

LEGAL DESCRIPTION

The West 1/2 of Lots Two (2) and Three (3), Block Three (3), Madison Lakes Improvements Co. and Sam R. Miller's Subdivision known as Elmside Addition to Madison, in the City of Madison.



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 2901 ATWOOD AVENUE

Contact Name & Phone #: Kevin Burow 836-3690

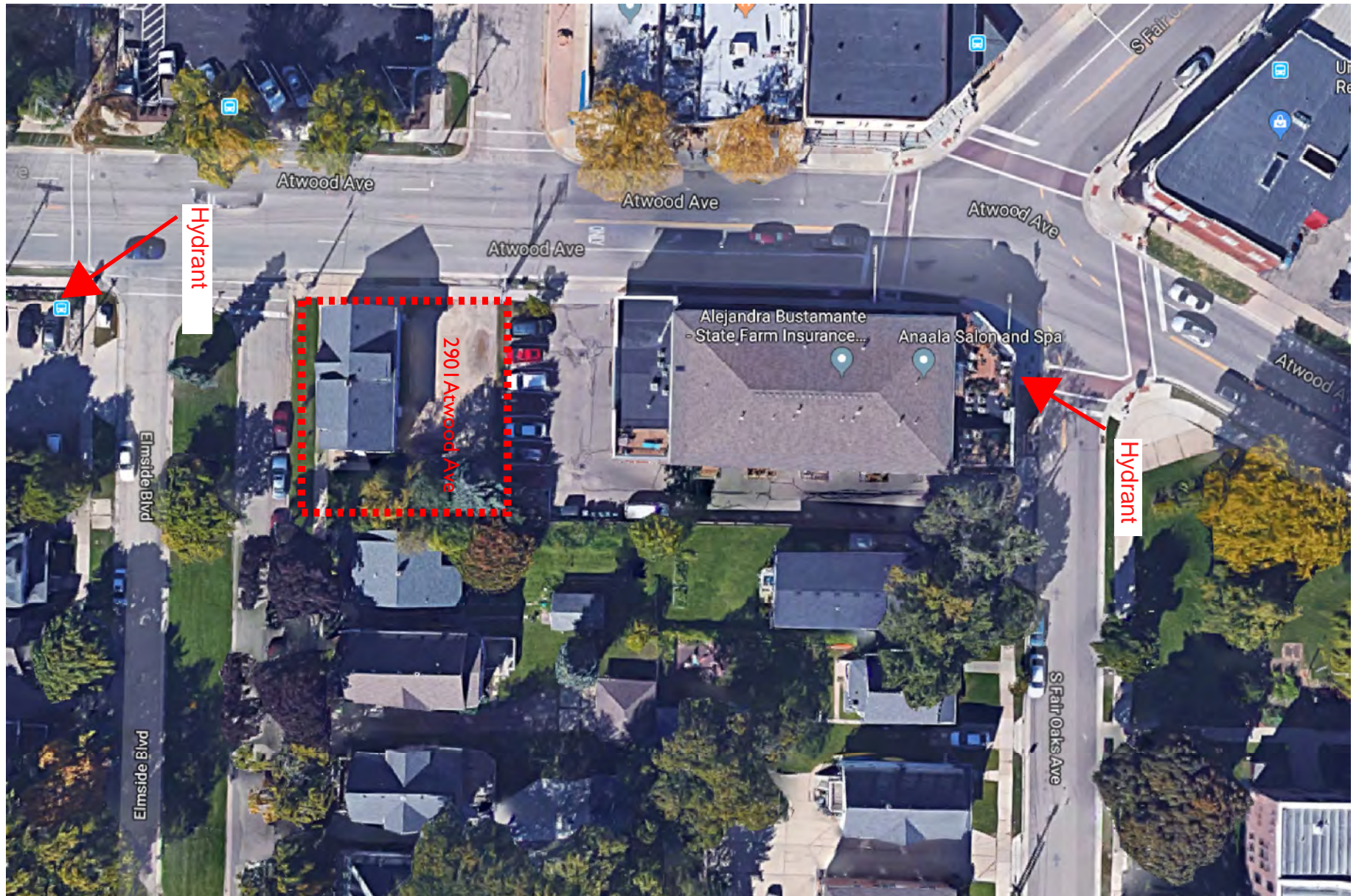
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

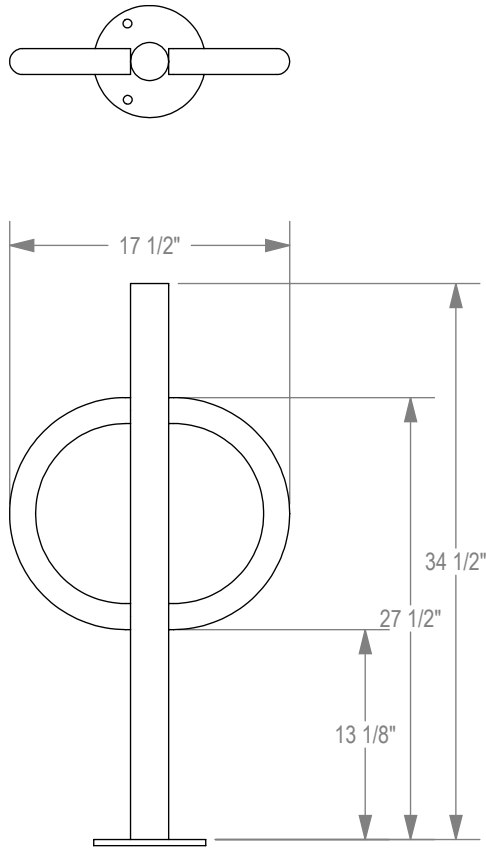
VICINITY MAP



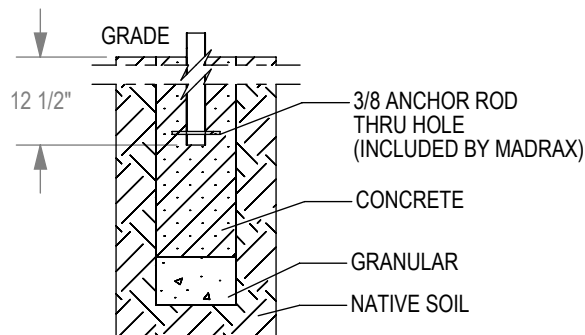
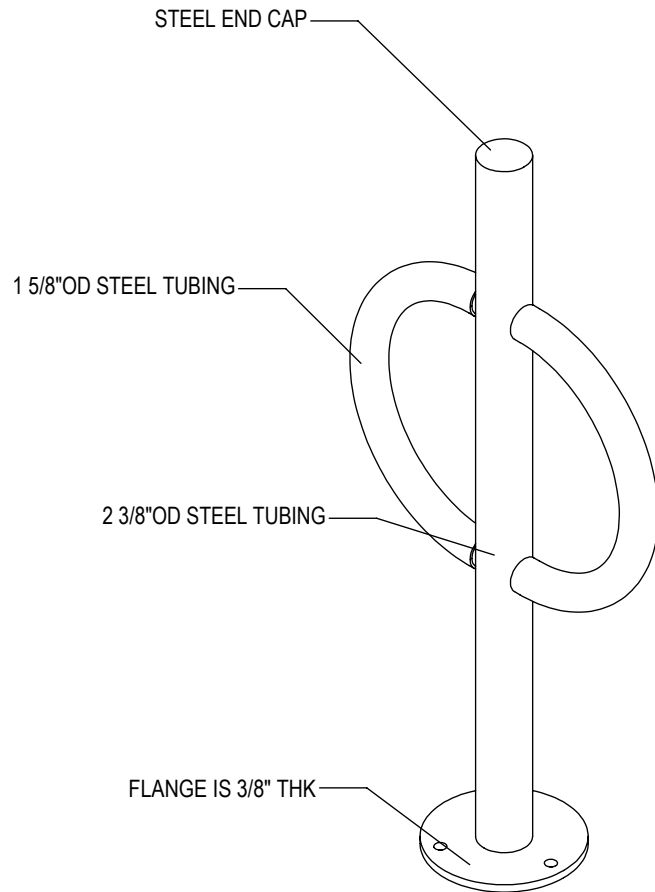


2901 Atwood Ave

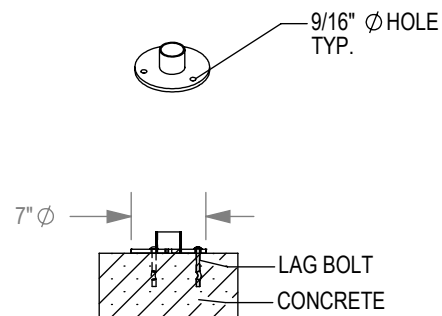
MADRAX DIVISION
GRABER MANUFACTURING, INC., FORMERLY TRILARY, INC.
1080 UNIEK DRIVE
WAUNAKEE, WI 53597
P(800) 448-7931, P(608) 849-1080, F(608) 849-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



CHECK DESIRED MOUNT ☐



☐ IN GROUND MOUNT (IG)



☐ SURFACE FLANGE MOUNT (SF)

