



Location  
 829 North Thompson Drive

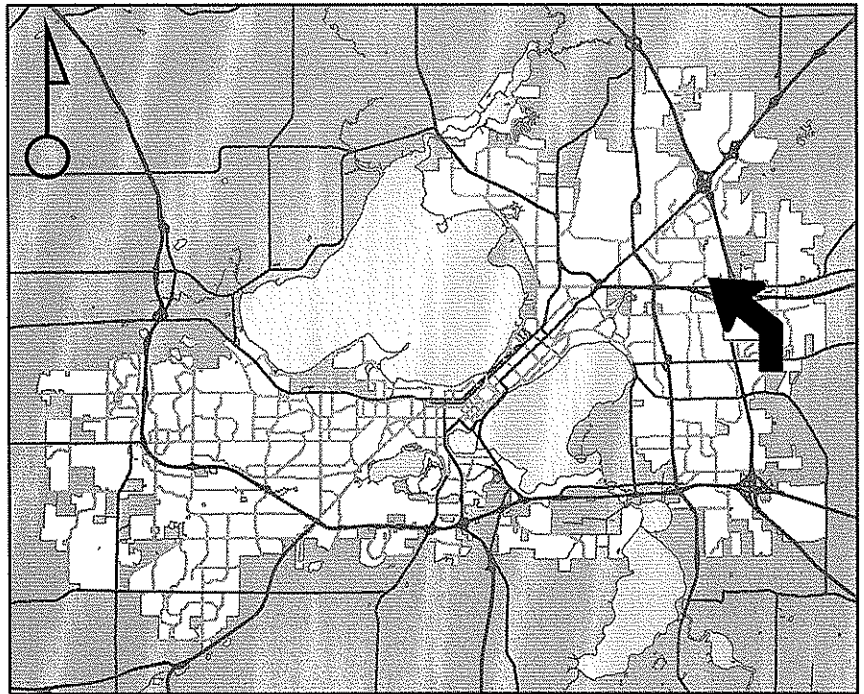
Project Name  
 Water Treatment Plant Expansion

Applicant  
 City of Madison Water Utility/  
 Steven Quail - Earth Tech, Inc

Existing Use  
 MWU Well Facility

Proposed Use  
 Construct Addition Onto Existing  
 MWU Well #29 Facility

Public Hearing Date  
 Plan Commission  
 07 July 2008



For Questions Contact: Heather Stouder at: 266-5974 or [hstouder@cityofmadison.com](mailto:hstouder@cityofmadison.com) or City Planning at 266-4635



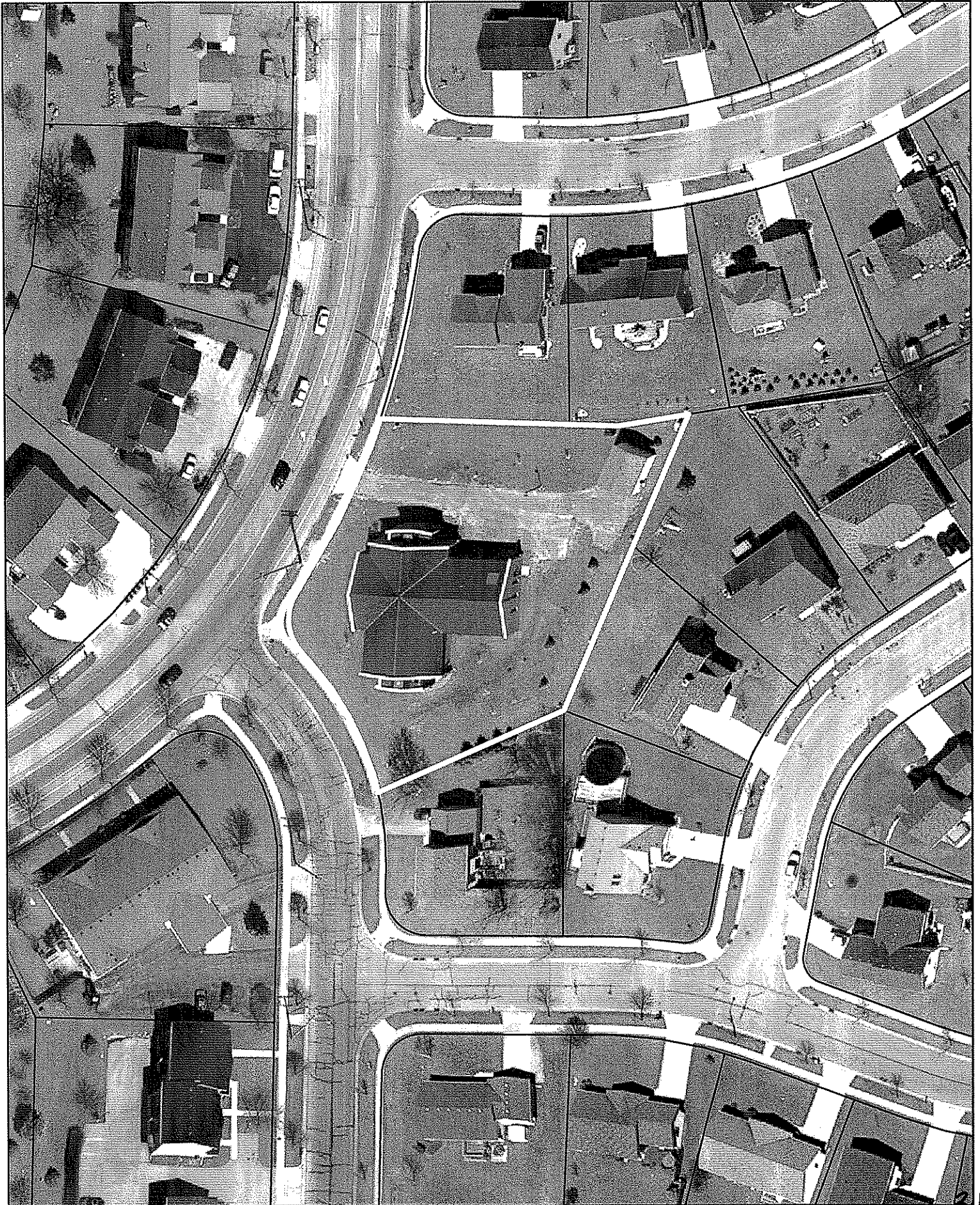
Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 24 June 2008



City of Madison

829 North Thompson Avenue



Date of Aerial Photography : April 2007

# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

### FOR OFFICE USE ONLY:

Amt. Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_  
 Date Received 5/21/08  
 Received By JSP  
 Parcel No. 0810-344-13/4-6  
 Aldermanic District \_\_\_\_\_  
 GQ CUP; WETLAND; WP29  
 Zoning District R1 - WP 29  
**For Complete Submittal**  
 Application  Letter of Intent   
 IDUP  Legal Descript.   
 Plan Sets  Zoning Text   
 Alder Notification  Waiver \_\_\_\_\_  
 Ngrbrhd. Assn Not.  Waiver \_\_\_\_\_  
 Date Sign Issued 5/21/08

**1. Project Address:** 829 N. Thompson Drive **Project Area in Acres:** 0.8 acres  
**Project Title (if any):** Madison Water Utility, Unit Well 29, Water Treatment Plant Expansion

**2. This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)	
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit
<input type="checkbox"/> Other Requests (Specify): _____	

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Steven Quail, P.E. Company: Earth Tech, Inc  
 Street Address: 200 Indiana Ave City/State: Stevens Point, WI Zip: 54481  
 Telephone: (715) 341-8110 Fax: (715) 341-7393 Email: steve.quail@earthtech.com  
 Project Contact Person: Steven Quail, P.E. Company: Earth Tech, Inc  
 Street Address: 200 Indiana Ave City/State: Stevens Point, WI Zip: 54481  
 Telephone: (715) 341-8110 Fax: (715) 341-7393 Email: steve.quail@earthtech.com  
 Property Owner (if not applicant): City of Madison Water Utility (Attention: Larry D. Nelson, P.E., Interim General Manager)  
 Street Address: 119 E. Olin Ave City/State: Madison, WI Zip: 53713

**4. Project Information:**

Provide a general description of the project and all proposed uses of the site: The proposed project adds a 1,600 square foot (sf) addition to the existing 6,055 sf building housing the Madison Water Utility Unit Well 29. The new addition will house filters that will improve water quality and minimize discolored water experienced by customers.

