PUD:GDP.

The Development Team is requesting a remapping of the town center sites east of North Star from Neighborhood Mixed Use/Medium Density Residential to Community Mixed Use and remapping the former Doric Lodge Site from Low Density Residential to Community Mixed Use. Both sites would retain the Transit Oriented Development Overlay. This amendment would be further defined through a more detailed Neighborhood Plan Amendment for the Sprecher Neighborhood; as well as, a future amendment to the Grandview Commons Planned Unit Development: General Development Plan.

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
611 North Broadway • Suite 410 • Milwaukee, Wisconsin 53202 • 414.421.2001 •
414.732.2035 Fax
www.vandewalle.com

Shaping places, shaping change

This amendment will allow the redesign of the town center to include the key anchor grocery use and moving the town center from idea to reality.

Sincerely,

A handwritten signature in black ink, appearing to read 'B. Munson', with a long horizontal flourish extending to the right.

Brian Munson
Principal

Generalized Future Land Use Plan

City of Madison
January 2006









RESIDENTIAL DISTRICTS
LDR Low Density (0 - 15 units/acre)
MDR Medium Density (16 - 40 units/acre)
HDR High Density (41 - 60 units/acre)

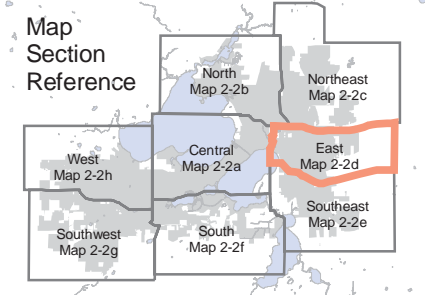
MIXED USE DISTRICTS
NMU Neighborhood Mixed-Use
CMU Community Mixed-Use
RMU Regional Mixed-Use

COMMERCIAL/EMPLOYMENT DISTRICTS
GC General Commercial
RC Regional Commercial
E Employment
I Industrial

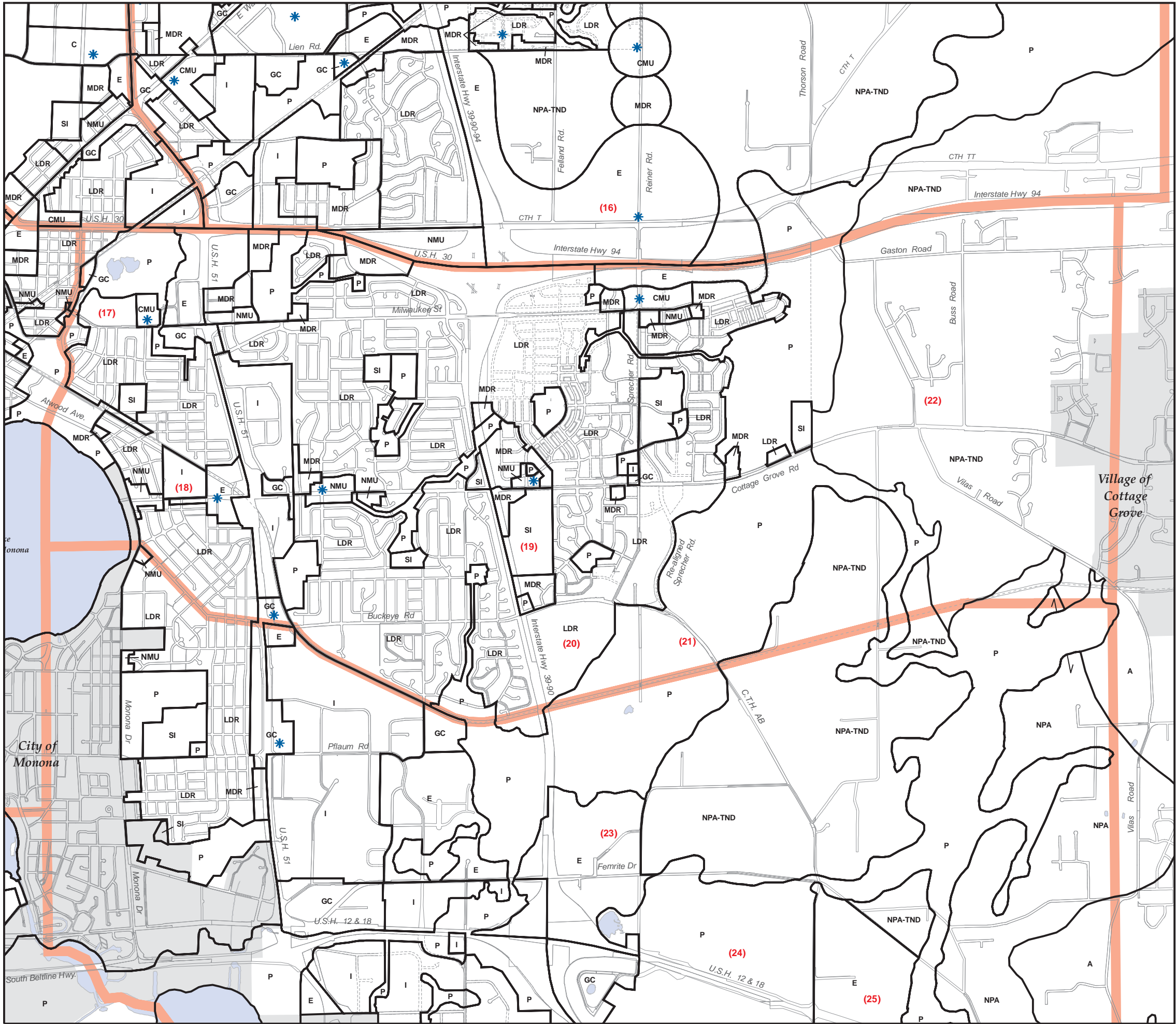
OPEN SPACE - AGRICULTURE DISTRICTS
P Park and Open Space
A Agriculture/Rural Uses

SPECIAL DISTRICTS
SI Special Institutional
AP Airport
C Campus

-  Downtown Districts (See Volume II Map 2-3)
-  NPA Neighborhood Planning Area (TND Encouraged)
-  **SPECIAL OVERLAY DESIGNATIONS**
TOD Transit-Oriented Development (Conceptual Locations)
-  TND Traditional Neighborhood Development (May be applied to NPA and residential districts as specified in neighborhood and special area plans.)
-  (0) Land Use Note Reference Number
-  Other Cities and Villages
-  Existing Street
-  Conceptual Street



Data Source:
City of Madison Department of Planning and Development, Planning Unit



April 21, 2006 3:30 pm

Cherokee Park, Inc
5000 N Sherman Ave
Madison, WI 53704

March 17, 2011

Madison Plan Commission
215 Martin Luther King Blvd Rm LL-100
PO Box 2985
Madison, WI 53701-2985

Re: Upcoming Comprehensive Plan Amendment

Cherokee Park, Inc. (CPI) has been working with Independent Living, Inc. (ILI) to develop a portion of CPI's lands to accommodate a senior housing facility to be owned and operated by ILI.