SECTION VIEWS

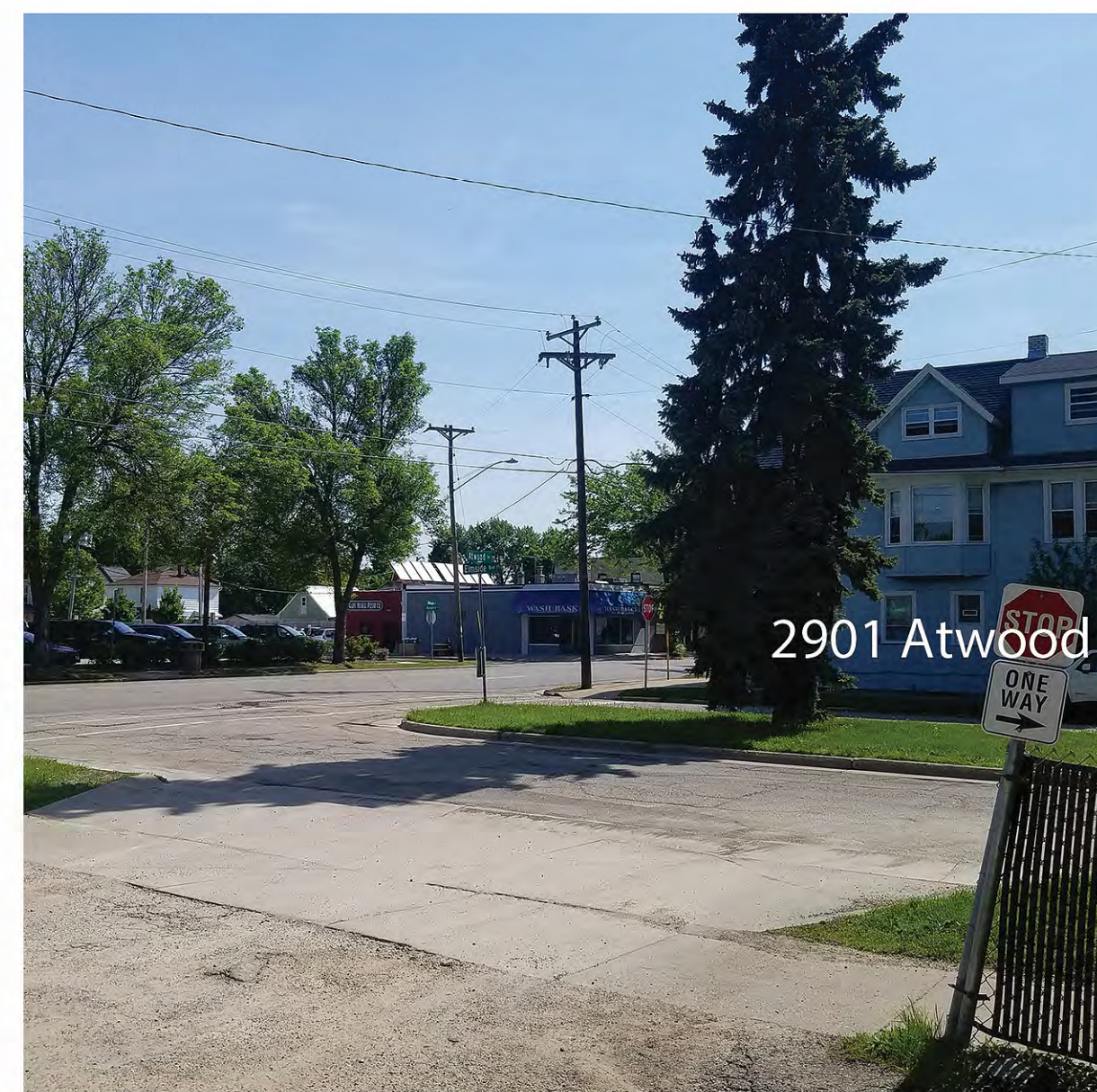
PRODUCT: BOL-2-SF(IG)
DESCRIPTION: BOLLARD BIKE RACK WITH FLAT CAP, TUBE STEEL ARMS
2 BIKE, SURFACE OR IN GROUND MOUNT

DATE: 8-20-12
ENG: SMC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

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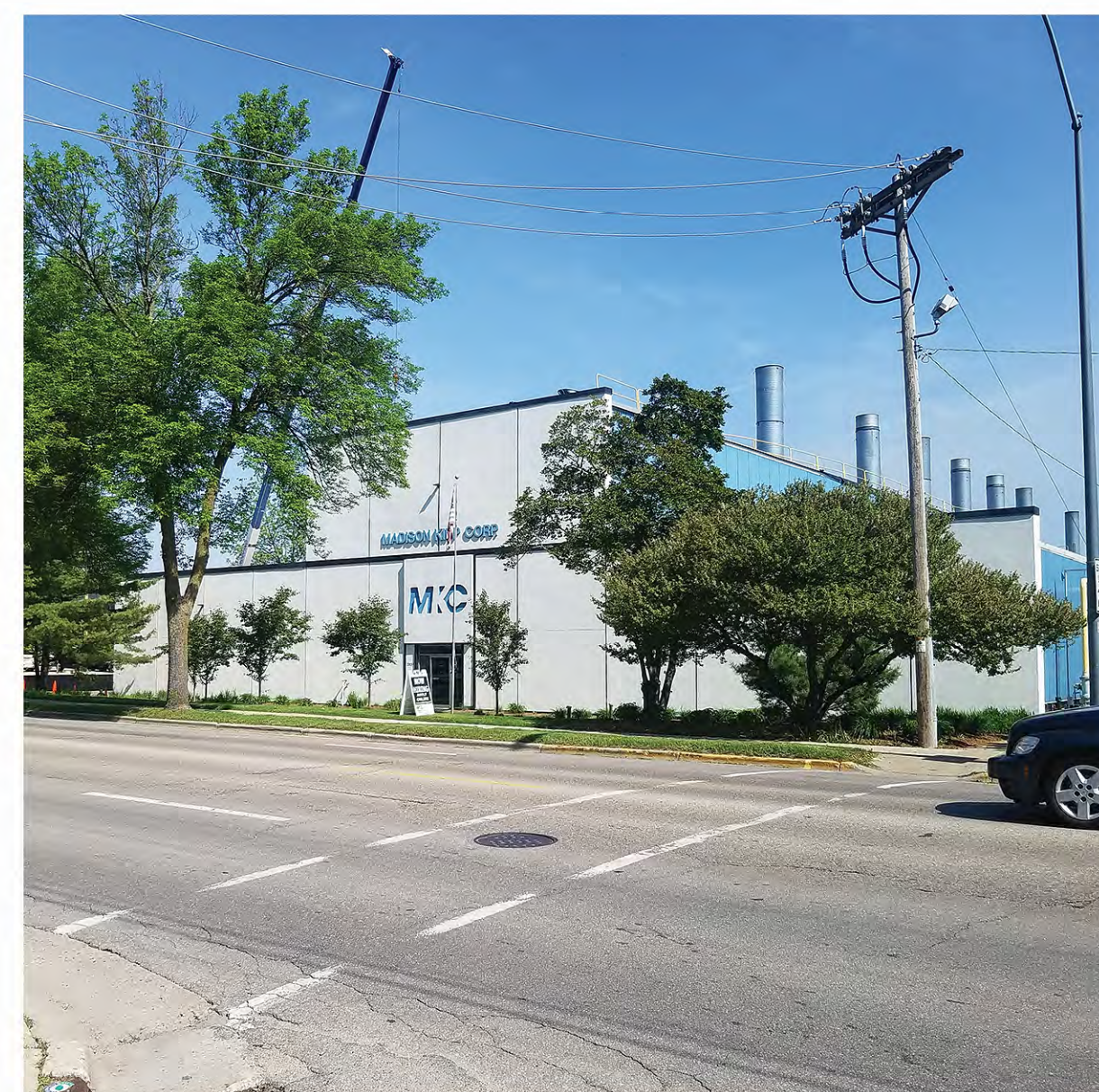
East from Daisy Cafe



East from Daisy Cafe



Looking West from Site



KIPP - across Atwood



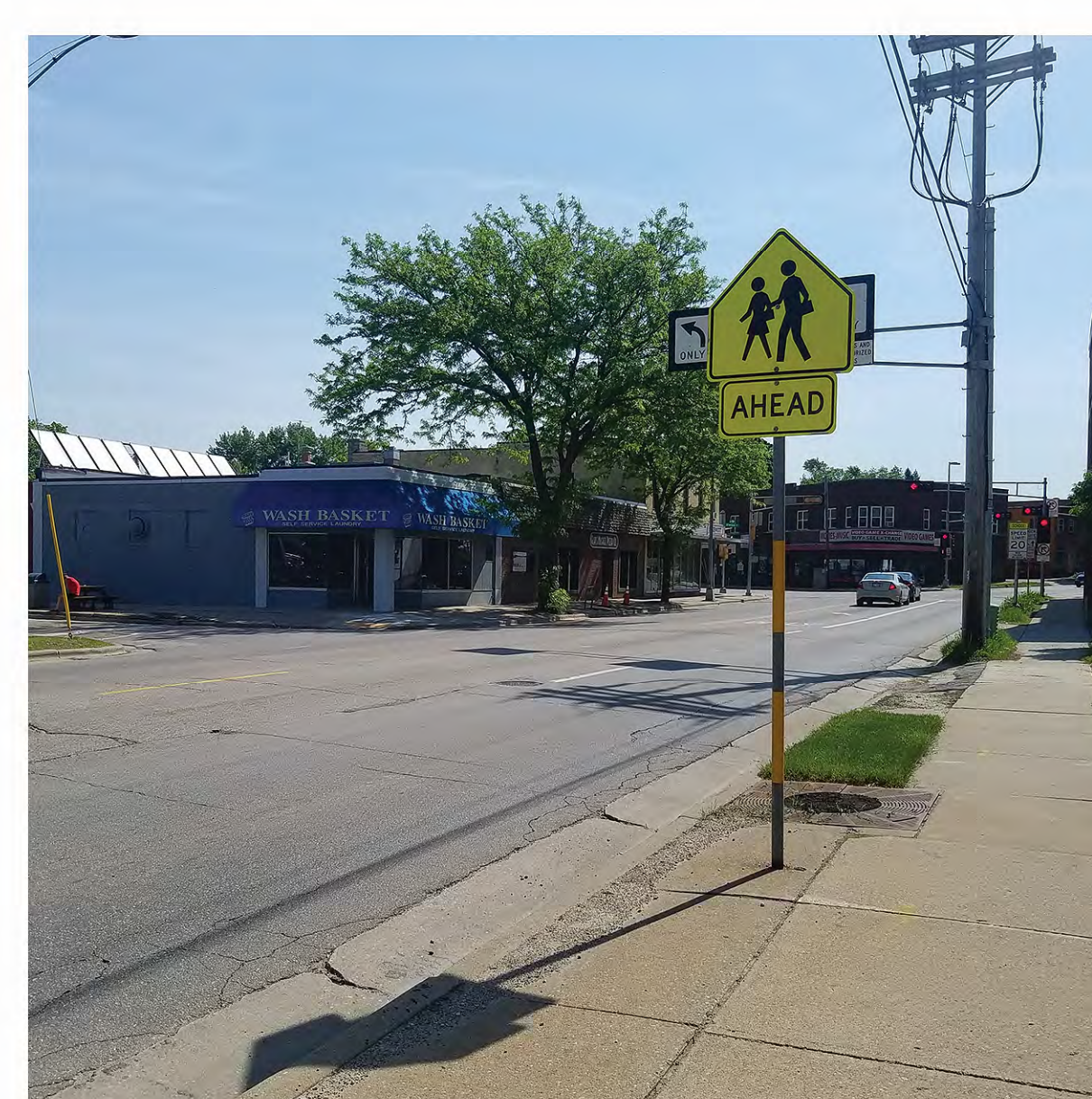
South down Elmside



South toward Atwood



West down Atwood Ave.



East down Atwood Ave.