Development Schedule: Commencement Oct 1, 2008 Completion May 31, 2009

**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper

**Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

**Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.

**Filing Fee:** \$ NA See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

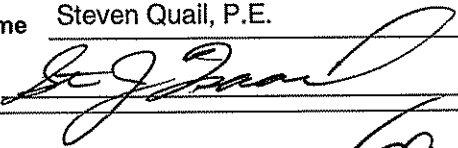
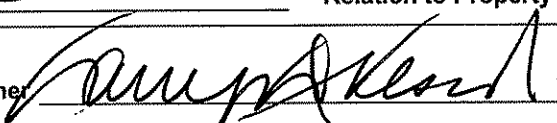
**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:  
 → *The site is located within the limits of* Comprehensive *Plan, which recommends:*  
Low Density Residential *for this property.*

**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:  
 → *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*  
Alders Clausing & Cnare (adjacent District) waived 30 day notification (on file). No formal neighborhood association.  
*If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.  
 Planner Heather Stouder, AICP Date 5/5/08 | Zoning Staff Pat Anderson Date 5/5/08

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Steven Quail, P.E. Date May 21, 2008  
 Signature  Relation to Property Owner Project Engineer  
 Authorizing Signature of Property Owner  Date May 21, 2008



A **tyco** International Ltd. Company

200 Indiana Avenue  
Stevens Point, WI  
54481

P 715.341.8110  
F 715.341.7390  
www.earthtech.com

May 20, 2008

Plan Commission  
City of Madison  
Madison Municipal Building  
Room LL-100  
215 Martin Luther King Jr. Blvd.  
Madison, WI 53701-2985

Subject: **Letter of Intent for Conditional Use  
Madison Water Utility  
Unit Well 29, Water Treatment Plant Expansion  
Earth Tech Project No. 101512**

Dear Commissioners:

The following is the Letter of Intent for modifications to the Madison Water Utility Unit Well 29. The following information follows the outline indicated in the General Plan Requirements.

**1. Name of the Project:**

Madison Water Utility  
Unit Well 29, Water Treatment Plant Expansion

Project Description:

The proposed project is a 1,600 square foot (sf) addition to an existing 6,055 sf building housing the Madison Water Utility Unit Well 29. The new addition will house filters that will improve water quality and minimize discolored water experienced by customers.

Project Address:

829 North Thompson Drive

Legal Description:

Glacier Heights, Lots 1 and 2.

**2. Construction Schedule:**

First Advertisement for Bid: July 11, 2008  
Receive Bids: August 8, 2008  
Open Bids: August 15, 2008  
Board of Public Works: August 20, 2008  
City Council: September 2, 2008  
Notice of Award: September 8, 2008  
Notice to Proceed: October 1, 2008  
Substantial Completion: May 31, 2009



**3. Description of Existing Conditions:**

Unit Well 29 is located in a residential area on the corner of Mesta Lane and North Thompson Drive. The property front is Mesta Lane. The property is bound by residential properties to the north, east, and southeast property lines. Photographs are included to illustrate the existing structures and its surrounding housing.

Two structures reside on the site; the permanent Unit Well 29 building and a temporary booster pump station. The well building houses pumps, piping, a water storage reservoir, chemical feed equipment, electrical control panels, and a restroom.

The temporary booster pump station contains pumps, pressure storage tanks, and electrical control panels. The temporary booster pump station will be abandoned and removed from the property within the next several years. The building and equipment will be removed from the property and the building site, and a portion of the asphalt driveway will be re-landscaped.

**4. Names of People Involved:**

- a. Larry Nelson, P.E., Interim General Manager, Madison Water Utility
- b. Alan Larson, P.E., Principal Engineer, Madison Water Utility
- c. Steven Quail, P.E., Project Manager, Earth Tech, Inc.
- d. Karl Hokanson, AIA, Architect, Earth Tech, Inc.
- e. John Kneer, RLA, Landscape Architect, Rettler Corporation

**5. Uses of All Areas of the Building(s) and Square Footage Devoted to Each Use:**

Item No.	Description	Existing/Proposed	Area (sf)
1.	Pump Room	Existing	1,400
2.	Reservoir	Existing	4,325
3.	Restroom	Existing	80
4.	Chemical Room	Existing	250
<b>Total Existing Unit Well 29</b>			<b>6,055</b>
5.	Filtration Room	Proposed	1,600
6.	Below Grade Backwash Tanks (1,158 sf)	Proposed	N/A
<b>Total Unit Well 29</b>			<b>7,655</b>
7.	Temporary Booster Pump Station	Existing	490
<b>Total Gross Square Footage of All Structures</b>			<b>8,145</b>

**6. Number of Employees:**

No full-time employees have been or will be assigned to the Unit Well 29. When the well is operating, Madison Water Utility employees make daily site visits. A typical daily site visit is expected to range between 1 to 2 hours, normally between the hours of 8:00 a.m. and 4:00 p.m.

**7. Capacity, as Determined by the State Building Code for Places of Assembly, Restaurants, Taverns:**

Building is classified as Factory Industrial F-2 Low Hazard under the State Building Code. Maximum estimated building occupancy during an equipment repair is five people.

**8. Hours of Operation:**

Water production from the facility will be 24 hours per day, 7 days per week. Plant operations are automated; therefore, no full-time employees are required to be on site. Operating staff will regularly visit the site for 1 to 2 hours per day between the hours of 8:00 a.m. and 4:00 p.m.

**9. Square Footage (Acreage) of the Site:**

34,770 sf (0.8 acres)

**10. Number of Dwelling Units:**

None.

**11. Number of Bedrooms per Dwelling Unit:**

None.

**12. Estimate of the Potential Number of School Children Generated by the Project:**

None.

**13. Description of Trash Removal and Storage, Snow Removal, and Maintenance Equipment for Project:**

- a. **Trash Removal.** Limited trash is generated from the site, and utility operations and maintenance staff collect and transport the limited trash off-site. No external trash bins are located on the project site.

The water treatment process includes a sand separator. Sand pumped from the well is separated and disposed in 55-gallon drums. Full drums will be stored in the treatment room until utility staff transports them off-site with a pickup truck.

- b. **Snow Removal.** Madison Water Utility will provide snow removal in the same manner that has occurred for the past 4 years.
- c. **Maintenance Equipment.** No additional maintenance equipment will be required as part of the building expansion.

**14. Other Issues:**

- a. Noise. Noise from electric motors is contained within the building structure. The equipment installed in the proposed addition will not generate noise that is not contained within the building.
- b. A neighborhood meeting regarding this project was conducted on April 23, 2008.
- c. Number of parking stalls – two parking stalls shown; however, this parking area is not for public use and no stall markings will be provided.
- d. A property survey was previously provided; therefore, it is not included in this packet.

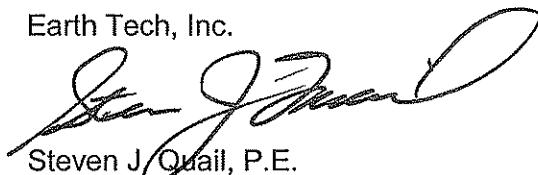
The following documents are included:

- 1. Application Forms
- 2. Figures:
  - Sheet A-1 Overall Floor Plan
  - Sheet A-2 Building Elevations Isometric Views
  - Sheet C-1 Site Plan
  - Sheet C-2 Grading Plan
  - Sheet C-3 Utilities Plan
  - Sheet C-4 Erosion Control Plan
  - Sheet L-1 Landscaping Plan
  - Sheet E-1 Outdoor Lighting Plan

Thank you for your consideration for this important project.

Sincerely,

Earth Tech, Inc.