The conceptual project site lies within the boundaries of the Cherokee Special Area Plan (SAP), which was adopted by Common Council on January 16, 2007. More specifically, the property is located within 'Hornung Range Sub-Area (1)'. The SAP provides various criteria on which to base future development in the prescribed area.

Attached are a few of the maps defining recommended land uses in the study area, (Exhibits A-C) a map showing the proposed change involving ILI (Exhibit D) and excerpts from the SAP (Exhibit E) that relate directly to Sub Area 1.

ILI's concept includes a total of 148 senior housing units on a proposed site of approximately 4.5 acres. The SAP recommends a mixture of <8 and 8-15 dwelling units per net acre in this particular area, far below the result of ILI's proposal (32.88 du/net acre). When blended with the entire Sub Area 1 parcel (21.6059 net acres), however, ILI's plan only increases the du/net acre to 12.54 du/net acre, from a prescribed average of 10.74 du/net acre.

We request a change to the comprehensive plan to accommodate this development in the proposed area by increasing the allowed density in Sub Area 1, as well as including a senior housing facility (and accompanying zoning requirements) as a recommended land use.

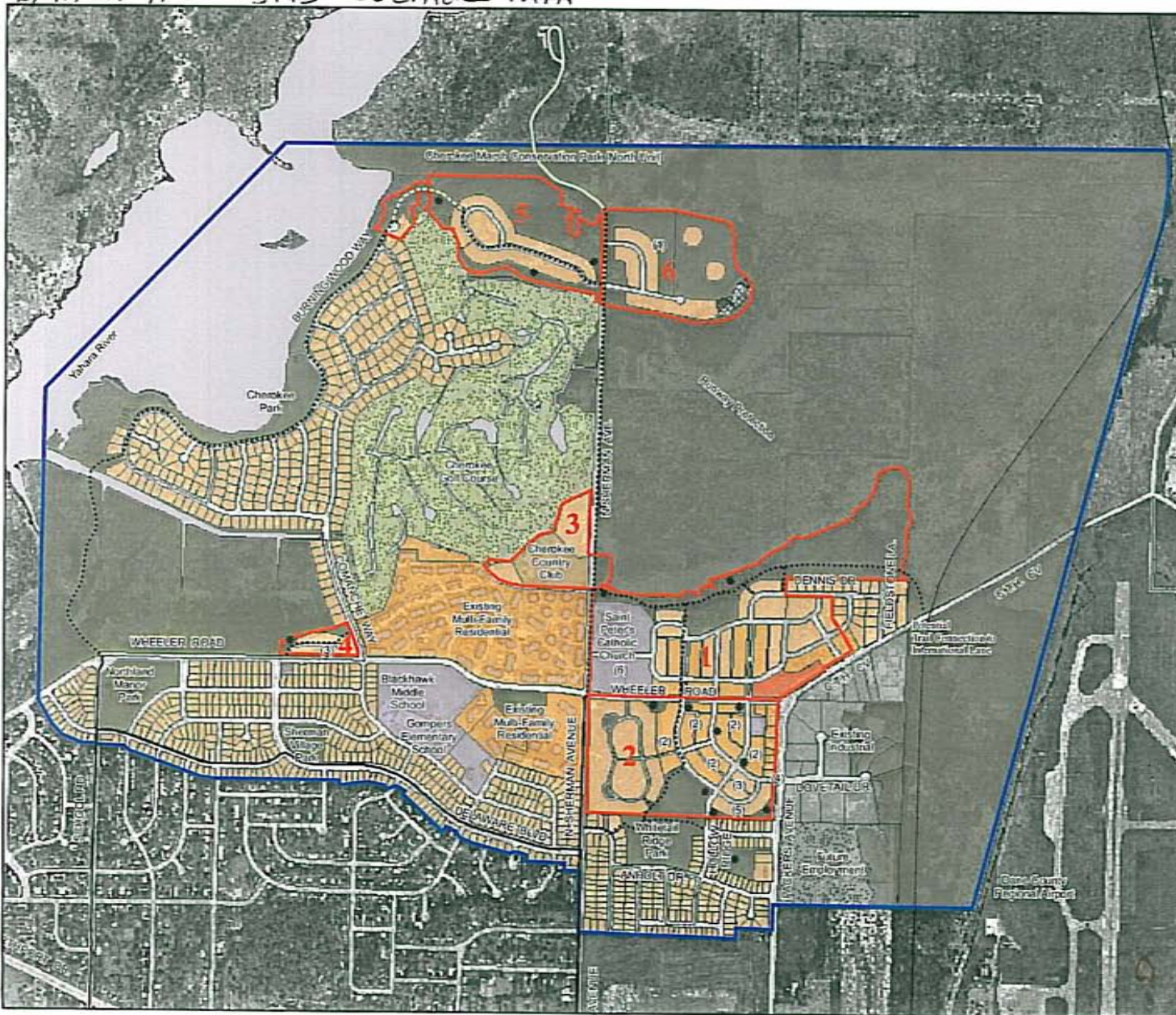
ILI has done exhaustive research of various sites in Madison and surrounding communities, and has come to the conclusion that this particular site most meets the needs of their current and future residents. The proximity to Cherokee Marsh, St Peter Church, shopping areas, and fitness and recreation facilities are listed as the most attractive features of the site.

Thank you for your consideration.

Craig Makela
Construction Project Manager
cmakela@cherokeecountryclub.net



EXHIBIT 'A' SITE LOCATOR MAP



MAP 9 RECOMMENDED LAND USE Cherokee Special Area Plan January 2007

- STUDY AREA
- CORE PLANNING SUB-AREAS
- RESIDENTIAL**
- Low Density Residential
Density Range: 1-5 du/net ac
- Medium Density Residential (16-25 du/net ac)
- COMMERCIAL/EMPLOYMENT MIXED USE
Neighborhood Mixed Use
- Industrial
- Employment
- Cherokee Country Club
- INSTITUTIONAL
- PARK, OPEN SPACE, AND
STORMWATER MANAGEMENT
Park Drainage and Open space
- Golf Course
- * Proposed Stormwater Detention
- POTENTIAL FUTURE DEVELOPMENT AREA

- LAND USE NOTES**
- (1) It is recommended that there be no additional development on the top portion of the hill. Future development may be allowed around the lower portions of the hill only if such development is done with sensitivity to the topography in a manner that preserves open space and views to the hill from surrounding properties, and provides adequate vegetative buffers from the existing park property.
(City of Madison Comprehensive Plan)
 - (2) A variety of type and size of structures is sought in these areas.
 - (3) Smaller scale structures are sought in these areas.
 - (4) Street alignment planning will continue to examine a connection to Packers Avenue at Devoles Drive as a potential option.
 - (5) Single family detached housing is recommended for this area.
 - (6) The St. Peter's Church institutional use will continue. Small format retailing, residential at 8-12 dwelling units per net acre is recommended.