2901 Atwood Avenue
Madison, WI
May 30, 2018



SHEET INDEX	
SITE	
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A-3.1	BUILDING SECTIONS & STREETSCAPE ELEVATIONS

SITE DEVELOPMENT STATISTICS	
LOT AREA	5,238 SF / .12 ACRES
ZONING DISTRICT	TSS
DWELLING UNITS	9 DU
BUILDING HEIGHT	3 STORIES
LOT COVERAGE	4,412 SF = 84%
USABLE OPEN SPACE	509.5 SF (56 / DU)
DWELLING UNIT MIX	
EFFICIENCY	4
ONE BEDROOM	4
TWO BEDROOM	1
TOTAL	9
VEHICLE PARKING	
SURFACE GARAGE	4 STALLS
BIKE PARKING	
SURFACE GUEST	1 STALL (10% OF UNITS)
GARAGE (COVERED)	9 STALLS (COVERED)
TOTAL	10 STALLS

- GENERAL NOTES:
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER.
 - EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION.
 - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
 - THE RIGHT-OF-EAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

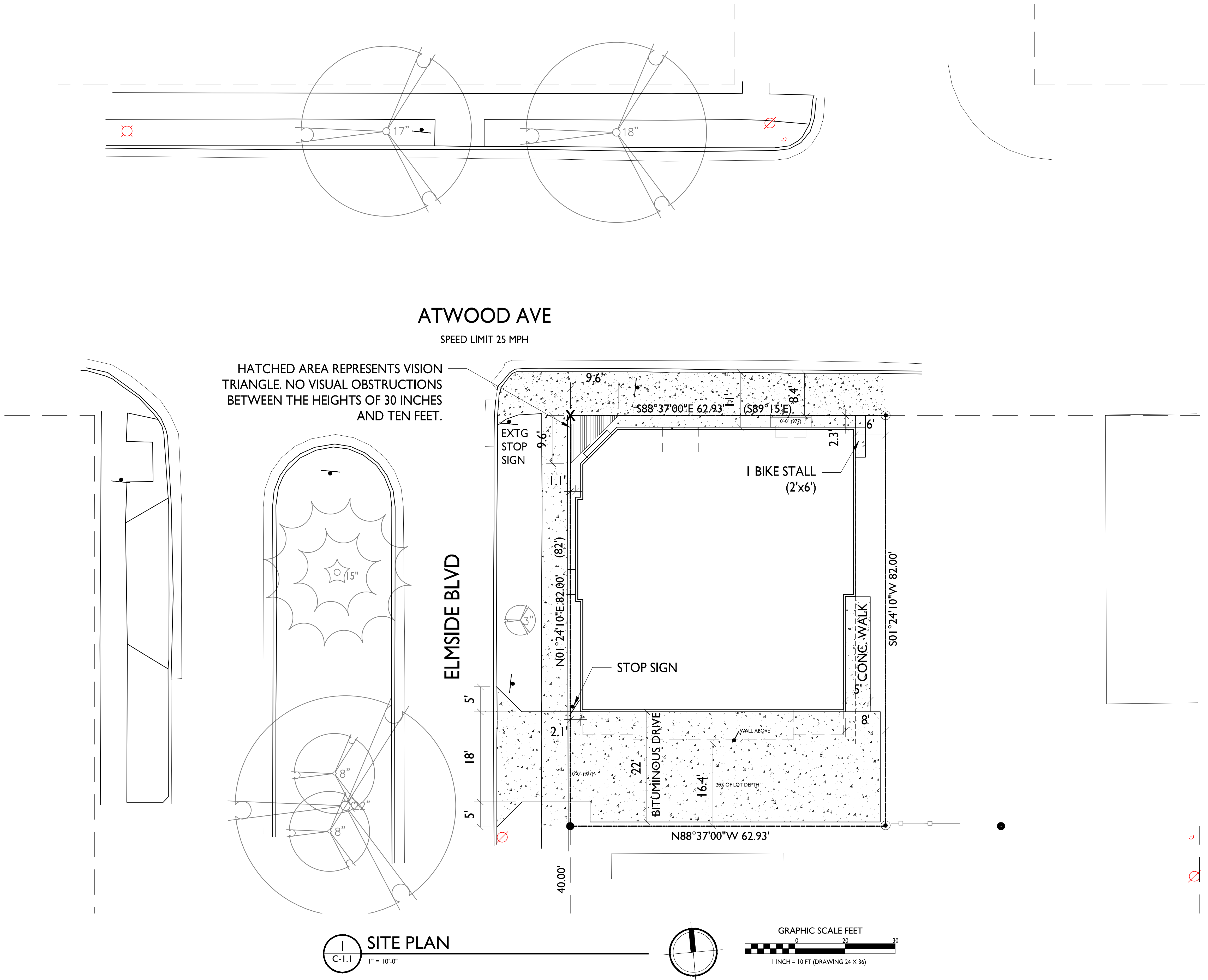
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Issued for Conditional Use - May 30, 2018

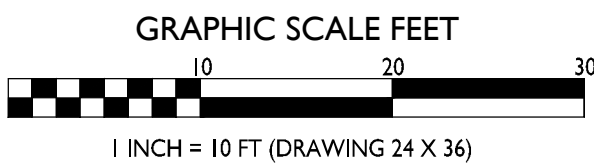
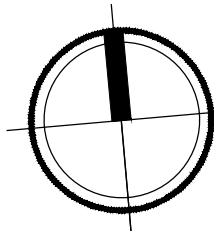
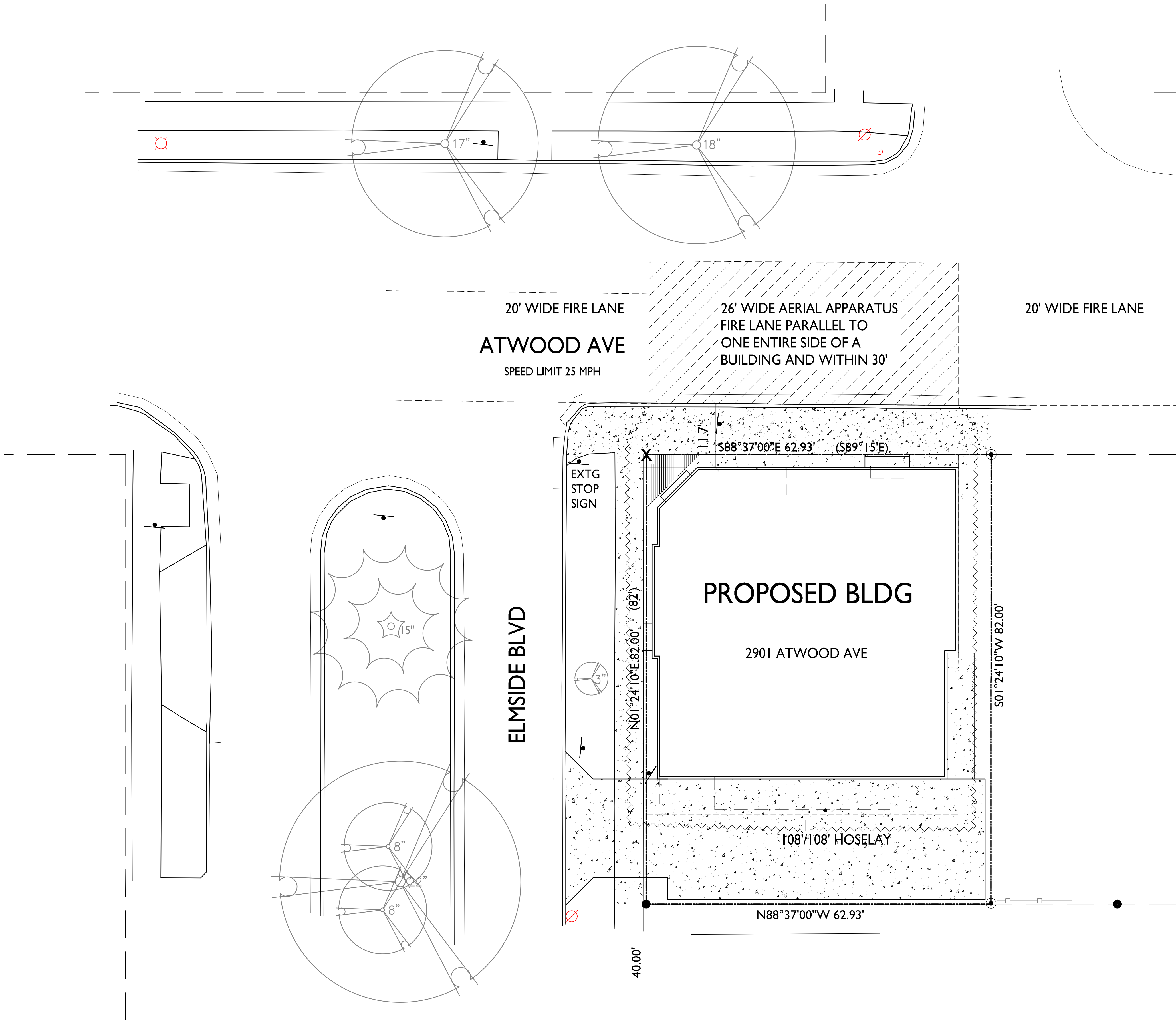
PROJECT TITLE
9 Unit Apartment Building