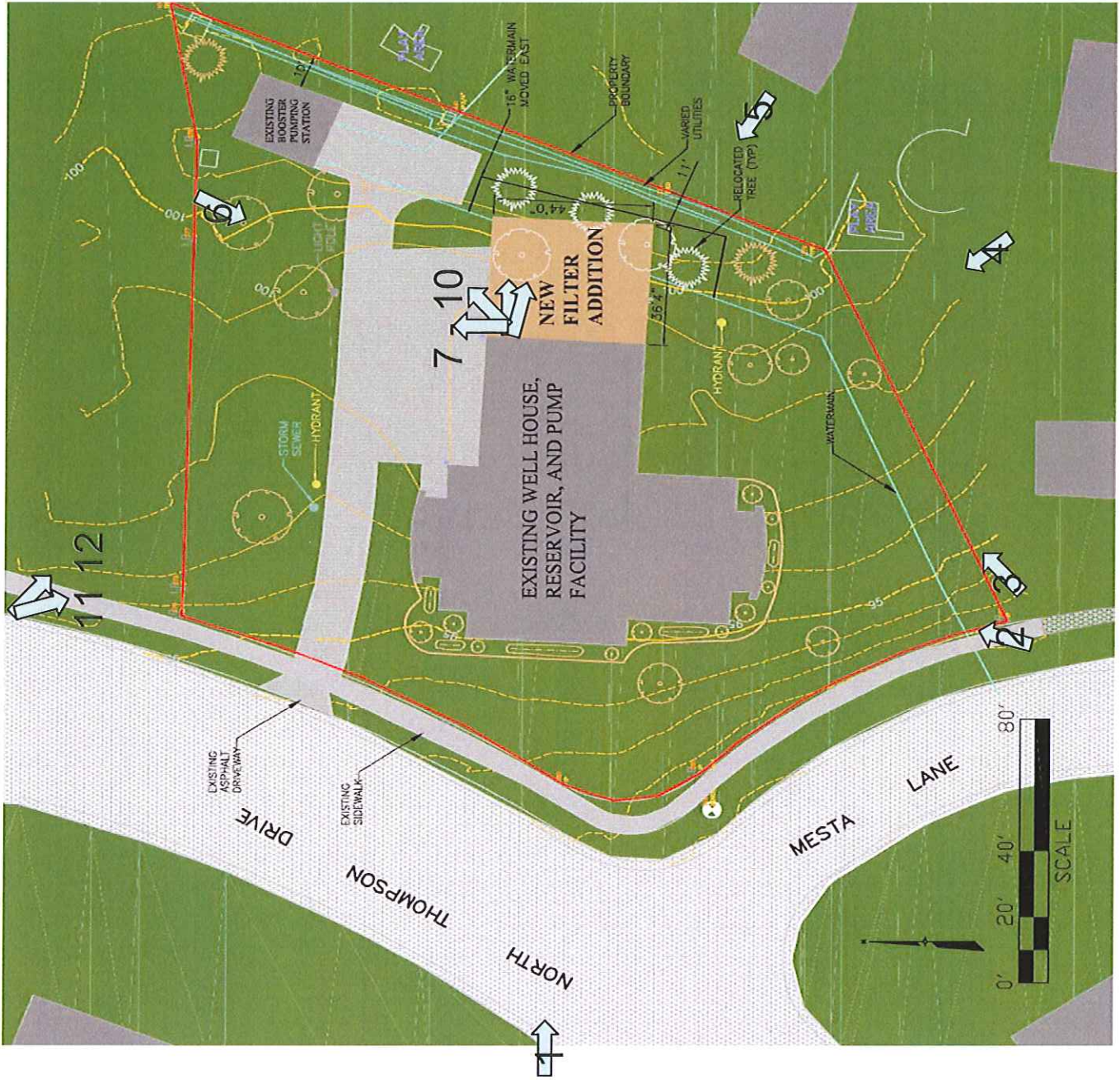


Steven J. Quail, P.E.  
Project Manager

Enclosures: As Noted

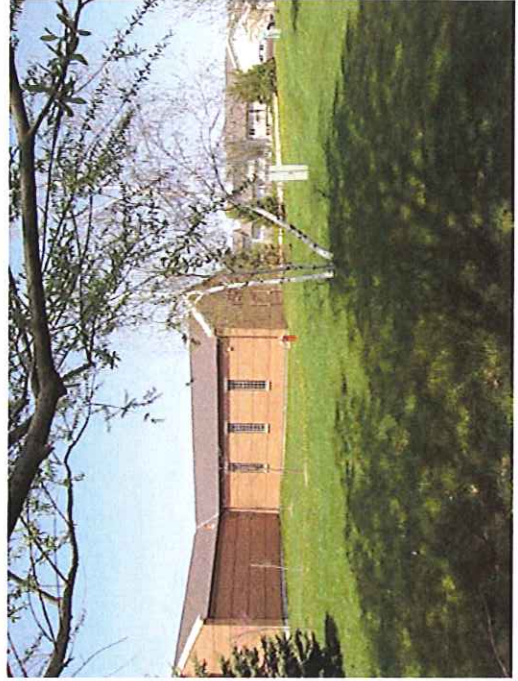
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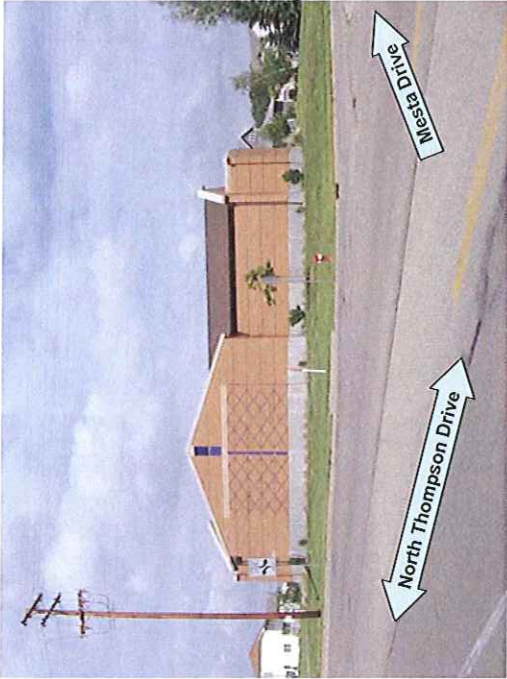




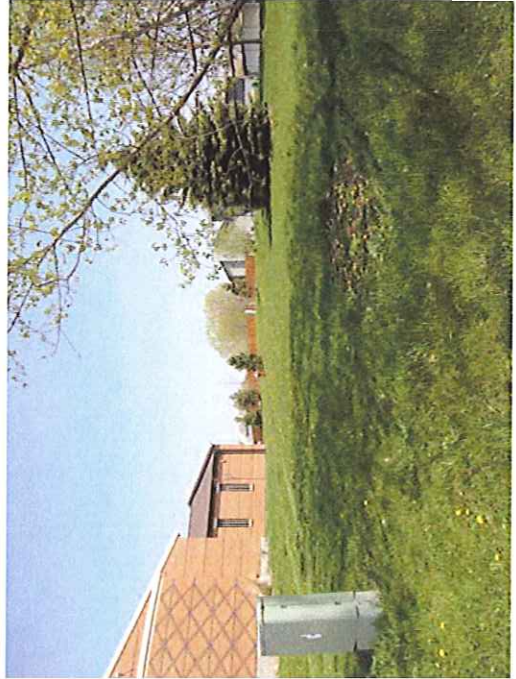
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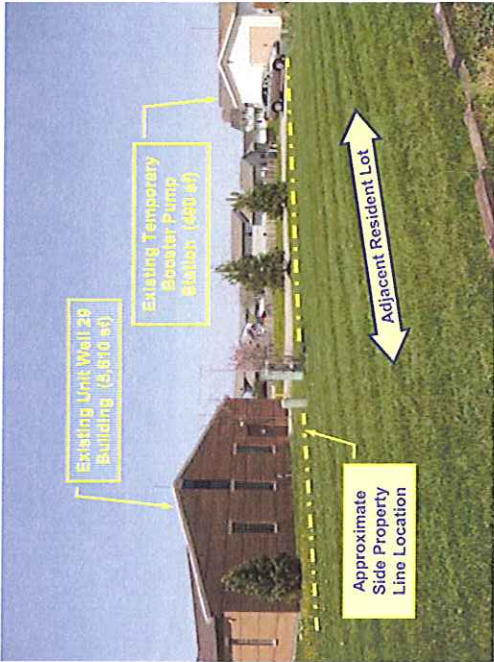
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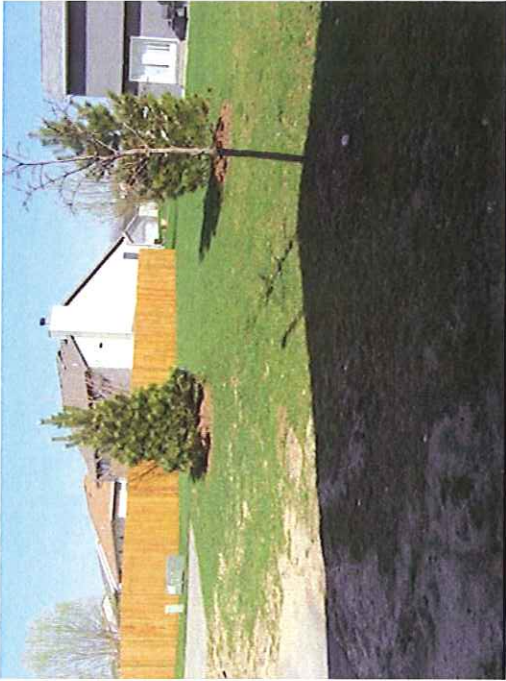
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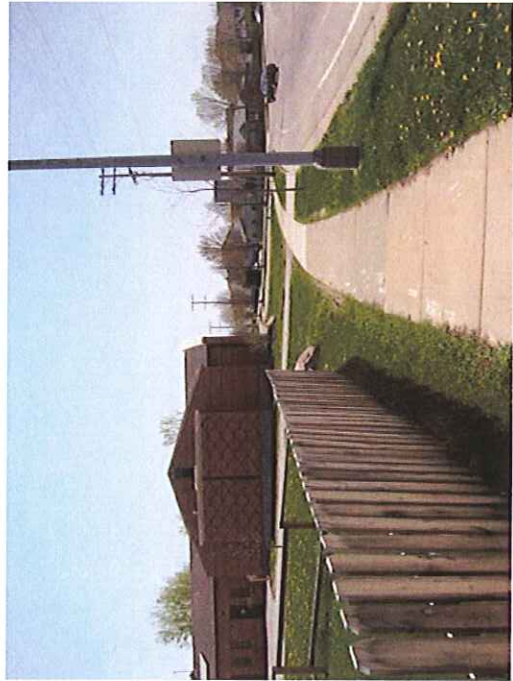
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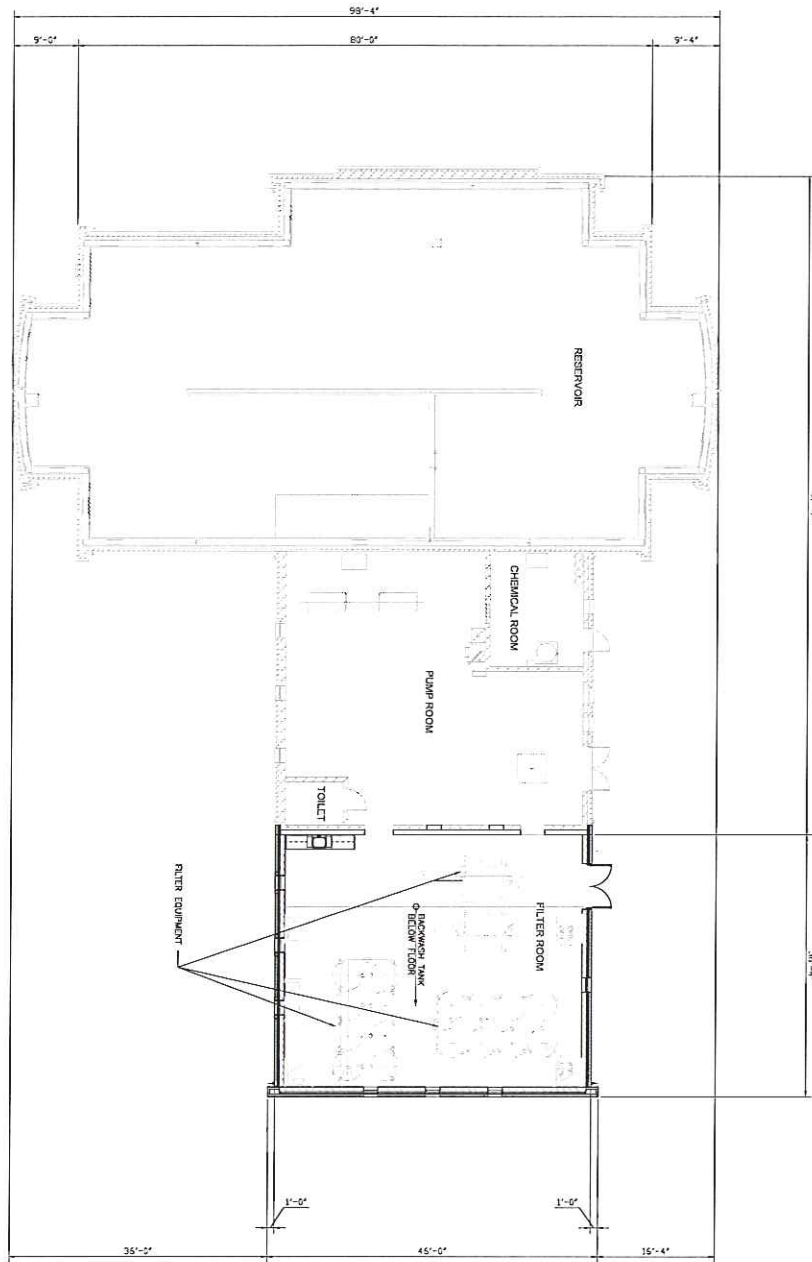
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11