- STREET ROW (Public and Private)**
- SPECIAL FEATURES**
- Railway Protection
 - Railroad Realignment
 - Cherokee Marsh Cons. Park Access Road
 - Trail Emergency Access Road
 - Existing Bike Routes
 - Proposed Routes, Paths and Trails

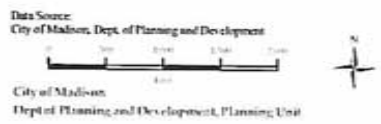
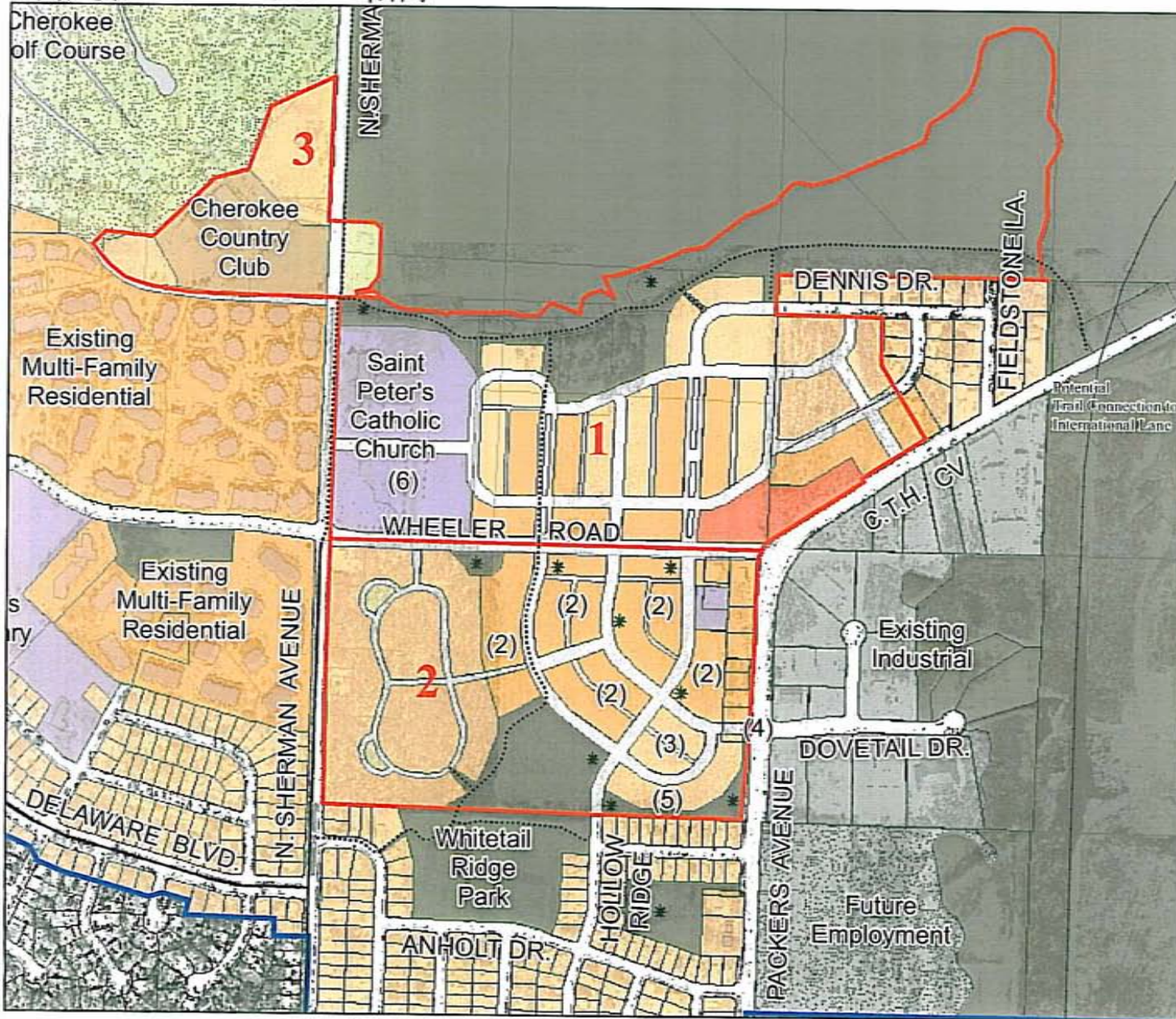


EXHIBIT 'B' SITE MAP



MAP 9A RECOMMENDED LAND USE Cherokee Special Area Plan January 2007

- STUDY AREA
 - CORE PLANNING SUB-AREAS
 - RESIDENTIAL**
 - Low Density Residential
Density Range (<3 du/net ac)
 - Density Range (4-15 du/net ac)
 - Medium Density Residential (16-25 du/net ac)
 - COMMERCIAL/EMPLOYMENT MIXED USE
Neighborhood Mixed Use
 - Industrial
 - Employment
 - Cherokee Country Club
 - INSTITUTIONAL
 - PARK, OPEN SPACE, AND STORMWATER MANAGEMENT
Park Drainage and Open space
 - Golf Course
 - Proposed Stormwater Detention
 - POTENTIAL FUTURE DEVELOPMENT AREA
- LAND USE NOTES**
- (1) A variety of type and size of structure is sought in these areas.
 - (2) Smaller scale structures are sought in these areas.
 - (3) Street alignment planning will continue to examine a connection to Packers Avenue at Dovetail Drive as a preferred option.
 - (4) Single family detached housing is recommended for this area.
 - (5) The St. Peter's Church institutional use will continue. Small parcel residential development at 8-15 dwelling units per net acre is recommended.
- STREET ROW (Public and Private)**
- Runway Protection
 - Railroad Realignment
 - Cherokee Marsh Cons. Park Access Road
 - Trail Emergency Access Road
 - Existing Bike Routes
 - Proposed Routes, Paths and Trails

Data Source:
City of Madison, Dept. of Planning and Development

City of Madison
Dept. of Planning and Development, Planning Unit



private should be dark sky compatible down lighting, and should be screened from the Marsh with proposed landscaping.

- **Range of Housing Choices.** Residential development should provide a range of quality housing choices to meet the needs of households of different sizes, lifestyles, incomes and tastes. In addition to a range of dwelling unit types and development densities, there should be a variety of lot sizes in planned development areas. The size and location of the sub-areas will be a factor in determining the appropriate mix of dwelling unit types and sizes within those areas.