2901 Atwood Avenue
Madison, WI
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. 1716
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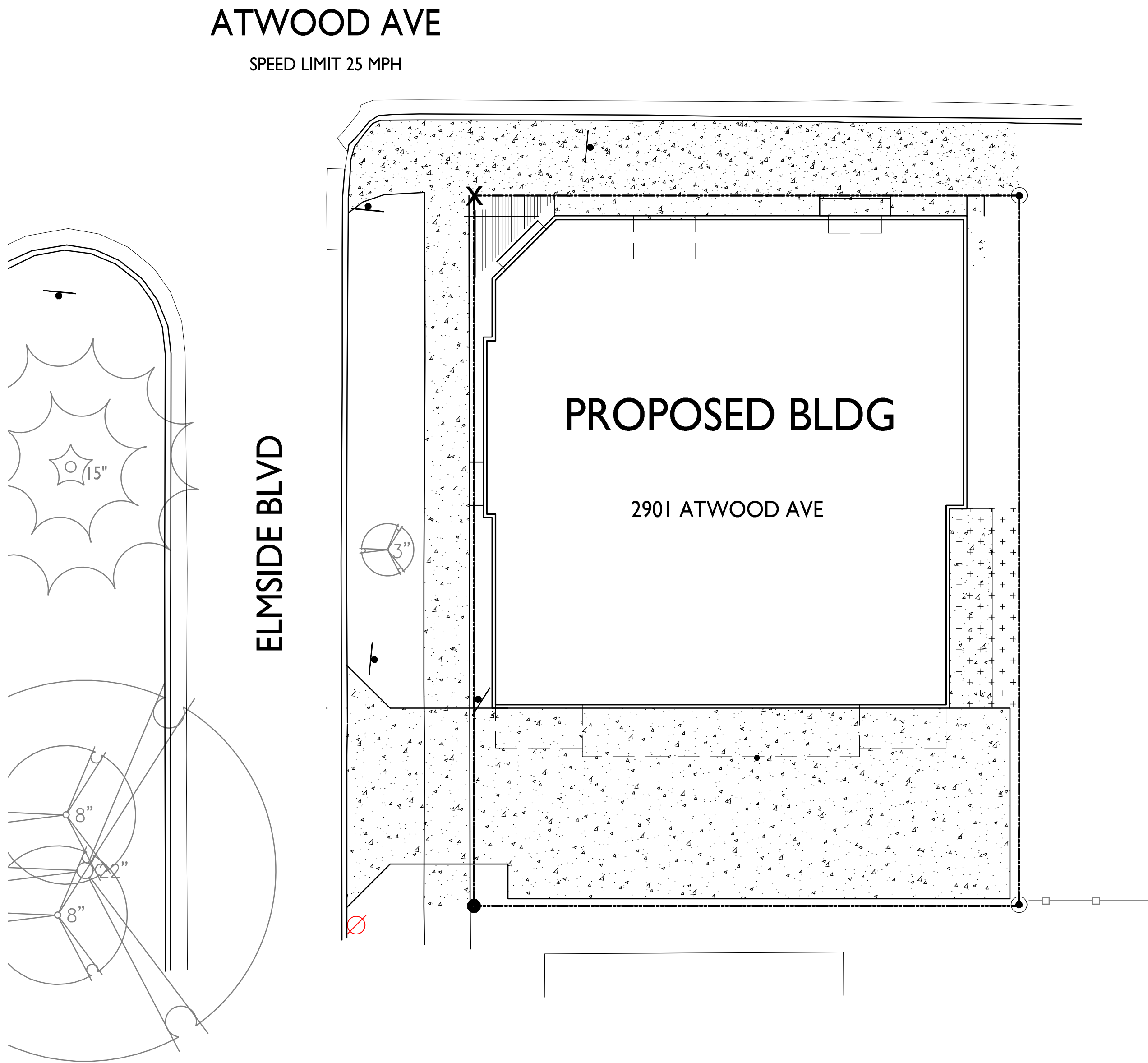
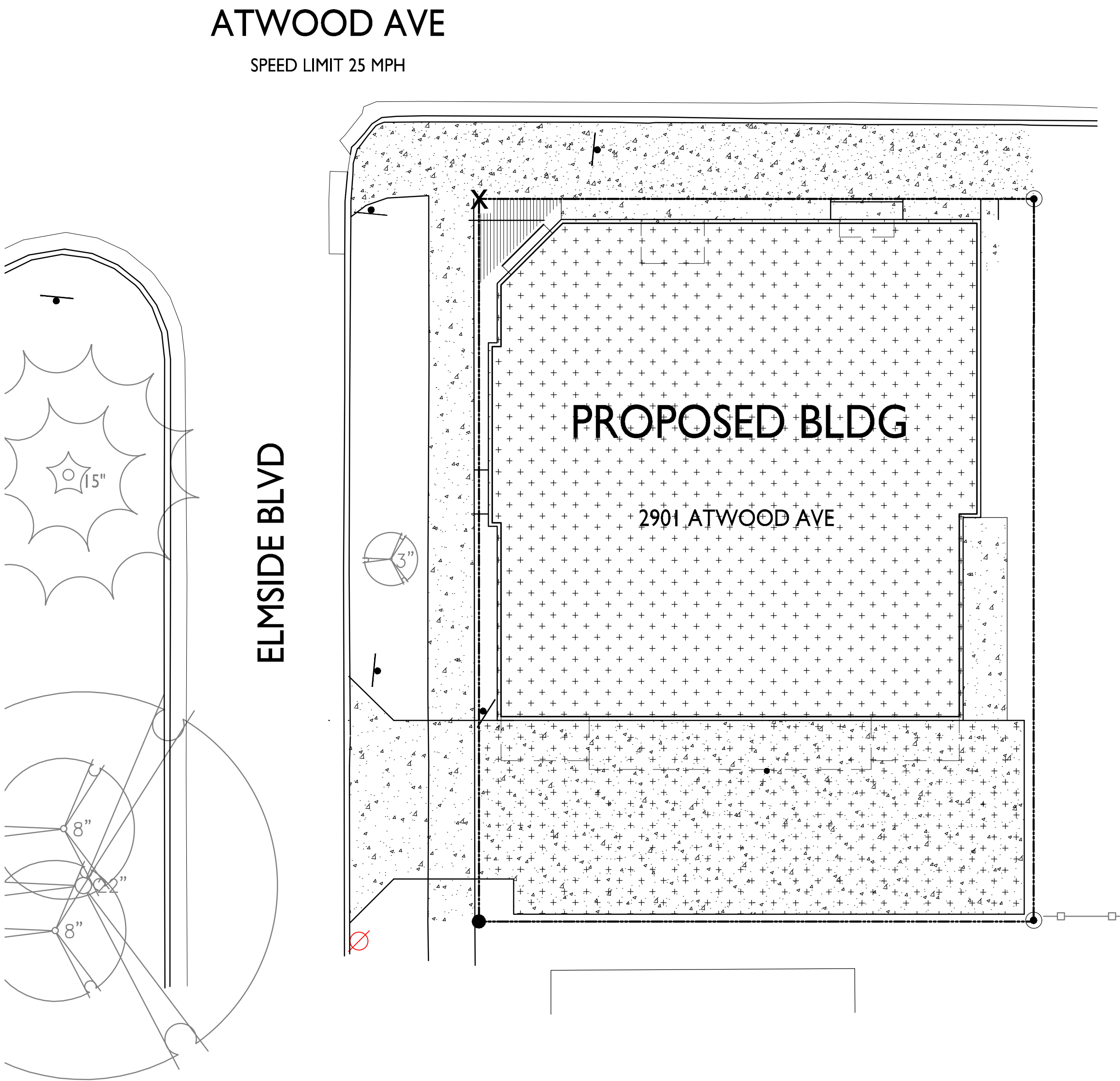


LOT COVERAGE

TOTAL LOT AREA	= 5,238 SF
LOT COVERAGE	= 4,412 SF (84%)
	(85% MAX)

USABLE OPEN SPACE

GROUND SPACE	= 200 SF
DECKS & BALCONIES	= 309.5 SF
TOTAL OPEN SPACE	= 509.5 SF (360 SF REQUIRED)

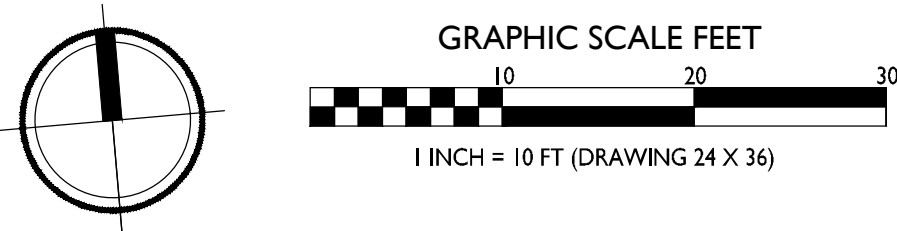


1

C-1.3

LOT COVERAGE

1" = 10'-0"



2

C-1.3

USABLE OPEN SPACE PLAN

1" = 10'-0"

ISSUED
Issued for Conditional Use - May 30, 2018

PROJECT TITLE
9 Unit Apartment
Building

2901 Atwood Avenue
Madison, WI
SHEET TITLE
Lot Coverage and
Usable Open
Space Plan

SHEET NUMBER

DIGGERSHOTLINE

Dial 811 or (800) 242-8511

www.DiggersHotline.com

• 3/4" SOLID IRON ROD FOUND

⊙ 1" IRON PIPE FOUND

X FOUND CHISELED "X" IN CONCRETE

⊗ FOUND X CUT IN CONCRETE

OH OVERHEAD UTILITY WIRE

G BURIED GAS LINE

W WATER MAIN

SAN SANITARY SEWER

ST STORM SEWER

Bu Tel BURIED TELEPHONE

E BURIED ELECTRIC

FO BURIED FIBER OPTIC

• WATER VALVE

• GAS VALVE

• GAS METER

AC AIR CONDITIONER

Ⓜ ELECTRIC PEDESTAL

⊘ UTILITY POLE

EXISTING UTILITY REMOVE

TREE REMOVE

SIGN REMOVE

⊠ LIGHT POLE

Ⓜ TELEPHONE PEDESTAL

⊠ FIRE HYDRANT

— SIGN

• GUY WIRE

Ⓜ STORM SEWER INLET

Ⓜ STORM SEWER STRUCTURE

Ⓜ SANITARY SEWER MANHOLE

Ⓜ DECIDUOUS TREE

Ⓜ CONIFEROUS TREE

() INDICATES RECORDED AS

TG METAL TREE GRATE

CNC. CONCRETE PAVEMENT

BIT. BITUMINOUS PAVEMENT

CIP CAST IRON PIPE

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

EX CONCRETE REMOVE

EX BUILDING REMOVE

EX GRAVEL REMOVE

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, PLUGGING AND DISPOSAL.
3. ALL EXISTING SANITARY AND WATER LATERALS SHALL BE PLUGGED AT THE PROPERTY LINE PER CITY OF MADISON SPECIFICATIONS.
4. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
8. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
11. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
12. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

GRID NORTH

BEARINGS ARE BASED UPON

THE NATIONAL GRID

COORDINATE SYSTEM (NAD83)

0

10

20

Bursee

Surveying and Engineering, Inc.

2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9265
Fax: 608-250-9266
e-mail: mbursee@BSE-INC.net
www.bursee-surveying.com

APPROVAL

PROJECT NO.

DATE

DESIGNED BY

DATE

DRAWN BY

DATE

CHECKED BY

DATE

IN CHARGE

DATE

McCAUGHEY 2901 ATWOOD

2901 Atwood Road
Madison, WI 53704

McCaughey Properties, LLC
PO BOX 259446
Madison, WI 53725

PROJECT #: BSE1991

PLOT DATE: 05/30/2018

REVISION DATES:

ISSUE DATES:

05/30/2018

DEMOLITION PLAN

Burse

Surveying and Engineering, Inc.