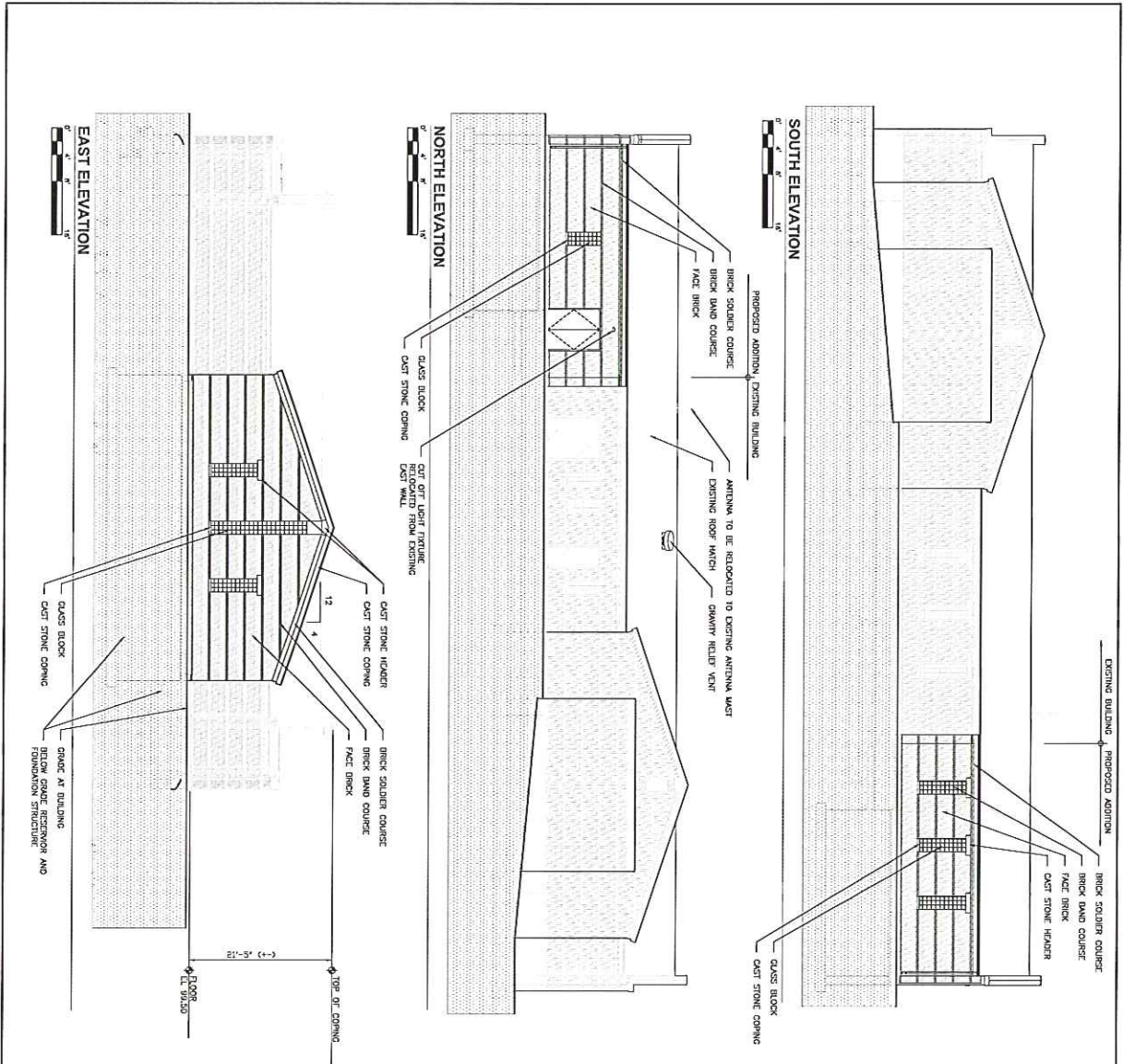
**GROSS AREA TABULATIONS**

RESERVOIR	4325 CSF
CHEMICAL ROOM	230 CSF
PUMP ROOM	1480 CSF
TOILET ROOM	80 CSF
EXISTING BUILDING AREA	6025 CSF
FILTER ROOM ADDITION	1500 CSF
TOTAL BUILDING AREA WITH ADDITION	7555 CSF
BELOW GRADE DISINCHARGE TANK	1138 CSF

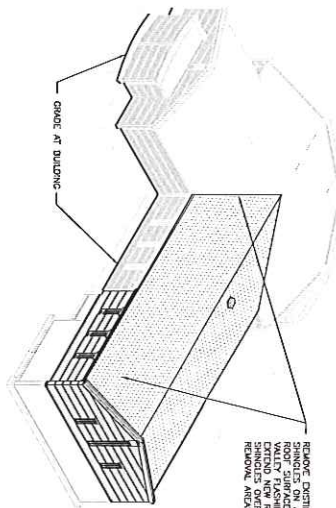
**OCCUPANT LOADS**

ALLOWABLE OCCUPANT LOADS, BASED ON BUILDING CODE	
OCCUPIED AREAS	
CHEMICAL ROOM	230 CSF
PUMP ROOM	1480 CSF
TOILET ROOM	80 CSF
FILTER ROOM ADDITION	1500 CSF
TOTAL	3330 CSF
ACTUAL NUMBER OF OCCUPANTS BASED ON OPERATIONS	33
DAIRY OPERATIONS - CHECK EQUIPMENT - INTERMITTENT	1 TO 2
MAINTENANCE OR OTHER PRODUCTS	AS REQUIRED

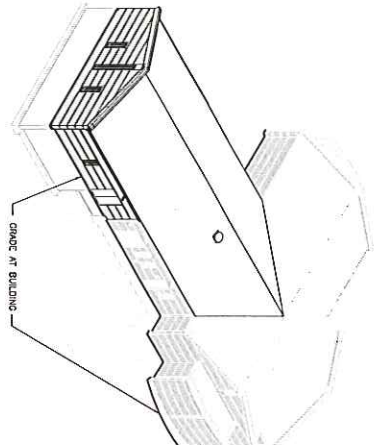
PROJECT SHEET TOTAL (14/17) PROJECT NO. APRIL 2023 104512 DRAWING NO. A-01	<b>UNIT WELL 29          WATER TREATMENT EXPANSION          MADISON, WISCONSIN</b>  <b>OVERALL          FLOOR PLAN</b>	PREPARED BY  A tyco International Ltd. Company	EARTH TECH 200 HOLLAND AVENUE STEVENS POINT, WISCONSIN 54481 (715)344-3001	<table border="1" style="width: 100%;"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE (WOP)</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DESCRIPTION	DATE (WOP)									
REV	DESCRIPTION	DATE (WOP)														