New single-use residential neighborhoods that are characterized by large tracts of exclusively single-family residential dwellings, or large, isolated clusters of duplex or multiple-family buildings should be avoided. Recommended single-family housing areas should include a variety of lot sizes and housing types.

- **Stormwater Management Facilities.** The City Engineering Department will review the Cherokee Park, Inc. stormwater management plans in conjunction with the proposed plat and grading plan to ensure that the proposed development meets the design standards and stormwater management requirements as mandated in Chapter 37 "Erosion and Stormwater Runoff Control" of the Madison General Ordinances. One additional goal of stormwater management planning should be to divert urban runoff away from high quality peat wetlands, and into other waterways and wetlands that are less susceptible to impact.
- **Transit Service.** Street networks should be designed to provide good access and circulation routes for current and future transit service.

Hornung Range Sub-Area (1) Recommendations

The Hornung Range sub-area includes the lands east of North Sherman Avenue, north of Wheeler Road, west and northwest of CTH CV and south of Cherokee Marsh. Recommended land uses and planning considerations for the Hornung Range sub-area are summarized below.

- **Residential Uses.**
 - **Low Density Residential Less than 8 Dwelling Units per Net Acre (LDR <8).** Single-family detached dwellings are the primary recommended land use within the LDR <8 designated areas of the Hornung Range. These units should be developed on lots that vary in size. The lowest densities are recommended for the lands adjacent to Cherokee Marsh, the proposed neighborhood park and the existing low-density Taff subdivision in the Town of Burke. Duplexes and small multiple-family buildings are appropriate in other locations, including lands adjacent to LDR 8-15 areas. While the LDR <8 designation is recommended for the majority of lands in the Hornung Range, small areas may be developed at slightly higher densities. In general, the overall net density of LDR <8 designated lands is expected to be between 5 and 7 units per net acre.
 - **Low Density Residential 8 to 15 Dwelling Units per Net Acre (LDR 8-15).** The LDR 8-15 designation is recommended for some lands fronting on the north side of Wheeler Road and CTH CV, lands north of Wheeler Road along both sides of a

proposed northern extension of Hollow Ridge Road, and along the north side of CTH CV east of the proposed Neighborhood Mixed-Use area.

The LDR 8-15 designation is applied to areas where small lot single-family dwellings, duplexes, and/or multiple-family dwellings are recommended. The exact location of the building types and sizes is intended to be flexible, as long as the overall intent of the LDR 8-15 designation is met. In general, small multiple-family buildings (six or fewer dwelling units per building) are the primary recommended land use in the LDR 8-15 areas of the Hornung Range. These buildings should be at least two stories in height and should be built close to the street.

- **Mixed-Use.**

- **Neighborhood Mixed-Use (NMU).** A Neighborhood Mixed-Use area is recommended at the intersection of Wheeler Road and CTH CV. This area is intended to accommodate a range of uses including neighborhood serving retail, service, office and multiple-family residential development. This area could include specialty businesses that serve wider markets than the study area, provided the size of the establishment and the scale of the building is consistent with the character of the area and the adjacent neighborhood. Given the proximity of the area to existing and proposed residential development, building and site design must be carefully addressed as development occurs here.

In general, buildings in this area should be at least two stories but not more than four stories tall. The tallest buildings should be located along Wheeler Road and CTH CV. Because of the proximity of this area to the Airport, development here must comply with the Airport's building height limitation regulations. The maximum building elevation varies throughout the study area. In the Wheeler Road-CTH CV area, the maximum building height ranges from 1014 to 918 feet above sea level.

Development in the NMU area should provide a pedestrian-oriented, urban environment. Buildings should be placed close to the sidewalk. Parking should be located behind or beside buildings or underground. Pedestrian friendly design amenities, such as decorative paving and lighting along sidewalks and paths, plazas, benches and landscaping can be used to achieve this objective. The design of this area should also accommodate the needs of bicyclists. In addition, the transit-oriented development standards in the City's Comprehensive Plan should be incorporated into the NMU area.

- **Park and Open Space Uses.** The Plan recommends a public neighborhood park in the hickory woods area south of Cherokee Marsh and east of St. Peter's Catholic Church. This park should be designed to provide access to the proposed trail system in the area. Potential facilities in the park include a playground, benches, an open play area and possibly a small shelter.

A 75-foot wide-open space buffer is recommended between Cherokee Marsh and development in the Hornung Range sub-area. This buffer would provide a visual and physical buffer between the Hornung Range and the adjacent natural resource features (such as wetlands) in Cherokee Marsh. The buffer is proposed to include a multi-use trail that would extend from North Sherman Avenue to new development areas in the Hornung Range. The paved trail should be 8-10 feet wide and located in a 75-foot buffer

area. Connection of the trail to future development areas is recommended. The trail could be extended east through the Hornung Range to CTH CV via sidewalks and/or on-street bicycle routes. The trail could also provide a connection to a potential golf driving range on the former landfill owned by the Village of Maple Bluff.

- **Special Institutional Uses.**
 - **St. Peter's Catholic Church.** The Cherokee SAP recommends that Saint Peter's Catholic Church property continue in its present institutional use. However, should portions of the property be proposed for development, this Plan recommends the land be designated LDR 8-15. This designation would allow development that is generally compatible with the existing and planned development around it. A variety of residential dwelling unit types would be appropriate in this area. Any development of these lands should be done in a manner that it is compatible with adjacent existing and proposed development.
- **Central Urban Service Area.** The Hornung Range sub-area is not located within the Central Urban Service Area (CUSA) at this time. In order to receive municipal wastewater treatment service, it is recommended that this area be added to the CUSA.
- **Environmental Requirements and Regulations.** Development in the Hornung Range will need to meet all applicable, environmental corridor, wetland and floodplain setbacks and regulations. This sub-area abuts mapped wetlands and floodplains.
- **Hornung Range Land Use Transitions.** Dwellings within the Hornung Range sub-area should be compatible with the scale and context of existing development in the area. For example, four-unit townhouses should be designed to look like large single-family dwellings. In order to provide continuity and a smooth transition between new and existing development, shared edges should be developed with compatible land uses, building designs and densities. Similar facade and roof designs, building heights, and development densities all help to achieve a smooth transition between adjacent land uses and building types.
- **Stormwater Management Facilities.** Stormwater management facilities will be located within the Hornung Range sub-area. The number, location and design of these facilities will be determined at the time of land division or final zoning approvals. One goal of the Plan should be to direct stormwater away from high quality peat marsh.
- **Transportation System.** The recommended transportation system in the Hornung Range sub-area is an interconnected, modified grid pattern that includes public streets, on-street bicycle routes, sidewalks and off-street multi-use paths. The recommended street system includes connections to Wheeler Road, CTH CV/Packers Avenue, and the Hornung Woods and Field sub-area. The street pattern is meant to be somewhat flexible as long as the overall transportation objectives for the area are met. These objectives include, but are not limited to, providing an interconnected street pattern that meets the needs of motorists, bicyclist, pedestrians, and transit riders; and locating streets so that they take advantage of attractive views to and from Cherokee Marsh and other parks and open space areas. An east-west public pedestrian/bike easement is recommended along the northern edge of this sub-area to connect North Sherman Avenue to the public park and the planned collector north-south street, which bisects the area. This new north-south