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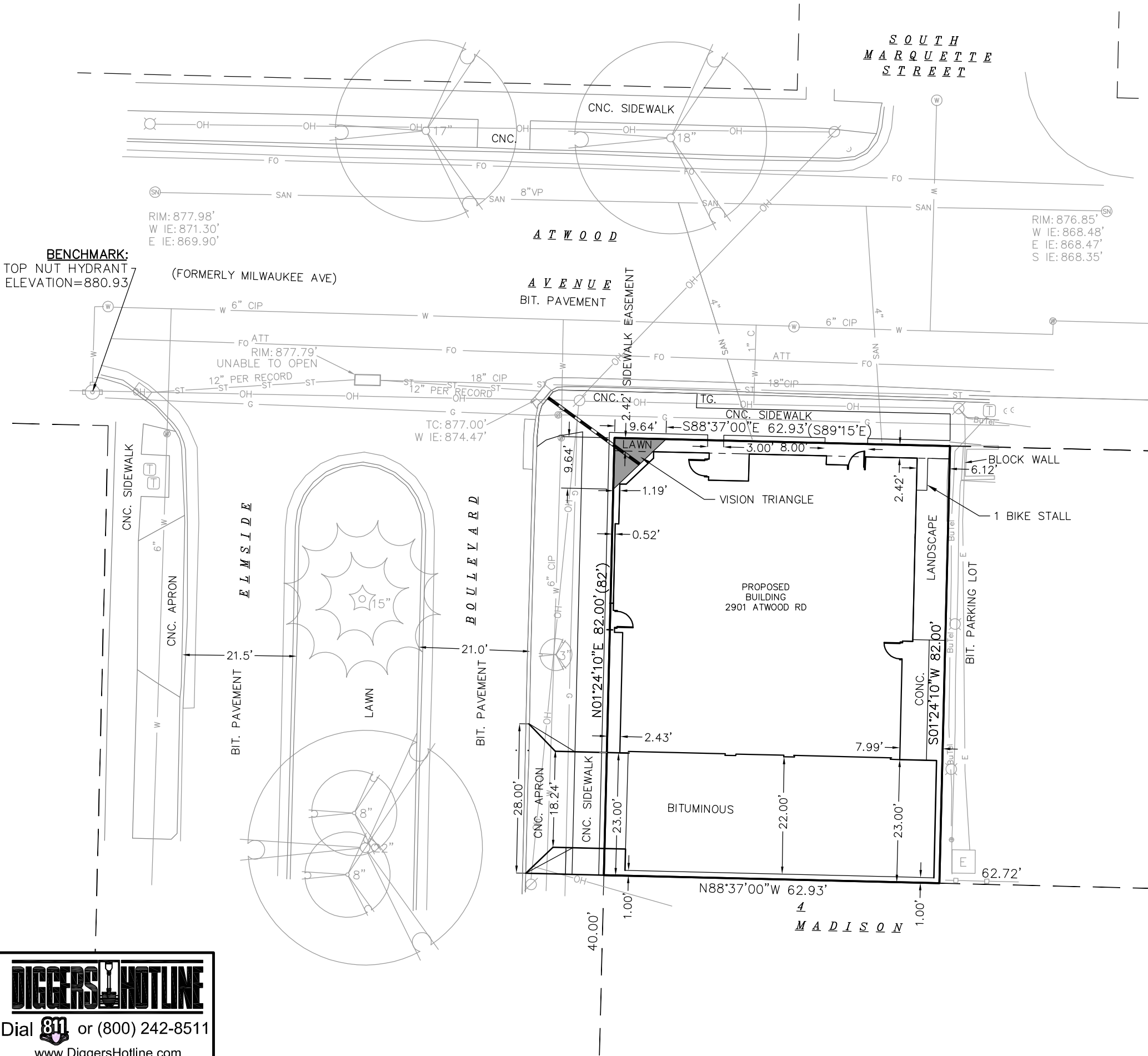
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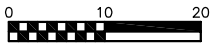


LEGEND

• 3/4" SOLID IRON ROD FOUND	☐ LIGHT POLE
⊙ 1" IRON PIPE FOUND	☐ TELEPHONE PEDESTAL
X FOUND CHISELED "X" IN CONCRETE	☐ FIRE HYDRANT
⊗ FOUND X CUT IN CONCRETE	— SIGN
— OH — OVERHEAD UTILITY WIRE	— GUY WIRE
— G — BURIED GAS LINE	☐ STORM SEWER INLET
— W — WATER MAIN	☐ STORM SEWER STRUCTURE
— SAN — SANITARY SEWER	⊙ SANITARY SEWER MANHOLE
— ST — STORM SEWER	☐ DECIDUOUS TREE
— Bu Tel — BURIED TELEPHONE	☐ CONIFEROUS TREE
— E — BURIED ELECTRIC	() INDICATES RECORDED AS
— FO — BURIED FIBER OPTIC	— TG — METAL TREE GRATE
• WATER VALVE	— CNC — CONCRETE PAVEMENT
• GAS VALVE	— BIT. — BITUMINOUS PAVEMENT
⊙ GAS METER	— CIP — CAST IRON PIPE
☐ AIR CONDITIONER	
☐ ELECTRIC PEDESTAL	
☐ UTILITY POLE	
— W — PROPOSED WATER LATERAL	▲ VISION TRIANGLE
— SAN — PROPOSED SANITARY LATERAL	
— — PROPOSED LANDSCAPE	
— — PROPOSED PAVEMENT	
— — PROPOSED SIDEWALK	

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- GENERAL NOTES:**
1. ALL SIDEWALK, PAVEMENT, AND CURB & GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB & GUTTER THAT THE CITY ENGINEER DETERMINES THAT IT NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
 2. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS.
 3. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
 4. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 5. CONSTRUCT DRIVEWAY APRON PER CITY OF MADISON SPECIFICATIONS



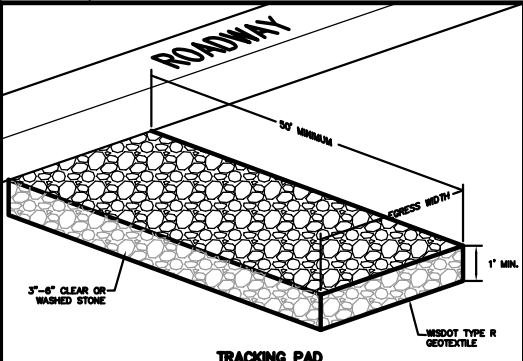
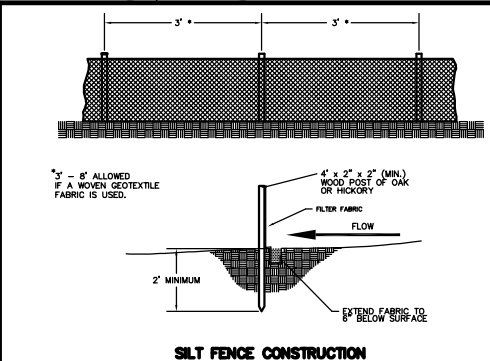
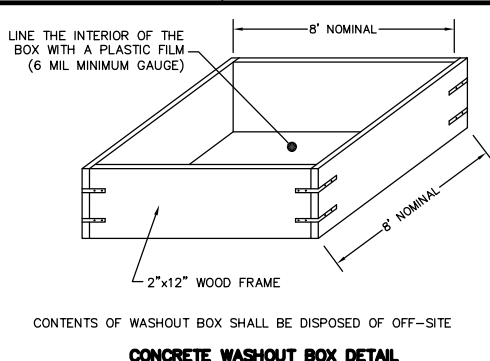
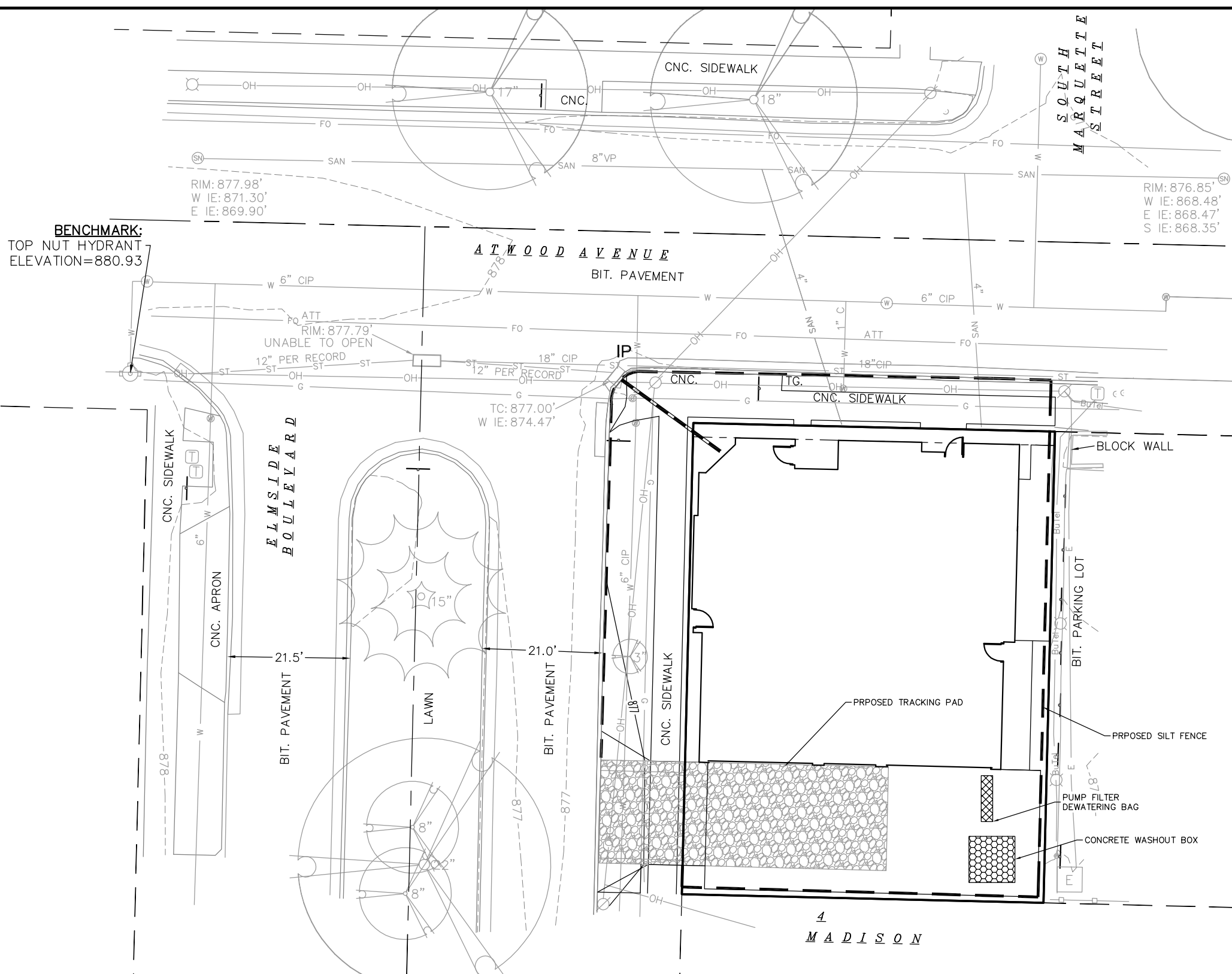
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2801 International Lane, Suite 101
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APPROVAL	PROJECT NO.	DATE	BY	DATE	BY

MCCAUGHEY 2901 ATWOOD
2901 Atwood Road
Madison, WI 53704
McCaughey Properties, LLC
PO BOX 259446
Madison, WI 53725

PROJECT #:	BSE1991
PLOT DATE:	05/30/2018
REVISION DATES:	
ISSUE DATES:	05/30/2018

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DRAWING NUMBER
C-300



LEGEND

---	874	EXISTING MINOR CONTOUR
---	875	EXISTING MAJOR CONTOUR
---	874	PROPOSED MINOR CONTOUR
---	875	PROPOSED MAJOR CONTOUR
---		STORM SEWER
---		TRACKING PAD
---		SILT FENCE
---	IP	INSTALL INLET PROTECTION