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



**GENERAL MATERIAL NOTES:**  
 - ALL MATERIALS WILL MATCH EXISTING MATERIALS IN COLOR, TEXTURE, SPECIFICATION AND PROPORTIONS  
 - ALL FACE BRICK COURSEING AND BAND PATTERNS WILL MATCH EXISTING COURSEING AND BAND PATTERNS  
 - EXISTING CAST STONE WILL BE SHAVED AND REFINED WHERE POSSIBLE

REMOVE EXISTING  
 BRICKS ON ADJACENT  
 WALLS AND  
 WALKY FLASHING  
 TO  
 EXISTING ROOF  
 STRUCTURE  
 REMOVE AREAS

PROJECT NO.	101512
DATE	APRIL 2007
PROJECT NAME	UNIT WELL 29
CLIENT	WATER TREATMENT
DRAWING NO.	A-02

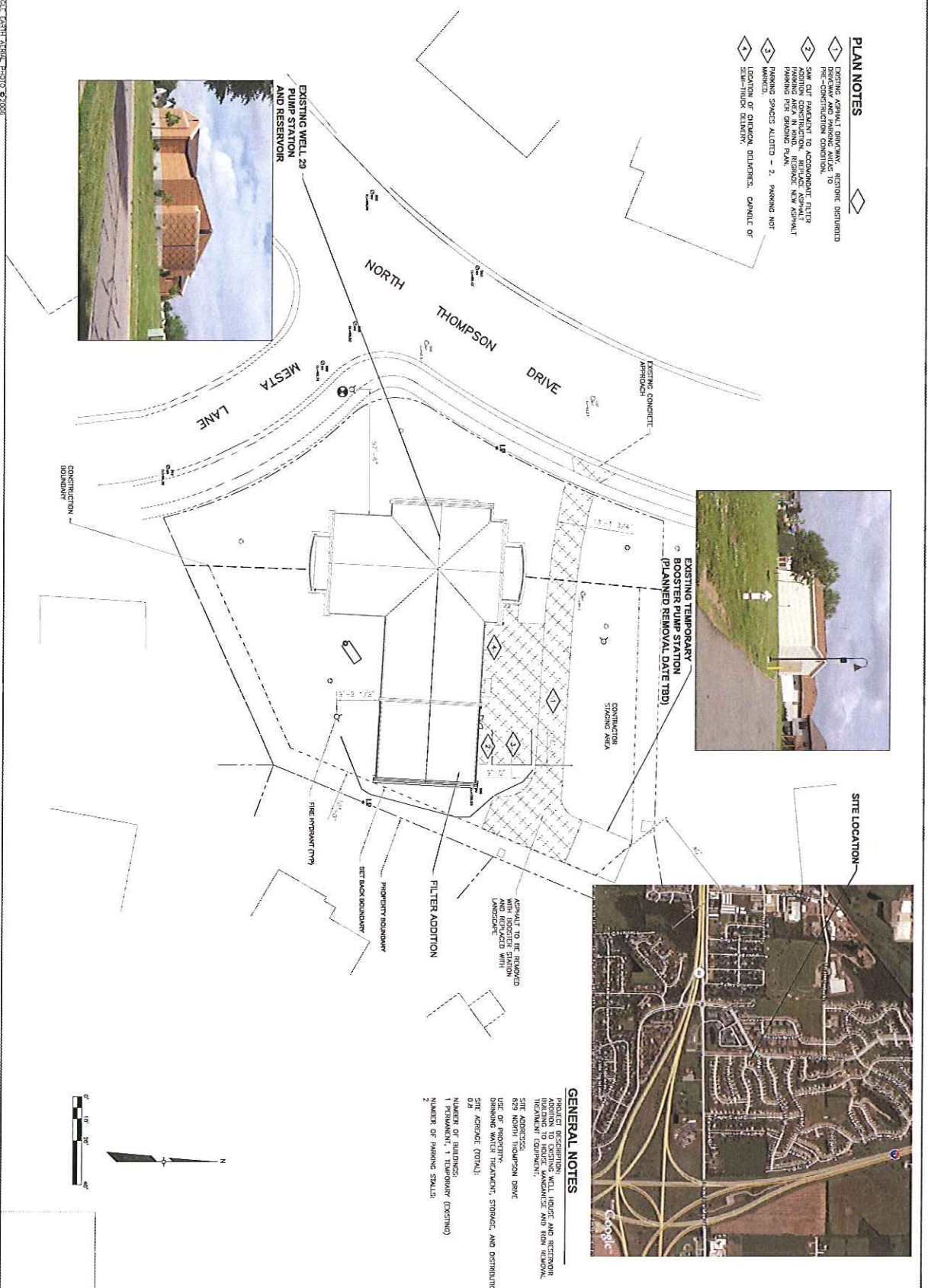
**UNIT WELL 29  
 WATER TREATMENT EXPANSION  
 MADISON, WISCONSIN**  
 BUILDING ELEVATIONS  
 ISOMETRIC VIEWS



PREPARED BY  
**EarthTech**  
 A tyco International Ltd. Company

EARTH TECH 200 ROSANA AVENUE STEVENS POINT, WISCONSIN 54481 (915) 342-3001				
DR	JMK			
CHK	---			
DES	KEH			
APP	---			
REV	---			
NO.	DESCRIPTION	DRN	CHK	DATE (MM/DD)

SHEET: PROJECT: EARTH TECH PHOTO 07/08



SITE LOCATION

- PLAN NOTES**
- ◇ EXISTING CONCRETE, REPAIR, REFORM, RECONSTRUCT
  - ◇ DRIVEWAY AND PARKING AREAS TO BE RECONSTRUCTED IN PRE-CONSTRUCTION CONDITION.
  - ◇ SAW CUT PARALLEL TO ACCOMPANY FILTER PARKING AREA IN WHICH RELOCATED EXISTING PARKING PITS REMAIN - 2. PARKING NOT MARKED.
  - ◇ LOCATION OF CURB/RAIL DELINEATES CURVE/LE OF SIDEWALK STATION.

**GENERAL NOTES**

PROJECT DESCRIPTION:  
 ADDITION TO EXISTING WELL HEADS AND RESERVOIR TREATMENT PLANT, JUNCTIONS AND RISE REMOVAL, AND REPAIRS TO EXISTING PLANT.