1818 West Beltline Highway
Madison, WI 53713
(608) 833-2929, (608) 824-9020 (Facsimile)

March 18, 2011

Michael Waidelich
City of Madison
Dept. of Planning & Community & Economic Development
P.O. Box 2985
215 Martin Luther King Jr. Blvd
Madison, WI 53701

Re: Requested Amendment of Comprehensive Plan
Requested Amendment of Cross Country Neighborhood Plan
Relating to approx. 13.4 acres at SW Corner of McKee Road and Maple Grove Drive

Dear Mr. Waidelich:

The purpose of this letter is to formally request that the City of Madison Comprehensive Plan and the Cross Country Neighborhood Plan be amended to allow for the development of the approximately 13.4 acres located on the SW quadrant of the intersection of McKee Road and Maple Grove Drive with uses consistent with general commercial and medium density residential zoning classifications.

We have owned 10 acres of this property since 2005 and the remainder since 2008. Without going into acute detail on the history of the property, I'll summarize by saying despite our continuous, unrelenting efforts to develop the property with uses consistent with those described in the Comprehensive Plan and the Cross Country Neighborhood plan, we've been completely unsuccessful. Through these efforts we've concluded that due to the forces of demand in the marketplace, to successfully develop the property with financially viable, economically sustainable uses, it's most appropriate that the Comprehensive and Cross Country Neighborhood plans be amended as requested above.

Driving the specific timing of this request is the fact that we're currently in negotiations with retail user which has identified April 2012 as the absolute latest it can open its store if it is to pursue opening on this Madison site. This anchor-type retail user requires approximately 6-7 acres on which to construct its 30,000-40,000 square foot store. Additionally, we're currently in the latter stages of negotiations with a multi-family residential developer who wishes to develop 3-4 buildings, containing up to 30 dwelling units each, on 2.5 to 4 acres of the property. Development of the property with these two major use components, along with corresponding internal roadways, drives, parking, and storm water management areas, would leave 2 to 3 acres remaining for additional commercial development.

Please note that we've had numerous extensive meetings and discussions with Alder Steve King relating to the development of this property and Alder King has expressed his full and emphatic support of the changes we're seeking.

Included with this letter are an aerial photograph of the site and surrounding area along with a very general plan of the property indicating the zoning changes we're requesting.

Thank you for your consideration and please contact me with questions and/or instructions on how to proceed with our request to amend the Comprehensive Plan and the Cross Country Neighborhood Plan.

Sincerely,

LIVSEY COMPANY LLC/MAD GROVE LLC

Alex J. Weis
Executive Vice President/Member

Cc: Brad Murphy, Planning Division Director – City of Madison
Steve King, Alder – City of Madison District 7
John K. Livesey – Member, Mad Grove LLC, Member, Livesey Company LLC

MCKEE RD (CTH PD)

COMMERCIAL

MEDIUM DENSITY
RESIDENTIAL

MAPLE GROVE DRIVE





McKee Road

Maple Grove Road

CRANES

Capital Region Advocacy Network for Environmental Sustainability

On behalf of its member organizations and individuals, advocating collaboratively for the environment of the South Central Wisconsin region (eight counties: Columbia, Dane, Dodge, Green, Iowa, Jefferson, Rock and Sauk) toward a high quality of life; an ecologically sustainable and just culture; and, the celebration of the beauty of this place, both natural and built.

VISION

The Capital area's environment, including water, land, and air resources, will be conserved or restored to ensure the region's quality of life and the beauty of this special place, for all who live or visit here, now and in the future.

PARTNER ORGANIZATIONS

*Earth/Art® Resources
Friends of Cherokee Marsh
Friends of Pheasant Branch Conservancy
League of Women Voters - Dane County
Madison Audubon Society
Sierra Club - Four Lakes Group
W. Dane Coalition for Smart Growth & Environment
West Waubesa Preservation Coalition*

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**C.R.A.N.E.S., INC.
POB 3413
MADISON, WI 53704**

**608.807.0887 tel
CRANESINC.ORG
INFO@CRANESINC.ORG**

A Wisconsin Non-Profit [EIN 26-4056421]
Fiscal Agent
River Alliance of Wisconsin
A Tax-exempt 501(c)3 Non-profit
WisconsinRivers.org

PRINTED ON RECYCLED PAPER

21 March 2011

City of Madison Plan Commission
ATTN: Nan Fey, Chairperson
c/o Brad Murphy, Staff
Planning & Community & Economic Development
215 Martin Luther King Jr. Blvd., Suite LL100
Madison, WI 53703

SUBJECT: *Request for Amendment of Cherokee Special Area Plan and Comprehensive Plan*

Dear Chairperson Fey:

The *Capital Region Advocacy Network for Environmental Sustainability* (CRANES) requests amendment of the Cherokee Special Area Plan (CSAP) prior to its integration within the City of Madison Comprehensive Plan (CP).

Our request is based on the 2006 stance of our partner organization, the *Friends of Cherokee Marsh* (FOCM), requesting protection of Subarea 1 for restoration as uplands habitat and addition to the Marsh's public lands. For ecological sustainability of wetlands, experts currently recommend an uplands area or buffer of 300-900 feet for habitat, as well as mitigation of stormwater runoff from agriculture or development. A larger sized buffer is more ecologically appropriate for major wetlands such as Cherokee Marsh. Indeed, some experts recommend almost 2700 feet of unfragmented uplands (please see testimony provided by FOCM to the City, 2006). A 900-foot buffer would cover most of the CSAP's Subarea 1.