- EROSION CONTROL NOTES/SPECIFICATIONS:**
- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WS. ADM. CODE.
 - CONSTRUCTION ENTRANCES - PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
 - SOIL STOCKPILES - A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED & MULCH. EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.
 - DEWATERING - WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A GEOTEXTILE BAG. SANDY SOIL IS EXPECTED TO BE FOUND AT THE BOTTOM OF THE EXCAVATION, THEREFORE GEOTEXTILE BAGS SHALL BE TYPE I PER DNR TECHNICAL STANDARD 1061. THE FOLLOWING TABLE IDENTIFIES THE SIZE & BAG REQUIRED FOR A GIVEN SIZED PUMP. THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.
- | PUMP SIZE (MAX GPM) | TYPE I BAG SIZE (SQ-FT) |
|---------------------|-------------------------|
| 50 | 12 |
| 55 | 24 |
| 75 | 36 |
- STORM SEWER INLETS - PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSVR/PAL.HTM](http://www.dot.wiscnhs.gov/business/engrsvr/pal.htm). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM PREVIOUS SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.
 - BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
 - NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
 - EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTD.S.HTM](http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND COMPLY WITH ALL OF CITY OF MADISON ORDINANCES.
 - ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
 - ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
 - ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.
 - ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE BASED ON POUNDS OR OUNCES OF PURE LIVE SEED PER ACRE AND SHALL BE PROVIDED BY THE SEED SUPPLIER. FERTILIZER CAN BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT: [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html). SEEDING AND SODDING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
 - FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

EMERGENCY CONTACT
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DIGGERS HOTLINE
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MB	MB	MB	MB	MB

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2901 Atwood Road
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PO BOX 259446
Madison, WI 53725

PROJECT #: BSE1991
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EROSION CONTROL PLAN

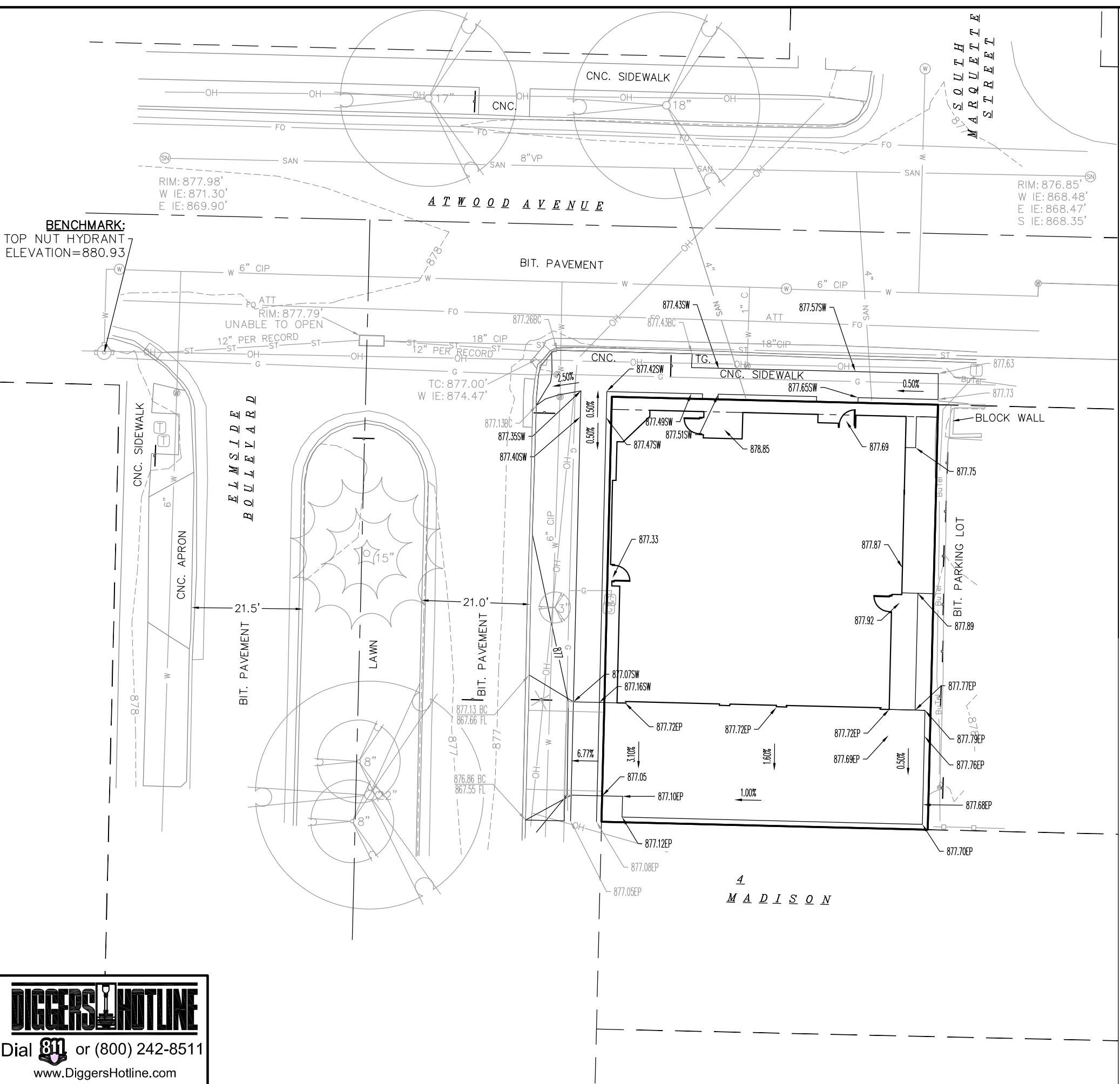
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DRAWING NUMBER

C-500

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LEGEND

• 3/4" SOLID IRON ROD FOUND	☐ LIGHT POLE
⊙ 1" IRON PIPE FOUND	☐ TELEPHONE PEDESTAL
X FOUND CHISELED "X" IN CONCRETE	☐ FIRE HYDRANT
⊗ FOUND X CUT IN CONCRETE	— SIGN
— OH — OVERHEAD UTILITY WIRE	— GUY WIRE
— G — BURIED GAS LINE	☐ STORM SEWER INLET
— W — WATER MAIN	☐ STORM SEWER STRUCTURE
— SAN — SANITARY SEWER	☐ SANITARY SEWER MANHOLE
— ST — STORM SEWER	☐ DECIDUOUS TREE
— Bu Tel — BURIED TELEPHONE	☐ CONIFEROUS TREE
— E — BURIED ELECTRIC	() INDICATES RECORDED AS
— FO — BURIED FIBER OPTIC	— TG — METAL TREE GRATE
• WATER VALVE	— CNC — CONCRETE PAVEMENT
• GAS VALVE	— BIT. — BITUMINOUS PAVEMENT
• GAS METER	— CIP — CAST IRON PIPE
AC AIR CONDITIONER	
☐ ELECTRIC PEDESTAL	
☐ UTILITY POLE	
— W — PROPOSED WATER LATERAL	877.00 SPOT ELEVATION
— SAN — PROPOSED SANITARY LATERAL	877.00 BC SPOT ELEVATION BACK OF CURB
— PROPOSED LANDSCAPE	877.00 EP SPOT ELEVATION EDGE OF PAVEMENT
— PROPOSED PAVEMENT	877.00 SW SPOT ELEVATION SIDEWALK
— PROPOSED SIDEWALK	877.00 SPOT ELEVATION EXISTING
	— DIRECTION ARROW
	— 878 — PROPOSED CONTOUR MINOR
	— 878 — PROPOSED CONTOUR MAJOR

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- NOTES:
- ALL GRADES ARE FINISH ELEVATION
 - ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 - CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 - ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

GRADING PLAN

0 10 20

0' 10' 20'

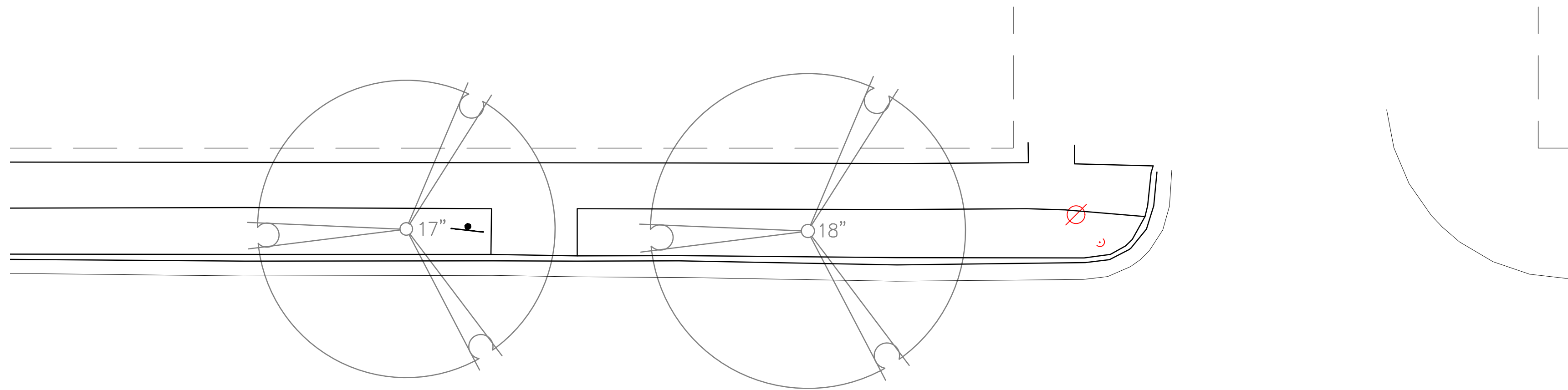
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PROJECT #: BSE1991
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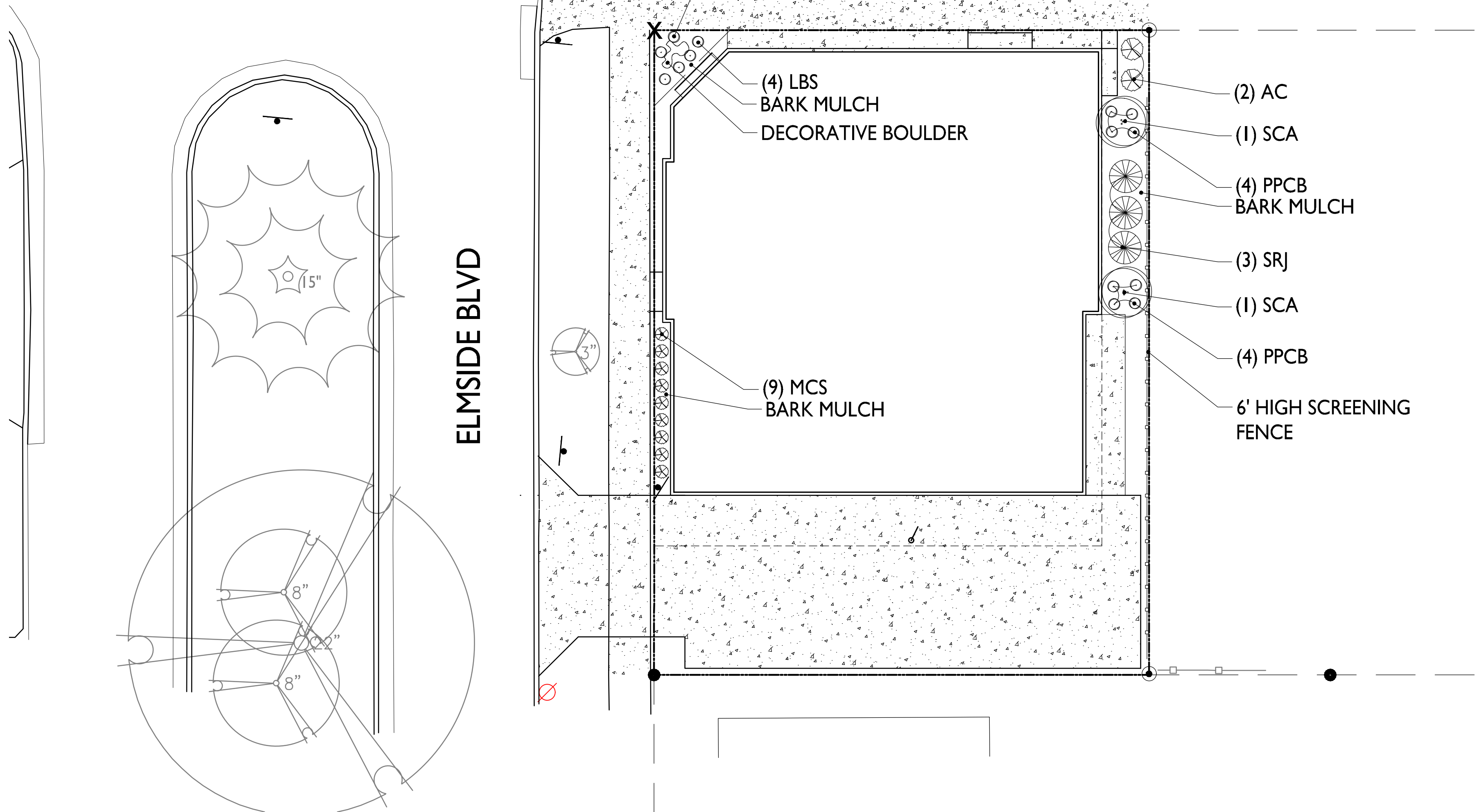
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DRAWING NUMBER: C-600