SITE ADDRESS:  
 829 NORTH THOMPSON DRIVE

USE OF PROGRAM:  
 DRINKING WATER TREATMENT, STORAGE, AND DISTRIBUTION

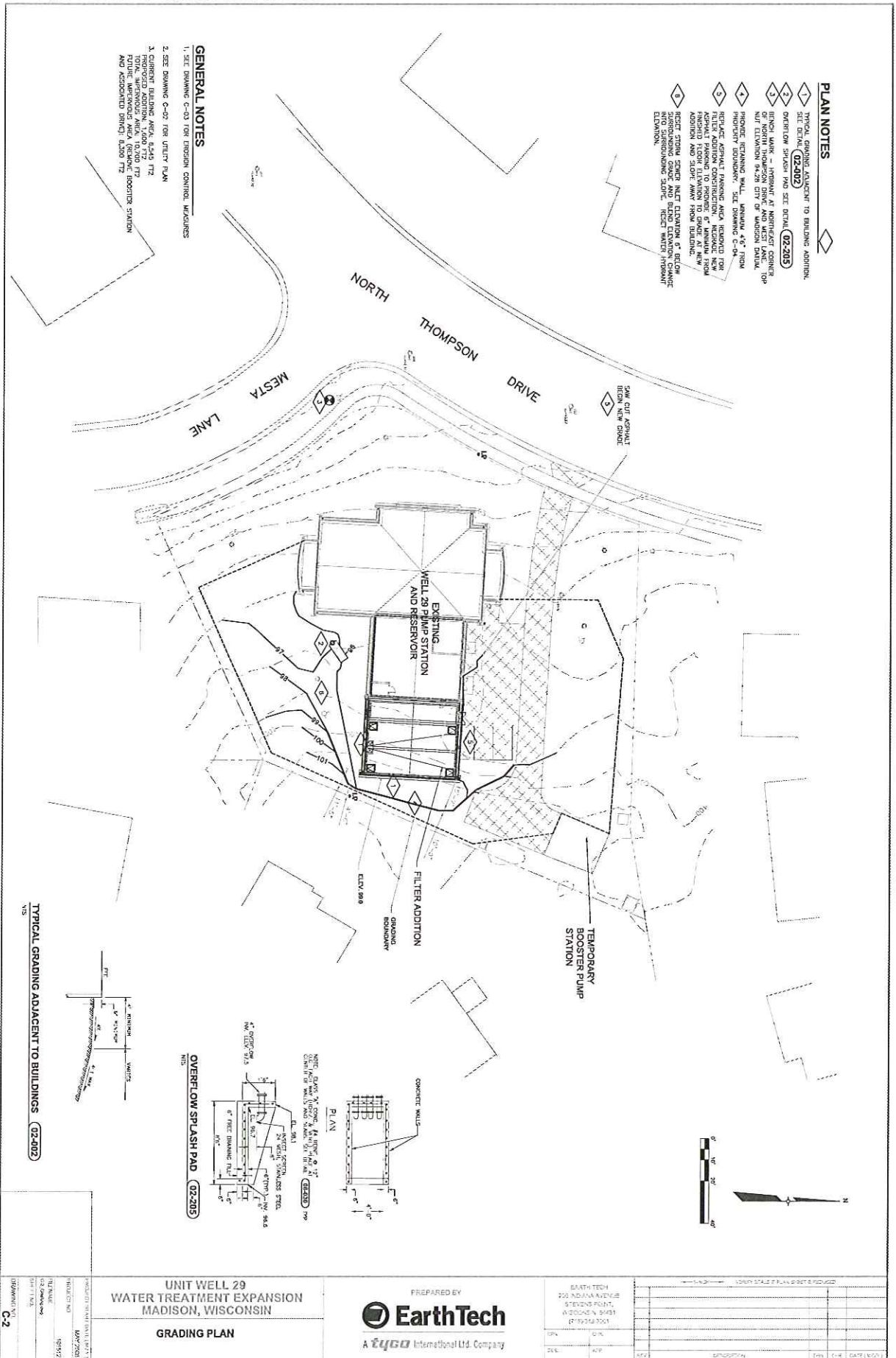
SITE AGENCY (TPAL):  
 O&B

NUMBER OF BUILDINGS:  
 1 PERMANENT, 1 TEMPORARY (EXISTING)

NUMBER OF PARKING STALLS:  
 2



UNIT WELL 29 WATER TREATMENT EXPANSION MADISON, WISCONSIN SITE PLAN		PREPARED BY <b>EarthTech</b> A Tyco International Ltd. Company	EARTH TECH 226 NEVADA AVENUE STEVENSON POINT, WISCONSIN 53591 (715)244-3300	PROJECT NO.: SHEET NO.: DATE:
PROJECT: UNIT WELL 29 PROJECT NO.: SHEET NO.: DATE:		REVISIONS:		
PROJECT NO.: SHEET NO.: DATE:		REVISIONS:		



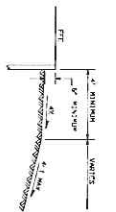
**PLAN NOTES**

- 1. TYPICAL GRADING ADJACENT TO BUILDING ADDITION. SEE DETAIL (02-202)
- 2. OVERFLOW SPLASH PAD SEE DETAIL (02-205)
- 3. FINISH MARK AS INDICATED AT NORTHWEST CORNER OF EXISTING PUMP STATION. FINISH ELEVATION 94.28 CITY OF MADISON DATA. (02-203)
- 4. PROPERTY BOUNDARY. SEE DRAWING C-04
- 5. REFERENCE ASPHALT PAVING AREA REMOVED FOR ASHLEIGH AVENUE IMPROVEMENTS. RECONSTRUCT AND FINISH FLOOR ELEVATION TO GRADE AT NEW POSITION AND SLOPE AWAY FROM BUILDING.
- 6. EXIST. FROM SOURCE NEAR ELEVATION 9' BELOW FINISH GRADE. SEE DETAIL (02-204) FOR DETAILS INTO SURROUNDING SLOPE. REJECT WATER INTRUSANT ELEVATION.

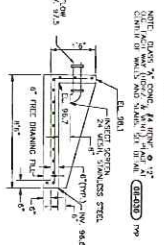
**GENERAL NOTES**

- 1. SEE DRAWING C-03 FOR EROSION CONTROL MEASURES
- 2. SEE DRAWING C-02 FOR UTILITY PLAN
- 3. CURRENT BIDDING AREA: 8,545 S.F. TOTAL PROPOSED ADDITION: 1,080 S.F. TOTAL IMPROVEMENT AREA: 10,000 S.F. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND ASSOCIATED DEPT. (02-201)

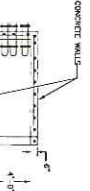
TYPICAL GRADING ADJACENT TO BUILDINGS (02-202)



OVERFLOW SPLASH PAD (02-205)



CONCRETE WALLS PLAN



UNIT WELL 29 WATER TREATMENT EXPANSION MADISON, WISCONSIN <b>GRADING PLAN</b>		PREPARED BY <b>EarthTech</b> A Cygo International Ltd. Company	EASTH TECH 220 INDIANA AVENUE STEVENS POINT, WISCONSIN 53480 (715) 325-3333 FAX: (715) 325-3334	DATE: 05/19/08 DWG: C-2 SHEET: 1 OF 1	PROJECT: UNIT WELL 29 WATER TREATMENT EXPANSION DRAWING NO: 191512-001 DATE: 05/19/08 DRAWN BY: [Name] CHECKED BY: [Name]
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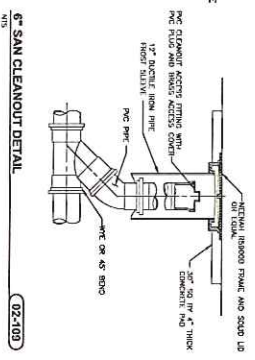
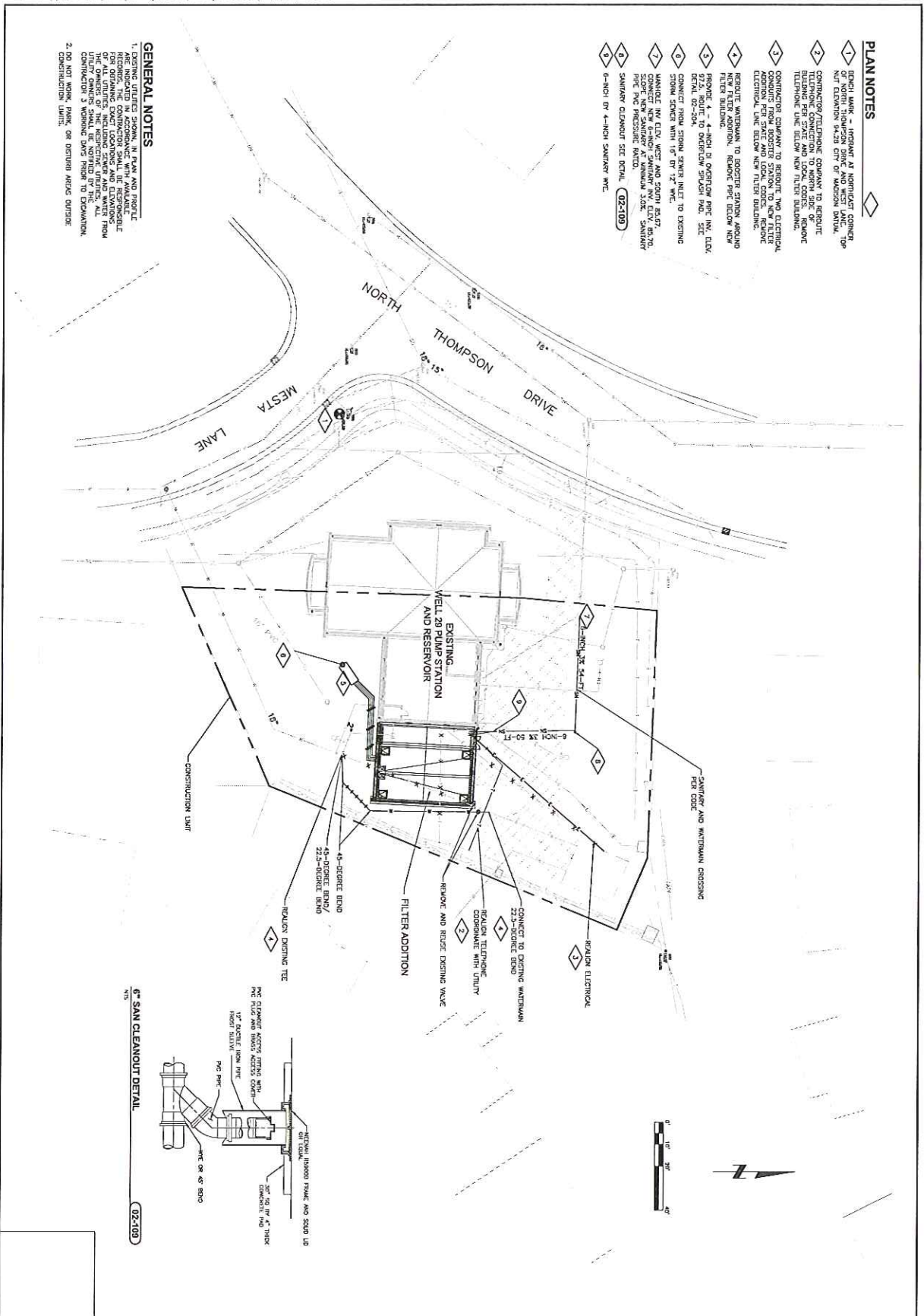


**PLAN NOTES**

- 1. DEMOLISH 4" - 10" DIAMETER AT NORTH/DRIVE CORNER OF NORTH THOMPSON DRIVE AND WEST LANE, TOP FIN ELEVATION 523.5 CITY OF MADISON STANDARD.
- 2. CONTRACTOR/TELEPHONE COMPANY TO REMOVE BUILDING PER STATE AND LOCAL CODES. REMOVE TELEPHONE LINE BELOW NEW FILTER BUILDING.
- 3. CONTRACTOR COMPANY TO REMOVE TWO ELECTRICAL CONDUITS FROM ROOSTER STATION TO NEW FILTER BUILDING. REMOVE FROM UNDERGROUND ELECTRICAL LINE BELOW NEW FILTER BUILDING.
- 4. REMOVE WATERMAIN TO ROOSTER STATION, ABOVE NEW FILTER ADDITION. TO REMOVE PFC BELOW NEW FILTER BUILDING.
- 5. REMOVE 4" - 4" INCH B OVERFLOW PIPE INV. ELEV. DETAIL 02-204.
- 6. CONNECT FROM STORM SEWER INLET TO EXISTING STORM SEWER WITH 15" DI 12" WPC.
- 7. WANGLE INV. ELEV. WEST AND SOUTH 85.07. CONTRACTOR TO REMOVE EXISTING 15" DI 12" WPC PFC PRESSURE MAIN.
- 8. SWIMWAY CLEANOUT SEE DETAIL 02-109.
- 9. 6-INCH DI 4-INCH SWIMWAY WPC.