Additionally, two issues that have arisen since the CSAP was adopted by the City Council in January 2007:

- A. There has been confirmation of climate change trends predicted from models for the Upper Yahara River region, with increased rain or snow, causing rises in groundwater table levels, and flashier or more severe storms, threatening natural resources and infrastructure. Flooding of nearby residential basements and condominium underground parking/storage has increased. In Spring/Summer 2008, North Sherman Avenue was closed to passenger traffic for several weeks. The City sewer infrastructure was overwhelmed and millions of gallons of sewage had to be released into Cherokee Marsh to prevent the community health emergency situation that would have been caused by sewage backflow.
- B. Contrary to the CSAP, since 2009 there has been an effort to locate a large senior residential and assisted living facility in Subarea 1. That senior facility proposal would require an amendment to the CSAP and the CP, because it contradicts the phasing laid out in the CSAP, which called for build-out in Subarea 2 before construction would begin in Subarea 1 (which was estimated during 2006 public hearings to be no earlier than 2027). It also precedes the onsite research and monitoring that was promised prior to any construction near the Marsh. The proposal would also locate an institutional facility with density of 34-36 dwelling units/net acre and approximately 65% impervious surface, on a parcel that the CSAP slated for Low-Density Residential (LDR) that is 2-4 times less dense (8-15 dwelling units/net acre), and with much less impervious surface.

We therefore request two CP amendments (keyed to the CP Amendment Map K):

- (1) The Recommended Land Use for CSAP Subarea 1 (Hornung Range) be changed to P (PARK, OPEN SPACE, AND STORMWATER MANAGEMENT, specifically *Park Drainage* and *Open Space*) from LDR (Low Density Residential; see MAP K-4), or to P from NMU (COMMERCIAL/EMPLOYMENT MIXED USE, specifically *Neighborhood Mixed Use*; see MAP K-6).
- (2) The Recommended Land Use for CSAP Subarea 6 (High Hill) be changed to P from LDR (MAP K-1).

In short, we wish to see the CSAP and CP amended such that the LDR and NMU portions of Subareas 1 and 6 be changed to P.

The LDR development that was proposed in CSAP Subareas 1 and 6 could be transferred to the non-wooded acreage of Subarea 2 (Hornung Fields); the resulting density there would be still be LDR, as in the CSAP (and far less than that recently proposed for the senior facility), also better protecting the public's investment in the restoration of Cherokee Marsh.

The City could acquire land available to the south, along CV and Tennyson, and use it to create a "swap" with the development company that owns Subareas 1 and 6, thus providing it with a better and less expensive location to build both LDR and the proposed senior facility. This would keep the economic activity associated with this proposed facility on the northside, and in a location preferred by Northsiders, especially the Berkley Oaks Neighborhood Association.

Alternatively, some or all of the development proposed for Subarea 1 could be transferred to other currently City-owned receiving areas owned, such as Union Corners or the Don Miller property on East Washington.

Such transfers and swaps would also lower the price of acquiring the LDR and NMU portions of Subareas 1 and 6, for addition to the Marsh's public lands.

The NMU amendment area for Subarea 1 (Map K-6) could be restored to the northeastern corner of Subarea 2 (MAP K-7), if that Recommended Land Use is still deemed essential to the City's growth on its northern edge.

Our request does not affect the other areas of the proposed CSAP amendment to the CP: K-1, K-2 (although the amendment needed for the northeast segment of K-2 is directly adjacent to the area of Sherman Avenue that flooded in 2008, and thus bears review), K-3, or K-5 (although this amendment would benefit from adding a conservancy landscaping overlay to the Recommended Land Use being proposed for the existing church on this site, since this land is directly adjacent to the Marsh).

Please advise CRANES if our amendment request needs to be revised for any reason, or submitted elsewhere (e.g, we understand that the City's parks and open space plan is being rewritten for 2012-16, and that the City's zoning code is being revised).

Thank you for your consideration.

Sincerely,



Gary Werner
President, CRANES 2010-11 Board of Directors

COMPREHENSIVE PLAN AMENDMENTS TO REFLECT THE LAND USES RECOMMENDED IN SPECIAL AREA PLANS ADOPTED OR AMENDED SINCE JANUARY 2006 FOR AREAS WITHIN EXISTING NEIGHBORHOODS.

Cherokee Special Area Plan Adopted 17 January 2007

Map Key No.	Location	Proposed LU Change	Reason for Proposed Amendment	Comments
<u>K-1</u>	Areas east and west of N. Sherman Avenue about 2/3 mile north of Golf Parkway.	LDR to P	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Reduces the amount of developable area adjacent to Cherokee Marsh. This change also reflects additional open space lands purchased by the City of Madison since the Cherokee SAP was adopted.
<u>K-2</u>	Two small areas west of N. Sherman Avenue and north of Golf Parkway	P to LDR	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Adds a small amount of developable area adjacent to Cherokee Marsh.
<u>K-3</u>	Property east of N. Sherman Avenue and north of Wheeler Road	LDR to SI	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Recognizes a large existing church site
<u>K-4</u>	Small areas along the edge of Cherokee Marsh east of N. Sherman Avenue	LDR to P and P to LDR	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Reflects a recommended new park and minor modifications to the edge of the recommended open space.
<u>K-5</u>	Area southeast of Gompers Elementary/Blackhawk Middle School	LDR to SI	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Expands the SI district to match the existing school site.
<u>K-6</u>	Area northwest of the Wheeler Road/Packers Avenue intersection	LDR to NMU	To reflect the land uses recommended in the Cherokee Special Area Plan [adopted 1-16-07]	Shifts the recommended location of the mixed-use node.
<u>K-7</u>	Area southwest of the Wheeler Road/Packers Avenue	NMU to LDR	To reflect the land uses recommended in the Cherokee Special Area Plan	Shifts the recommended location of the mixed-use node.

March 24, 2011

City of Madison
P.O. Box 2985
Madison, WI 53701

Dear Michael Waidelich:

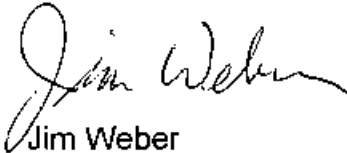
Over the last approximate nine years I have marketed my lots in Sauk Heights No. 25 & 26 as neighborhood mixed use. During that time, we had a variety of interest but each time after talking to people at Planning, they were unable to do what they wanted to. Interested parties were Chris Monson, Tim Neitzel, etc.

Presently, Alex Mckenzie has expressed interest in a joint venture with me. We met with our Alderman Paul Skidmore and Tim Parks with the City, but have not come up with a plan that works. Commercial either in or next to multiple units on Lot 26 just won't work as we have no interested tenants for the commercial area. We would leave the zoning on Lot 25 as is and request a change on Lot 26 to medium multi-family.

It is my understanding as per a conversation with Brad Murphy that the deadline for applying for changing the comprehensive plan was March 22. In all the conversations and meetings we had over the last two months no one informed us of this timeline.

I am requesting that we be added to the list of properties for consideration of a zoning change from the present comprehensive plan.

Thank you for your consideration.