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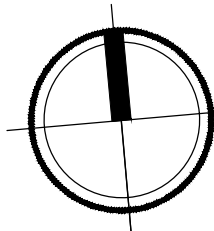
ATWOOD AVE

SPEED LIMIT 25 MPH



LANDSCAPE PLAN

1" = 10'-0"



GRAPHIC SCALE FEET
10 20 30
1" = 10' (DRAWING 24 X 36)

PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
SCA	2	2"	CANOPY TREES	BB
	2	2"	SWEDISH COLUMNAR ASPEN	
AC	11		DECIDUOUS SHRUBS	POT
	2	24"	ALPINE CURRANT	
MCS	9	18"	MAGIC CARPET SPIREA	POT
SRJ	3		UPRIGHT EVERGREEN SHRUBS	BB
	3	24'	SKYROCKET JUNIPER	
LBS	14		PERENNIALS	CON
	4	1 G	LITTLE BLUESTEM GRASS	
PPCB	10	1 G	PURPLE PALACE CORAL BELLS	CON

NOTES:

- 1) PLANTING BEDS TO BE MULCHED WITH SHREDDED HARDWOOD BARK SPREAD TO A DEPTH OF 3".
- 2) DECORATIVE BOULDER TO BE NATIVE, WEATHERED, PITTED LIMESTONE SHELF ROCK. APPROXIMATE SIZE: 36" X 24" X 18".
- 3) OWNER WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE AFTER COMPLETION AND ACCEPTANCE OF THE PROJECT.

LANDSCAPE WORKSHEET

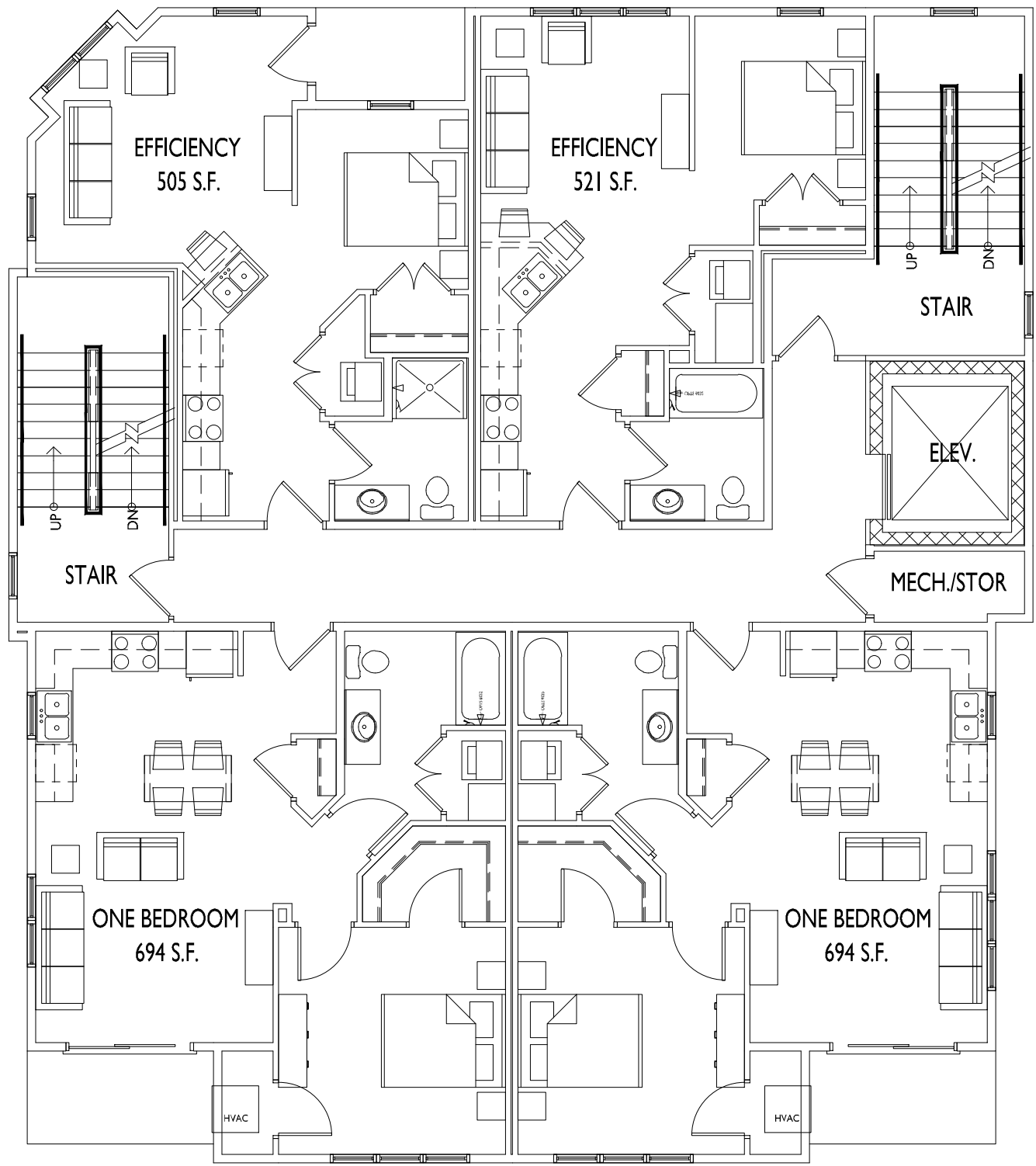
LANDSCAPE POINTS REQUIRED

TOTAL PROPERTY AREA: 1,675 SF
LANDSCAPE UNITS: 1,675 / 300 = 5.6 UNITS
6 UNITS X 5 POINTS/UNIT = 30 POINTS

LANDSCAPE POINTS SUPPLIED

PROPOSED CANOPY TREES - 0 @ 35 = 0 POINTS
PROPOSED ORNAMENTAL TREES - 2 @ 15 = 30 POINTS
PROPOSED UPRIGHT EVERGREEN SHRUBS - 3 @ 10 = 30 POINTS
PROPOSED DECIDUOUS SHRUBS - 11 @ 3 = 33 POINTS
PROPOSED PERENNIALS & GRASSES 14 @ 2 = 28 POINTS

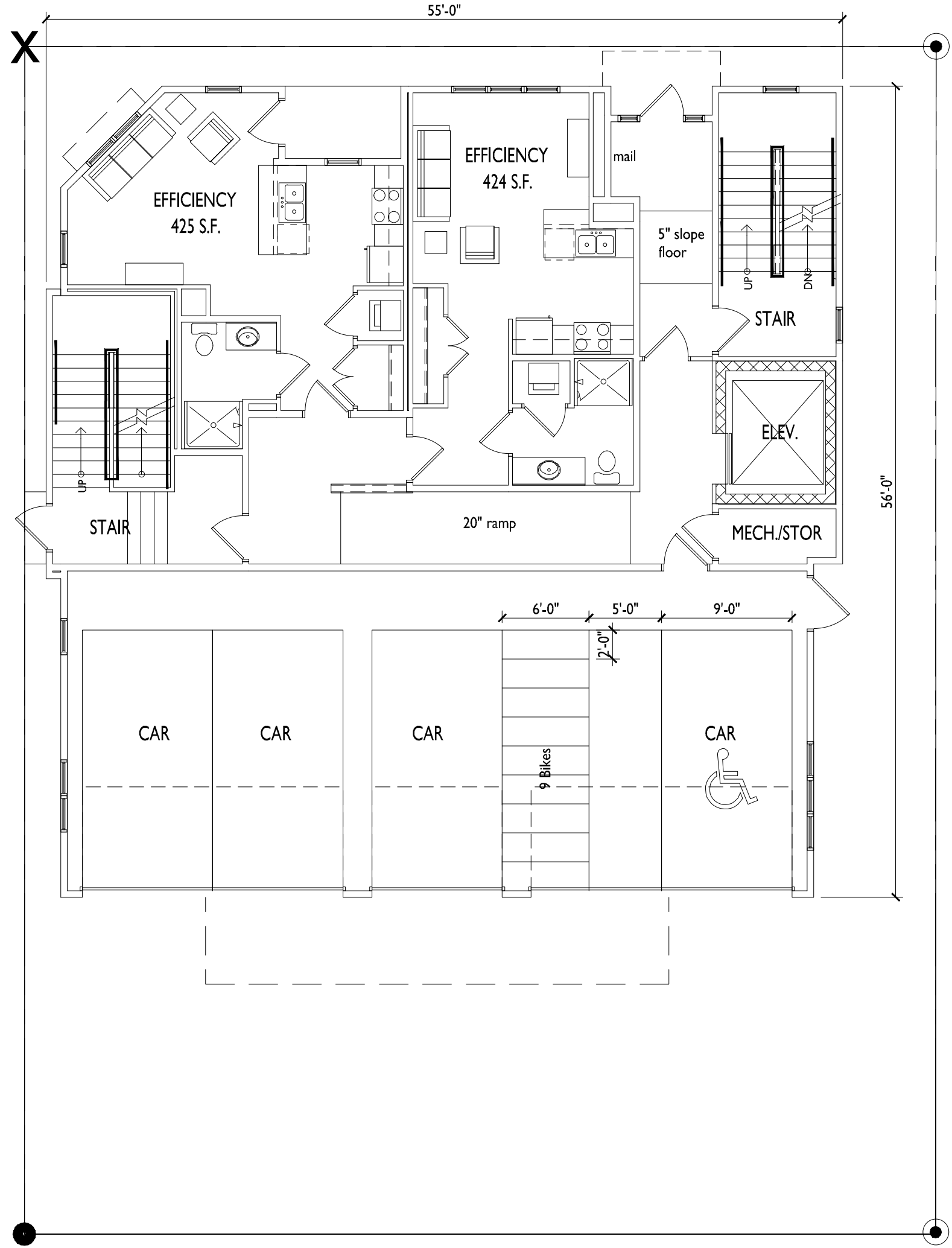
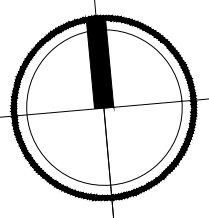
TOTAL LANDSCAPE POINTS SUPPLIED = 121 POINTS