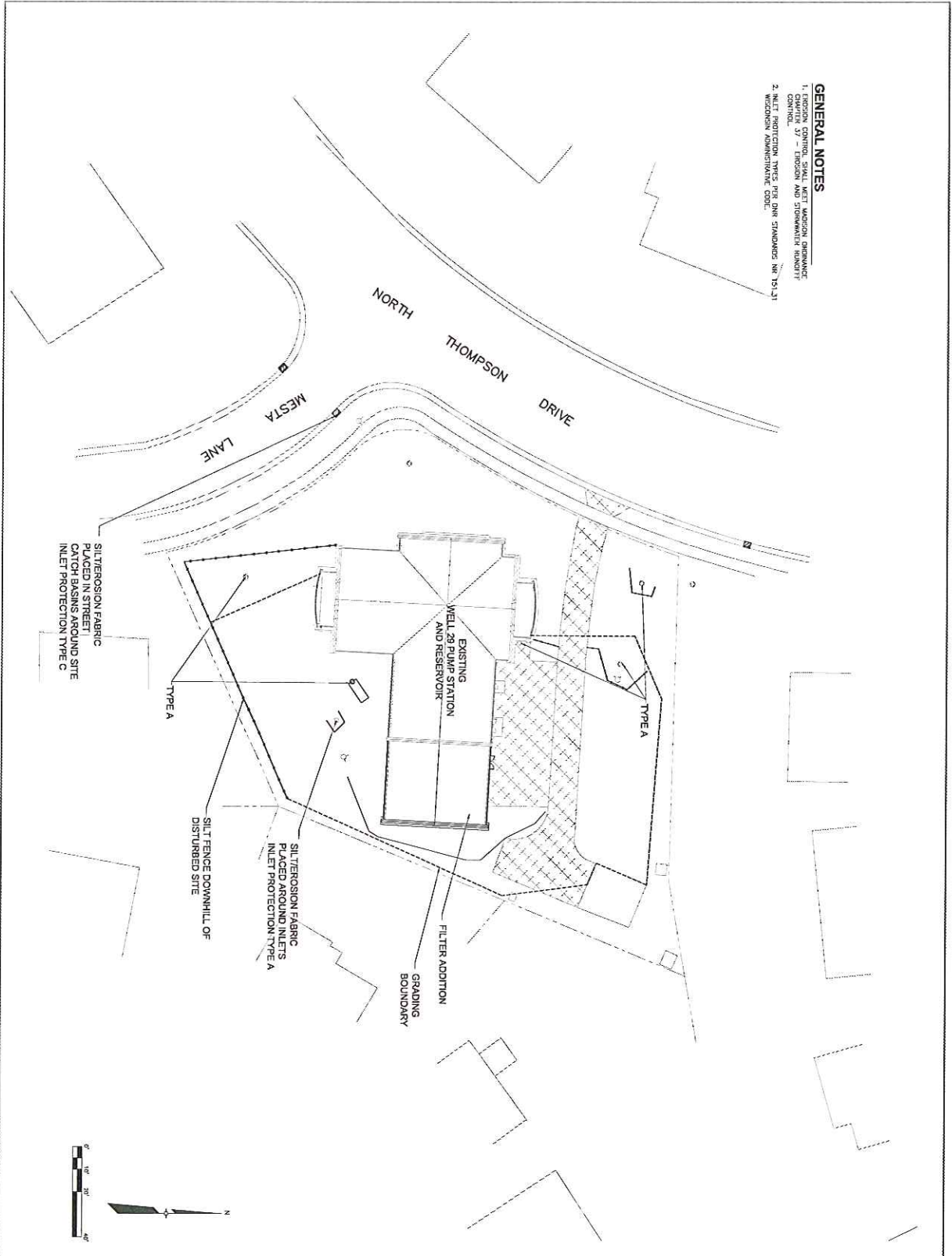
**GENERAL NOTES**

- 1. EXISTING UTILITIES SHOWN, IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORD DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS. THE OWNER OF THE RESPECTIVE UTILITIES AND UTILITY OWNERS SHALL BE NOTIFIED BY THE CONTRACTOR 3 WORKING DAYS PRIOR TO COMMENCEMENT OF WORK OR DISTURBANCE OUTSIDE CONSTRUCTION LIMIT.



PROJECT NO. 15912 PROJECT DATE MAY 2008 PREPARED BY PROJECT ENGINEER CHECKED BY DRAWING NO. C-43	UNIT WELL 29 WATER TREATMENT EXPANSION MADISON, WISCONSIN UTILITIES PLAN	PREPARED BY <b>EarthTech</b> A tyco International Ltd. Company	EARTH TECH 200 INDIANA AVENUE STEVENS POINT, WISCONSIN 54481 (715)342-3001	1"=40' VERTICAL SCALE IF PLAN SHEET IS REDUCED	
			DRN: DATA C&E: ASHG	CHK: --- APP: ---	REV: --- DESCRIPTION: --- DRN: --- CHK: --- DATE (MM/YY): ---

**GENERAL NOTES**  
 1. EROSION CONTROL SHALL MEET WISCONSIN ORDINANCE CONTROL 37 - EROSION AND STORMWATER RUNOFF CONTROL.  
 2. INLET PROTECTION TYPES PER DNR STANDARDS NR 10.131 WISCONSIN ADMINISTRATIVE CODE.



PROJECT NUMBER: 101519	DATE: 05/18/2018
DRAWN BY: enj110560	CHECKED BY: [Signature]
SCALE: AS SHOWN	DATE PLOTTED: 05/18/2018

UNIT WELL 29  
 WATER TREATMENT EXPANSION  
 MADISON, WISCONSIN  
**EROSION CONTROL PLAN**

PREPARED BY  
**EarthTech**  
 A tyco International Ltd. Company

DATE:	05/18/2018
BY:	enj110560
REV:	

NO.	DESCRIPTION	DATE	BY

**GENERAL NOTES**

1. CONTRACTOR'S NOTICE: 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
4. LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. LANDSCAPE ARCHITECT SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
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**LANDSCAPE LEGEND**