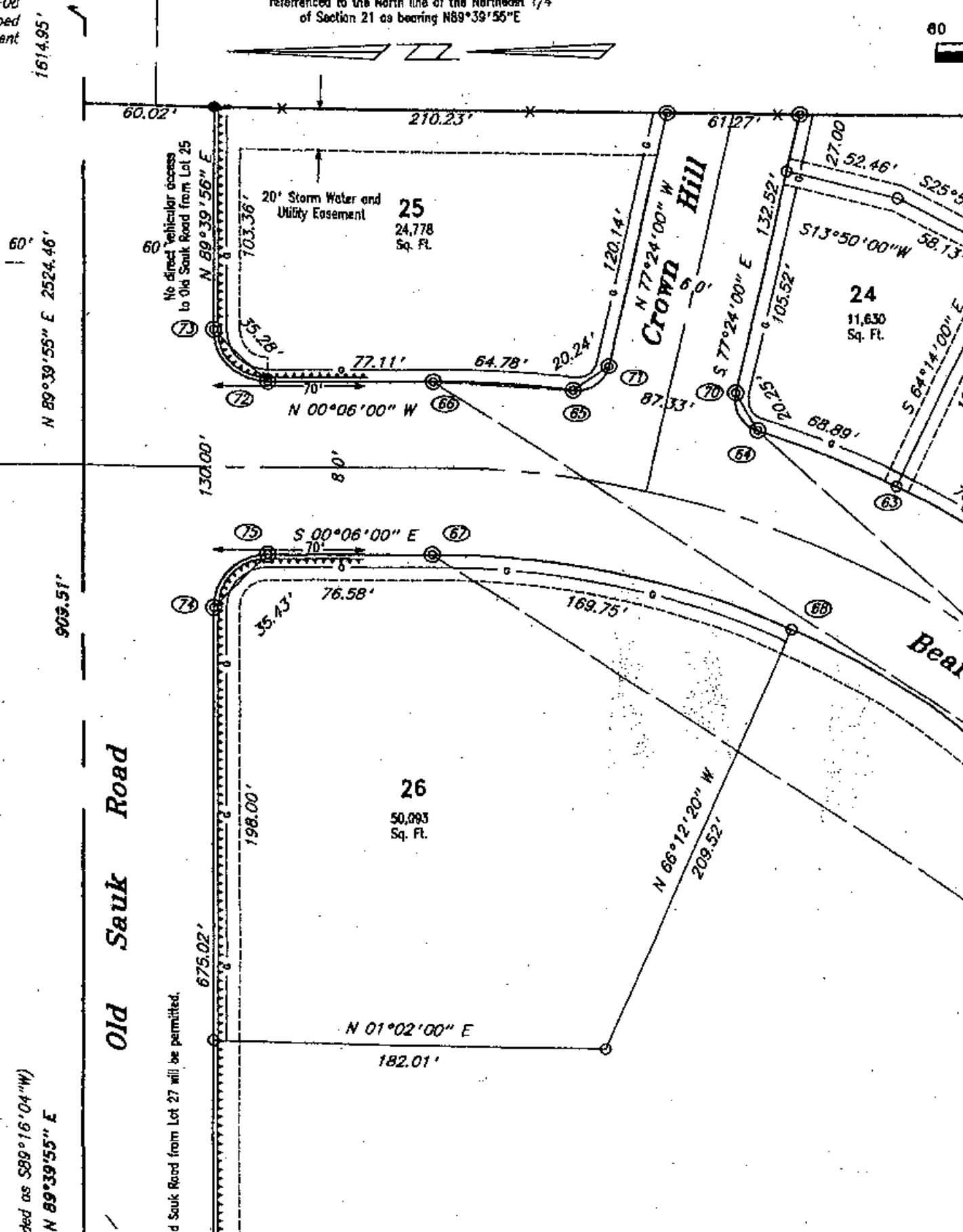
Jim Weber
608/835-3405 or 608/516-7561

Cc: Brad Murphy

Northeast Corner
Section 21-07-08
and Brass Capped
Monument

Grid North Dane County Coordinate System as
referred to the North line of the Northeast 1/4
of Section 21 as bearing N89°39'55"E

80



red as S89°16'04"W)
N 89°39'55" E

Old Sauk Road from Lot 27 will be permitted.

Old Sauk Road

CROWN HILL

Bear

May 9, 2011

City of Madison Planning Commission
Attn: Nan E. Fey, Chairperson
c/o Mr. Bradley J. Murphy
Director, Planning Division
Department of Planning and economic Development
215 Martin Luther King, Jr. Boulevard, Room LL-100

RE: Proposed Amendments to City of Madison Comprehensive Plan
4018 Mineral Point Road- Mt. Olive Church

Dear Chair Fey:

We recently had an offer accepted to purchase the former Mount Olive Church, located at 4018 Mineral Point Road. Currently there is no neighborhood plan in place which includes this parcel. MSP seeks re-characterization of these lands under the City of Madison Comprehensive Plan to "High Density Residential" to allow for the construction of a senior housing campus that will include independent senior apartments, assisted living and memory care.

In support of this request, MSP Real Estate, Inc. offers the following information:

1. This land is currently planned for "Low Density Residential" given the layout of the site (see attached aerial) the current planning seems infeasible for the redevelopment for single family homes.
2. The highest and best use of this infill site is senior residential housing. The demographics of the adjacent neighborhoods support a strong need for senior housing now and in the future. Although we are seeking a "high density residential" classification we will minimize the impact on the neighborhood through our building design. The majority of our building is two stories and the three story section is in approximately the same place as the existing church.
3. Traffic impact analysis from similar projects show that the trips generated from our project will be less than the site's use as church. The TIA also shows that high density retirement community would only generates about 40% of the traffic of a general occupancy high density residential property. Fortunately the site is located on an existing bust route which will accommodate transportation for residents as well as staff and visitors to the property, further reducing the traffic impact on the neighborhood.

While we realize that this request is outside of the Plan Commission's March 21, 2011 target date for plan amendments, we request that it be considered by the Plan Commission along with other Comprehensive Plan Amendments. This is a highly visible infill site and while we have considered other sites on the periphery of the City that were in line with the

Comprehensive Plan this site is ideal for our use and will not require additional City infrastructure to accommodate our development.

We have discussed the development with Alder Schmidt and we will be holding the first of several neighborhood meetings related to this development on May 18, 2011.

We appreciate your consideration of our request and look forward to an opportunity to present further reasons that this change to the Comprehensive Plan should be considered by the City of Madison's Plan Commission.

Sincerely,

A handwritten signature in dark ink, appearing to read 'J. Klein', written in a cursive style.

Jacob T. Klein
Director of Development

cc: Alder Chris Schmidt (via email)
Brad Murphy (via email)

Overview of MSP Real Estate, Inc.

MSP Real Estate, Inc.

MSP Real Estate, Inc. (MSPRE) and its subsidiaries Heritage Assisted Living, MSP Construction and MSP Property Management make up a full service real estate development company.