2
A-1.1

SECOND FLOOR PLAN

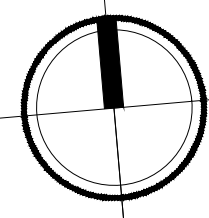
1/8"=1'-0"



1
A-1.1

FIRST FLOOR PLAN

1/8"=1'-0"



ISSUED
Issued for Conditional Use - May 30, 2018

PROJECT TITLE
9 Unit Apartment
Building

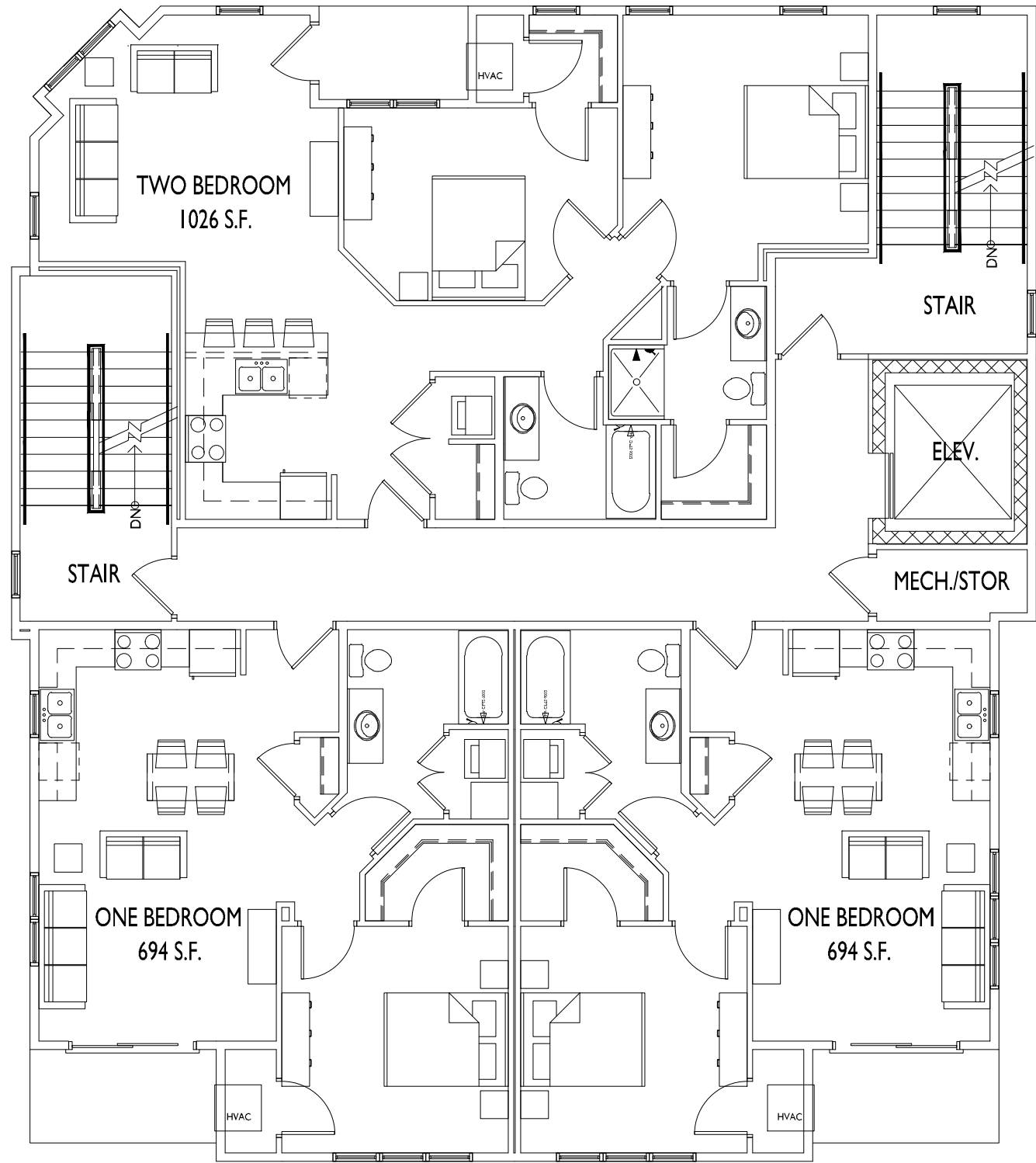
2901 Atwood Avenue
Madison, WI
SHEET TITLE
First & Second
Floor Plan

SHEET NUMBER

A-1.1

PROJECT NO. 1716

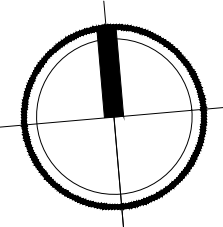
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1
A-1.2

THIRD FLOOR PLAN

1/8"=1'-0"



ISSUED
Issued for Conditional Use - May 30, 2018

PROJECT TITLE
9 Unit Apartment
Building

2901 Atwood Avenue
Madison, WI
SHEET TITLE
Third Floor Plan

SHEET NUMBER

A-1.2

PROJECT NO. 1716
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1

A-2.1

ELEVATION ALONG ATWOOD

1/8"=1'-0"



2

A-2.1

ELEVATION ALONG ELMSIDE BLVD.

1/8"=1'-0"



3

A-2.1

REAR ELEVATION

1/8"=1'-0"



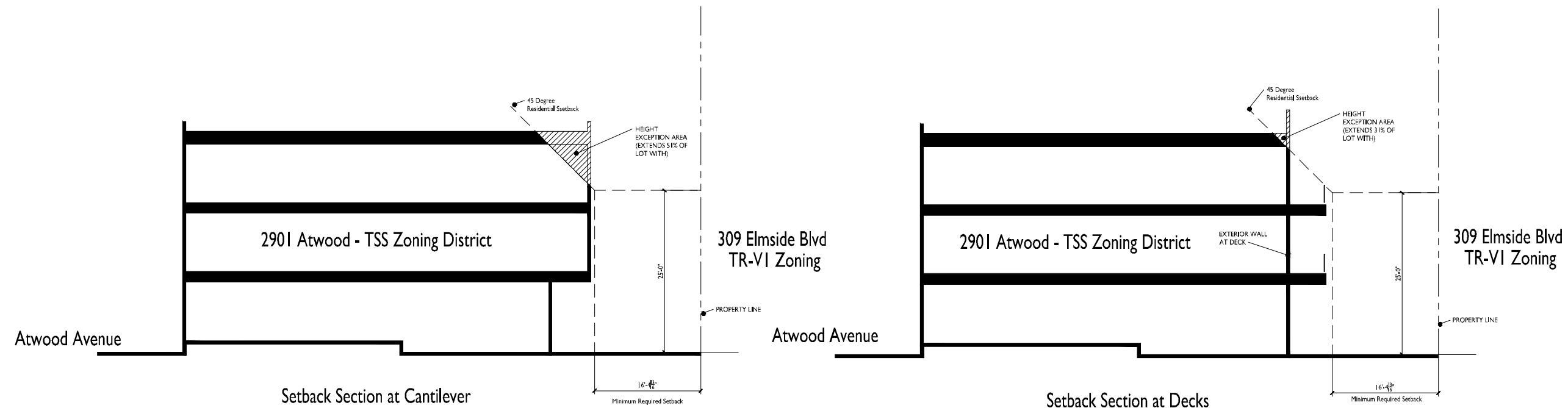
4

A-2.1

SIDE ELEVATION

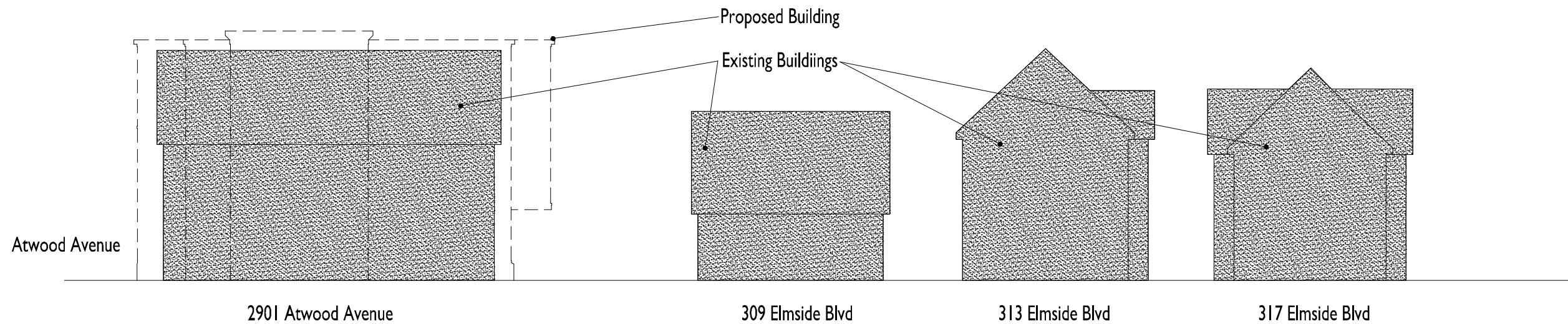
1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE	
MASONRY & ACCENTS	CUSTOM CAST STONE - GINGER
BRICK VENEER	SUMMIT BRICK CO - 410A BONFIRE
HORIZONTAL SIDING & TRIM A	COMPOSITE -SW7067 CITYSCAPE
HORIZONTAL SIDING & TRIM B	COMPOSITE -SW7674 PEPPERCORN
FASCIA / SOFFIT / TRIM	ALUMINUM WRAPPED - HERRINGBONE #819 -QUALITY EDGE
WINDOWS / DOORS	WEATHERSHIELD - DESERT TAN
RAILING	ALUMINUM - BLACK
BAY	COMPOSITE - SW6147 PANDA WHITE



1 SETBACK SECTION
A-3.1 1/8"=1'-0"

2 SETBACK SECTION
A-3.1 1/8"=1'-0"



1 ELMSIDE BLVD MASSING STUDY
A-3.1 1/8"=1'-0"