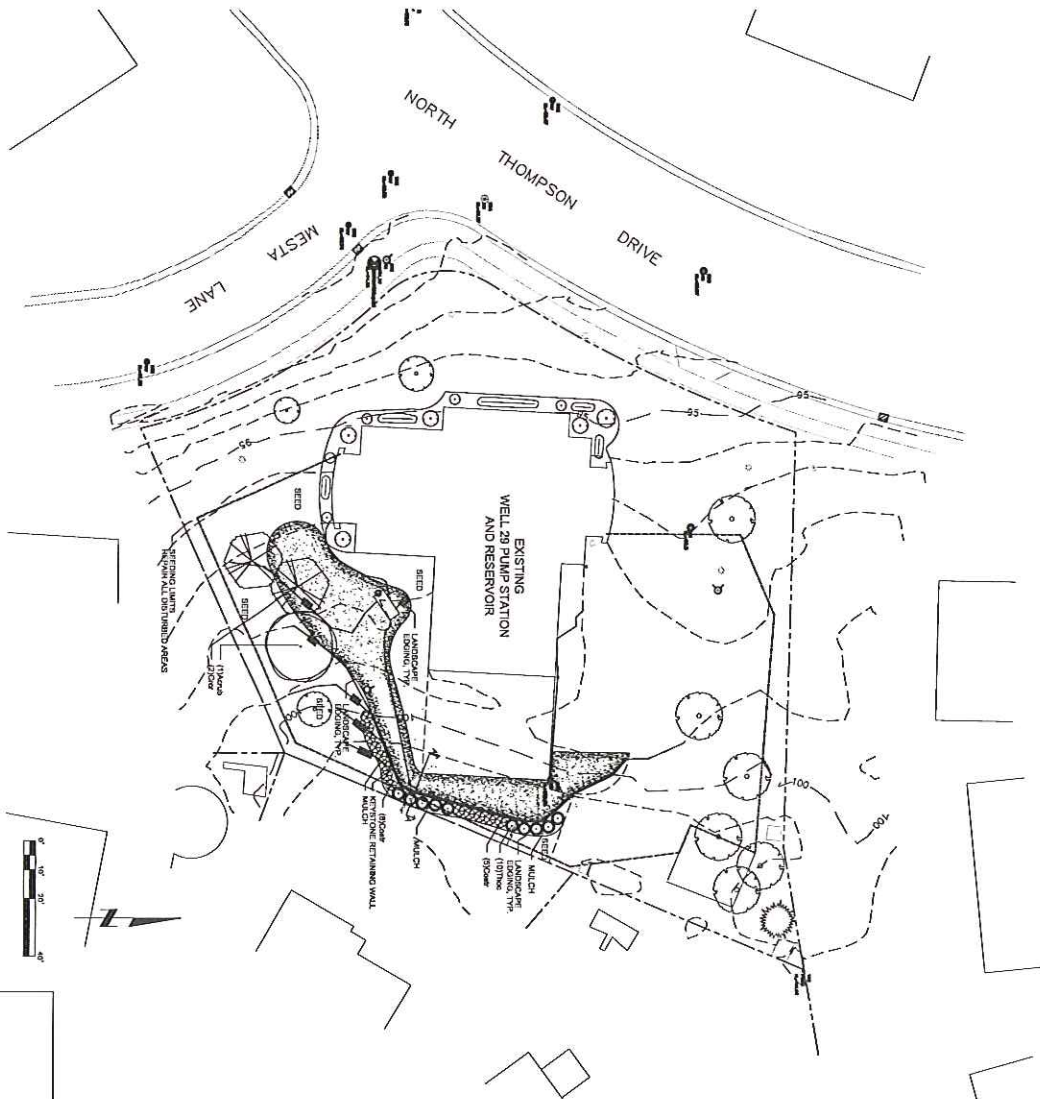
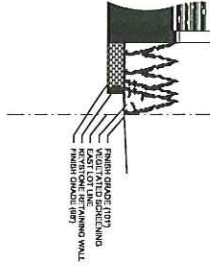
LOW PROFILE MISC FRUITING SEEDING AREA



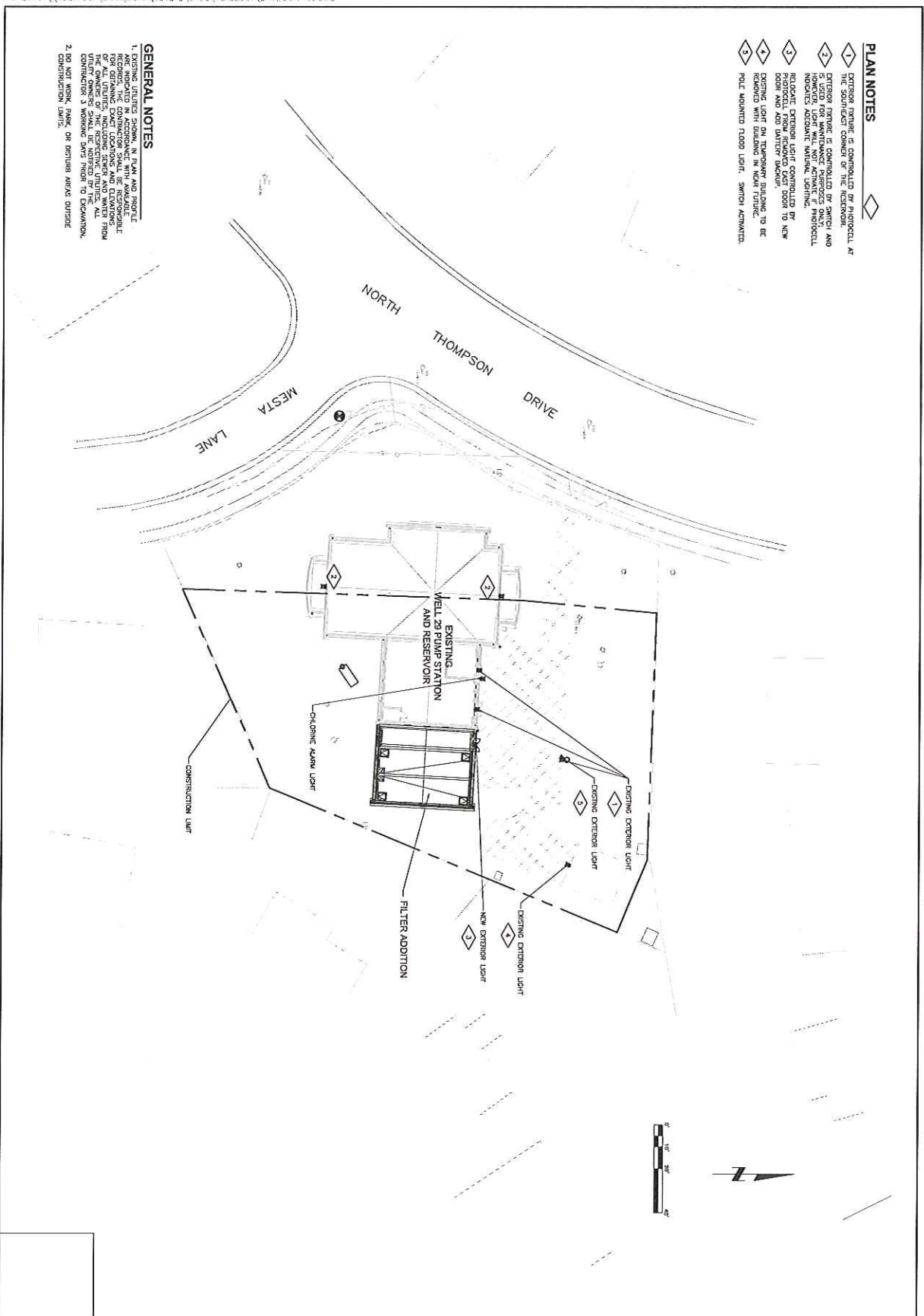
**PLANT SCHEDULE**

Code Name	Schedule Name	Common Name	Quantity	Planting Size
Acacia	Acacia saligna	Red maple	1	2 1/2" - Cal
Over	Cornus alternifolia	Red-vein dogwood	13	36" - Ball
Over	Podagracea sp. - gill	Coddeur's helleborus	2	8" - 10"
Tree	Thuja occidentalis	American arborvitae	10	36" - Ball

**SECTION: 'A-A'**



<p>PROJECT: UNIT WELL 29 WATER TREATMENT EXPANSION                  PROJECT NO.: 101812A                  DRAWING NO.: L-1</p>	<p>UNIT WELL 29                  WATER TREATMENT EXPANSION                  MADISON, WISCONSIN</p> <p>LANDSCAPE PLAN</p>	<p>PREPARED BY</p> <p><b>EarthTech</b></p> <p>A tyco International Ltd. Company</p>	<p>EARTH TECH                  200 INDIANA AVENUE                  STEVENS POINT,                  WISCONSIN 54481                  (715)342-3301</p> <p>CHK: [ ]                  DES: [ ]</p>	<p>VERIFY SCALE IF PLAN SHEET IS REDUCED</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>CHK</th> <th>DATE (MO/)</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	CHK	DATE (MO/)												
NO.	DESCRIPTION	CHK	DATE (MO/)																	



- PLAN NOTES**
- 1 EXTERIOR FINISH IS CONTROLLED BY PHOTOCELL AT THE SOUTHWEST CORNER OF THE RECEIVING.
  - 2 EXTERIOR FINISH IS CONTROLLED BY SWITCH AND PHOTOCELL. LIGHT WILL NOT ACTIVATE UNLESS PHOTOCELL IS IN ACCURATE POSITION.
  - 3 RELOCATE EXTERIOR LIGHT CONTROLLED BY PHOTOCELL TO NEW LOCATION. PHOTOCELL TO BE LOCATED IN NEW LOCATION.
  - 4 EXISTING LIGHT ON TEMPORARY BUILDING TO BE REMOVED WITH BUILDING IN NEAR FUTURE.
  - 5 POLICE MOUNTED FLOOD LIGHT, SWITCH ACTIVATED.

- GENERAL NOTES**
1. EXISTING UTILITIES SHOWN IN PLAN AND PROFILE ARE TO BE MAINTAINED AND NOT TO BE MOVED. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES FOR OBTAINING EXACT LOCATIONS AND DEPTHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
  2. CONSTRUCTION LIGHTS OR DETRIUMS SHALL BE REMOVED AT THE END OF CONSTRUCTION.

PROJECT NO.	101512
PROJECT NAME	UNIT WELL 29 WATER TREATMENT EXPANSION
DATE	MAY 2005
DRAWING NO.	E-1

**UNIT WELL 29  
 WATER TREATMENT EXPANSION  
 MADISON, WISCONSIN**

OUTDOOR LIGHTING PLAN

PREPARED BY

**EarthTech**  
 A tyco International Ltd. Company

EARTH TECH 200 INDIANA AVENUE STEVENS POINT, WISCONSIN 54481 (715) 341-6112		VERIFY SCALE IF PLAN SHEET IS REDUCED	
DATE	DESIGN	DATE	DESCRIPTION
05/13/05	APP.		