Established in 1988 by Milo Pinkerton MSPRE has assembled a team with the experience and tenacity to get the job done. We are a long-term owner that owns over 90 percent of what we have built. Our philosophy is to develop high quality properties in strategic markets to ensure the best investment for us, our partners and the communities we build in.

MSPRE has experience with public/private development projects utilizing TIF, HOME Funds, Federal Home Loan Bank Funding, CBDG, Metropolitan Council grants, and DTED grants. MSPRE has extensive knowledge of real estate development gained over the past 20 years with 28 projects totaling over 140 million in value.

Senior Housing Development

MSPRE has become one of the Midwest's leading developers of senior housing communities. To date we have developed over 1400 units of senior housing in 12 communities in Wisconsin and Minnesota. MSPRE has developed senior condominiums, independent apartments, assisted living and memory care.

Over the past 5 years MSPRE has focused on developing senior housing campuses to provide a continuum of care for its residents. These communities consist of mixed income independent senior apartments, assisted living and memory care.

Affordable Housing Development

MSPRE specializes in Section 42 Affordable Housing Tax Credit development. To date MSPRE has received over \$10 million in tax credit allocations in three Midwestern states, constructing developments with a total project cost of over 95 million. This portfolio consists of approximately 1000 units of senior housing and 260 units of family housing.

MSPRE has experience developing properties using both 9% tax credits and 4% tax credits with tax exempt bond financing.

Market Rate Housing Development

Louisiana Oaks Apartments is a 200 unit market rate development in St. Louis Park, Minnesota. This property was recognized as the 2006 MADACS Award-winning ("Property Excellence Award – Best New Development – Market Rate") in the Twin Cities.

Heritage Assisted Living

Founded in 2000, Heritage Assisted Living is an industry leading manager of assisted living and memory care communities. Today we own and operate eight communities in Wisconsin totaling over 350 units. We are one of the fastest growing Assisted Living companies in the region and now employ over 300 people.

MSP Construction

MSP Construction is responsible for General Contracting service for MSPRE's developments. Acting as our own general contractor allows us to save costs and ensure quality on all our development projects.

In 2009 MSP Construction built 360 units with project costs totaling over 30 million.

MSP Property Management

MSP Property Management, LLC (MSPPM) was formed in 2006 to more fully service its affordable housing and market-rate housing in Minneapolis and Northwest Wisconsin. MSPPM currently manages over 500 units in six locations.

Management Team

Milo Pinkerton, President

Milo has developed more than 2000 units spanning over 27 years. Milo's unique background of architecture, real estate and construction has enabled MSP projects to be of consistent high quality, on time and on budget.

Milo is primarily responsible for overseeing and directing all aspects of the MSP Family of Companies. Ensuring steady growth, consistent profitability and increasing cash flows annually. Milo works hands on with the development and construction company and

coordinates management and direction of Heritage and MSPPM through its various staff directors.

Prior to forming MSP Real Estate, Inc. Milo was vice president and manager of special projects for ITT Real Estate Services, where he was in charge of the disposition of \$50 million of troubled real estate nationwide. Milo was also project director with a regional development/construction company, Orville E. Madsen and Sons, based in Madison, Wisconsin, in charge of developing over 450 units.

Milo has a Master's of Science in Business, Real Estate Investment from the University of Wisconsin and a Master of Architecture Degree from the University of Minnesota. He is licensed in Minnesota and Wisconsin as a real estate broker.

Jacob T. Klein, Director of Development

Since joining the MSPRE team in 2004 Jacob has overseen the development of 400 Units of Senior Housing totaling over \$45 million. Mr. Klein has developed Private Pay Assisted Living and Memory Care as well as Mixed Income Independent Senior Apartments.

Jacob is primarily responsible for project development, leading all facets of the development process, including site identification and acquisition, city approvals, financial layering, tax credit approval, construction and lease-up, financing -- identifying various forms of soft cost subsidies, TIF analysis, construction and long-term debt financing as well as Tax Credit Equity. Jacob is also responsible for soliciting bids and negotiating construction contracts, visits sites biweekly, and serves as Project Manager to manage the construction process.

Prior to joining MSPRE Jacob was Leasing Director for Oakbrook Corporation at Uptown Village Apartments, a 400-unit market rate apartment community in Denver, Colorado. He was in charge of preparing quarterly reports for investors, retention of residents, and managing leasing staff.

Jacob earned his Bachelor of Arts from the University of Colorado and is a licensed real estate agent in Minnesota.

MSP Real Estate Market Rate Apartments

	Units	Completion
Louisiana Oaks/St. Louis Park, MN	200	2002
Total	200	

Heritage Assisted Living Assisted/Memory Care

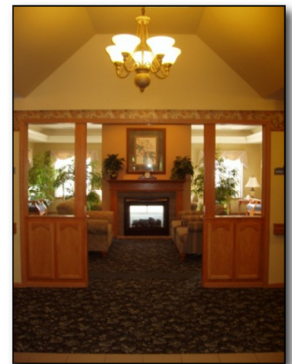
	Units	Completion
Heritage Court, Menomonee Falls	34	2004
Heritage Deer Creek, New Berlin	76	2004
Heritage Deer Run, Eau Claire	39	2002
Lexington Heritage, Greenfield	20	2000
Heritage Court, Eau Claire	34	2007
Heritage West Allis, West Allis	78	2009
Monona Heritage, Monona	75	2009
Total	356	

MSP Real Estate Section 42 Apartments


	Units	Completion
West Allis Senior Apts./West Allis, WI	122	2009
Monona Senior Apartments/Monona, WI	88	2009
Lincoln Village/Port Washington, WI	49	2002
Homestead Village/Chippewa Falls, WI	48	2003
Deer Creek Village/New Berlin, WI	145	2001
Silver Creek Village/Glendale, WI	65	2000
Lexington Village/Greenfield, WI	120	1998
Silver Lake Commons/Mounds View, MN	50	1997
Cityside/Marshall, MN	50	1996
Parkside/Redwood Falls, MN	30	1997
Valley Farms/Westfield, IN	92	1996
Silver Lake Pointe/Mounds View, MN	83	1995
Courtyard/West Allis, WI	63	1995
Oakwood Homes/Eau Claire, WI	63	1995
Lincoln Square/Chisholm, MN	38	1995
Mill View/Kiel, WI	24	1995
City Walk/Wausau, WI	48	1993
London Square/Eau Claire, WI	56	1993
Station House/Antigo, WI	40	1991
Village Plaza/Paddock Lake, WI	24	1991
Total	1298	

Contact Information

Jacob Klein
 MSP Real Estate
 7201 Walker Street, Ste. 20
 St. Louis Park, MN 55426
jklein@msphousing.com
 (612) 202-1577
www.msphousing.com





 Bird's eye view maps can't be printed, so another map view has been substituted.